



AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

MARCH 12, 2018

FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. **CALL TO ORDER: 6:30 P.M.**

B. **INVOCATION AND PLEDGE OF ALLEGIANCE**

C. **CITIZEN'S COMMENTS**

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. **REGULAR ITEMS**

1. *Minutes of February 26, 2018*

Consider approval of the minutes of the February 26, 2018, Planning and Zoning Commission Regular Session and Work Session.

2. *SP17-0021 – Galactic Gallery*

Consider a request for a Site Plan to develop an art gallery. The property is generally located north of Bryce Lane and east of Jernigan Road.

3. *SUP17-0008 – Wichita Trail Cell Tower*

Public Hearing

Public Hearing to consider a request for a Specific Use Permit No. 451 to permit a communication tower. The property is generally located north of Wichita Trail and east of Skillern Road.

4. *MPA18-0001 – Silveron Blvd. Thoroughfare Plan Amendment* *Public Hearing*

Public Hearing to consider a request for a Master Plan Amendment to amend Section 7.0, Thoroughfare Plan, for the section of Silveron Boulevard from approximately 400 feet northeast of Long Prairie Road (FM 2499) to approximately 500 feet northeast of the Tarrant/Denton County Line.

E. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: March 8, 2018, at 2:05 pm, at least 72 hours prior to the scheduled time of said meeting.



Cindi Price, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.
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THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 26TH DAY OF FEBRUARY, 2018, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session and work session with the following members present:

Mike McCall	Vice Chair
Laile Neal	Commissioner, Place 2
Albert Picardi	Commissioner, Place 5
Laura Dillon	Commissioner, Place 6
Heth Kendrick	Commissioner, Place 8
Rob Rawson	Commissioner, Place 9

Constituting a quorum with the following members absent:

Perfecto Solis	Chair
Brad Ruthrauff	Commissioner, Place 1
David Johnson	Commissioner, Place 4

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Tommy Dalton	Assistant Town Manager
JP Walton	Assistant to the Town Manager
Chuck Russell	Town Planner
Robert Pegg	Engineering Manager
Poornima Kashyap	Senior Planner
Richard Brown	Senior Planner
Cindi Price	Executive Assistant

- A. CALL TO ORDER: 6:30 P.M.**
- B. INVOCATION AND PLEDGE OF ALLEGIANCE**
- C. CITIZENS/VISITORS COMMENTS**

There were none.
- D. REGULAR ITEMS**

- 1. Consider approval of the minutes of the February 12, 2018, Planning and Zoning Commission Regular Session and Work Session.**

Commission Deliberation

Commissioner Neal moved to approve the February 12, 2018, minutes as presented. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION

AYES: Dillon, Picardi, McCall, Rawson, Neal

NAYS: None

ABSTAIN: Kendrick

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 5-1.

2. Consider a request for a Record Plat (RC16-0021 – Oakbridge at Flower Mound, Phase Two) to create a residential subdivision. The property is generally located west of Lake Forest Boulevard, east of Long Prairie Road, and north of Aberdeen Drive.

Staff Presentation

Richard Brown, Senior Planner

Commission Deliberation

Commissioner Neal moved to approve RC16-0021 – Oakbridge at Flower Mound, Phase Two. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION

AYES: Kendrick, Neal, Rawson, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 6-0.

3. Consider a request for a Record Plat (RC17-0012 – Lakeside Crossing) to create one residential lot and one non-residential lot. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.
4. Consider a request for a Site Plan (SP17-0020 - Lakeside Crossing, Phase 1) to develop a hotel and two retail / office buildings. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

Staff Presentation

Poornima Kashyap, Senior Planner

Commission Deliberation (RC17-0012)

Commissioner Neal moved to approve RC17-0012 – Lakeside Crossing. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION (RC17-0012)

AYES: Dillon, Picardi, McCall, Rawson, Neal, Kendrick

NAYS: None

ABSTAIN: None

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 6-0.

Commission Deliberation (SP17-0020)

Commissioner Neal moved to approve SP17-0020 – Lakeside Crossing, Phase 1. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION (SP17-0020)

AYES: Kendrick, Neal, Rawson, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 6-0.

5. Public Hearing to consider a request for a Replat (RP17-0010 – Stone Hill Farms Retail East II Addition) to create a non-residential subdivision. The property is generally located south of Justin Road and east of Stone Hill Farms Parkway.
6. Consider a request for a Site Plan (SP17-0016 – Stone Hill FM, LLC.) to develop a car sales dealership. The property is generally located south of Justin Road and east of Stone Hill Farms Parkway.

Staff Presentation

Poornima Kashyap, Senior Planner

Applicant Presentation

Steve Homeyer, Homeyer Engineering, Inc.

In Favor – None

In Opposition – None

Close Public Hearing

Commission Deliberation (RP17-0010)

Commissioner Neal moved to approve RP17-0010 – Stone Hill Farms Retail East II Addition. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION (RP17-0010)

AYES: Dillon, Picardi, McCall, Rawson, Neal, Kendrick

NAYS: None

ABSTAIN: None

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 6-0.

Commission Deliberation (SP17-0016)

Commissioner Neal moved to approve SP17-0016 – Stone Hill FM, LLC. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION (SP17-0016)

AYES: Kendrick, Neal, Rawson, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: Ruthrauff, Johnson, Solis

The motion passed with a vote of 6-0.

E. ADJOURNMENT – REGULAR SESSION

i. CALL TO ORDER – WORK SESSION: 7:21 P.M.

- a. Presentation and discussion regarding the Flower Mound Board and Commission Input Process, to include an exchange of ideas and discussion on planning and zoning related initiatives for the Town Council to consider for the next fiscal year strategic plan. Discussion may include land use, land development regulations, architectural standards, landscape standards, Town infrastructure (transportation, water, and wastewater master plans), SMARTGrowth, development processes, growth, and housing.

Presenter

JP Walton, Assistant to the Town Manager

Tommy Dalton, Assistant Town Manager

The work session was closed at 8:05 p.m.

TOWN OF FLOWER MOUND, TEXAS

Chuck Russell, Town Planner

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: March 12, 2018

FROM: Richard Brown, Senior Planner

ITEM: Consider a request for a Site Plan (SP17-0021 – Galactic Gallery) to develop an art gallery. The property is generally located north of Bryce Lane and east of Jernigan Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a one-story office building (multi-tenant) encompassing 4,031 square feet of floor area within the Jernigan Heights nonresidential subdivision. The property is zoned for Retail District-2 (R-2) uses, which permits the art gallery by right. The record plat for this nonresidential subdivision provides for ten buildable lots and one x-lot. A mutual access easement/private road (Bryce Lane) runs east to west and serves the development. Bryce Lane connects Jernigan Road to the west and Bailey Way to the east, each providing direct access to FM 407. This application represents the seventh lot to be developed; three buildable lots remain.

The site plan depicts necessary setbacks, landscape buffer and easements. Required parking for the use is 20 spaces, with 22 being provided. Proposed landscaping is in compliance with the Town's requirements. The elevations are in compliance with the Town's Urban Design Plan, as well as adhering to the established unified design theme within Jernigan Heights.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

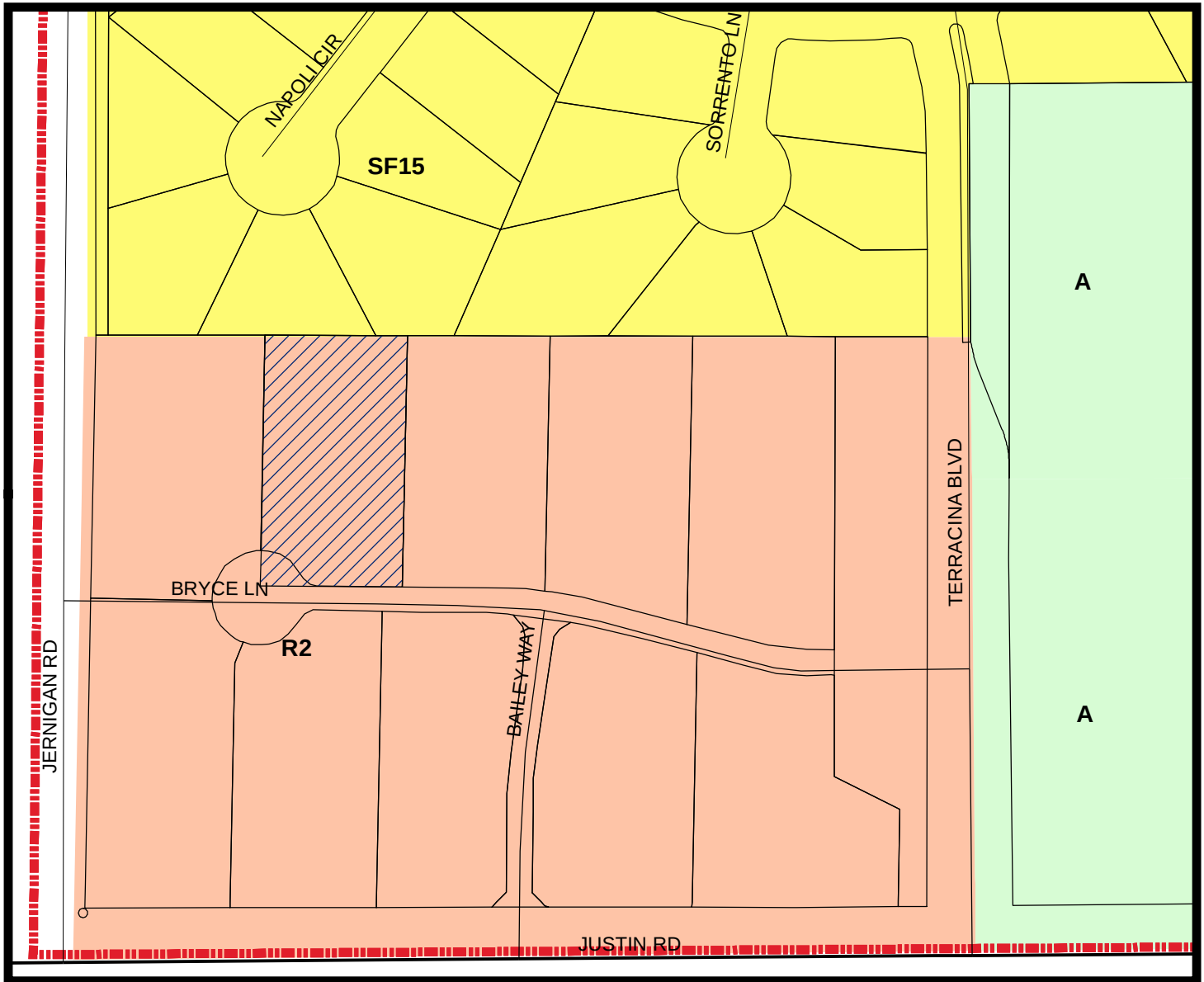
B. Application Details

1. Site Plan Package



Vicinity Map

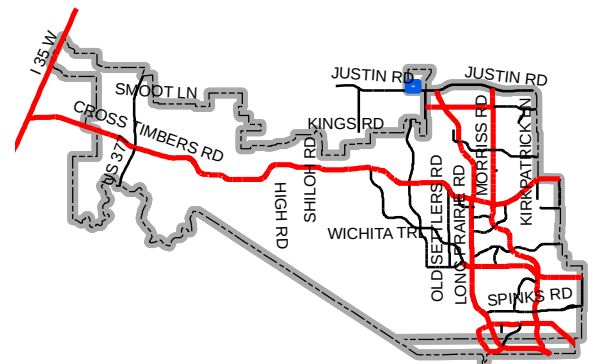
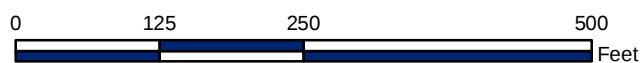
Reference Project: SP17-0021



LEGEND

- Agriculture
- Retail 2
- Single Family 15

— Subject Property



Map Location



February 16, 2018

Mr. Richard Brown
Senior Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

**RE: Galactic Gallery – Site Plan Application
G&A Job Number 17263**

Dear Mr. Brown:

Please accept this letter, on behalf of Stevens Ventures LLC dba 'Galactic Gallery', as an explanation of the proposed application. We are submitting, for review and approval, a Site Plan Application for a new art gallery development. The property is approximately 0.969 acres and is located on Lot 2 of the existing Jernigan Heights development off of FM 407.

The project will consist of a new 4,996 SF building and 21 parking spaces. The proposed building will house a small art gallery, the gallery's office, and a larger main gallery. The small gallery will be open daily while the larger gallery will be available by appointment only. Both galleries will be open to the public. There will be 3 full time employees as of now.

The property is currently zoned Retail 2 and the current zoning allows for the proposed use. The project is planned to be completed in one phase and the proposed design and elevations comply with the unified design theme established by the existing developments within the nonresidential subdivision. We are also not asking for any exceptions to the general development ordinance. This project will need a mutual access easement by separate instrument to allow for future development to utilize the proposed fire lane for ingress/egress purposes and to be consistent with the development as a whole.

Please feel free to contact me if you have any questions or comments regarding this submittal.

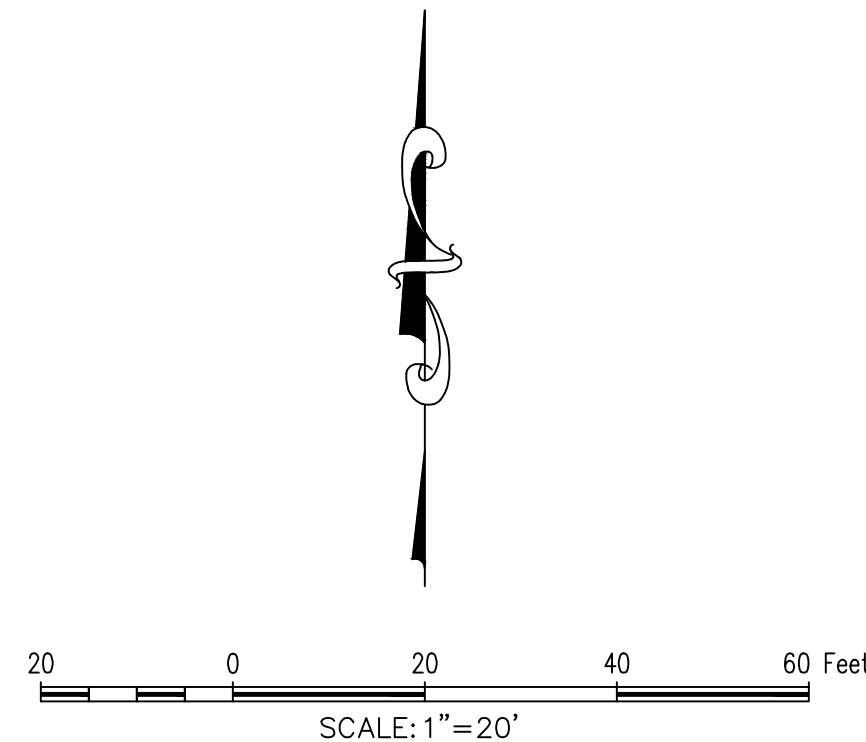
Sincerely,

Josh Barton, P.E.

cc. Mr. R. Von Beougher, P.E.
Mr. Ben Stevens

Z:\2017\17263\PDFs & Submittals\FP & Const. Plans\2018.02.16 3rd Submittal\2018.02.16 LOI.docx

S 89°53'05" *E* 952.28'



- THE TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.
2. TYPICAL PARKING SPACE DIMENSIONS ARE 9' X 17.5' (FACE OF CURB).
3. ALL RADIi ALONG FIRE LANES ARE MINIMUM OF 25' (FACE OF CURB).
4. ALL MATERIALS, CONSTRUCTION, TESTING AND WORKMANSHIP SHALL CONFORM TO THE TOWN OF FLOWER MOUND DESIGN CRITERIA, CONSTRUCTION STANDARDS, CONSTRUCTION DETAILS, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS.
5. ALL SIDEWALKS, ESTABLISHED VEGETATION, SCREENING WALLS, FENCES, AND ALL REQUIRED APPURTENANCES MUST BE CONSTRUCTED AS REQUIRED BY APPROVED CONSTRUCTION PLANS BEFORE SCHEDULING ANY FINAL INSPECTION.
6. ALL RETAINING/ DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING. RETAINING WALL MAX HEIGHT DOES NOT INCLUDE FOOTER.
7. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
8. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
9. STOP LINES ARE TO BE 4-FOOT BEHIND THE CROSSWALKS.
10. A SEPARATE RETAINING WALL PERMIT THROUGH BUILDING INSPECTIONS IS REQUIRED PRIOR TO CONSTRUCTION FOR RETAINING WALLS THAT ARE OVER 4' IN HEIGHT MEASURED FROM TOP OF WALL TO BOTTOM OF FOOTING.
11. DUMPSITER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
12. DUMPSITER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
13. SIGNS REQUIRE A SEPARATE BUILDING PERMIT, ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
14. TRUNCATED DOMES ARE TO BE NO FURTHER THAN 5' FROM THE TRAVEL WAY.

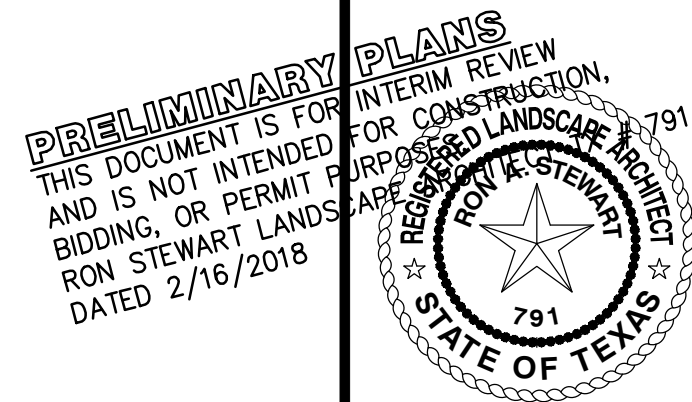
TYPICAL PARKING STALL
SCALE: 1"=10'

TYPICAL PARKING STALL
WITH CURB STOP
SCALE: 1"=10'

REVIEWED
TOWN OF FLOWER MOUND
Released for Construction
Date _____

Town of Flower Mound
Engineering Services

OWNER/DEVELOPER
STEVENS VENTURES LLC
JUSTIN ROAD
FLOWER MOUND, TEXAS 75026
Ph. 214-783-1646
Contact **BEN STEVENS**



Drawn By: MH
Date: 12/04/2017
Scale: 1"=20'
Revisions:
01/19/2018
02/16/2018

17263

L1.1

OWNER/DEVELOPER
STEVENS VENTURES LLC
JUSTIN ROAD
FLOWER MOUND, TEXAS 75077
Ph. 214-763-1646
Contact: BEN STEVENS



20 0 20 40 60 Feet
SCALE: 1"=20'

**LANDSCAPE REQUIREMENT COMPLIANCE
TOWN OF FLOWER MOUND**

PARKING AREA LANDSCAPING			
STANDARD	# OF PARK SPACES	REQUIRED	PROVIDED
90 s.f. per 12 spaces	21 spaces	1,575 s.f.	1,750 s.f.
PARKING AREA TREES			
STANDARD	# OF PARK SPACES	REQUIRED	STANDARD
1 per 10 parking spaces	21 spaces	3 trees (3" cal.)	3 new trees
* Up to 30% of Parking Lot Trees may be Ornamental Trees.			
**All parking spaces to be located within 50 ft. of a tree.			
PARKING AREA SCREENING			
STANDARD	Landscape berm or screening shrubs	PROVIDED	
All head parking to be screened from street view.	3' ht. Screen	3' ht. Screen	
COMPATIBILITY BUFFER LANDSCAPING			
STANDARD	Comp. Buffer Square Footage	REQUIRED	PROVIDED
One shade tree per 400 s.f. of compatibility buffer	3,750 s.f.	10 trees (3" cal.)	6 Ex. trees+ 4 trees (3" cal.) trees = 10 trees
Compatibility Buffer		25'	25'
Min. 6' screening shrubs		6' screening shrubs	6' screening shrubs

