



AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

APRIL 23, 2018

FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter

A. **CALL TO ORDER: 6:30 P.M.**

B. **INVOCATION AND PLEDGE OF ALLEGIANCE**

C. **CITIZEN'S COMMENTS**

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. **REGULAR ITEMS**

1. *Minutes of April 9, 2018*

Consider approval of the minutes of the April 9, 2018, Planning and Zoning Commission Regular Session.

2. *MPA17-0015 – Magnolia Court*

Public Hearing

Public Hearing to consider a request for a Master Plan Amendment to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Medium Density to High Density Single Family Detached. The property is generally located on the northwest corner of the intersection of Gerault Road and Spinks Road. *(This item was remanded back to the Planning and Zoning Commission at the April 17, 2018, Town Council meeting.)*

3. *ZPD17-0020 – Magnolia Court* *Public Hearing*
Public Hearing to consider a request for rezoning from Agricultural District (A) to Planned Development District No. 161 (PD-161) with Single-Family District-5 (SF-5) uses, with certain exceptions and modifications to the Code of Ordinances. The property is generally located on the northwest corner of the intersection of Gerault Road and Spinks Road. ***(This item was remanded back to the Planning and Zoning Commission at the April 17, 2018, Town Council meeting.)***
4. *RC18-0002 – Flower Mound Church of Christ*
Consider a request for a Record Plat to create a non-residential subdivision. The property is generally located south of Karnes Road and east of Old Settlers Road.
5. *SP17-0022 – Flower Mound Church of Christ* *Public Hearing*
Public Hearing to consider a request for a Site Plan to develop a church building, with exceptions to Section 90-423, "Underground utilities," and Section 82-242, "Street buffer landscaping," of the Code of Ordinances. The property is generally located south of Karnes Road and east of Old Settlers Road.
6. *RC18-0001 – DFW North 4*
Consider a request for a Record Plat to create a non-residential subdivision. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.
7. *SP18-0002 – DFW North 4*
Consider a request for a Site Plan to develop an office/warehouse building. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.
8. *MPA18-0002 – Morriss Road Thoroughfare Plan Amendment* *Public Hearing*
Public Hearing to consider a request for a Master Plan Amendment to amend Section 7.0, Thoroughfare Plan, by changing the designation of Morriss Road from a Major Arterial to a specified Urban Minor Arterial between Justin Road (FM 407) and Flower Mound Road (FM 3040) and by amending text related to Morriss Road being six lanes.

E. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: April 19, 2018, at 2:45 pm, at least 72 hours prior to the scheduled time of said meeting.



Cindi Price, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 9TH DAY OF APRIL, 2018, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Perfecto Solis	Chair
Mike McCall	Vice Chair
Brad Ruthrauff	Commissioner, Place 1
Laile Neal	Commissioner, Place 2
David Johnson	Commissioner, Place 4 (<i>arrived at 7:50 p.m.</i>)
Albert Picardi	Commissioner, Place 5
Laura Dillon	Commissioner, Place 6
Rob Rawson	Commissioner, Place 9

Constituting a quorum with the following members absent:

Heth Kendrick	Commissioner, Place 8
---------------	-----------------------

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Tommy Dalton	Assistant Town Manager
Chuck Russell	Town Planner
Robert Pegg	Engineering Manager
Matt Hotelling	Traffic Engineer
Poornima Kashyap	Senior Planner
Richard Brown	Senior Planner
Cindi Price	Executive Assistant

- A. CALL TO ORDER: 6:30 P.M.**
- B. INVOCATION AND PLEDGE OF ALLEGIANCE**
- C. CITIZENS/VISITORS COMMENTS**

Andrea Slaughter, Principal of Explorations Preparatory School, Flower Mound

D. REGULAR ITEMS

- 1. Consider approval of the minutes of the March 26, 2018, Planning and Zoning Commission Regular Session.**

Commission Deliberation

Vice Chair McCall moved to approve the March 26, 2018, minutes as presented. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION

AYES: Dillon, McCall, Neal, Ruthrauff

NAYS: None

ABSTAIN: Picardi

ABSENT: Johnson

The motion passed with a vote of 4-0-1.

2. Public Hearing to consider a request for a Replat (RP18-0002 - Estates at Tour 18) to relocate lot lines. The property is generally located north of Cross Timbers Road and east of Lighthouse Drive.

Staff Presentation

Poornima Kashyap, Senior Planner

Applicant Presentation

Jacob Tiemann, G & A Consultants

Questions of an Informational Nature

John Lapicola, 4901 Lighthouse, Flower Mound

Jeff Rettig, Board President, Estates at Tour 18 HOA

In Favor - None

In Opposition - None

Close Public Hearing

Commission Deliberation

Vice Chair McCall moved to approve RP18-0002 – Estates at Tour 18. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Neal, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: Johnson

The motion passed with a vote of 5-0.