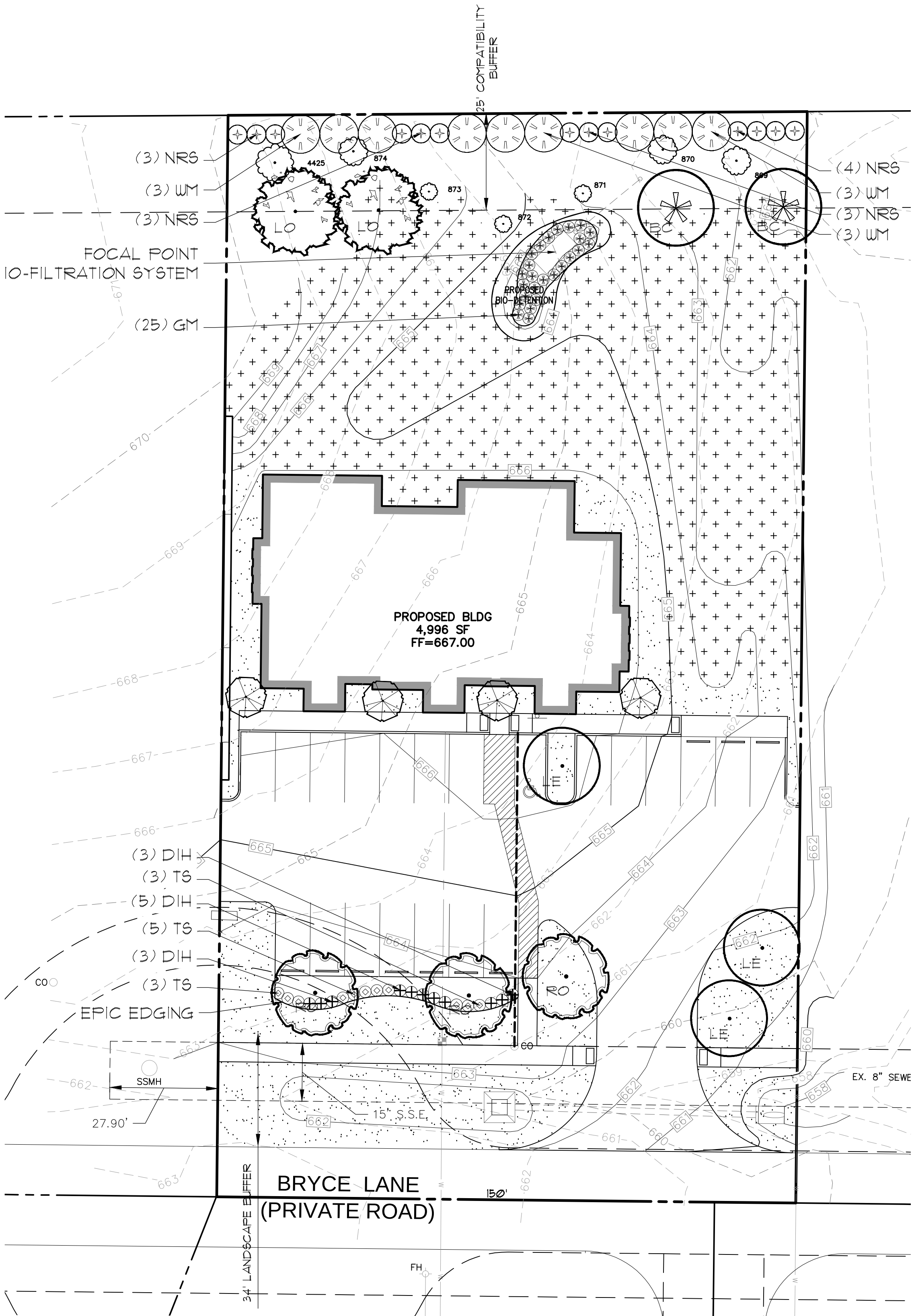
PLANT LIST

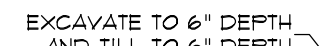
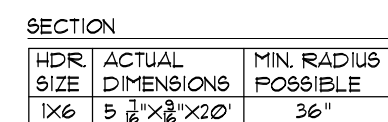
QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	MIN. HT.	SPACE	REMARKS
2	LIVE OAK	Quercus virginiana	3" cal.	10'-12'	Per Plan	Single Trunk
3	RED OAK	Quercus shumardii	3" cal.	10'-12'	Per Plan	Single Trunk
3	LACEBARK ELM	Ulmus parvifolia	3" cal.	10'-12'	Per Plan	Single Trunk
2	BALD CYPRESS	Taxodium distichum	3" cal.	10'-12'	Per Plan	Single Trunk
4	CRAPEMYRTLE	Lagerstroemia indica	30gal.	7'-8'	Per Plan	Full
9	WAX MYRTLE	Morella cerifera	15gal.	5'-6'	Per Plan	Full
13	NELLIE R. STEVENS	Ilex x 'Nellie R. Stevens'	15gal.	5'-6'	Per Plan	Full
11	TEXAS SAGE	Leucophyllum frutescens 'Compacta'	5gal.	30"	3'-0"	Full
11	DWARF INDIAN HAWTHORN	Raphiolepis indica	3gal.	30"	3'-0"	Full
25	GULF MUHLY	Muhlenbergia capillaris	3gal.	24"	Per Plan	Full

LEGEND	
	(LO) LIVE OAK
	(RO) RED OAK
	(LE) LACEBARK ELM
	(BC) BALD CYPRESS
	(CM) CRAPEMYRTLE
	(WM) WAX MYRTLE
	(NRS) NELLIE R. STEVENS
	(TS) TEXAS SAGE
	(DIH) DWARF INDIAN HAWTHORN
	(GM) GULF MUHLY
	BERMUDA SOD
	BERMUDA HYDRO-MULCH

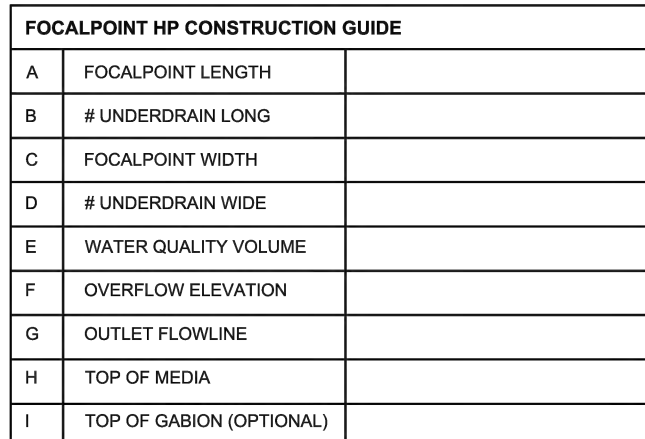
LANDSCAPE NOTES:
Town of Flower Mound

- Plant material shall be measured and sized according to the latest edition of the Texas Nursery and Landscape Association (TNLA) grades and standards.
- All plant beds shall be top-dressed with a minimum of 3 inches of hardwood or other mulch.
- Trees shall be planted at least 4 feet from utility line, curb, walk, fire connection, and outside all utility easements.
- Trees overhanging walks and parking shall have a minimum clear trunk height of 7 ft.
- A visibility triangle must be provided at all intersections. Shrubs are not to exceed 30 inches in height. Trees shall have a minimum clear trunk height of 9 feet.
- The owner, tenant, and/or their agents, if any, shall be jointly and severally shall be responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days unless otherwise approved in writing by the Town of Flower Mound.
- Before construction, landscape contractor and general contractor shall verify and locate all existing utilities in areas of excavation.
- Please refer to all landscape and irrigation specifications.
- All landscape beds and turf areas to be separated with edging.
- All landscape beds to be 6" below finished floor.
- All hydromulch or sod areas to be brought to +/- 1/4" by site grading contractor. Landscape contractor to bring all areas to final grade and remove all clod, rocks or debris >1" in diameter.
- All landscape to be 100% irrigated. All Irrigation within Drip lines of existing trees to be hand dug, and line to be installed in a radial fashion toward the trunk.
- Please note that the permeable areas under the drip line of specimen and protected trees should be left at natural grade. No cutting or filling are to occur in these areas.
- All areas of grading disturbance are to have grass reestablished at 75% coverage prior to letter of acceptance from the Town of Flower Mound. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.




$$\left(\frac{1}{4}\right)^{1/4} = 1$$

$$\left(\frac{1}{2}\right)^{1/2} = 1'$$


NTS



(4) NTS



FOCAL POINT HP SECTION X-X

TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT
WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS OR CONTACT
CONVERGENT WATER TECHNOLOGIES AT 800.771.5428

CONERGENT
WATER TECHNOLOGIES

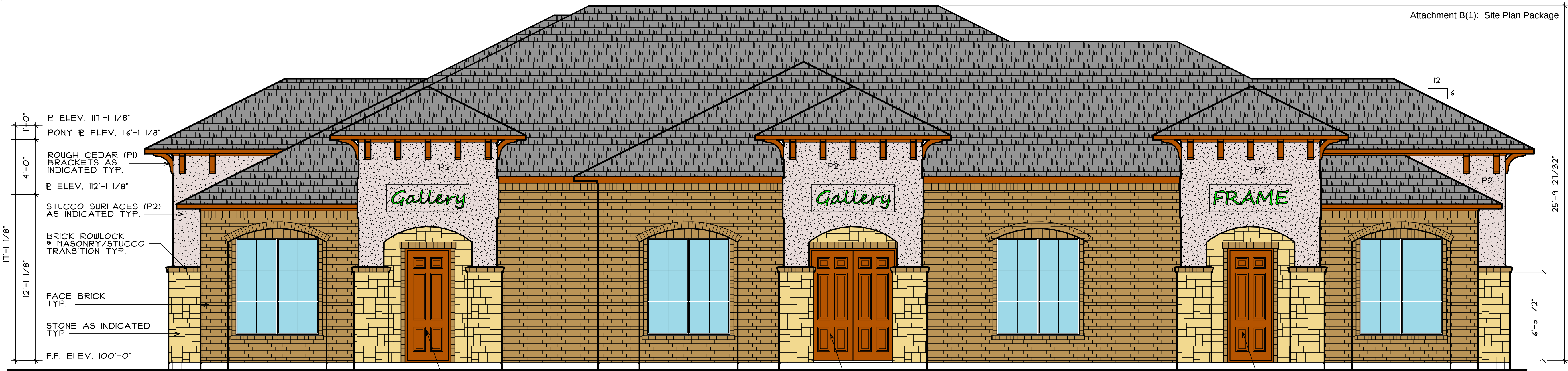
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION.
PURPOSED LANDSCAPE ARCHITECT
RON STEWART LANDS
RON STEWART LANDS
DATED 2/16/2018

Drawn By: MH
Date: 12/04/2017
Scale: 1"=20'
Revisions:
01/19/2018
02/16/2018

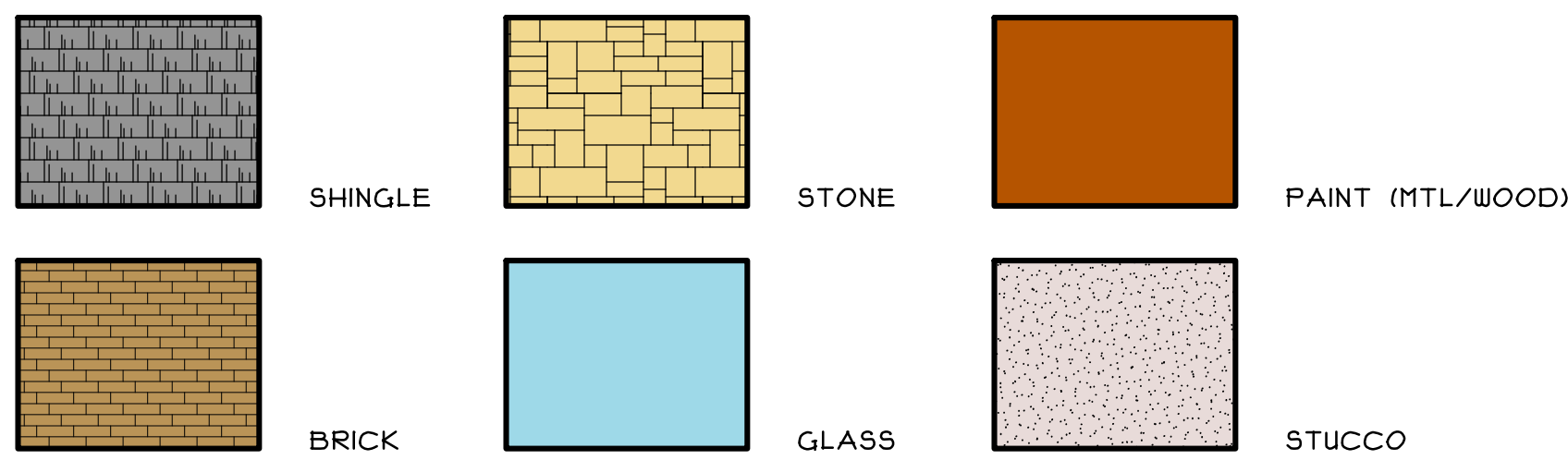
17263

L1.2

OWNER/DEVELOPER
STEVENS VENTURES LLC
JUSTIN ROAD
FLOWER MOUND, TEXAS 75071
Ph. 214-763-1648
Contact: BEN STEVENS

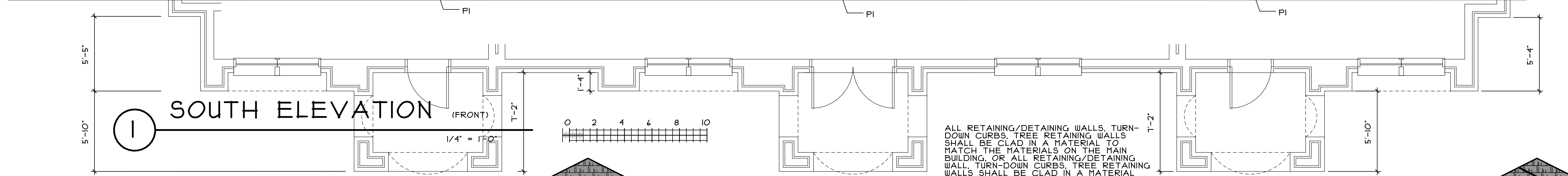


EXTERIOR FINISH MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	PRODUCT NUMBER	DESCRIPTION
BRICK	ACHE	GRAY WOLFE BLADE CUT	BRICK
STONE	CORONADO STONE	IDAHO DRY STACK	STONE
STUCCO	TBD	-	COLOR (P2)
PAINT P1	SHERWIN WILLIAMS	SW 1048 URBAN BRONZE	DOORS, TRIM, FACIA
PAINT P2	SHERWIN WILLIAMS	SW 2822 DOWNING SAND	STUCCO
COMP. SHINGLE	GAF	TIMBERLINE - WEATHER WOOD	SHINGLES
WDW/DOOR	TBD	-	WDW STD. MANUF. COLOR/DOOR (P1)

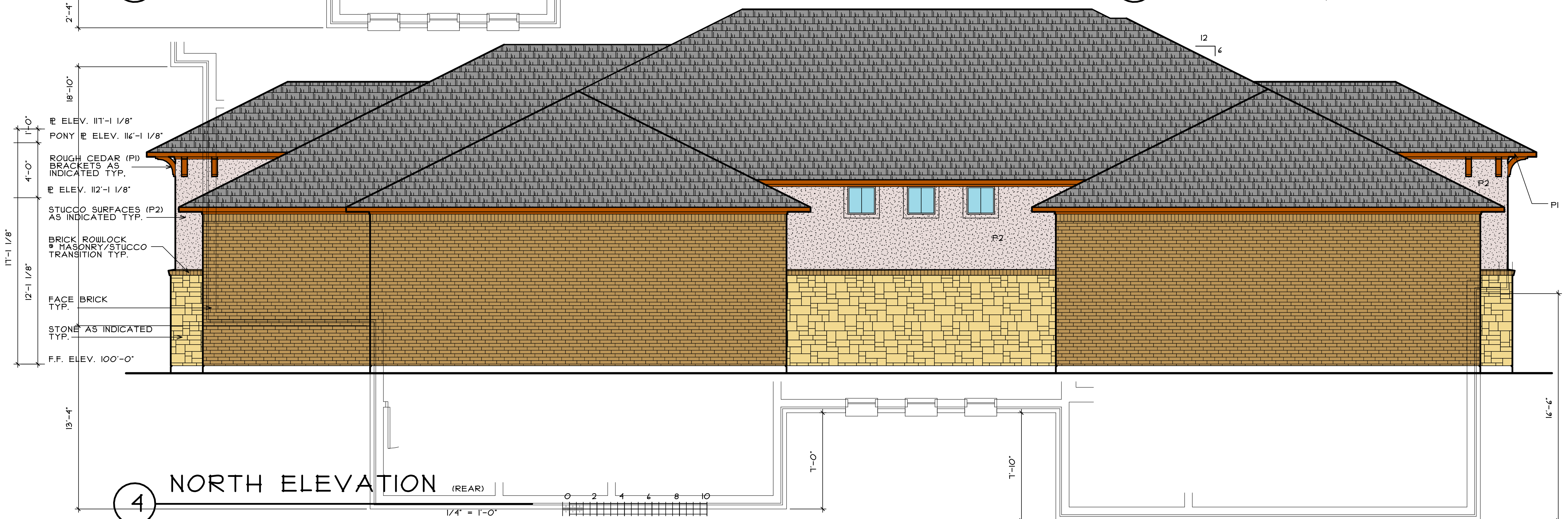
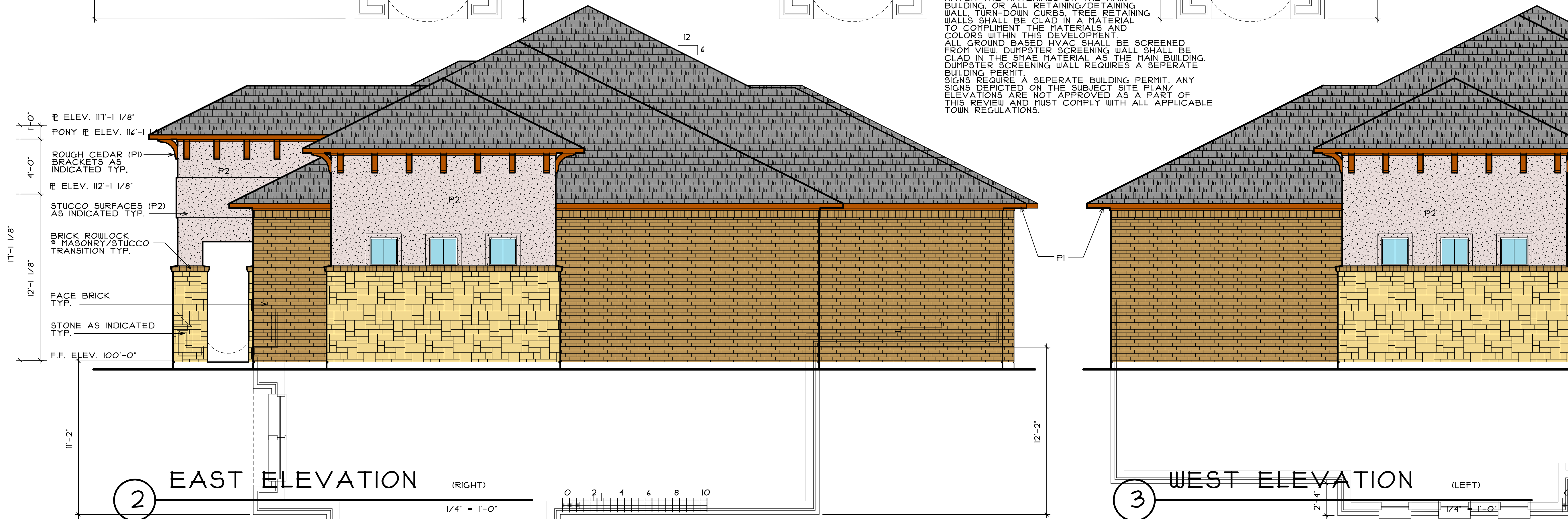


NOTE: ALL MATERIALS SHALL HAVE COLOR BOARDS/SAMPLES PROVIDED

FACADE FOOTAGES		NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1,324 S.F.	1,408 S.F.	1,499 S.F.	1,411 S.F.	1,465 S.F.
2. FACADE S.F. (EXCL./OPENINGS)	1,324 S.F.	1,416 S.F.	1,493 S.F.	1,465 S.F.	1,465 S.F.
3. DOORS + WINDOWS S.F.	0 S.F.	232 S.F.	4 S.F.	4 S.F.	4 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	1,394 S.F./100%	1,476 S.F./100%	1,493 S.F./100%	1,465 S.F./100%	1,465 S.F./100%
BRICK S.F.	821 S.F./62%	591 S.F./50%	553 S.F./46%	552 S.F./41%	552 S.F./41%
STONE S.F.	239 S.F./18%	313 S.F./21%	258 S.F./22%	249 S.F./21%	249 S.F./21%
STUCCO S.F.	264 S.F./20%	212 S.F./23%	382 S.F./32%	310 S.F./32%	310 S.F./32%
TILT WALL S.F.	N/A	N/A	N/A	N/A	N/A
5. SECONDARY MASONRY TOTALS (MAX. 20%)	N/A	N/A	N/A	N/A	N/A
EPIS S.F.	N/A	N/A	N/A	N/A	N/A
HARDPLANK S.F.	N/A	N/A	N/A	N/A	N/A
DETAIL ANY ADDITIONAL S.F.	N/A	N/A	N/A	N/A	N/A



ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING, OR ALL RETAINING/DETAINING WALL, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT. ALL GROUND BASED HVAC SHALL BE SCREENED FROM VIEW. DUMPSTER SCREENING WALL SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING. DUMPSTER SCREENING WALL REQUIRES A SEPERATE BUILDING PERMIT. SIGNS REQUIRE A SEPERATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.



VICINITY MAP

NOTICE COPYRIGHT

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL
02/16/2018 JAMES KIRALY #14342

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS IN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED, DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRESENTED, CAN LEGALLY RESULT IN CESSION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO JAMES KIRALY ARCHITECTURE.