3. Public Hearing to consider a request for a Replat (RP17-0015 – Rocky Hill Farms) to create a residential subdivision. The property is generally located north of Cross Timbers Road and east of Lighthouse Drive.

Staff Presentation

Poornima Kashyap, Senior Planner

Questions of an Informational Nature

John Lapicola, 4901 Lighthouse, Flower Mound

In Favor - None

In Opposition - None

Close Public Hearing

Commission Deliberation

Vice Chair McCall moved to approve RP17-0015 – Rocky Hill Farms. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION

AYES: Dillon, Picardi, McCall, Neal, Ruthrauff

NAYS: None

ABSTAIN: None

ABSENT: Johnson

The motion passed with a vote of 5-0.

- 4. Public Hearing to consider a request for a Master Plan Amendment (MPA17-0010 – Lakeside Village) to amend Section 1.0, Land Use Plan, and Section 2.0, Area Plans, of the Master Plan to change the current land use designation from Campus Commercial use within the Lakeside Business District Area Plan to Mixed Use. The property is generally located west of Lakeside Parkway and south of Lakeside Village Boulevard. *(This item was tabled at the March 26, 2018, meeting.)***
- 5. Public Hearing to consider a request for rezoning (MU17-0002 – Lakeside DFW/Lakeside Village) to amend Mixed Use District-1 (MU-1) to include additional land, amend certain conceptual plans and development standards in the Lakeside DFW Development Code, and request certain exceptions and modifications to the Code of Ordinances. The property is generally located west of Long Prairie Road along both sides of Lakeside Parkway. *(This item was tabled at the March 26, 2018, meeting.)***

Chair Solis recused himself from Items 4 and 5 and left Council Chambers.

Staff Presentation

Tommy Dalton, Assistant Town Manager

Applicant Presentation

Jimmy Archie, Realty Capital Management, Irving

Spoke In Favor:

Roland Shepard, 728 Northwood, Flower Mound
Glenn Olson, 2377 Red Maple, Flower Mound
Jayme Thompson, 2701 Desco, Flower Mound
Chris Thompson, 2701 Desco, Flower Mound
Howard Jeffery, 528 Sandy, Flower Mound
Linda Jeffery, 528 Sandy, Flower Mound
Mike Siegel, 2705 Desco, Flower Mound
Kathy Beck, 691 Sandy, Flower Mound
Sandra Ludwig, 2621 Sedona, Flower Mound
Holly Homer, 304 Loma Alta, Flower Mound
Jenice Pizzuto, 2629 Desco, Flower Mound
Brian King, 348 Loma Alta, Flower Mound
Billy Ledet, 10913 Falling Leaf, Flower Mound
Mike Palmer, 2613 Fairhill, Flower Mound
Carol Kohankie, 4312 Lauren Way, Flower Mound
Michael Fuchs, 404 Monarch Hill, Keller
Barry Honea, 312 Hollow Way, Flower Mound
Leslie Sloan, Moviehouse & Eatery, Austin (*statement read by Kathy Frisbie*)
Kathy Frisbie, 2717 Desco, Flower Mound
Cathy Perry, 2617 Desco, Flower Mound
Peter Schwartz, 2617 Desco, Flower Mound
Noti Krasniqi, Mio Nonno

Submitted a card In Favor, but did not wish to speak:

Dan Pizzuto, 2629 Desco, Flower Mound
Christi Wade, 2625 Desco, Flower Mound
Pam Siegel, 2705 Desco, Flower Mound
Kelli Carr, 3501 Sutters Way, Flower Mound
Doug Kreuger, 7088 Raintree, Flower Mound
Lori Green, 2015 Reserve, Flower Mound
Lisa Armstrong, 5008 Forest Hill, Flower Mound
Curtis Frisbie, 2717 Desco, Flower Mound
Kim Honea, 312 Hollow Way, Flower Mound
David Woodard, 724 Northwood, Flower Mound
Asit Kini, 612 Heritage, Flower Mound

Spoke In Opposition:

Todd Marsh, 305 Hathaway, Flower Mound
Jeffrey Blasko, 624 Loma Alta, Flower Mound
Steve Smith, 3705 Sarah Springs Trail, Flower Mound
Jason Hobbs, 1000 Saint Francis, Flower Mound
Cathy Strathmann, 2612 Belmont, Flower Mound
Sandeep Sharma, 2504 Stillwater, Flower Mound
Adam Schiestel, 2205 Waterford, Flower Mound
Tony Lawrence, 1121 Coker, Flower Mound
Kalyan Siddabattula, 309 Hathaway, Flower Mound