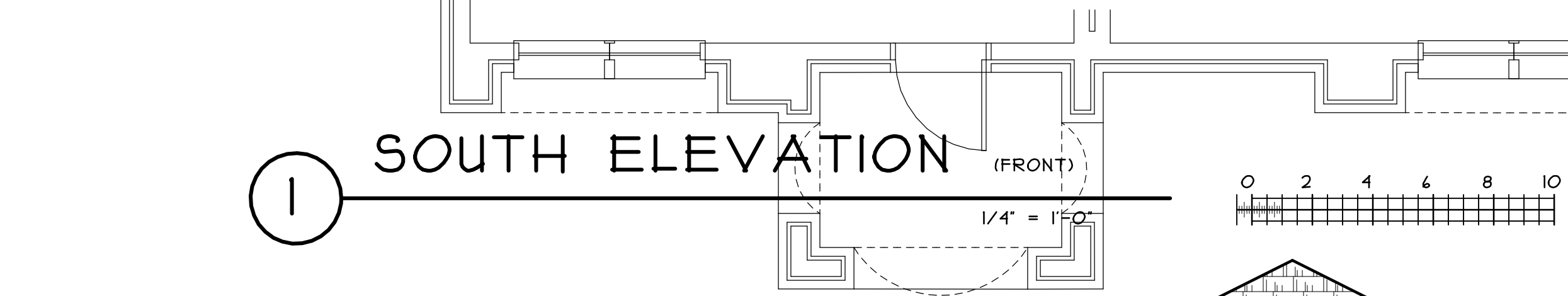
A NEW RETAIL SHELL
FOR: **BEN STEVENS**
PRYCE LANE, LOT 2, JERNIGAN HEIGHTS
FLOWER MOUND, TEXAS

James Kiraly Architecture PLLC
641 Gladness, Rhome, Texas 76078-4314
Tel: 310 638-2667

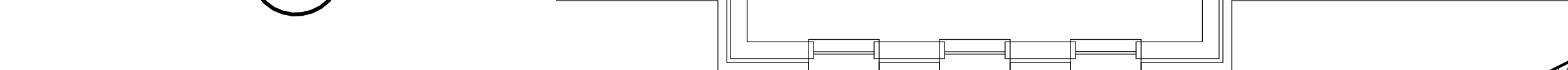
DRAWN BY: JACK JOB. #: 14009
REV: _____
DATE: 02/16/18
SHEET 6 OF 1
ELEVATIONS
A5C



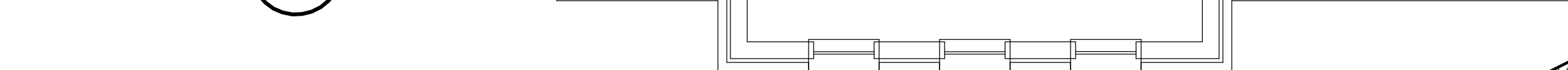
1 SOUTH ELEVATION (FRONT)



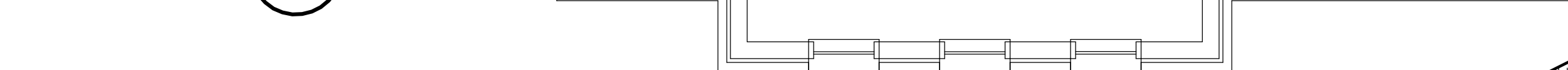
2 EAST ELEVATION (RIGHT)



3 WEST ELEVATION (LEFT)

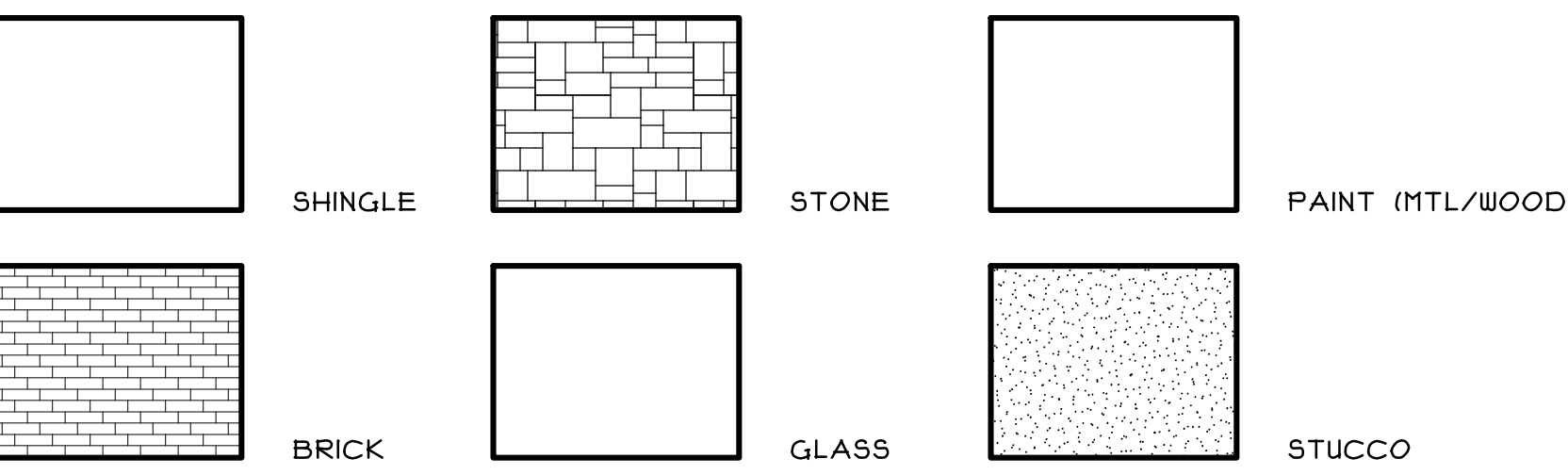


4 NORTH ELEVATION (REAR)



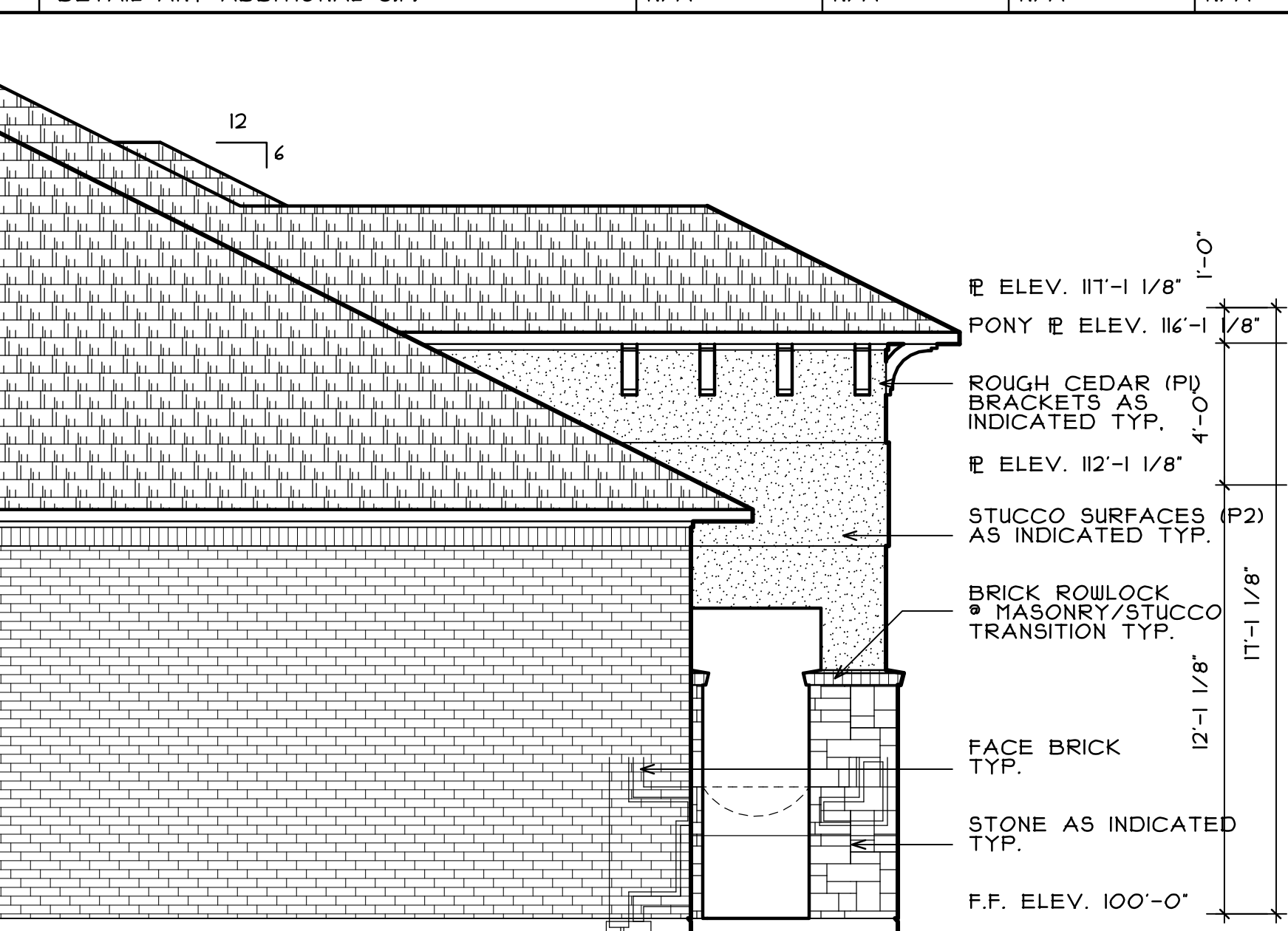
ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING, OR ALL RETAINING/DETAINING WALL, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT. ALL GROUND BASED HVAC SHALL BE SCREENED FROM VIEW. DUMPSTER SCREENING WALL SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING. DUMPSTER SCREENING WALL REQUIRES A SEPERATE BUILDING PERMIT. SIGNS REQUIRE A SEPERATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.

EXTERIOR FINISH MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	PRODUCT NUMBER	DESCRIPTION
BRICK	ACHE	GRAY WOLFE BLADE CUT	BRICK
STONE	CORONADO STONE	IDAHO DRY STACK	STONE
STUCCO	TBD	-	COLOR (P2)
PAINT P1	SHERWIN WILLIAMS	SW 1048 URBAN BRONZE	DOORS, TRIM, FACIA
PAINT P2	SHERWIN WILLIAMS	SW 2822 DOWNING SAND	STUCCO
COMP. SHINGLE	GAF	TIMBERLINE - WEATHER WOOD	SHINGLES
WDW/DOOR	TBD	-	WDW STD. MANUF. COLOR/DOOR (P1)

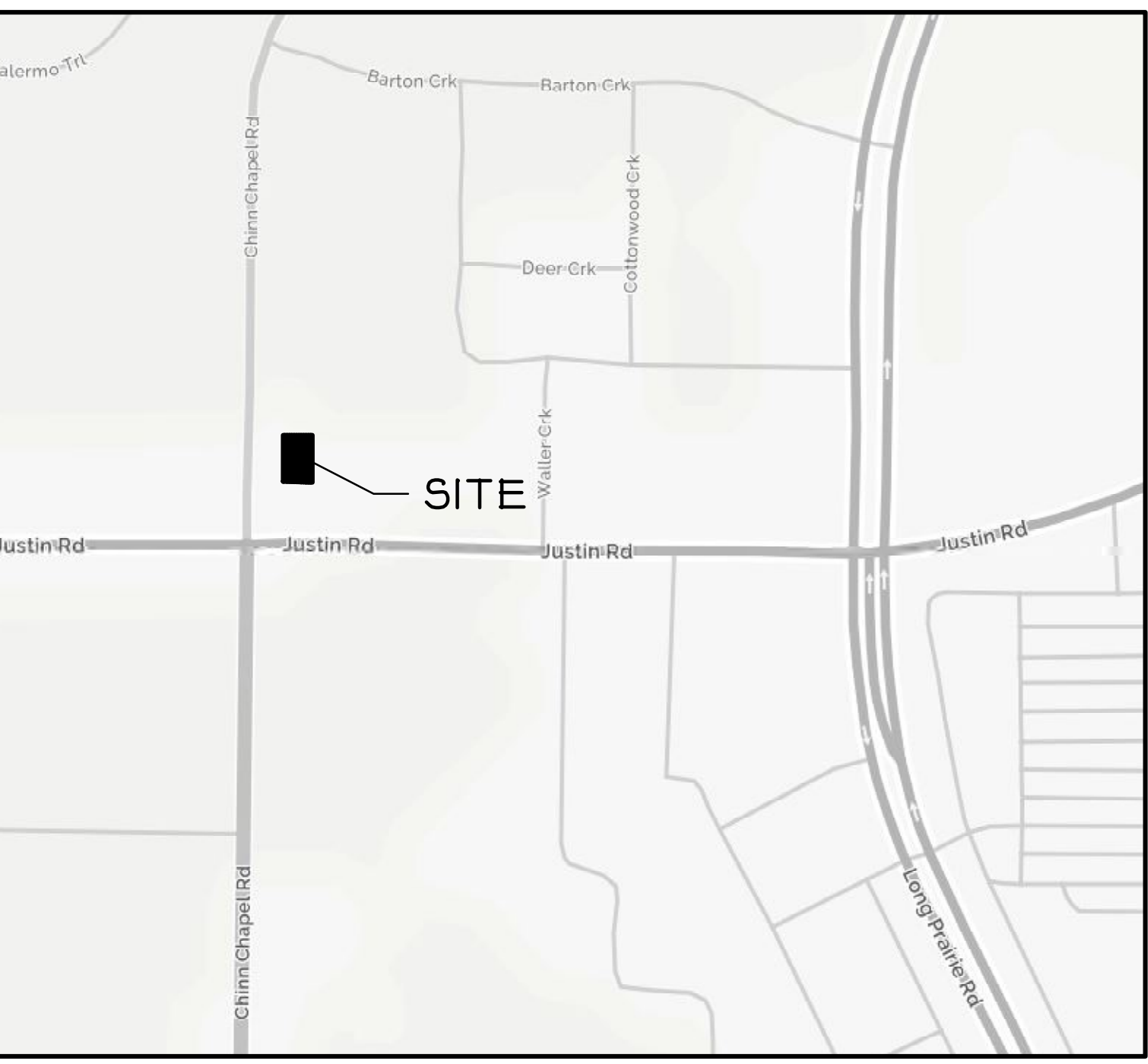


NOTE: ALL MATERIALS SHALL HAVE COLOR BOARDS/SAMPLES PROVIDED

FACADE FOOTAGES					
		NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.		1,324 S.F.	1,408 S.F.	1,499 S.F.	1,411 S.F.
2. FACADE S.F. (EXCL./OPENINGS)		1,324 S.F.	1,416 S.F.	1,493 S.F.	1,465 S.F.
3. DOORS + WINDOWS S.F.		0 S.F.	232 S.F.	4 S.F.	4 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%)		1,394 S.F./100%	1,476 S.F./100%	1,493 S.F./100%	1,465 S.F./100%
BRICK S.F.		821 S.F./62%	591 S.F./50%	553 S.F./46%	552 S.F./41%
STONE S.F.		239 S.F./18%	313 S.F./21%	258 S.F./22%	249 S.F./21%
STUCCO S.F.		264 S.F./20%	212 S.F./23%	382 S.F./32%	310 S.F./32%
TILT WALL S.F.		N/A	N/A	N/A	N/A
5. SECONDARY MASONRY TOTALS (MAX. 20%)		N/A	N/A	N/A	N/A
EPIS S.F.		N/A	N/A	N/A	N/A
HARDPLANK S.F.		N/A	N/A	N/A	N/A
DETAIL ANY ADDITIONAL S.F.		N/A	N/A	N/A	N/A



VICINITY MAP



NOTICE COPYRIGHT

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL
02/16/2018 JAMES KIRALY #14342

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A NEW RETAIL SHELL
FOR: BEN STEVENS
PRYCE LANE, LOT 2, JERNIGAN HEIGHTS
FLOWER MOUND, TEXAS

James Kiraly Architecture
PLLC
641 Gladness, Rhome, Texas 76078-4314
Tel: 310 (817) 638-2667 Egn: 2:20

DRAWN BY: JACK JOB. #: 14009
REV: _____
DATE: 02/16/18
SHEET 6 OF 1
ELEVATIONS
A5C



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: March 12, 2018

FROM: Richard Brown, Senior Planner

ITEM: **Public Hearing to consider a request for a Specific Use Permit No. 451 (SUP17-0008 - Wichita Trail Cell Tower) to permit a communication tower. The property is generally located north of Wichita Trail and east of Skillern Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Specific Use Permit (SUP-451) to construct a 130-foot-tall communication tower on a 1,617-square-foot internal parcel (land lease from property owner) of land currently zoned Agricultural District (A). Section 98-252 of the Land Development Regulations requires Town Council approval of an SUP to construct a Commercial Communication Tower within the Agricultural District.

The concept plan depicts the 130-foot-tall, self-support tower, associated equipment cabinet, and an eight-foot-tall masonry enclosure to be constructed within the above referenced internal parcel, which is a part of the 4.38-acre tract. The property is developed with a church (St. Nicholas Episcopal Church), outside amenity areas, and surface parking. Additionally, a mausoleum permitted under SUP-3 exists on site. As depicted on the attached elevations, the design will create a stealth tower, in that all antenna infrastructure is located internal to the cross.

The conceptual landscape plan provides for required screening for the proposed use. The conceptual elevations will provide for a stone enclosure with materials to match those on the main church building. The tower facades and cross will be finished in earth tones that are compatible with paint finishes utilized on the various buildings on the property.

Section 98-977 of the Code of Ordinances contains additional provisions for the construction of commercial communication towers (see below). All 13 requirements

either have been met or will be met through the permitting processes of the Town, the Federal Communications Commission (FCC), the Federal Aviation Administration (FAA), and any other governing agencies.

Sec. 98-977. - Communication tower, commercial.

A commercial communication tower shall comply with the following standards:

- (1) Height. The height of commercial communication towers shall be measured from the average grade of the ground adjacent to the base to the highest point on the structure. If located on a building, the height of the tower shall include the height of the building. Commercial communication towers shall not be subject to the height regulations of the district in which they are located, provided that they shall not encroach into or through any established public or private airport approach path as established by the Federal Aviation Administration.
- (2) Setbacks. The principal support structure of all commercial communication towers shall conform to the minimum setback standards of the district in which the use is located. In addition, the following setback standards shall apply to all commercial communication towers:
 - a. Commercial communication towers shall be located so as to provide a minimum distance from the tower to all property lines equal to 20 percent of the height of the tower.
 - b. Commercial communication towers shall be set back a minimum of 50 feet from any existing or planned street right-of-way line.
 - c. Commercial communication towers shall be set back a minimum of 50 feet from any property line adjacent to a residential district.
- (3) Residential districts. When a commercial communication tower is proposed in or adjacent to a residential district, it shall be demonstrated that existing or approved commercial communication towers within the proposed service area cannot accommodate the equipment planned to be located on the proposed commercial communications tower. Factors to be considered in evaluating the practicality of siting a tower would include structural capacity, RF interference, geographic service area requirements, and cost (if fees and costs for sharing would exceed the cost of the new tower).
- (4) Anchor location. Commercial communication tower peripheral supports and guy anchors may be located within required yard setbacks, provided that they shall be located entirely within the boundaries of the property on which the tower is located and shall be located no closer than five feet from any property line and no closer than 20 feet from a property line if the tower is adjacent to a single-family residential district or residential uses. All commercial communication tower supports and peripheral anchors shall be set back a minimum of 50 feet from any existing or planned street right-of-way line.
- (5) Location of accessory structures. All structures accessory to a commercial communication tower, other than peripheral guy anchors, shall conform to the setback standards for the district in which the use is located.
- (6) Fencing. A solid fence or wall of brick, stone or approved masonry construction not less than eight feet in height from finished grade shall be constructed around each commercial communication tower and around each guy anchor, if used. Access to the tower shall be through a locked gate. Barbed wire shall be used along the top of the fence or wall if it is necessary to preclude unauthorized access to the tower.

- (7) High voltage signs. If high voltage is necessary for the operation of the commercial communication tower and, it is present in a ground grid or in the tower, signs located every 20 feet and attached to the fence or wall shall display in large bold letters the following: "HIGH VOLTAGE - DANGER."
- (8) Landscaping and screening. Commercial communication towers shall comply with the screening requirements of section 82-301 of this Code, residential compatibility standards, subject to the following provisions:
 - a. The landscape screen or wall shall be placed around the perimeter of the tower and any accessory structures, including guy anchors, provided that the screening requirement shall be waived when the base of the tower is not visible from adjacent lots or rights-of-way. Landscaping shall be placed on the outside of fences.
 - b. The requirements of section 82-303 of this Code, compatibility setback, shall not apply to commercial communication towers.
- (9) Additional uses permitted on lot. Commercial communication towers may be located on lots containing another principal use, and may occupy a leased parcel on a lot meeting the minimum lot size requirement of the district in which it is located. Towers and their associated equipment shall be separated from other structures on the lot by a minimum distance of 50 feet.
- (10) Aircraft hazard. Commercial communication towers shall not encroach into or through any established public or private airport approach path as established by the Federal Aviation Administration.
- (11) Shared use. To encourage shared use, all applicants for commercial communication towers shall issue and advertise for a two-week period a request for information (RFI) to obtain information from potential lessors.
- (12) Removal of obsolete facilities. All obsolete or unused commercial communication towers shall be removed within 12 months of cessation of use.
- (13) Radiation standards. A commercial communication tower shall comply with current Federal Communications Commission standards for nonionizing electromagnetic radiation (NIER).

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Specific Use Permit requests. At the time this report was written, staff had received one piece of correspondence in support of the request.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

B. Application Details

1. SUP Package

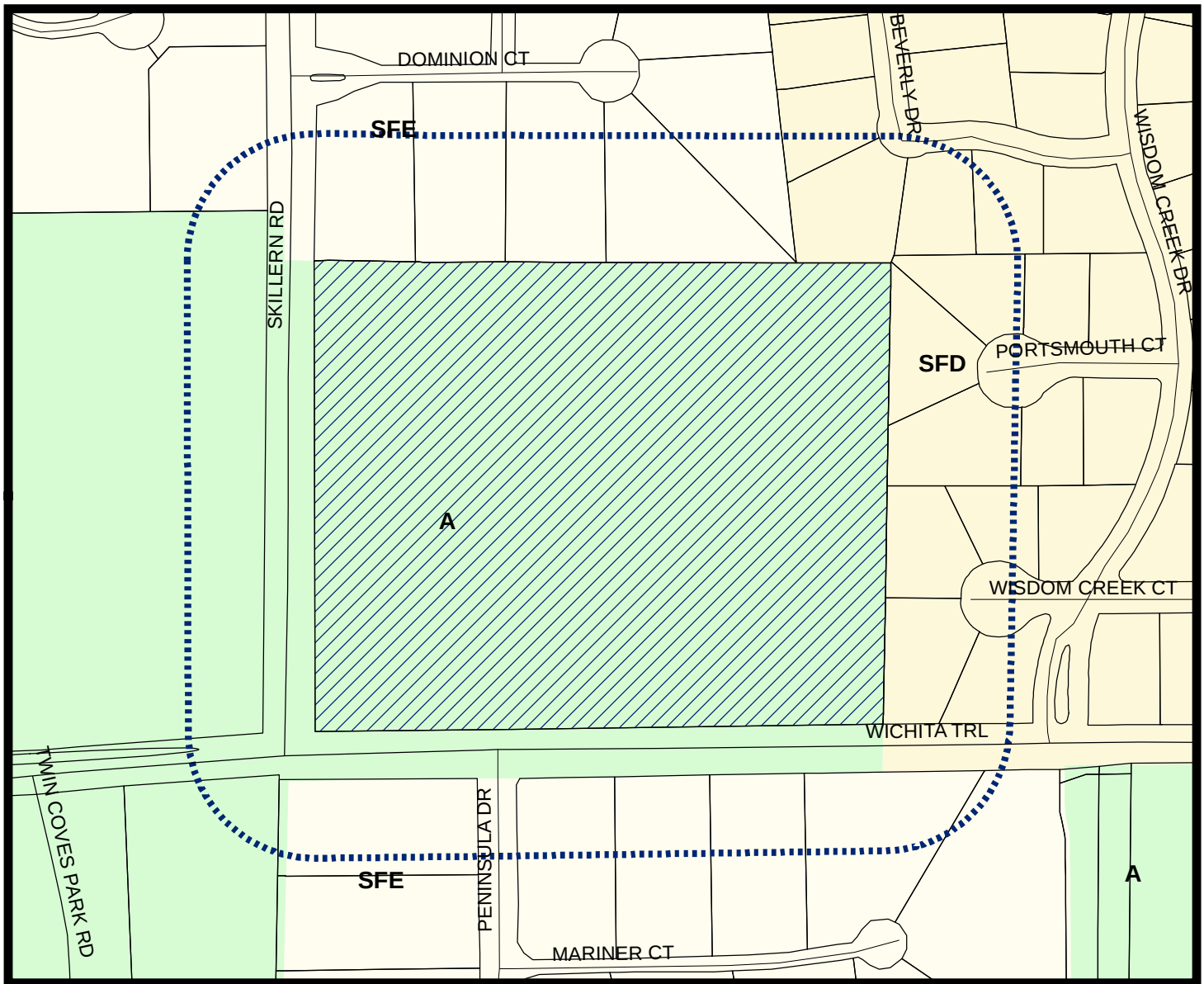
C. Correspondence

1. Correspondence in Support



Vicinity Map

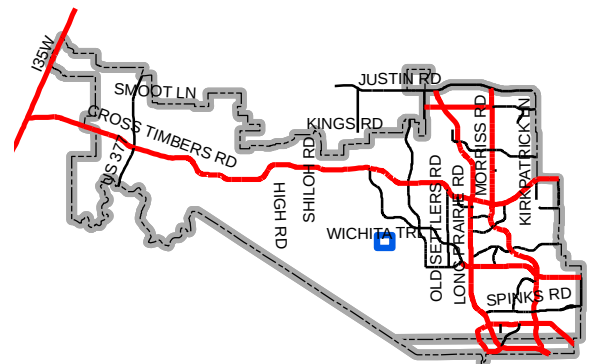
Reference Project: SUP17-0008



LEGEND

- Agriculture
- Single Family Density
- Single Family Estate

- Subject Property
- 200 ft Notification Buffer around Property



Map Location



Letter of Intent.

Verizon Wireless Communication Tower and Co-location

4800 Wichita Trail, St. Nicholas Church, Flower Mound, TX

Specific Use Permit for a Communication Tower, Commercial

Verizon Wireless is requesting a Specific Use Permit (SUP) for a Communication Tower to allow the construction a stealth communication tower with a maximum height of 130 feet. The proposed tower is to be located on the premises of St. Nicholas Episcopal Church at 4800 Wichita Trail (2700 Skillern Road). The proposed tower and associated equipment area will allow the co-location of up to three wireless providers.

The existing church site is approximately 16 acres and is zoned an A Agriculture district. The site is developed with a church and associated mausoleum. The Agriculture district allows a communication tower, commercial with an SUP. The proposed tower will be sited approximately 250 feet south of the single family homes to the north that back up to the church and approximately 200 feet from the church/private school located across Skillern Road to the west.

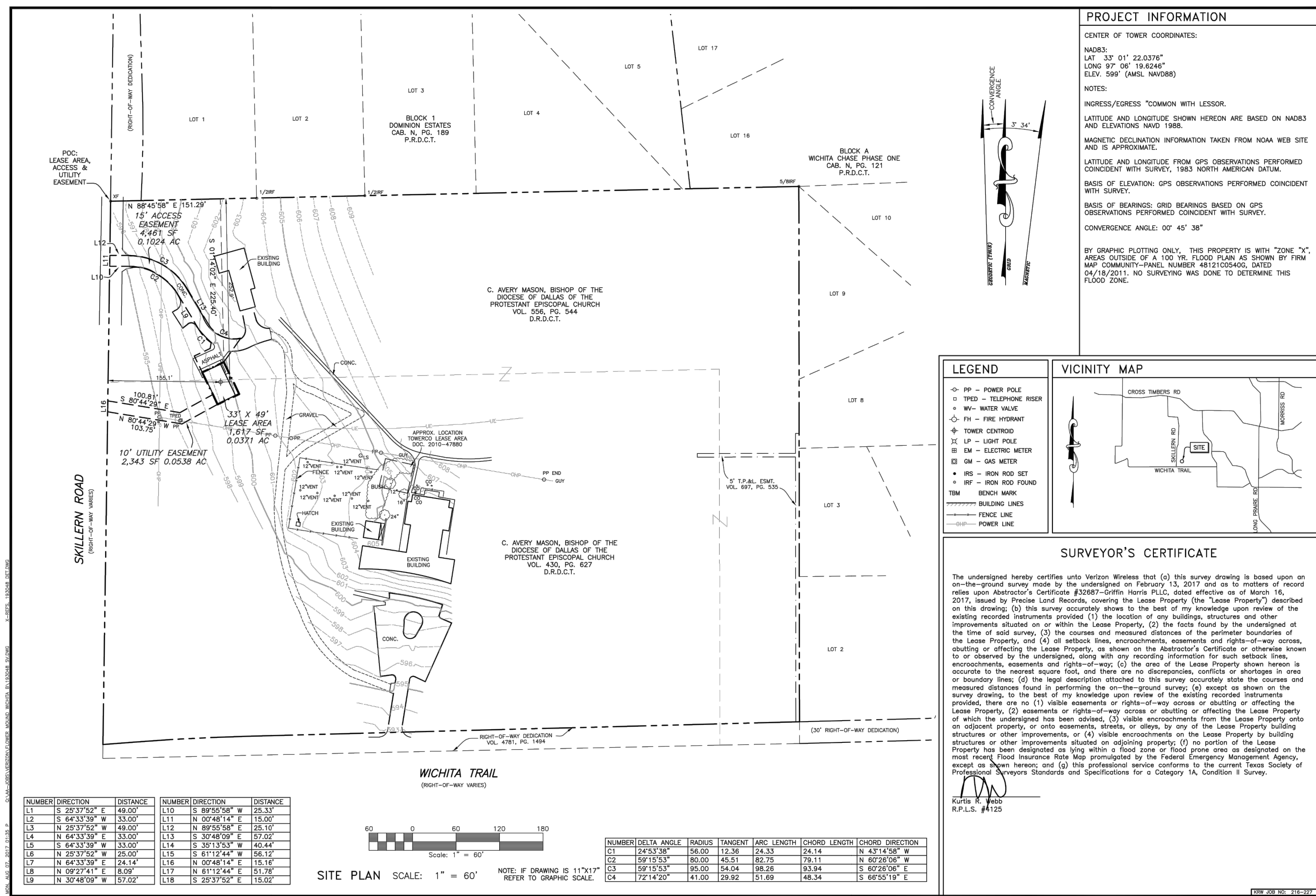
The tower will be a 'stealth' tower with a cross symbol located on the top. The height is dictated by the City, and Verizon's, desire to allow co-location of other wireless providers. Verizon has reached out to the other providers in the area and are working with T-Mobile to locate on the tower and in the equipment area. There will still be available space on the tower and the ground for one additional provider.

The proposed equipment yard will be surrounded by an eight foot in height masonry wall which will be faced with stone. Landscaping will also be provided to soften the effect of the stone wall. With the site containing 16 acres the location can be placed such that existing trees located between the tower and the existing homes to the north can remain in place.

A handwritten signature in blue ink, appearing to read 'Karl A. Crawley'.

Karl A Crawley, President

MASTERPLAN, Authorized Representative for Verizon Wireless



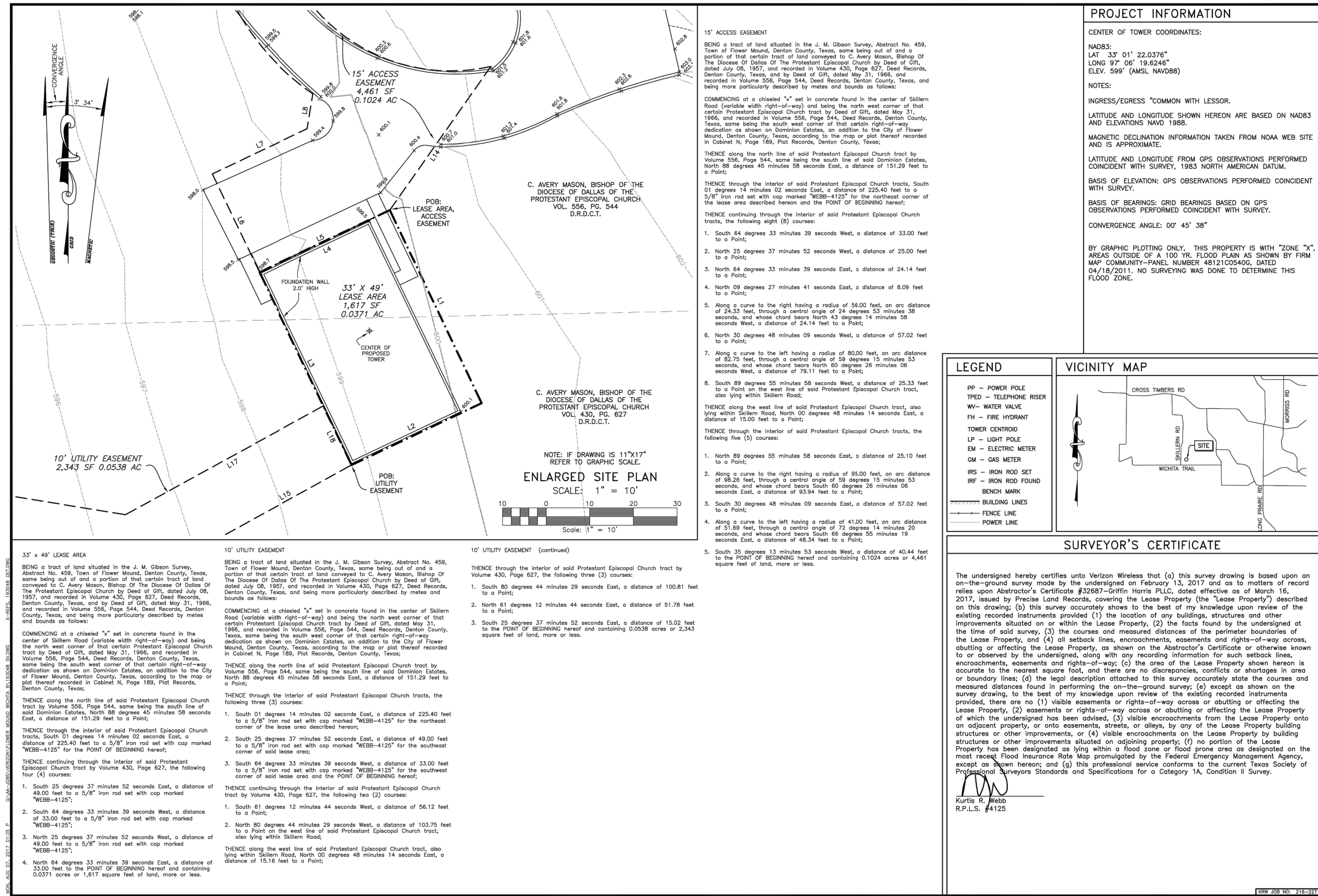
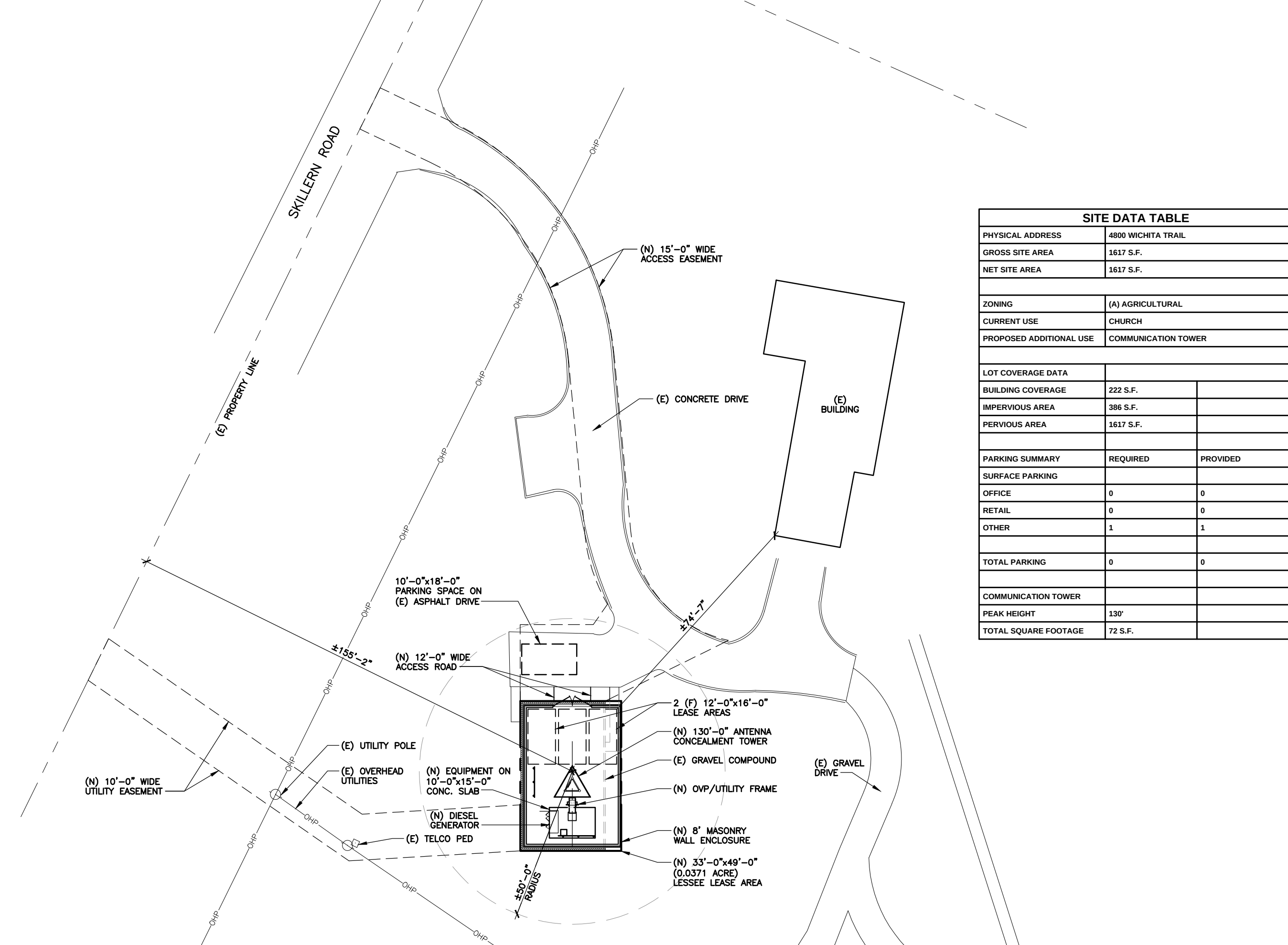
SURVEY

SITE NAME: FLOWER MOUND WICHITA

SITE NUMBER: 193048

FLOWER MOUND, TX 75022

SV-1



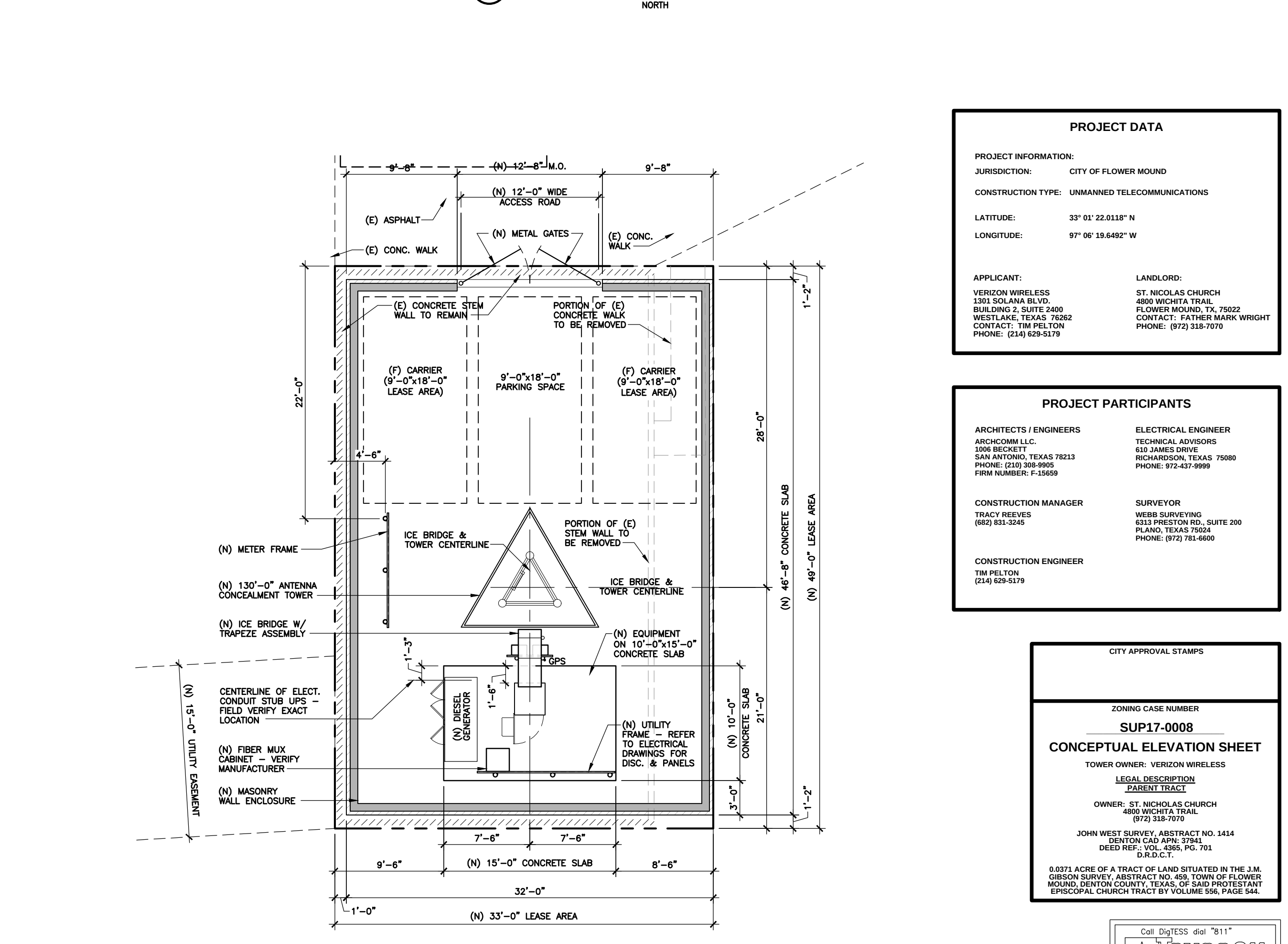
SURVEY

SITE NAME: FLOWER MOUND WICHITA

SITE NUMBER: 193048

FLOWER MOUND, TX 75022

SV-2



(N) = NEW LESSEE
(E) = EXISTING
(F) = FUTURE

2 SURVEY

SCALE: 1"=10'-0"

4 DETAIL SITE PLAN

SCALE: 1/8" = 1'-0"

verizon

FLOWER MOUND WICHITA

4800 WICHITA TRAIL
FLOWER MOUND, DENTON COUNTY, TEXAS 75022
(193048)

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

02.26.18



EXP. DATE: 06/30/18



1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

TBPE NO. F-15659

SHEET TITLE

CONCEPTUAL
SITE PLAN

SHEET HISTORY

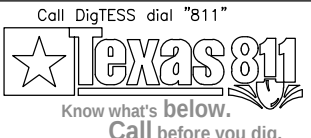
02.26.18 PLANNING & ZONING SET

SITE DATA TABLE	
PHYSICAL ADDRESS	4800 WICHITA TRAIL
GROSS SITE AREA	1617 S.F.
NET SITE AREA	1617 S.F.
ZONING	(A) AGRICULTURAL
CURRENT USE	CHURCH
PROPOSED ADDITIONAL USE	COMMUNICATION TOWER
LOT COVERAGE DATA	
BUILDING COVERAGE	222 S.F.
IMPERVIOUS AREA	386 S.F.
PERVIOUS AREA	1617 S.F.
PARKING SUMMARY	
SURFACE PARKING	REQUIRED PROVIDED
OFFICE	0 0
RETAIL	0 0
OTHER	1 1
TOTAL PARKING	0 0
COMMUNICATION TOWER	
PEAK HEIGHT	130'
TOTAL SQUARE FOOTAGE	72.5 S.F.