Submitted a card to Speak In Opposition, but donated their time to Mr. Marsh:

Julie Marsh, 305 Hathaway, Flower Mound
Greg Wilson, 637 Loma Alta, Flower Mound
Susan Wilson, 637 Loma Alta, Flower Mound

Submitted a card to Speak In Opposition, but donated their time to Mr. Blasko:

Aricia Blasko, 624 Loma Alta, Flower Mound
Suneetha Rajesh, 2681 Virginia Pkwy., Flower Mound
Manan Hathi, 620 Loma Alta, Flower Mound
Holly Hennessey, 2612 Santa Monica, Flower Mound
Vikram Paruchuri, 629 Loma Alta, Flower Mound
Lisa Watrous, 2624 Virginia Pkwy., Flower Mound
Sujatha Peravali, 629 Loma Alta, Flower Mound

Submitted a card to Speak In Opposition, but did not come forward when called:

Linda Siegel, 1515 Rustic Timbers, Flower Mound

Close Public Hearing

Commission Deliberation (MPA17-0010)

Commissioner Johnson moved to recommend approval of MPA17-0010 – Lakeside Village. Commissioner Neal seconded the motion.

VOTE ON THE MOTION (MPA17-0010)

AYES: Neal, Johnson, McCall, Picardi, Dillon

NAYS: Ruthrauff

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 5-1.

Commission Deliberation (MU17-0002)

Commissioner Johnson moved to recommend denial of MU17-0002 – Lakeside DFW/Lakeside Village. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION (MU17-0002)

AYES: Johnson, Ruthrauff

NAYS: Dillon, Picardi, McCall, Neal

ABSTAIN: None

ABSENT: None

The motion failed with a vote of 2-4.

Commissioner Dillon moved to recommend approval of MU17-0002 – Lakeside DFW/Lakeside Village. Commissioner Picardi seconded the motion.

VOTE ON THE MOTION (MU17-0002)

AYES: Dillon, Picardi, McCall, Neal

NAYS: Johnson, Ruthrauff

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 4-2.

[Vice Chair McCall called for a 10-minute break.]

Chair Solis returned to Council Chambers.

6. **Public Hearing to consider a request for a Master Plan Amendment (MPA17-0012 – Tinley Park) to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Retail to High Density Single Family Detached. The property is generally located south of Flower Mound Road and west of Duncan Lane.**
7. **Public Hearing to consider a request for rezoning (ZPD17-0014 – Tinley Park) from Agricultural District (A) to Planned Development District No. 159 (PD-159) with Single-Family District-5 (SF-5) uses, with certain exceptions and modifications to the Code of Ordinances. The property is generally located south of Flower Mound Road and west of Duncan Lane.**

Staff Presentation

Richard Brown, Senior Planner

Applicant Presentation

Capt. Reginald Rembert, Jr., Rembert Enterprises

Spoke In Favor:

Ron Murchek, 110 Cherokee Path, Flower Mound
Paul Stone, 4100 Broadway, Flower Mound

Spoke In Opposition:

Rich Murchek, 106 Cherokee Path, Flower Mound

Close Public Hearing

Commission Deliberation (MPA17-0012)

Commissioner Johnson moved to recommend approval of MPA17-0012 – Tinley Park. Vice Chair McCall seconded the motion.

VOTE ON THE MOTION (MPA17-0012)

AYES: Ruthrauff, Neal, Johnson, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

Commission Deliberation (ZPD17-0014)

Commissioner Johnson moved to recommend approval of ZPD17-0014 – Tinley Park with the addition to remove Lot 3, Block B, and to remove second-story, rear windows and balconies on lots backing up to the south property boundary. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION (ZPD17-0014)

AYES: Dillon, Picardi, McCall, Johnson, Neal, Ruthrauff

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

8. Public Hearing to consider a request for a Master Plan Amendment (MPA17-0008 - Founder's Landing) to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Estate Residential to Retail. The property is generally located east of Long Prairie Road and north of Aberdeen Drive.
9. Public Hearing to consider a request for rezoning (ZPD17-0010 - Founder's Landing) from Agricultural District (A) to Planned Development District No. 157 (PD-157) with Retail District-2 (R-2) uses, and with certain modifications and exceptions to the Code of Ordinances. The property is generally located east of Long Prairie Road and north of Aberdeen Drive.