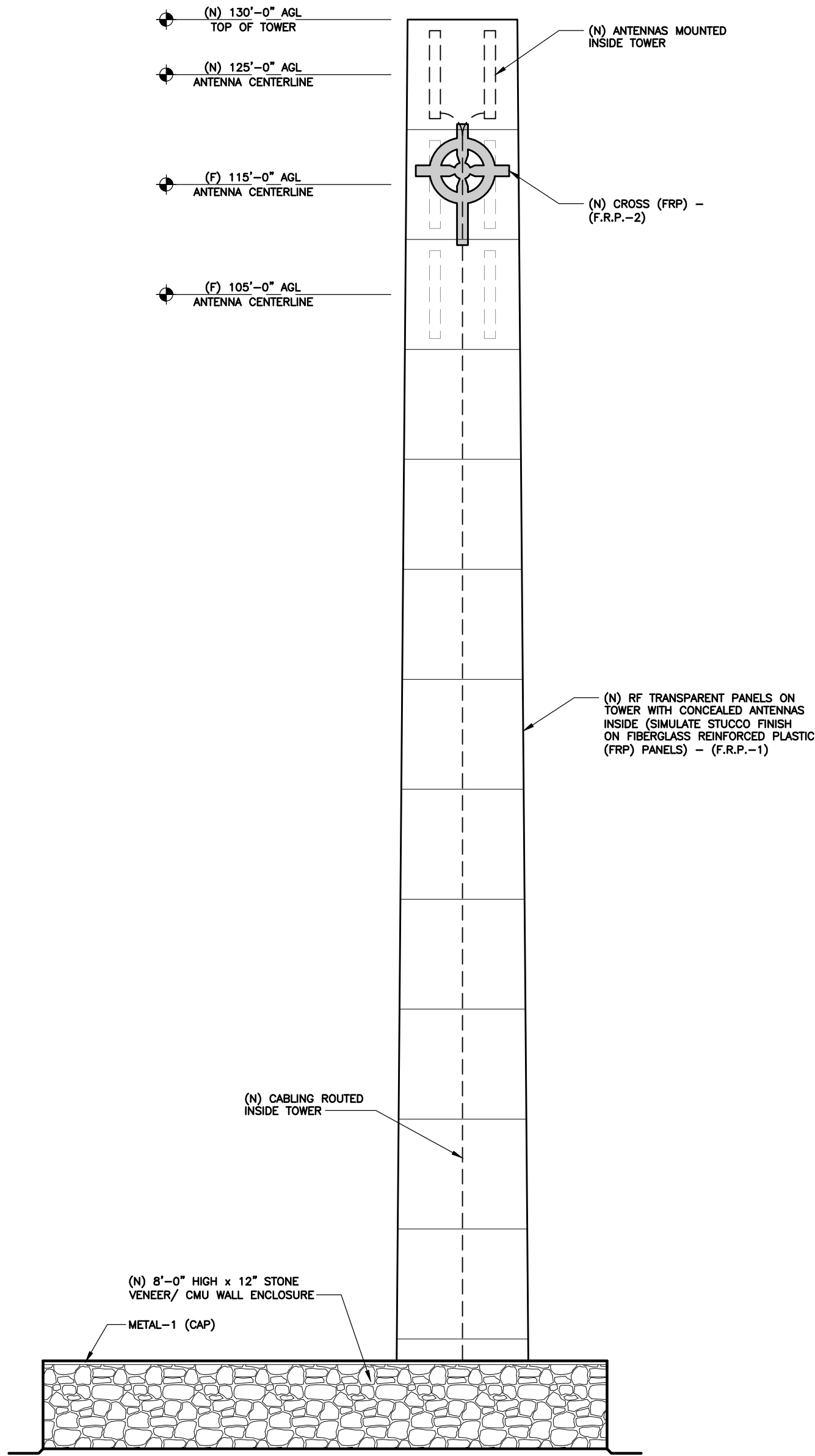
PROJECT DATA	
PROJECT INFORMATION:	CITY OF FLOWER MOUND
JURISDICTION:	CITY OF FLOWER MOUND
CONSTRUCTION TYPE:	UNMANNED TELECOMMUNICATIONS
LATITUDE:	33° 01' 22.037" N
LONGITUDE:	97° 08' 18.6248" W
APPLICANT:	VERIZON WIRELESS 3305 SOLANA BLVD. BUILDING 2, SUITE 2400 WESTLAKE, TEXAS 75022 CONTACT: FATHER MARK WRIGHT PHONE: (972) 818-7070
LANDLORD:	ST. NICOLAS CHURCH 4800 WICHITA TRAIL FLOWER MOUND, TX 75022 CONTACT: FATHER MARK WRIGHT PHONE: (972) 818-7070

PROJECT PARTICIPANTS	
ARCHITECTS / ENGINEERS	ELECTRICAL ENGINEER
ARCHCOMM, L.L.C.	TECHNICAL ADVISOR
1006 BECKETT SAN ANTONIO, TEXAS 78213 PHONE: (210) 308-9905 FIRM NUMBER: F-15659	630 JAMES DRIVE RICHARDSON, TEXAS 75080 PHONE: 972-437-9999 972-345-7050
CONSTRUCTION MANAGER	SURVEYOR
TRACY REEVES (817) 619-3445	WESLEY SURVEYING 5313 PRESTON RD., SUITE 200 PLANO, TEXAS 75024 PHONE: (972) 781-6600
CONSTRUCTION ENGINEER	
TIM PELTON (214) 619-5171	

CITY APPROVAL STAMPS	
ZONING CASE NUMBER	SUP17-0008
CONCEPTUAL ELEVATION SHEET	
TOWER OWNER: VERIZON WIRELESS	LEGAL DESCRIPTION
PASSET TRAIL	
OWNER: ST. NICOLAS CHURCH 4800 WICHITA TRAIL FLOWER MOUND, TX 75022	
JOHN WEST SURVEY, ABSTRACT NO. 1414 DEED REF: VOL. 486, PG. 701	
0.0371 ACRE OF A TRACT OF LAND SITUATED IN THE J.M. GIBSON SURVEY, ABSTRACT NO. 498, TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS, OF SAID TRACT, EPISCOPAL CHURCH TRACT BY VOLUME 596, PAGE 546.	



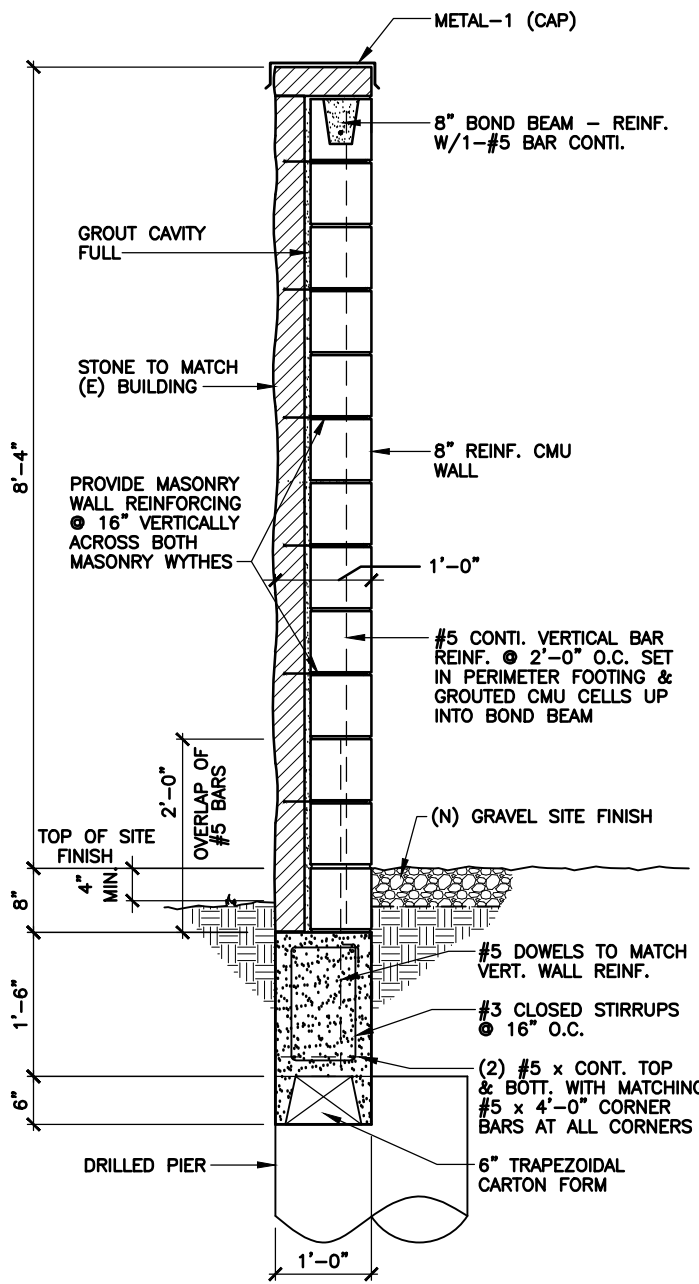
A1



1 SITE ELEVATION
SCALE: 3/32" = 1'-0"



2 SITE PHOTOGRAPH
PROPOSED WALL DESIGN

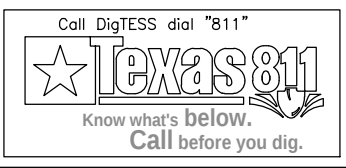


3 WALL SECTION
SCALE: 3/4" = 1'-0"

(N) = NEW LESSEE
(E) = EXISTING
(F) = FUTURE

EXTERIOR FINISH MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	COLOR	DESCRIPTION
METAL - 1	WELD SHOP - T.B.D.	SHERWIN WILLIAMS (SW 6132) RELIC BRONZE	METAL GATE PANELS
STONE	T.B.D. (NATIVE)	BROWN	STONE
F.R.P. - 1	STEALTHSITE.COM	SHERWIN WILLIAMS (SW 6085) SIMPLIFY BEIGE	RF TRANSPARENT PANEL
F.R.P. - 2	STEALTHSITE.COM	SHERWIN WILLIAMS (SW 6132) RELIC BRONZE	RF TRANSPARENT PANEL

CITY APPROVAL STAMPS	
ZONING CASE NUMBER SUP17-0008	
CONCEPTUAL ELEVATION SHEET	
TOWER OWNER: VERIZON WIRELESS	
LEGAL DESCRIPTION PARENT TRACT	
OWNER: ST. NICHOLAS CHURCH 4800 WICHITA TRAIL 8703 348-7059	
JOHN WEST SURVEY, ABSTRACT NO. 1414 DENTON CAD APP. 3788 DEED REF.: VOL. 486, PG. 701 G.R.O.C.T.	
0.0371 ACRE OF A TRACT OF LAND SITUATED IN THE 2.M. GIBSON SURVEY, ABSTRACT NO. 459, TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS, OF SAID PROTESTANT EPISCOPAL CHURCH TRACT BY VOLUME 596, PAGE 586.	



verizon

FLOWER MOUND WICHITA

4800 WICHITA TRAIL
FLOWER MOUND, DENTON COUNTY, TEXAS 75022
(193048)

APPROVAL SIGNATURES
LANDLORD
LEASING
CONSTRUCTION

02.13.18



EXP. DATE: 06/30/18



1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

TBPE NO. F-15659

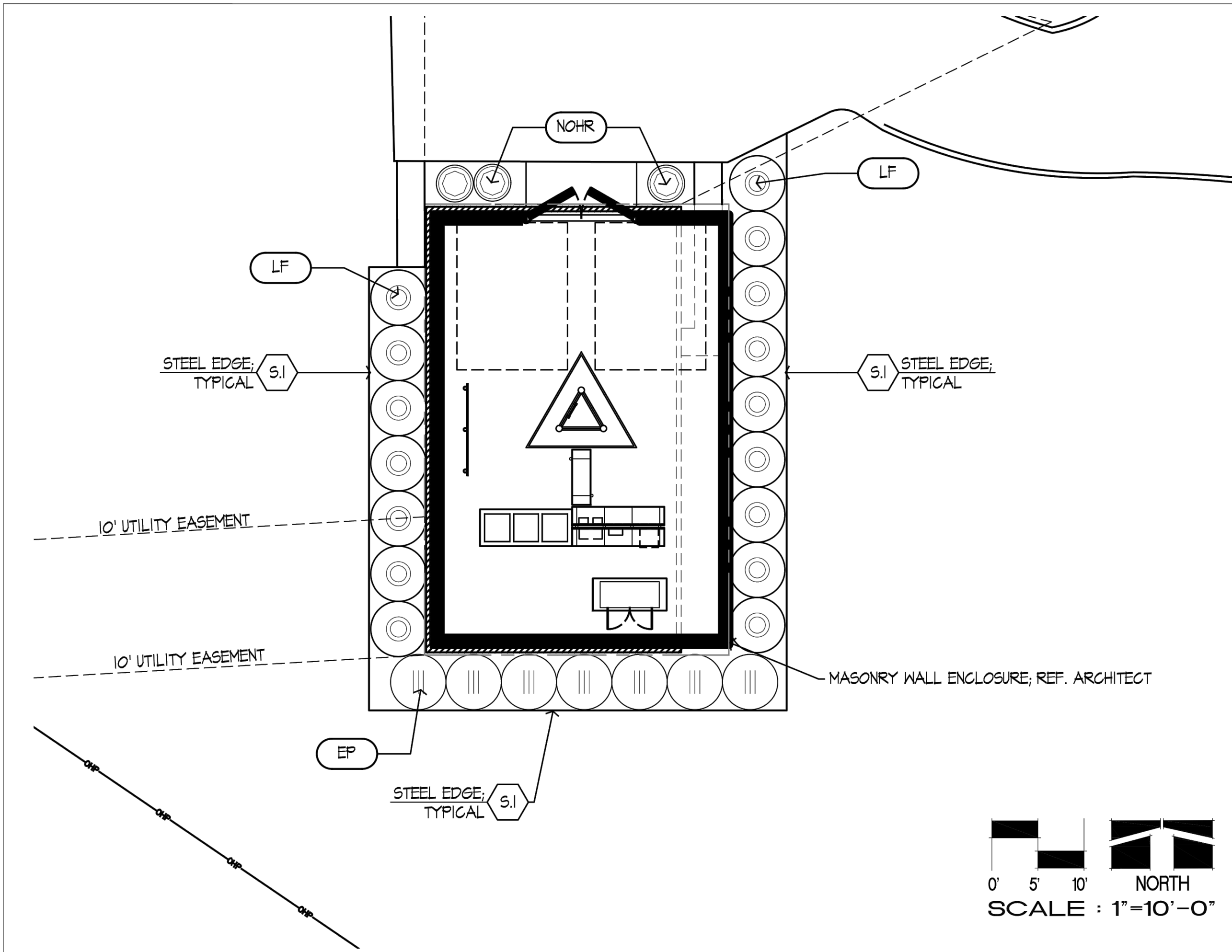
SHEET TITLE

CONCEPTUAL
ELEVATION SHEET

SHEET HISTORY

02.13.18 PLANNING & ZONING SET

A2



1 PLANTING PLAN
SCALE: 1"=10'-0"

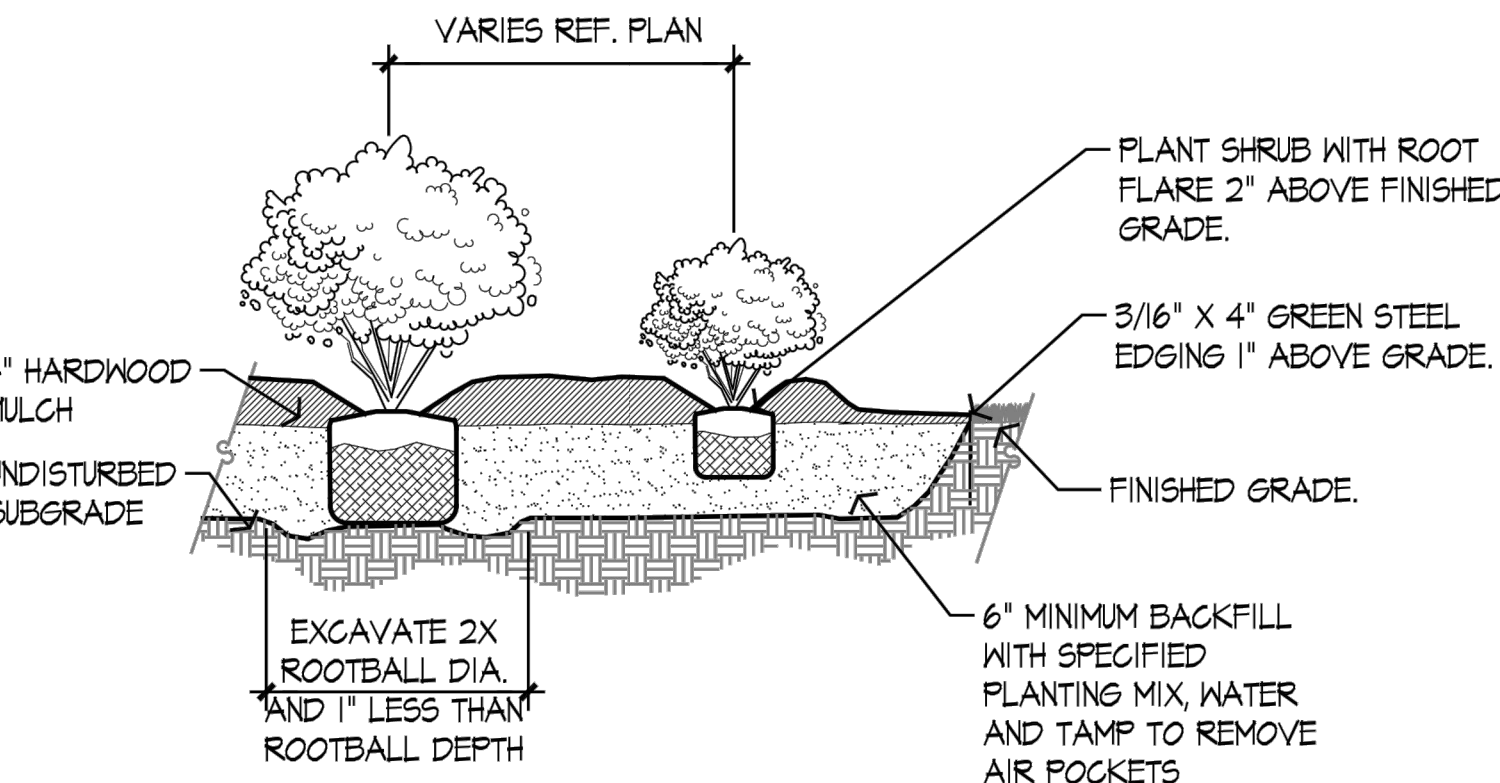
FLOWER MOUND WICHITA PLANT SCHEDULE

SHRUBS, ORNAMENTAL GRASSES AND GROUND COVERS

KEY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD	SPACING	COMMENTS
EP	ELAEAGNUS	<i>Elaeagnus pungens</i> "Fruitlandii"	3 GAL.	12"-14"	10"	72" O.C.	DENSE, FULL
LF	TEXAS SAGE	<i>Leucophyllum frutescens</i>	3 GAL.	18"-24"	12"-18"	72" O.C.	DENSE, FULL
NOHR	OLEANDER	<i>Nerium oleander</i> "Hardy Road"	5 GAL.	18"-24"	12"-18"	48" O.C.	DENSE, FULL

NOTE:
CONTRACTOR TO VERIFY PLANT QUANTITIES REQUIRED TO CARRY OUT DESIGN INTENT AS INDICATED ON PLANS

ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-VEGETATED TO PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE NOTED ON PLANS



2 SHRUB AND GROUNDCOVER PLANTING
SCALE: NOT TO SCALE

MATERIALS SCHEDULE						
KEY	MATERIAL DESCRIPTION	COLOR	FINISH	CONTACT	REMARKS	
S.I.	STEEL EDGE QTY. APPROX. 160 LF	GREEN	N/A	N/A	3/16" X 4" STEEL EDGE. CUT ALL CORNERS TO 45°. TOP OF EDGE SHOULD BE NO MORE THAN 1" ABOVE FINISHED GRADE.	

verizon

FLOWER MOUND WICHITA ***

4800 WICHITA TRAIL
FLOWER MOUND, DENTON COUNTY, TEXAS 75022
(193048)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

ARCHCOMM, L.L.C.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905
TBPE NO. F-15659

SHEET TITLE

PLANT SCHEDULE AND DETAIL

SHEET HISTORY

L2

PLANTING NOTES:

- PART 1 - GENERAL NOTES
- LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS).
- BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY UTILITIES OR OBSTRUCTIONS ARE DISCOVERED DURING CONTRACT WHICH MAY NOT HAVE BEEN KNOWN DURING DESIGN, CONSTRUCTION SHALL STOP WORK AND LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT / OWNER BEFORE PROCEEDING. LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE ARCHITECT / OWNER.
- PRIOR TO ANY EXCAVATION, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO, TEXAS ONCE CALL SYSTEM AT 1-800-246-4646 TO LOCATE EXISTING UNDERGROUND UTILITIES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY IN CONJUNCTION WITH HIS CONTRACT WORK.
- DELIVERY, STORAGE, AND HANDLING:
- A. DELIVER FERTILIZER IN WATERPROOF BAGS SHOWING WEIGHT, GUARANTEED CHEMICAL ANALYSIS, MANUFACTURER AND BRAND NAME.
 - B. DELIVER PLANT MATERIAL WITH IDENTIFICATION TAGS SHOWING BOTANICAL NAME AND PLANT SIZE.
 - C. DELIVER PLANT MATERIAL IMMEDIATELY PRIOR TO INSTALLATION, PLANT MATERIAL ON SAME DAY AS DELIVERY.
 - D. KEEP PLANT MATERIAL MOIST AND PROTECTED UNTIL PLANTING.
 - E. DO NOT HANDLE PLANT MATERIALS BY THE STEM OR TRUNK.
 - F. KEEP CONTAINERS INTACT UNTIL JUST PRIOR TO PLANTING.
- HARRANTIES:
- A. FURNISH OWNER WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. DAMAGE DUE TO ACTS OF GOD, VANDALISM OR NEGLIGENCE BY OWNER IS EXCLUDED.
 - B. REPLACE DEAD, UNEALTHY AND UNSUITABLE PLANT MATERIALS WITHIN WARRANTY PERIOD, UPON NOTIFICATION BY OWNER OR LANDSCAPE ARCHITECT.
 - C. NOTIFY OWNER 30 DAYS PRIOR TO EXPIRATION OF WARRANTY PERIOD AND ARRANGE FINAL ACCEPTANCE INSPECTION BY ALL PARTIES.
1. REMOVE DEAD, UNEALTHY PLANT MATERIAL.
2. REMOVE DIVING AND STAKING MATERIALS.
3. HARRANT REPLACEMENT PLANTS UNDER SAME PROVISIONS AND FOR THE SAME PERIOD AS THE ORIGINAL PLANTS.
- MAINTENANCE:
- A. MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND FOR SIXTY (60) DAYS AFTER FINAL ACCEPTANCE.
 - B. REPLACE DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES SPECIFIED.
 - C. REMOVE TRASH, DEBRIS, AND LITTER WATER, URINE, FERTILIZER, KEEPS, AND MOX. SPOT APPLY HERBICIDES AND FUNGICIDE ONLY AS REQUIRED.
 - D. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
 - E. COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM IRRIGATION SYSTEM.
 - F. RESET SETTLED PLANTS.
 - G. REAPPLY MULCH TO BARE AND THIN AREAS TO MAINTAIN 4" DEPTH.
- MATERIALS:
- A. PLANT MATERIALS
 - B. CERTIFIED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK
 - C. SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE. LARGER SIZE MAY BE SUBSTITUTED WITHOUT ADDITIONAL COST TO OWNER.
 - D. WHERE MATERIALS ARE PLANTED IN WAGES, PROVIDE PLANTS OF UNIFORM SIZE.
 - E. GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE, FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING PEAK OR BROKEN LIMBS, CRACKS AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH DARK ABRASIONS, EXCESSIVE ABRASIONS, AND OBSCURABLE DISFIGUREMENTS.
 - F. EXHIBIT NORMAL GROWTH HABITS, VIGOROUS, HEALTHY, FULL, WELL-PROPORTIONED, AND SYMMETRICAL.
 - G. TREE TRUNKS TO BE STURDY AND EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
 - H. CONTAINER-GROWN STOCK.
 - I. TOPSOIL.
 - J. USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, ROOTS, AND OTHER FOREIGN MATTER.

- C. MULCH
1. SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH SOILS AND COMPOST, OR APPROVED SUBSTITUTE, PARTIALLY DECOMPOSED, FREE FROM STICKS, STONES, CLAY, AND GERMINATION INHIBITING INGREDIENTS.
 2. EDGING
 3. PLANTER BED EDGING SHALL BE 3/16" X 4" STEEL EDGING WITH MANUFACTURER'S STANDARD GREEN FINISH, UNLESS OTHERWISE NOTED IN PLANS.
- E. MIXES
1. PLANT BED MIX: MINIMUM 6" DEPTH PLANT BED MIX (BACKFILL MIX) SHALL BE NEW EARTH 4-WAY MIX AS PRODUCED BY NEW EARTH LLC, (PH. 202-441-3500). DOCUMENTATION OF THIS PURCHASE SHALL BE PROVIDED TO LANDSCAPE ARCHITECT. IF EQUAL, IS PROPOSED, CONTRACTOR MUST SUBMIT SAMPLE AND COMPLETE ANALYSIS WITH TEST RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.
- PART 2 - EXECUTION
- PREPARATION
- LANDSCAPE CONTRACTOR SHALL RECEIVE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, GLOBS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE OR ANY AREA THAT COULD CAUSE WATER TO POND.
1. IF VEGETATION IS GROWING IN PLANTING/LAWN AREAS, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 12" DEPTH.
 2. MARK LOCATION OF TREES AND OUTLINES OF PLANT BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING. OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
- TREE AND SHRUB PLANTING (SEE DETAILS):
- A. REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
 - B. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS, REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. PREVENTS DAMAGE TO ROOTS.
 - C. REMOVE UPPER THIRD OF BURLAP FROM BAILED AND BURLAP TREES AFTER PLACEMENT.
 - D. PLACE PLANT UPRIGHT IN CENTER OF HOLE. FILL ANY NEEDS GROWING IN TREE BALL AND EXPOSE ROOT FLARE (TOP OF MOST IDENTIFIABLE ROOT), REMOVE ANY GROWING ROOTS AND SET PLANT SO THAT ROOT FLARE IS 2" ABOVE FINISH GRADE. ORIENT PLANTS FROM BEST APPEARANCE. BACKFILL THE BOTTOM 2/3 OF THE EXCAVATION WITH SOIL CUT FROM FROM EXCAVATION OF PIT AND THOROUGHLY WATER THIS SOIL TO SETTLE IN BACKFILL. THE REMAINDER OF THE EXCAVATION WITH A 50/50 MIX OF NEW EARTH 4-WAY MIX AND NATIVE SOIL. EXCAVATED FROM THE PIT. PLACE PLANT HEALTH CARE GROUPS "TREE SAVERS" IN BACKFILL AS PER PLANS. DIRECTION AND APPLICATION RATES. LIGHTLY TAMP AND WATER SOIL TO REMOVE ALL AIR POCKETS FROM PLANTS OUTSIDE OF PLANTING BEDS, CONSTRUCT 3 INCH HIGH WATER CONTAINMENT RING AROUND PLANT. SPREAD MULCH TO MINIMUM 4" DEPTH OVER PLANT BASIN.
 - E. ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.
 - F. TWO TO THREE WEEKS FOLLOWING PLANTING, INJECT PLANT HEALTH CARE INJECTABLE INOCULATE AROUND ROOT BALL FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO OBSERVE THIS OPERATION.
 - G. BRANCH PLANTS OVER 65 GALLONS SIZE IMMEDIATELY AFTER PLANTING.
 - H. FOR TREES 2" CALIPER AND GREATER, PROVIDE STAKING AS DETAILED, POSITION TO PREVENT HAZARDS TO FEEDSTRAKS.
 - I. DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.
- MASS SHRUB, GROUNDCOVER, AND ANNUAL PLANTING (SEE DETAILS):
- A. EXCAVATE TO DEPTH AS DETAILED ON PLANS.
 - B. BACKFILL WITH SPECIFIED 4-WAY MIX AND TILL IN SPECIFIED PLANT HEALTH CARE'S 'HEALTHY START 3-4-3' AT A RATE OF 25 LBS. PER CUBIC YARD.
 - C. INSTALL METAL EDGINGS TO SEPARATE ALL PLANTER BEDS FROM TURF AND AT LOCATIONS INDICATED ON PLANS.
 - D. PLACE PLANTS IN STRAIGHT, EVENLY SPACED ROWS AT SPACING INDICATED ON DRAWINGS TO UNIFORMITY. FILL BEDS. USE TRIANGULAR SPACING METHOD UNLESS OTHERWISE INDICATED ON PLANS.
 - E. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER PLANTING. REPAIR SETTLED AREAS.
 - F. ADJUST FINAL GRADES TO 1/2 INCH BELOW ADJACENT PAVING CURBS.
 - G. SPREAD MULCH TO MINIMUM 4" DEPTH OVER PLANTING AREAS.
- CLEANING AND ADJUSTING:
- A. REPAIR RUTS, HOLES AND SCARS IN GROWING SURFACE. PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- ACCEPTANCE:
- A. PRIOR TO SCHEDULING A SUBSTANTIAL COMPLETION INSPECTION, LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE. WHEN LANDSCAPE WORK IS COMPLETE, A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY PUNCH LIST ITEMS GENERATED FROM THE SUBSTANTIAL COMPLETION INSPECTION, A FINAL INSPECTION WILL BE HELD AND, IF FOUND ACCEPTABLE, A CERTIFICATE OF FINAL ACCEPTANCE WILL BE ISSUED.
 - B. LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE, AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.
- PROJECT: FLOWER MOUND WICHITA
ISSUE SET - OCTOBER 30, 2017

3 PLANTING SPECIFICATIONS
SCALE: NOT TO SCALE

CITY APPROVAL STAMPS

ZONING CASE NUMBER

SUP17-0008

CONCEPTUAL LANDSCAPE PLAN

TOWER OWNER: VERIZON WIRELESS

LEGAL DESCRIPTION

PARCEL TRACT

OWNER: ST. NICHOLAS CHURCH
4800 WICHITA TRAIL
(972) 318-7070

JOHN WEST SURVEY, ABSTRACT NO. 1414
DENTON CO. JUNE, 1994
DEED REF.: VOL. 386, PG. 701
D.R.C.T.

0.0973 ACRE OF A TRACT OF LAND SITUATED IN THE 31M. GIBSON SURVEY, ABSTRACT NO. 458, TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS, OF SAID PROTESTANT EPISCOPAL CHURCH TRACT BY VOLUME 565, PAGE 544.

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verizon

FLOWER MOUND WICHITA ***

4800 WICHITA TRAIL
FLOWER MOUND, DENTON COUNTY, TEXAS 75022
(193048)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

ARCHCOMM, L.L.C.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905
TBPE NO. F-15659

SHEET TITLE

PLANTING SPECIFICATIONS

SHEET HISTORY

L3

verizon

FLOWER MOUND WICHITA ***

4800 WICHITA TRAIL
FLOWER MOUND, DENTON COUNTY, TEXAS 75022
(193048)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

02.13.18

EXP. DATE: 06/30/18

ARCHCOMM, L.L.C.

1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

TBPE NO. F-15659

SHEET TITLE

CONCEPTUAL LANDSCAPE PLAN

SHEET HISTORY

02.13.18 PLANNING & ZONING SET

L1

From: Don Cates

Sent: Wednesday, March 7, 2018 1:50 PM

To: Richard Brown <richard.brown@flower-mound.com>

Subject: Proposed Cell Tower

I live at 5108 Coral Springs Drive in the Emerald Bay subdivision and saw your notice concerning a proposed cell tower to be located generally north of Wichita Trail and east of Skillern Road. I have 2 questions:

1. will it be disguised as a tree like many towers I've seen in other states or will it just be a tower?
2. why not collocate it with Fire Station 7?

Regardless, I'm 100% for it as we've been waiting for years for improved cell service.

Don Cates

Retired and Enjoying Every Minute of it! ! !



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: March 12, 2018

FROM: Matthew J. Hotelling, P.E., PTOE, Traffic Engineer

ITEM: **Public Hearing to consider a request for a Master Plan Amendment (MPA18-0001 – Silveron Boulevard Thoroughfare Plan Amendment) to amend Section 7.0, Thoroughfare Plan, for the section of Silveron Boulevard from approximately 400 feet northeast of Long Prairie Road (FM 2499) to approximately 500 feet northeast of the Tarrant/Denton County Line. (*The Transportation Commission voted 6-0 to keep Silveron status quo at their February 13, 2018, meeting*).**

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations. This began as a Town initiative based on the Town Council's desire to evaluate Silveron as a pedestrian friendly street to support the proposed adjacent mixed-use developments in the immediate area. The Transportation Commission (TRC) packet for this case and associated attachments are included with this item (Attachment A.1). Staff received direction from Town Council during the February 19, 2018, meeting to continue the process for formal consideration by the Planning and Zoning Commission; and Town Council.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

This application was presented to the TRC on February 13, 2018. The details of the request and staff report are contained in Attachment A.1. The video of the meeting can be viewed at:

<http://flowermoundtx.swagit.com/play/02132018-1397> (Item F2.)

At this meeting, the TRC's recommendation for this section of Silveron Boulevard was to keep it as an Urban Minor Arterial (UMA). A motion was made to recommend a 2 lane arterial with angled parking but failed for a lack of a second.

A. Thoroughfare Plan Amendment

Section 7.0 of the Master Plan contains the Thoroughfare Plan for the Town. This particular requested amendment concerns the section of Silveron Boulevard from approximately 400 feet northeast of Long Prairie Road (FM 2499) to approximately 500 feet northeast of the Denton/Tarrant County Line. The current Thoroughfare Plan has this section of Silveron Boulevard as an UMA. An UMA is a 4-lane divided roadway in 90 feet of Right of Way (ROW) with a median. This area of Silveron Boulevard was reviewed at the request of Town Council to examine pedestrian friendly designs that

include on-street parking along this section of roadway. A traffic impact analysis (TIA) was conducted to determine whether or not this section of Silveron Boulevard could support a reduction in lanes and either parallel or angled parking. The results of the TIA indicate that this section of Silveron Boulevard could either remain as an UMA or be reduced to a 2 lane arterial street with angled parking. The parallel parking option does not provide the capacity needed for the roadway. If the 2 lane arterial street section is chosen a new cross section will be required, a change to the SMARTGrowth table to include a 2 lane arterial along with geometric requirements in the Code of Ordinances and design standards. Until such time, the UMA geometric design parameters would be used.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Master Plan amendment requests. Any correspondence received after this packet is posted will be handed out at the Planning and Zoning Commission meeting. To date, no correspondence has been received.

One citizen spoke at the Transportation Commission meeting and made a request that the roadway remain in its current configuration of an UMA.

IV. ATTACHMENTS

A. Background Information

1. Transportation Commission Agenda Item F2, February 13, 2018



TRANSPORTATION COMMISSION AGENDA ITEM NO. 2

REGULAR ITEM

DATE: February 13, 2018

FROM: Matthew J. Hotelling, P.E., PTOE, Traffic Engineer

ITEM: **Consider a recommendation regarding a Thoroughfare Plan Amendment for the section of Silveron Boulevard from approximately 400 feet east of Long Prairie Road (FM 2499) to approximately 500 feet east of the Tarrant/Denton County Line to the Town Council.**

BACKGROUND INFORMATION: This item is to consider changes to the Master Transportation Plan, more specifically the Thoroughfare Plan regarding Silveron Boulevard between approximately 400 feet east of Long Prairie Road (FM 2499) to approximately 500 feet east of the Tarrant/Denton County Line. A copy of the existing Thoroughfare Plan is included as Attachment 1. This section of Silveron Boulevard is currently built to the current Thoroughfare Plan designation of an Urban Minor Arterial (4 lane divided roadway that flares to a six lane divided arterial at the intersection of Long Prairie Road (FM 2499) to match up with Lakeside Village on the west side of Long Prairie Road (FM 2499). The Town initiated a Thoroughfare Plan Analysis for this section of roadway to determine if a 2 lane divided roadway with either parallel or angled parking would be sufficient to handle the anticipated traffic through this section of Silveron Boulevard. The section of Silveron northeast of this location would remain an Urban Minor Arterial (4 lane divided roadway). The traffic study for this location is included as Attachment 2.

The recently approved Point Development and an anticipated future development were used as part of this analysis to determine if this section of Silveron Boulevard would be satisfactory. The Town's TransCAD model was used to determine future volumes with a range of both high and low traffic volumes. Through the analysis, the anticipated build out of these two parcels fell within that range of traffic.

Council directed staff to examine pedestrian friendly designs that include on-street parking along this section of the roadway. The Town examined two options: 1) a 2 lane divided roadway with parallel parking, and; 2) a 2 lane divided roadway with angled parking. The purpose was to determine which design supported the best LOS while remaining pedestrian friendly. Currently, under design, is a traffic signal installation at the intersection of Long Prairie Road (FM 2499) that will provide pedestrian signals and crosswalks at that intersection. In the midblock location, there is currently no crosswalk or warning signs of a future crossing. They are not necessary at this time because there is no development on the ground currently. When the developments do break ground there is intended to be a private trail crossing at the median opening location to cross from the north side to the south side and vice versa. As a part of those development plans, Americans with Disabilities Act (ADA) ramps and warning signs will be installed. The Point Development has asked the Town to look at the possibility of converting the current outside travel lane to parallel parking. As part of the study both parallel and angled parking were studied. Both parallel and angled parking reduce the capacity of the adjacent travel lanes by approximately 20% and 10% respectively.

THOROUGHFARE CAPACITY ANALYSIS: The thoroughfare plan capacity analysis was used to determine if the new cross section would be acceptable or if the new cross section would fail Strategically Managed and Responsible Town Growth (SMARTGrowth). In order to determine if the new cross section would pass or fail, a new category within the Level of Service (LOS) Table was required. The new category would be an A2D (Arterial 2-lane Divided). The Town's acceptable LOS for arterial and collector's is LOS C. At LOS C, the upper limit for A2D was determined to be 650 vehicles without on-street parking. Therefore, an A2D with parallel parking would have an upper limit at LOS C of 520 vehicles and with angled parking an upper limit of 585.

Four scenarios were evaluated to determine if the LOS for the A2D would be acceptable. Those four scenarios are: Existing, Horizon, Model – Low, Model – High. Both of the model scenarios were based on

the Town's TransCAD model in year 2040. Using the existing configuration and current traffic volumes, the traffic condition of Silveron Boulevard is acceptable. Currently, there is very little traffic along this corridor but is anticipated to increase once the traffic signal is installed at Long Prairie Road (FM 2499 and Silveron Boulevard/Lakeside Village Boulevard).

Using the Horizon year (2021) of both the Point Development and the future development on the south side of Silveron Boulevard, both the current configuration and angled parking are within acceptable LOS. The conversion to parallel parking is beyond LOS C and would not pass SMARTGrowth. They would be tolerable to the fact that they have not made it to a LOS F.

Using the Model – Low volumes of the Town's TransCAD model, all scenarios are acceptable however, the analysis of the likelihood of how both of these properties developing would be at a higher level than those indicated by the Model – Low volumes.

Using the Model – High volumes of the Town's TransCAD model, only the current configuration of a 4 lane divided roadway would fall in the acceptable levels. Both types of parking scenarios would have failing (LOS F) sections of roadway. The directions that are not failing (LOS F) would not pass SMARTGrowth and would be beyond a LOS C.

ALTERNATIVES/OPTIONS: Leave Silveron Boulevard as is with additional pedestrian treatments or change to a different cross section.