Staff Presentation

Poornima Kashyap, Senior Planner

Applicant Presentation

Randi Rivera, G & A Consultants
Ron Hilliard, 630 Copper Canyon, Copper Canyon

Spoke In Favor:

Don Shields, 3815 Cortadera, Flower Mound
Carol Kohankie, 4312 Lauren Way, Flower Mound
James Benton, 4716 Seafarer, Flower Mound
Steve Dixon, 4604 Wisdom Creek, Flower Mound
Paul Stone, 4100 Broadway, Flower Mound
Jim Engel, 5110 Bayberry, Flower Mound

Spoke In Opposition:

Gary Bode, 2700 Lake Flower, Flower Mound

Close Public Hearing

Commission Deliberation (MPA17-0008)

Commissioner Johnson moved to recommend approval of MPA17-0008 – Founder's Landing. Vice Chair McCall seconded the motion.

VOTE ON THE MOTION (MPA17-0008)

AYES: Ruthrauff, Neal, Johnson, McCall, Picardi, Dillon

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

Commission Deliberation (ZPD17-0010)

Commissioner Johnson moved to recommend approval of ZPD17-0010 – Founder's Landing. Vice Chair McCall seconded the motion.

VOTE ON THE MOTION (ZPD17-0010)

AYES: Dillon, Picardi, McCall, Johnson, Neal, Ruthrauff

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

E. ADJOURNMENT: 11:51 P.M.

TOWN OF FLOWER MOUND, TEXAS

Chuck Russell, Town Planner

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: April 23, 2018

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for a Master Plan Amendment (MPA17-0015 – Magnolia Court) to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Medium Density to High Density Single Family Detached. The property is generally located on the northwest corner of the intersection of Gerault Road and Spinks Road.

I. ITEM SUMMARY

On April 17, 2018, the applicant requested that the Town Council remand their request back to the Planning and Zoning Commission (P&Z) for its April 23, 2018, public hearing in order to allow them an opportunity to present revisions made to their submittal since the March 26, 2018, P&Z public hearing.

The proposed revisions do not impact this Master Plan Amendment request, and will be covered in the report for the companion application, Zoning Planned Development (ZPD17-0020), for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The applicant is requesting a Master Plan Amendment to change the Land Use designation of the subject property from Medium Density to High Density Single Family Detached on approximately 15.759 acres.

The Town's Master Plan defines the current Medium Density land use designation as "residential development, typically being single family detached residential development with minimum 10,000 square lots or greater."

The requested High Density Single Family Detached land use designation is defined as "residential development, typically being single family detached residential development with minimum 3,000 square foot lots or greater."

The proposed Master Plan Amendment allows the applicant to proceed with the companion zoning application to develop the property with 52 buildable lots with specific development standards, that in part, will require a minimum lot size of 6,000 square feet of land area for a maximum of 33 of the buildable lots; a minimum lot size of 8,400 square feet of land area for a minimum of 15 buildable lots; and, a minimum lot size of 9,500 square feet of land area for minimum of four of the buildable lots.

III. CORRESPONDENCE

Because the Town Council motion was to remand the request back to P&Z with a date-certain (April 23, 2018), the Town Attorney has determined this hearing date has been properly notified. Staff has sent a courtesy notification to property owners within 200 feet of the subject property. At the time this report was written, staff had received one piece of correspondence in support and none in opposition of the request.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

B. Application Details

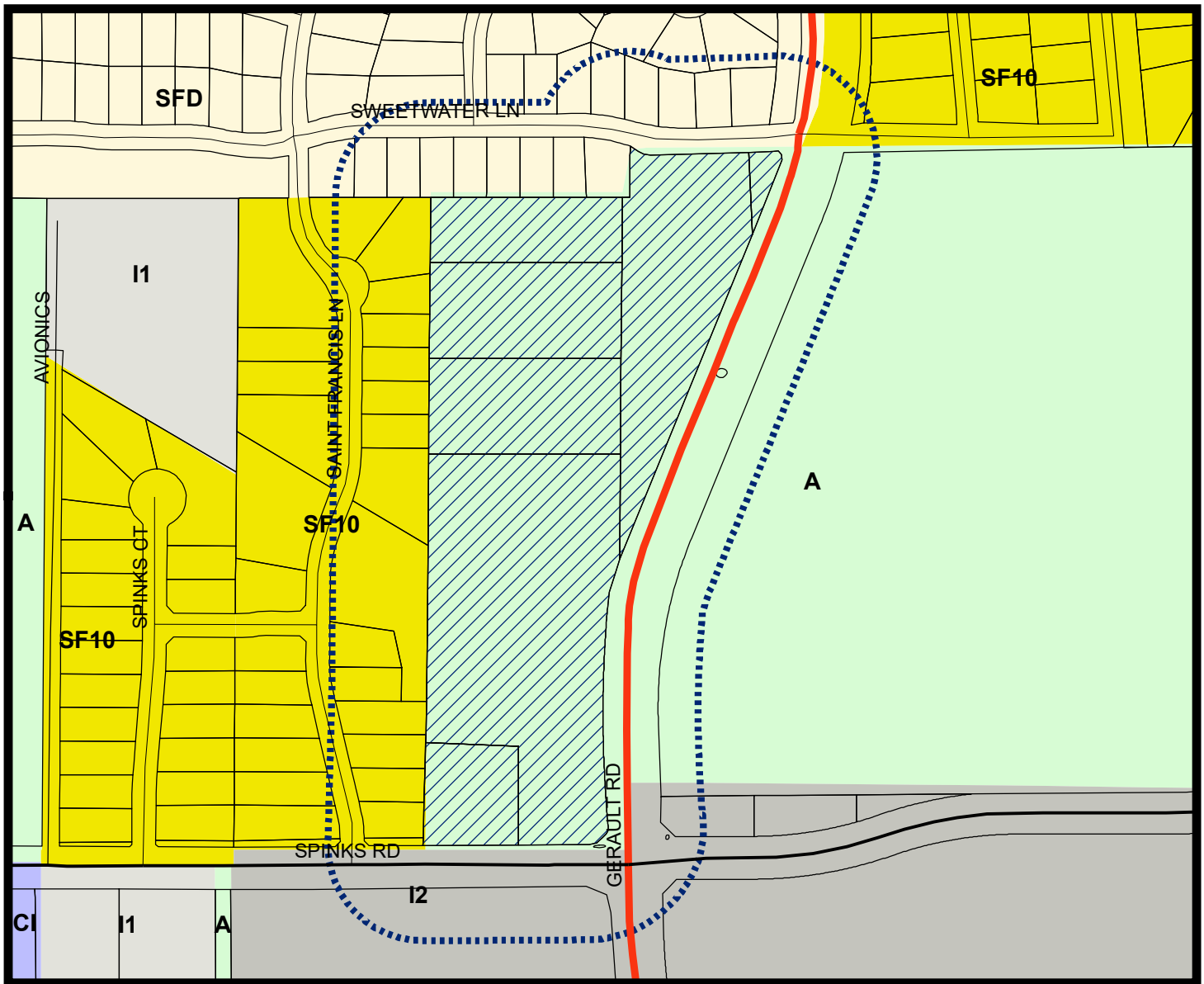
1. Master Plan Exhibit

C. Correspondence

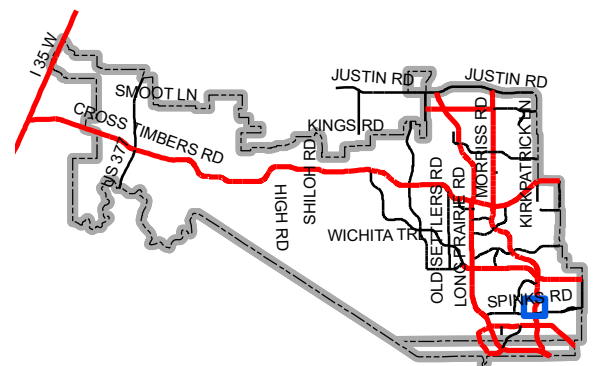
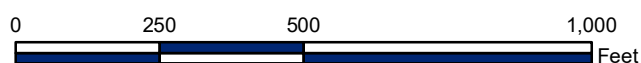
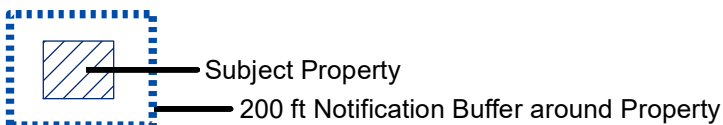
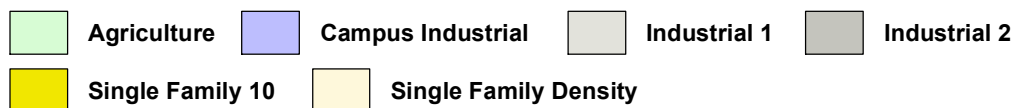
1. Correspondence in Support

Vicinity Map

Reference Project: MPA17-0015 & ZPD17-0020



LEGEND



Map Location



April 19, 2018

Richard Brown, Senior Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

Mr. Brown,

LandDesign, Inc. has submitted an application on behalf of Contour Real Estate & Development, LLC (herein referred to as "Applicant") for a Zoning Planned Development and Master Plan Amendment for Magnolia Court (herein referred to as the "site" or "property"). The application is for approximately 15.759 acres of land located at the northwest corner of the intersection of Gerault Road and Spinks Road.