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

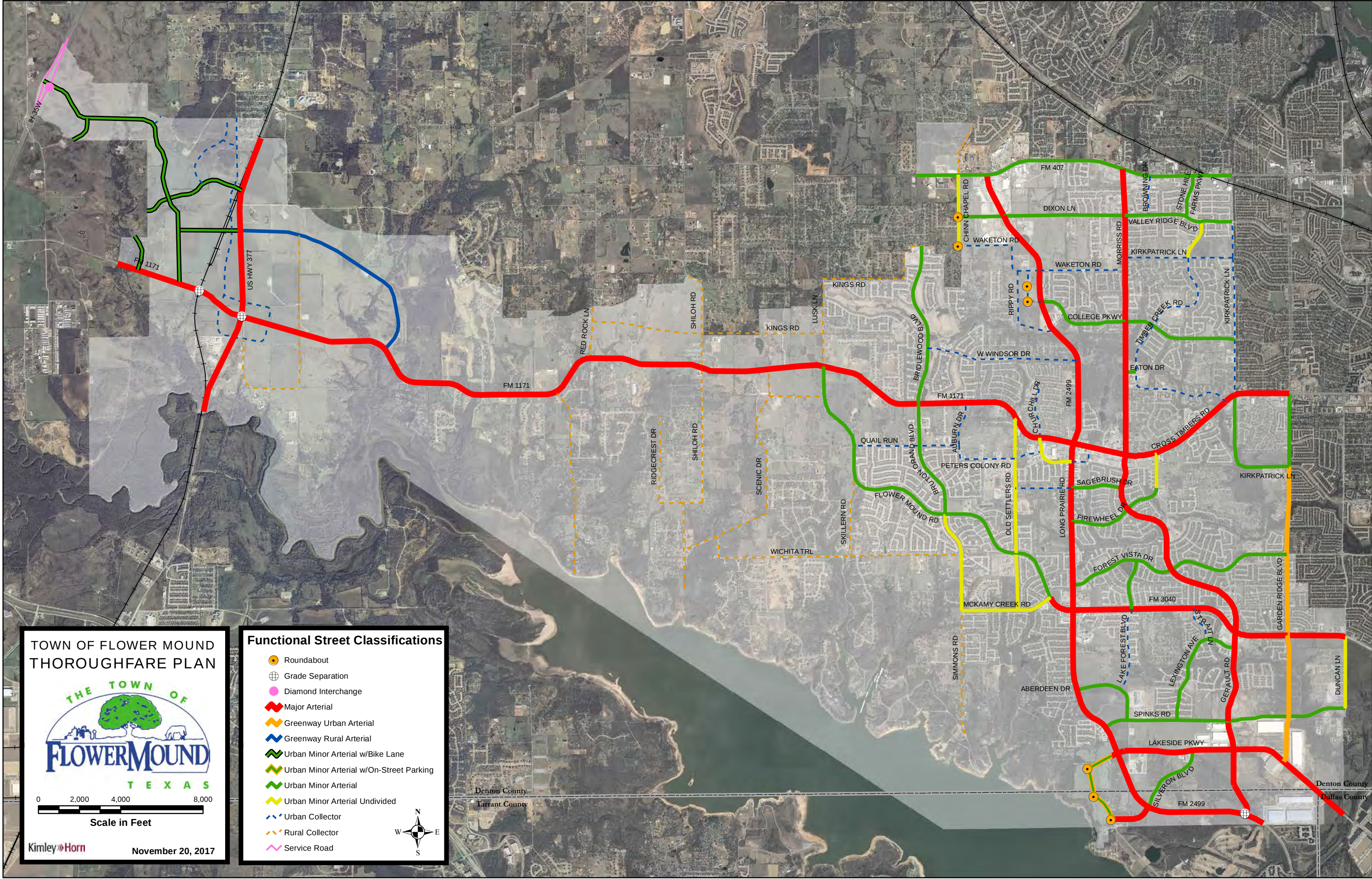
ATTACHMENTS:

1. Existing Thoroughfare Plan
2. Silveron Boulevard Thoroughfare Plan Analysis

DRAFT RECOMMENDATIONS: Move to recommend that Silveron Boulevard from approximately 400 feet east of Long Prairie Road (FM 2499) to approximately 500 feet east of the Tarrant/Denton County Line remain as currently shown on the Thoroughfare Plan.

Move to recommend that Silveron Boulevard from approximately 400 feet east of Long Prairie Road (FM 2499) to approximately 500 feet east of the Tarrant/Denton County Line be changed to a two lane divided arterial with angled parking on the Thoroughfare Plan.

Move to recommend that Silveron Boulevard from approximately 400 feet east of Long Prairie Road (FM 2499) to approximately 500 feet east of the Tarrant/Denton County Line be changed to a two lane divided arterial with parallel parking on the Thoroughfare Plan.



MEMORANDUM

1-29-2018

To: Matthew J. Hotelling, P.E., PTOE
Transportation Services
Town of Flower Mound, Texas

From: Jeff Whitacre, P.E., AICP, PTP
Kimley-Horn and Associates, Inc.
TBPE Registered Firm Number F-928

Date: January 29, 2018

Subject: Silveron Boulevard Cross Section Evaluation
Flower Mound, Texas

**Introduction**

Kimley-Horn was retained by the Town of Flower Mound to perform a cross section evaluation of Silveron Boulevard. The purpose of this study is to evaluate the impact of converting the outside lanes to on-street parking. The study area for this evaluation is from FM 2499 to the existing bridge approximately 1,500 feet east of FM 2499. Silveron Boulevard in the study area is currently a six-lane divided facility between FM 2499 and the existing median opening, and a four-lane facility between the existing median opening and the bridge. This evaluation will consist of an analysis of Existing (2017) and Horizon (2021) conditions. It is proposed that by the Horizon year (2021), the outside lanes of Silveron Boulevard in the study area be converted to on-street parking to serve future mixed-use development.

To estimate Horizon (2021) traffic volumes in the study area, the analysis will consider development that is anticipated to be occur along Silveron Boulevard. Northwest of Silveron Boulevard, The Point is a known development anticipated to be built out by 2019. A Traffic Impact Analysis (TIA) was conducted for The Point and submitted to the Town of Flower Mound in September 2017. This TIA will be referenced in this study. The development pattern southeast of Silveron Boulevard is currently unknown. Estimates for future land uses were provided by the Town based on an anticipated growth pattern of mixed-use development, similar to The Point. This development area will be referred to in this study as Future Development. A vicinity map of the study area can be found in **Exhibit 1**.

The following sections document the data collection and methodology used in evaluating Silveron Boulevard.

North



Not To Scale



Exhibit 1
Vicinity Map
Silveron Cross Section Analysis



Existing (2017) and Horizon (2021) Background Traffic Volumes

Twenty-four-hour recording machine tube counts were obtained on December 12, 2017 on Silveron Boulevard, east of FM 2499. These volumes are presented in **Exhibit 2**.

In order to estimate future background growth along Silveron Boulevard, a growth rate of 4% was used to grow the Existing (2017) volumes to the Horizon (2021) year. This growth rate was obtained from The Point TIA. The calculated Horizon (2021) Background volumes can be found in **Exhibit 3**.

Horizon (2021) Total Traffic Volumes

The Horizon (2021) total traffic volumes were calculated by combining projected site traffic from The Point and Future Development with the Horizon (2021) Background volumes. Site traffic volumes for The Point are presented in **Exhibit 4**.

To estimate trips generated by the Future Development, average trip generation rates from the 10th edition of the *ITE Trip Generation Manual* were used. **Table 1** shows the trip generation rates for the proposed land uses.

Table 1. Trip Generation Rates

Land Use Description	ITE Code	Units	Daily	AM Peak Hour			PM Peak Hour		
				AVG Rate	Split		AVG Rate	Split	
					In	Out		In	Out
Single Family	210	Units	9.44 * (X)	0.74 * (X)	25%	75%	0.99 * (X)	63%	37%
Apartments (Multi-Family)	221	Rooms	5.44 * (X)	0.36 * (X)	26%	74%	0.44 * (X)	61%	39%
Hotel	310	Rooms	8.36 * (X)	0.47 * (X)	59%	41%	0.60 * (X)	51%	49%
Retail	820	1000 ft ²	37.75 * (X)	0.94 * (X)	62%	38%	3.81 * (X)	48%	52%
Restaurant	932	1000 ft ²	112.18 * (X)	9.94 * (X)	55%	45%	9.77 * (X)	62%	38%
Industrial	110	1000 ft ²	4.96 * (X)	0.70 * (X)	88%	12%	0.63 * (X)	13%	87%
Office	710	1000 ft ²	9.74 * (X)	1.16 * (X)	86%	14%	1.15 * (X)	16%	84%
Number of Trips Generated = Trip Rate * (Development Unit); X = Units									

Table 2 summarizes the total number of trips that are expected to be generated at build-out of the Future Development for daily and AM and PM peak periods. The variety and intensity of land uses were estimated based on coordination with Town staff. The number of trips generated represents the number of vehicles entering and exiting the proposed development to and from the adjacent street system.

Table 2. Trip Generation Analysis

Land Use Description	ITE Code	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour		
					Split		Total	Split		Total
					In	Out		In	Out	
Single Family	210	250	Units	2360	46	139	185	156	92	248
Apartments (Multi-Family)	221	600	Rooms	3264	56	160	216	161	103	264
Hotel	310	90	Rooms	752	25	17	42	28	26	54
Retail	820	51,000	ft ²	1925	30	18	48	93	101	194
Restaurant	932	87,120	ft ²	9773	476	390	866	528	323	851
Industrial	110	30,000	ft ²	149	18	3	21	2	17	19
Office	710	171,000	ft ²	1666	170	28	198	32	165	197
Total					821	755	1576	1000	827	1827

The distribution and assignment of site traffic to the study area roadway network were based on existing traffic patterns and the locations of the proposed driveway access to/from the site. The following percentages of trip distribution are assumed on the surrounding roadway network:

- 40% - FM 2499, south of the study area
- 30% - FM 2499 & Lakeside Village Boulevard intersection, southwest of the study area
- 30% - Lakeside Parkway, north of the study area

Exhibit 5 presents the inbound and outbound directional distribution percentages for traffic during the Weekday AM and PM peak hours for the Future Development. **Exhibit 6** presents the site trip assignment during the Weekday AM and PM peak hours.

These site-generated traffic volumes were added to the 2021 Horizon Background traffic volumes along with site traffic from The Point to obtain the 2021 Total Traffic Volumes. These volumes are presented in **Exhibit 7**.

Based on **Exhibit 7**, the traffic projected west of the bridge would be approximately 7,600 vehicles per day.