Existing Zoning and Land Uses

The property is currently zoned Agricultural (A) and listed as "Medium Density" under the Town of Flower Mound's Master Plan. The existing uses on the property include four single-family residences, two of which are currently vacant and primary used for storage.

To the west and north, the property is bordered by the Bella Strada neighborhood (SF-10 zoning, Medium Density Residential) and the Cedar Bluff neighborhood (SFD PD-58 zoning, Medium Density Residential). To the east of the property is the Town of Flower Mound's Community Activity Center (Agricultural zoning, Park). To the south of the property is the northern boundary of the Lakeside Business District (I2 PD-44 zoning) and uses are primarily comprised of warehouse with limited office.

Proposed Zoning and Land Use

The Applicant is requesting a Zoning Planned Development and Master Plan Amendment revision to allow for fifty-two (52) single-family residential lots and it is anticipated that construction of the property shall be developed as one phase. The Zoning Planned Development request will be a revision from Agricultural (A) to Single Family 5 (SF-5) zoning. The Applicant is requesting a Master Plan Amendment revision from "Medium Density" land use to "High Density Single Family Detached" land use.

As shown on the Conceptual Site Plan, of the 15.759 acres within the development area, a collective 3.86 acres (24%) of Common Area X Lots have been provided.

Special Considerations

The following items include special considerations that are unique to the property that the Applicant has taken into consideration:

1. The following easements extend from the eastern right-of-way limits along Gerault Road and continue toward the northwest into the Bella Strada neighborhood:
 - A 70-foot wide Brazos Electric Power Cooperative Easement which contains a high voltage electrical transmission line.
 - A 15-foot wide Verizon Easement.
 - A 75-foot Lonestar Gas Company Easement

As required by Section 98-979 of the Code of Ordinances, no residential building may be constructed within 100-feet of the edge of the right-of-way or easement for a high voltage electrical transmission line, also known as the Building Free Area. As a result of this requirement, no residential building may be constructed within a 270-foot wide area of property extending from the eastern right-of-way limits along Gerault Road and continue toward the northwest into the Bella Strada neighborhood. However, after meeting with the Town of Flower Mound Parks Department, the Applicant is requesting the ability to construct an open air structure for the Private Open Space area that would meet the design criteria for the Town of Flower Mound.

2. The property includes several existing and proposed trails as identified within the Town of Flower Mound's Parks and Trail Master Plan. These include:
 - Along Spinks Road, the Town of Flower Mound has constructed the extension of the Bluebonnet Trail. The existing trail is an 8-foot wide multi-use trail located at the back of curb along Spinks Road and it is the intent of the Applicant to maintain this existing trail.
 - Along Gerault Road, an 8-foot wide meandering multi-use trail is proposed within the 25-foot street buffer and Gerault Road right-of-way. This trail will connect from the existing trail along to Spinks Road and extend to the north to the intersection with Sweetwater Lane.
 - Along Sweetwater Lane, an 8-foot wide meandering multi-use trail is proposed along the residential lot frontage and connect to the existing 4-foot wide sidewalk to the west. This trail will connect from the existing sidewalk and extend to the east to the intersection with Sweetwater Lane and Gerault Road.
 - Within the utility easement extending from the eastern right-of-way limits along Gerault Road and continuing toward the northwest into the Bella Strada neighborhood, an 8-foot wide multi-use trail is proposed to connect from the multi-use trail along Gerault Road and to extend the western property line adjacent to the Bella Strada neighborhood.
3. The existing single-family residential lots within the Bella Strada neighborhood to the west and Cedar Bluff neighborhood to the north are approximately 70-feet in width. Adjacent to these neighborhoods, the Applicant has proposed 70-foot wide lots to provide commonality of width between the properties as well as 10-foot wide side yards within these lots to match the adjacent existing home lots. Homes which are oriented toward Sweetwater Lane are proposed to be 65-feet in width and shall have 7-foot wide side yards to match the adjacent existing home lots along Sweetwater Lane. For the remainder of the

development area, 50-foot wide home lots are proposed as the market for residential lots in North Texas is gravitating toward smaller lots with quality built homes. Many of today's buyers are seeking smaller lots, requiring less time and income for maintenance and more allotment for quality of life pursuits. With these smaller lots come a greater desire for quality public open spaces within the development. Understanding the sensitivity of increased density to the adjacent neighborhoods, the Applicant has agreed to the following items within the Development Standards:

- To ensure only a single family residential development is developed under this rezoning and master plan amendment request, the "Permitted Uses" allowed under Single Family Residential District-5 (SF-5) have been limited to the following uses with this application:
 - o Dwelling, single-family detached;
 - o Accessory use, general, subject to section 98-972;
 - o Garage Sale, subject to section 98-982;
 - o Home occupation, subject to section 98-984;
 - o Model home; and,
 - o Swimming pool, private.
 - To ensure only a single family residential development is developed under this rezoning and master plan amendment request, no "Specific Uses" allowed under Single Family Residential District-5 (SF-5) have been included as allowable uses with this application:
 - To ensure only a single family residential development is developed under this rezoning and master plan amendment request, the "Temporary Uses" allowed under Single Family Residential District-5 (SF-5) have been limited to the following uses with this application:
 - o Asphalt/concrete batch plant, temporary, subject to section 98-974.
 - o Field office, temporary.
 - o Sales trailer, temporary, subject to section 98-993.
4. Street access to the property is proposed to be from Gerault Road to the east and Spinks Road to the south. Access from Gerault Road is intended to align with the existing median break at the entrance to the Town of Flower Mound's Community Activity Center. Access from Spinks Road is intended to be a right-in/right-out only. To the north, no street access is proposed to Sweetwater Lane to minimize disruptions to the existing Cedar Bluff neighborhood as well minimize existing safety concerns of the neighbors by adding additional vehicles using the Sweetwater Lane and Gerault Road intersection.

Proposed Exceptions

Listed below are the exceptions as requested by this application:

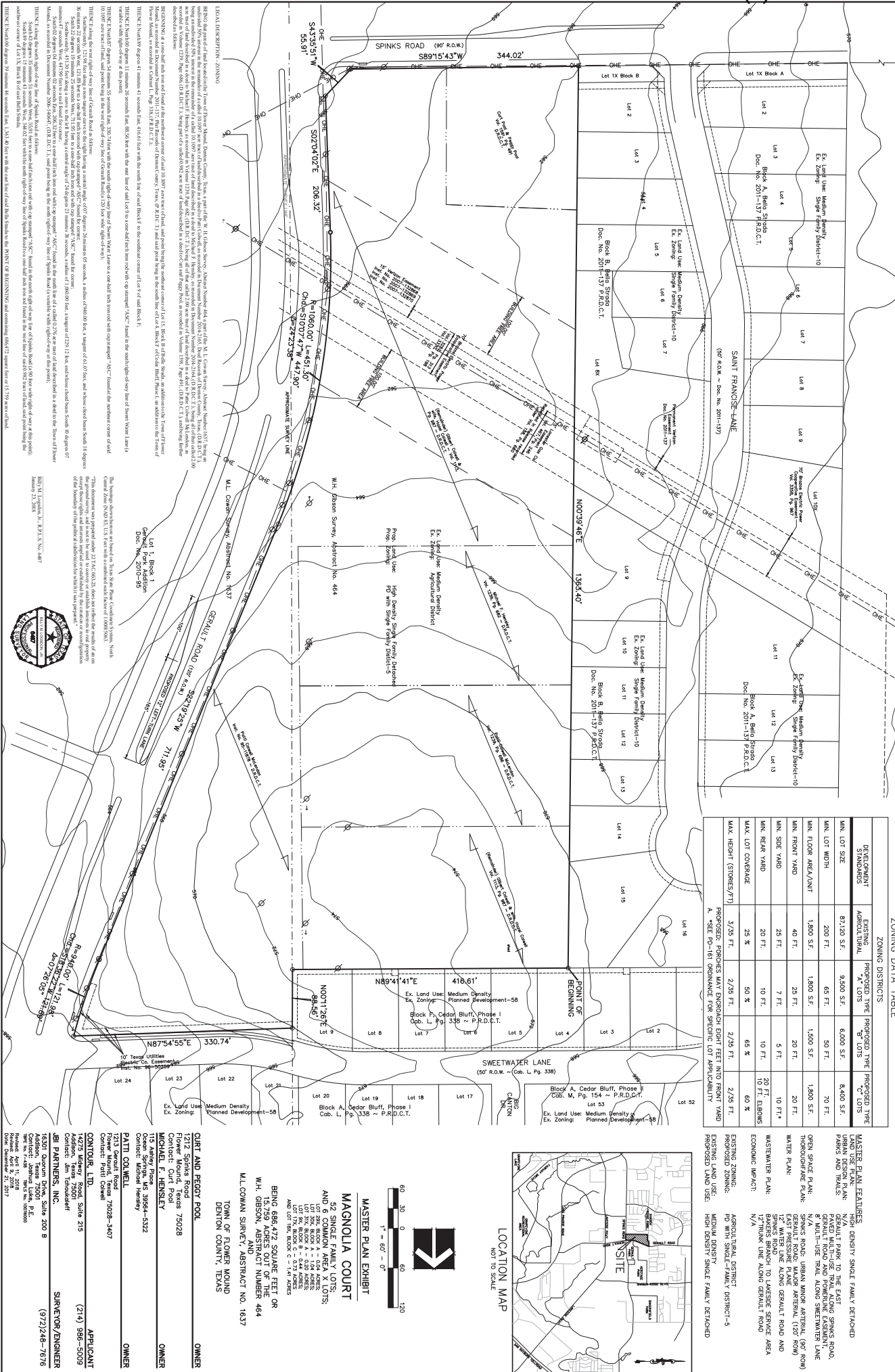
1. An exception to the requirements of the Town of Flower Mound's "Access Management Policy and Criteria" for Access Spacing Criteria. Because of the length of the property frontage along Spinks Road, the Applicant is requesting an exception to allow for the Access Spacing Distance to be less than 250-feet from Gerault Road or from St. Francis Lane.
2. Exception to Section 82-242, Street buffer landscaping, to address 25-foot minimum width along Spinks Road. Note required street buffer of 25 feet is provided along Gerault Road.
3. Exception to Section 98-1027, Minimum side yard setback, to address side yard setback adjacent to the street right-of-way. (This affects both lots on Spinks Road, each side of Street B and the corner lot on Street A at Gerault Road, and the corner lot at Sweetwater Lane and Gerault Road). Spinks Road requires a 35' side yard setback and Gerault Road requires 60' side yard setback.