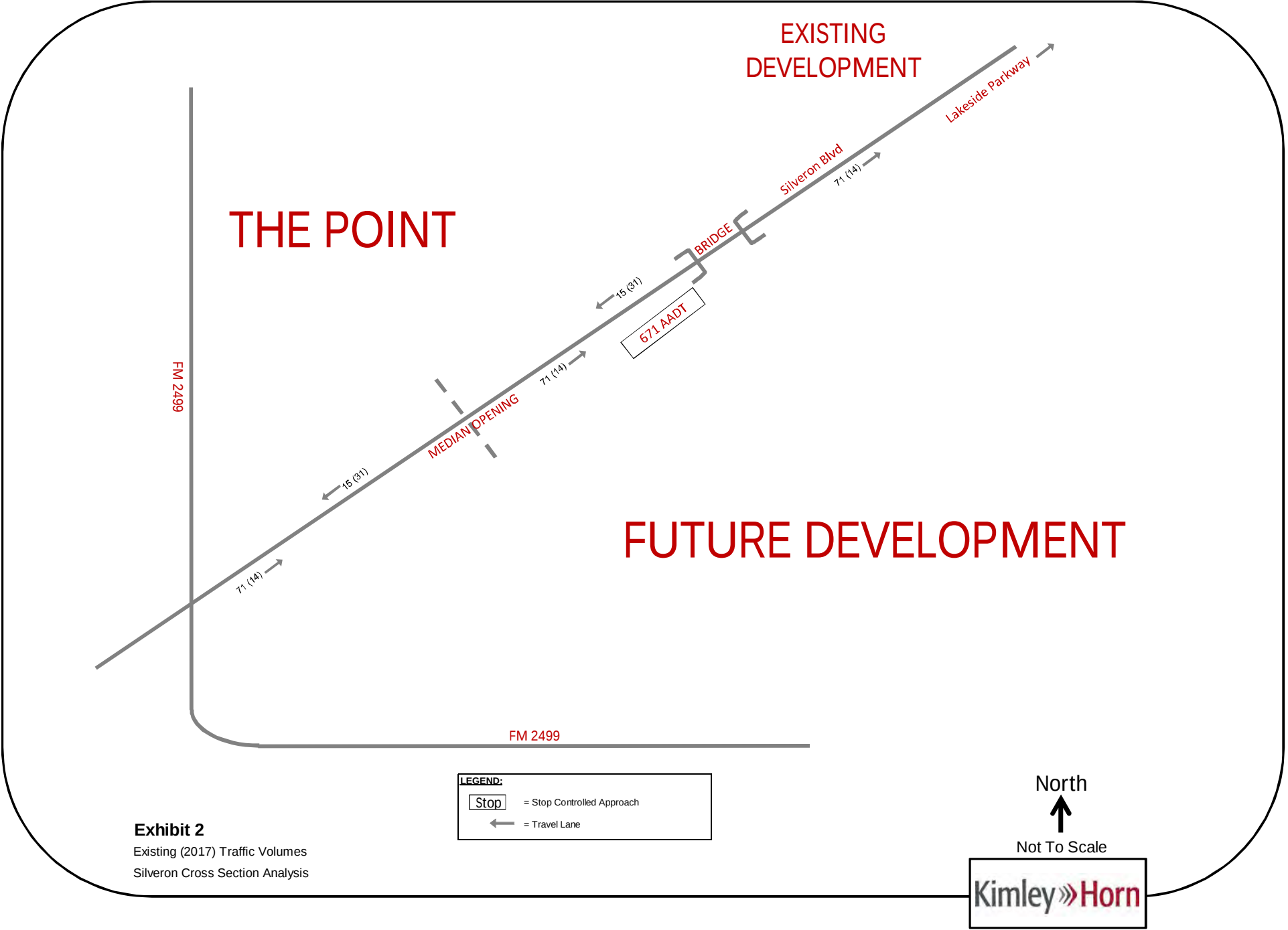


Exhibit 2
Existing (2017) Traffic Volumes
Silveron Cross Section Analysis

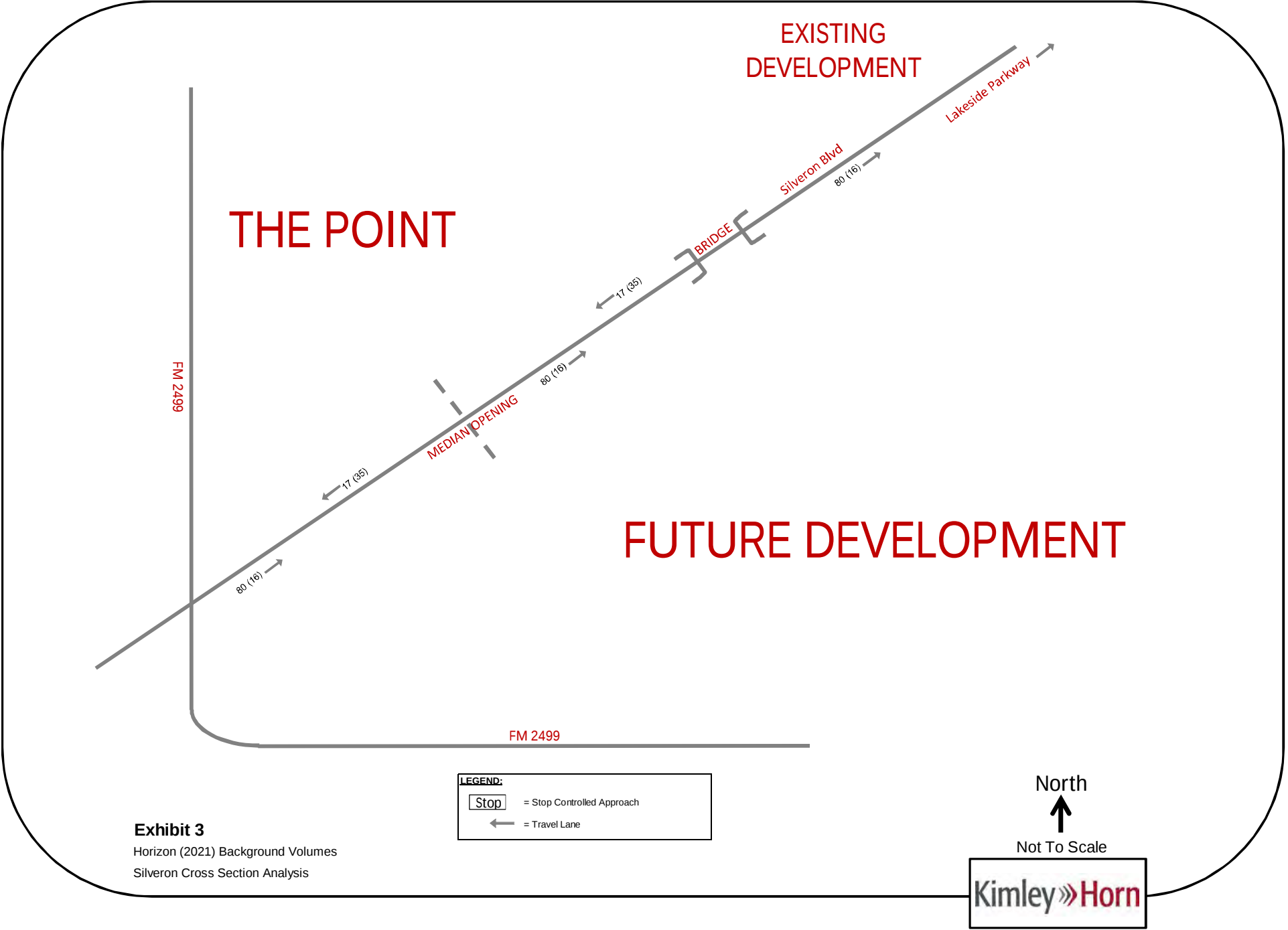


Exhibit 3
Horizon (2021) Background Volumes
Silveron Cross Section Analysis

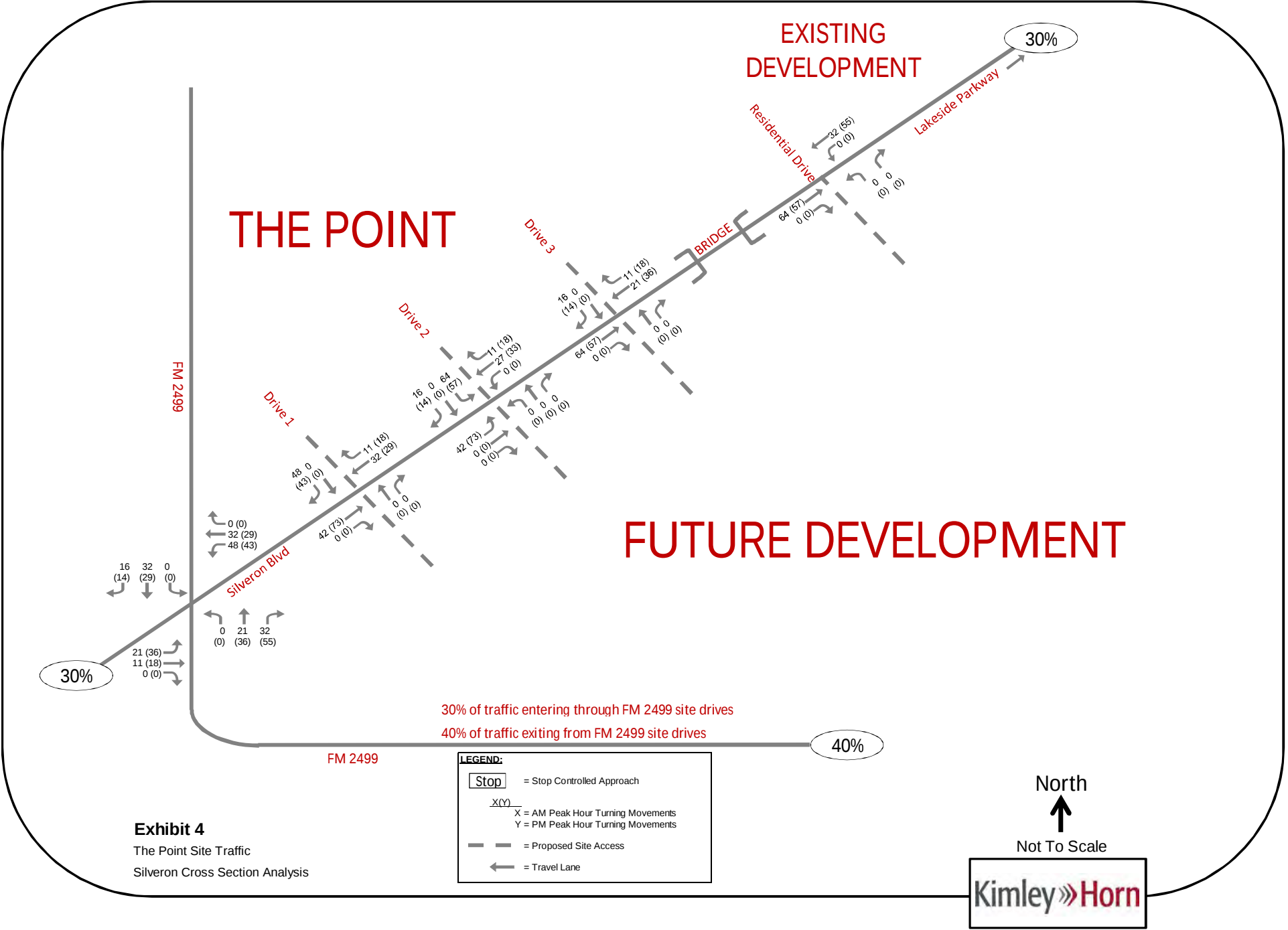


Exhibit 4
The Point Site Traffic
Silveron Cross Section Analysis

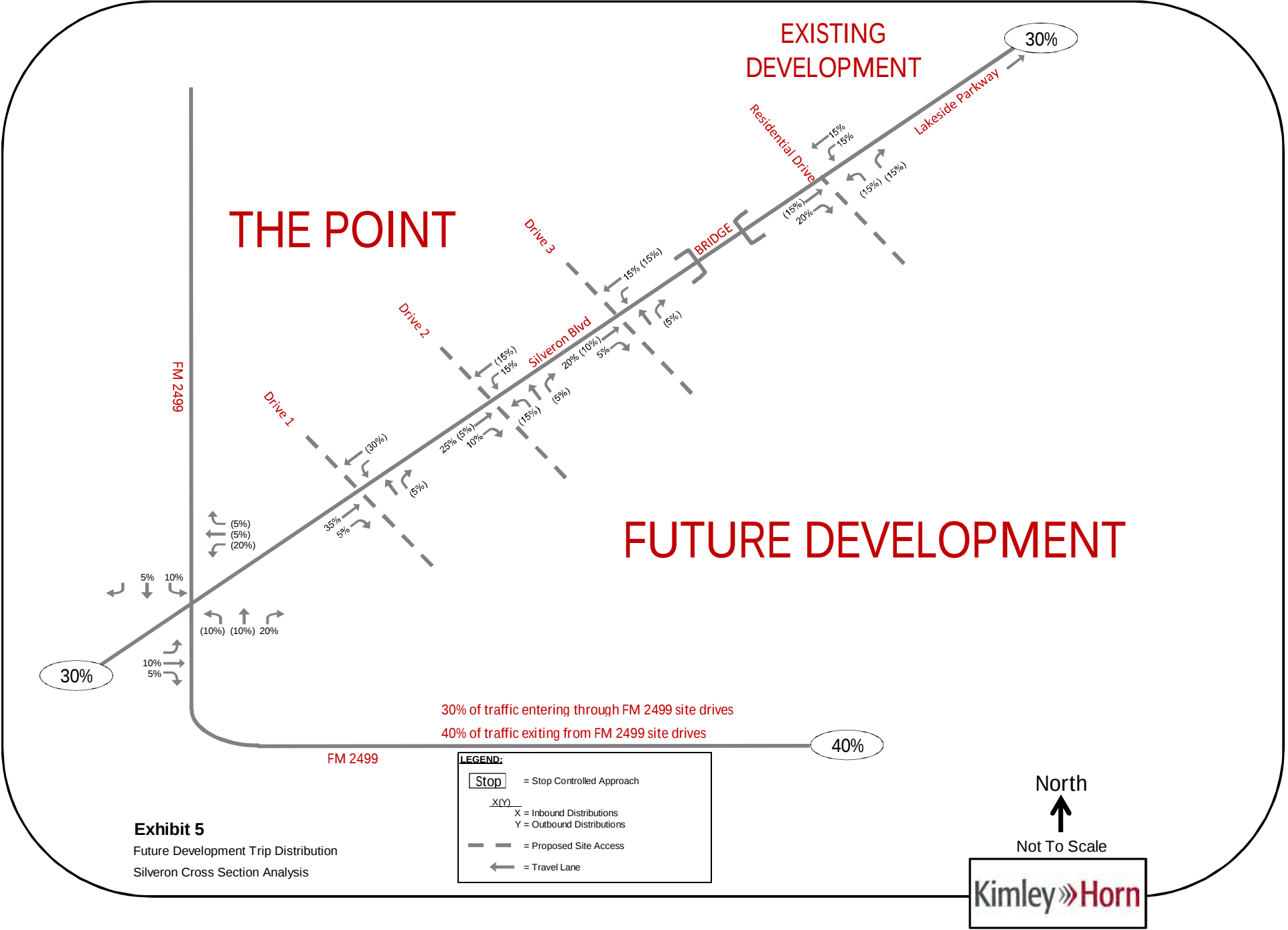
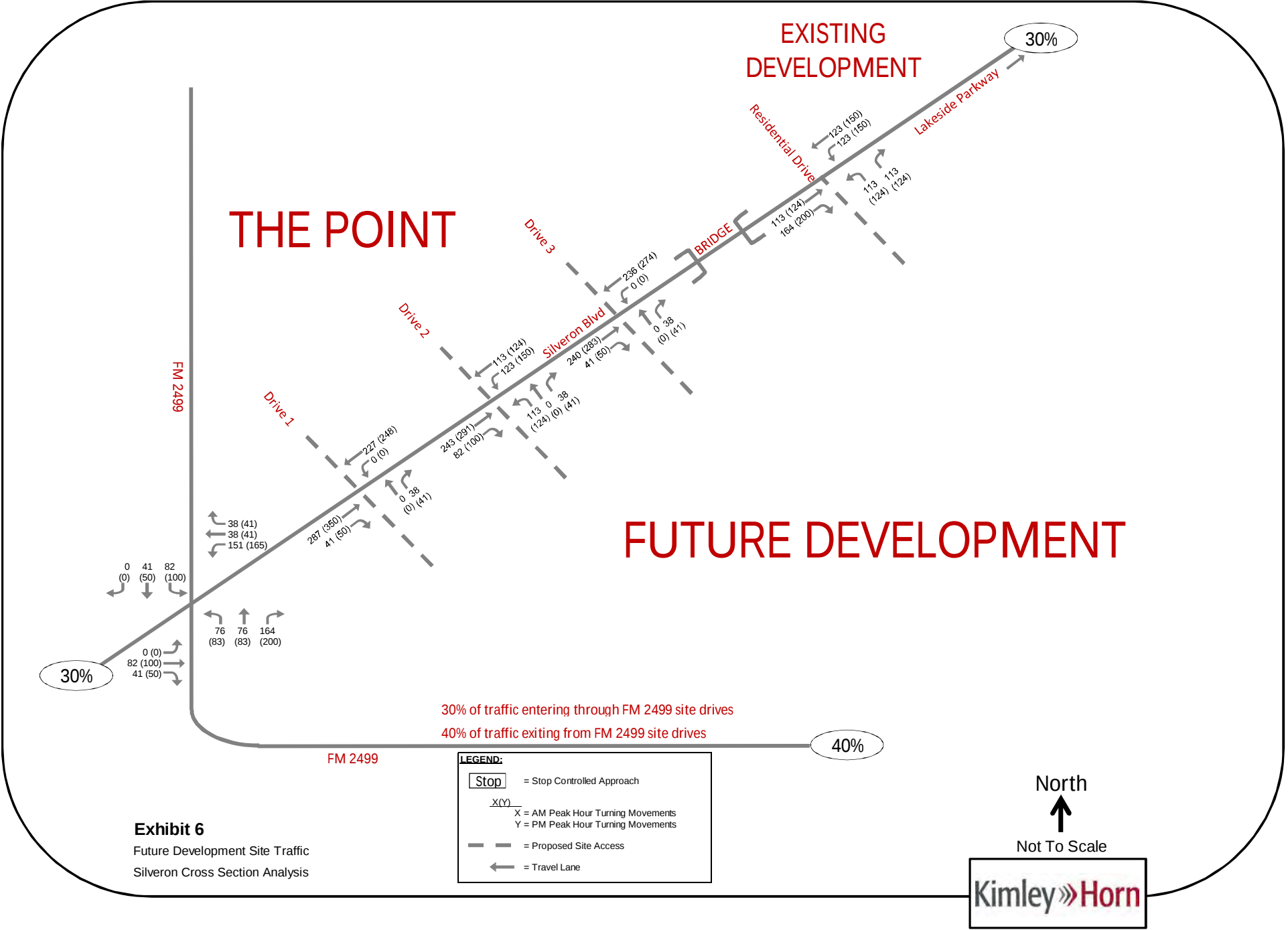


Exhibit 5
Future Development Trip Distribution
Silveron Cross Section Analysis



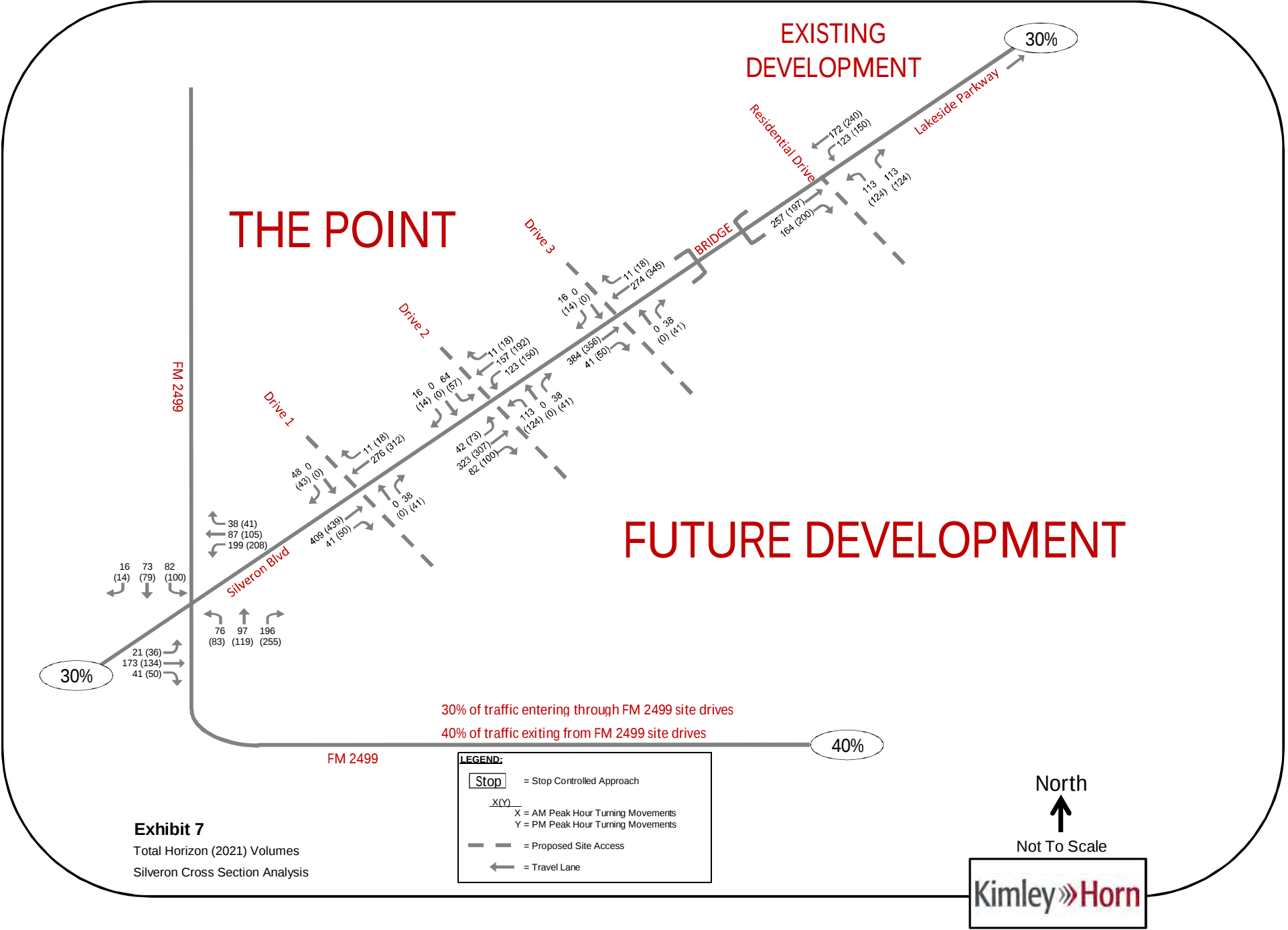


Exhibit 7
Total Horizon (2021) Volumes
Silveron Cross Section Analysis

Future Model Volumes

Based on the model update for the 2014 Impact Fees, the future year ADT along Silveron Boulevard was forecasted to be approximately 3,000 vehicles per day. Recently, the DFW model was updated to reflect 2040 demographics and roadway network, and based on the updated model, the future year ADT along Silveron Boulevard is anticipated to be approximately 10,000 vehicles per day. Based on these two points of reference, it can be expected that the future year volume along Silveron Boulevard will be between 3,000 and 10,000 vehicles per day. Note the calculations in this traffic study were in this range (7,600 vehicles per day).

Thoroughfare Capacity Analysis

To properly evaluate the effects of reducing the number of lanes on Silveron Boulevard, a thoroughfare capacity analysis was conducted. The analysis was completed using level of service criteria provided in Chapter 6 of the *Town of Flower Mound SMARTGrowth Manual*.

Capacity defines the volume of traffic that can be accommodated by a roadway at a specific "level of service," and is affected by various geometric factors including roadway type (divided vs undivided), number of lanes, lane widths, and grade. Level of service (LOS), which is a measure of the degree of congestion, ranges from LOS A (free flowing) to LOS F (a congested, forced flow condition). **Table 3** shows the *Town of Flower Mound SMARTGrowth Manual* level of service criteria for the thoroughfare capacity analysis. LOS C is the minimum acceptable level of service by the Town of Flower Mound for design and evaluation purposes.

Table 3. SMARTGrowth Level of Service Thresholds for Thoroughfares

Roadway Type	Level of Service "C"		Level of Service "D"		Level of Service "E"	
	Daily Service Volumes*	Hourly Service Volume	Daily Service Volumes*	Hourly Service Volume	Daily Service Volumes*	Hourly Service Volume
A8D***	52,000 - 58,000	780 - 880**	58,000 - 66,000	880 - 990**	66,000 - 73,000	990 - 1,100**
A6D***	39,000 - 44,000	780 - 880**	44,000 - 49,000	880 - 990*	49,000 - 55,000	990 - 1,100**
A4D***	21,000 - 23,000	620 - 700**	23,000 - 26,000	700 - 775**	26,000 - 29,000	775 - 875**
MC4U	17,000 - 18,000	500 - 550**	18,000 - 21,000	550 - 625**	21,000 - 23,000	625 - 675**
C4U	15,000 - 17,000	440 - 500**	17,000 - 18,000	500 - 550**	18,000 - 21,000	550 - 625**
C2U	6,000 - 7,000	350 - 425**	7,000 - 8,000	425 - 500**	8,000 - 9,500	500 - 575**

* Level of service with "K" = 0.10 and "D" = 60%/40%

** Assumes signal progression; no parking; access management; increased intersection capacity and grade separation

*** Assumes 12' lanes and divided roadway; A8D = arterial 8 lane divided; A6D = arterial 6 lane divided; A4D = arterial 4 lane divided

Note: Metropolitan collector MC4U = 4 lane undivided (12' lanes); C4U = collector 4 lane undivided (11' lanes)

The *Town of Flower Mound SMARTGrowth Manual* does not currently provide capacity values for two-lane divided roadways (A2D). It is anticipated that this classification will be added to the *SMARTGrowth Manual* in the near future. To estimate the appropriate hourly capacity for A2D facilities, existing NCTCOG and *SMARTGrowth* capacity values were referenced. It is estimated that a two-lane divided facility will provide more capacity than a standard undivided collector, but less than a traditional divided arterial due to the lack of a passing lane. Based on these assumptions, an hourly capacity of 650 vehicles was assumed for the A2D facilities at the LOS C threshold.

Table 4 provides a summary of directional and two-way thoroughfare capacity analysis for Silveron Boulevard in Existing (2017), Horizon (2021), and Model volume conditions. The Model Volume analysis was split into two scenarios: a low-end scenario, and a high-end scenario. The low-end scenario is based on a daily volume of 3,000 vehicles, and the high-end scenario is based on a daily volume of 10,000 vehicles. The analysis evaluates the following lane configurations:

- Existing lane configuration
- Outside lanes converted to parallel parking
- Outside lanes converted to parallel parking from FM 2499 to the existing median opening, and angled parking between the median opening and the bridge

Effects of On-Street Parking

It is generally accepted that the presence of on-street parking has many different impacts on a roadway, including the portion of right-of-way not used for vehicular travel. On-street parking is widely recommended as a method of enhancing a street because it provides a barrier between vehicular and pedestrian traffic, acts as a traffic calming measure, and can help to boost the economic activity of the surrounding area.

The impact of on-street parking on traffic flow can vary widely depending on the type of parking that is provided and the expected hourly turnover. Studies have estimated that on-street parking can decrease roadway capacity by up to 17% in areas with high-turnover and parking configurations requiring reverse maneuvers. This reduction in capacity can also be as little as 2% in areas with low turnover and parking configurations that result in fewer reverse maneuvers. For the purposes of this analysis, conservative reduction factors of 10% and 20% were applied to the *SMARTGrowth* capacity values to account for the impacts of angled parking and parallel parking, respectively. As shown in the table, both roadway segments in Existing (2017) and Horizon (2021) scenarios are anticipated to perform at acceptable operations throughout the corridor.

Results

Based on the results of the thoroughfare capacity analysis presented in **Table 4**, Silveron Boulevard is anticipated to operate at LOS C or better for all scenarios except for the high-end model volume scenario along the two lane section west of the bridge. This scenario shows a potential for LOS D operation during the AM and PM peak hours in the direction of

peak hour flow. This represents the maximum growth along Silveron Boulevard based on the travel demand model. It is more likely that Silveron Boulevard will experience growth that is somewhere between the high and low end scenarios.

Table 4. Thoroughfare Capacity Analysis Summary

Scenario	Segment	Lane Configuration	Class (Section)	SMART-Growth Capacity	Capacity with On-Street Parking	Direction	AM Peak Hour			PM Peak Hour		
							Vol	V/C	Traffic Condition	Vol	V/C	Traffic Condition
Existing (2017)	East of FM 2499	6 Lanes Divided	Urban Minor Arterial	880	-	EB	71	0.03	Acceptable	14	0.01	Acceptable
						WB	15	0.01	Acceptable	31	0.01	Acceptable
						Total	86	0.02	Acceptable	45	0.01	Acceptable
	West of Bridge	4 Lanes Divided	Urban Minor Arterial	700	-	EB	71	0.05	Acceptable	14	0.01	Acceptable
						WB	15	0.01	Acceptable	31	0.02	Acceptable
						Total	86	0.03	Acceptable	45	0.02	Acceptable
Horizon (2021)	East of FM 2499	4 Lanes Divided with Parallel Parking**	Urban Minor Arterial	700	560	EB	447	0.40	Acceptable	480	0.43	Acceptable
						WB	270	0.24	Acceptable	316	0.28	Acceptable
						Total	717	0.32	Acceptable	796	0.36	Acceptable
	West of Bridge	2 Lanes Divided with Parallel Parking**	Urban Minor Arterial	650	520	EB	361	0.69	Tolerable	348	0.67	Tolerable
						WB	274	0.53	Acceptable	345	0.66	Tolerable
						Total	635	0.61	Acceptable	693	0.67	Tolerable
	West of Bridge	2 Lanes Divided with Angled Parking*	Urban Minor Arterial	650	585	EB	361	0.62	Acceptable	348	0.59	Acceptable
						WB	274	0.47	Acceptable	345	0.59	Acceptable
						Total	635	0.54	Acceptable	693	0.59	Acceptable
Model (Low End)	East of FM 2499	4 Lanes Divided with Parallel Parking**	Urban Minor Arterial	700	560	EB	180	0.16	Acceptable	120	0.11	Acceptable
						WB	120	0.11	Acceptable	180	0.16	Acceptable
						Total	300	0.13	Acceptable	300	0.13	Acceptable
	West of Bridge	2 Lanes Divided with Parallel Parking**	Urban Minor Arterial	650	520	EB	180	0.35	Acceptable	120	0.23	Acceptable
						WB	120	0.23	Acceptable	180	0.35	Acceptable
						Total	300	0.29	Acceptable	300	0.29	Acceptable
	West of Bridge	2 Lanes Divided with Angled Parking*	Urban Minor Arterial	650	585	EB	180	0.31	Acceptable	120	0.21	Acceptable
						WB	120	0.21	Acceptable	180	0.31	Acceptable
						Total	300	0.26	Acceptable	300	0.26	Acceptable
Model (High End)	East of FM 2499	4 Lanes Divided with Parallel Parking**	Urban Minor Arterial	700	560	EB	600	0.54	Acceptable	400	0.36	Acceptable
						WB	400	0.36	Acceptable	600	0.54	Acceptable
						Total	1,000	0.45	Acceptable	1,000	0.45	Acceptable
	West of Bridge	2 Lanes Divided with Parallel Parking**	Urban Minor Arterial	650	520	EB	600	1.15	Failing	400	0.77	Tolerable
						WB	400	0.77	Tolerable	600	1.15	Failing
						Total	1,000	0.96	Tolerable	1,000	0.96	Tolerable
	West of Bridge	2 Lanes Divided with Angled Parking*	Urban Minor Arterial	650	585	EB	600	1.03	Failing	400	0.68	Tolerable
						WB	400	0.68	Tolerable	600	1.03	Failing
						Total	1,000	0.85	Tolerable	1,000	0.85	Tolerable

* A 10% reduction of SMARTGrowth capacity volumes was assumed for Angled On-Street Parking capacity in the Horizon and Model scenarios.

** A 20% reduction of SMARTGrowth capacity volumes was assumed for Parallel On-Street Parking capacity in the Horizon and Model scenarios.

Conclusion

Based on the results of the Silveron Boulevard cross section analysis, we offer the following conclusions and recommendations:

- Based on an analysis of anticipated development, Silveron Boulevard is projected to grow to a peak hour volume of 700 - 800 vehicles by the Horizon (2021) year.
- Based on a model volume analysis, Silveron Boulevard is project to grow to a peak hour volume of 300 - 1,000 vehicles by the year 2040.
- It is anticipated that Silveron Boulevard in the study area will operate at LOS C or better in the Horizon (2021) and Low-End Model Volume Scenarios if the outside lanes are converted to on-street parking. If volumes approach the 2040 high-end model volume scenario (10,000-11,000 daily), it is anticipated that operating conditions in the study area will shift to LOS D.



Attachments

1. Exhibit 1 – Vicinity Map
2. Exhibit 2 – Existing (2017) Volumes
3. Exhibit 3 – Horizon (2021) Background Volumes
4. Exhibit 4 – The Point Site Traffic
5. Exhibit 5 – Future Development Trip Distribution
6. Exhibit 6 – Future Development Site Traffic
7. Exhibit 7 – Total Horizon (2021) Volumes