Community Outreach and Due Diligence

To ensure the surrounding property owners are informed of the current design and development process, the Applicant has sent invitations to the residents of Bella Strada, Cedar Bull and Bakers Branch neighborhoods inviting them to four (4) informational meetings held at the Community Activity Center. Dates for these meetings were November 21, 2017, February 7, 2018, and March 19, 2018. A fourth meeting will be held April 20, 2018. Feedback from the first two meetings has helped shape the Development Standards and been incorporated in this submitted application. The purpose of the third and fourth meeting is to provide residents with a view of the updated site plan. The Applicant also participated in a Design Review Committee meeting with Town Staff on November 21, 2017 to receive preliminary feedback based on the proposed site plan. On December 11, 2017, the Applicant walked the property with the Town of Flower Mound's Environmental Review Analyst to identify any specimen trees that may be located on the property.

Please let me know if you have any questions or need any further information.

Sincerely,
Matt Vinten, PLA
Associate, Senior Designer for LandDesign, Inc.



From: hensley5571

Sent: Wednesday, April 18, 2018 12:02 PM

To: Richard Brown <richard.brown@flower-mound.com>

Subject: Letter of Support for Magnolia Court devopment

Dear Mr.Brown ,

Hazel and Gilbert Colwell worked hard to build their home at 1313 Gerault Road in Flower Mound , Texas long before there were any other housing developments or commercial enterprises in the area. In order to visit them, one had to turn down a little dirt road and cross a one -way bridge. They welcomed their new Neighbors and the Flower Mound Community Activity Center across Gerault Road. They shared their garden with many others and one was always welcome for a cup of coffee.

We feel assured that they would be proud of of the proposed Magnolia Court development .

We support the MPA-Magnolia Court and the ZPD-Magnolia Court .

Michael and Laura Hensley



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: April 23, 2018

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for rezoning (ZPD17-0020 – Magnolia Court) from Agricultural District (A) to Planned Development District No. 161 (PD-161) with Single-Family District-5 (SF-5) uses, with certain exceptions and modifications to the Code of Ordinances. The property is generally located on the northwest corner of the intersection of Gerault Road and Spinks Road.

I. ITEM SUMMARY

On April 17, 2018, the applicant requested that the Town Council remand this request back to the Planning and Zoning Commission (P&Z) for its April 23, 2018, public hearing in order to allow them an opportunity to present revisions made to their submittal since the March 26, 2018, P&Z public hearing. There are still exceptions to the Town's regulations, as well as one unresolved item, which necessitate special consideration by the Commission (see Application Analysis below).

The project has a companion application, Master Plan Amendment (MPA17-0015), for consideration on the same agenda. Approval of this rezoning request is contingent upon approval of the Master Plan Amendment.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to rezone approximately 15.759 acres of land in order to develop residential lots in conformance with the proposed Master Plan designation of High Density Single Family Detached.

The existing Agricultural zoning requires residential lots containing a minimum two acres in size. The entire acreage is largely undeveloped with the exception of a single family dwelling and accessory structures at the southwest corner of the site along with additional residential/accessory structures within the northwest quadrant, all of which will be removed to provide for the applicant's development vision.

The property is located along the north line of Spinks Road and the west line of Gerault Road. The development will provide for two points of ingress/egress; one each along both streets. Internal circulation will be provided by internal streets possessing 32 feet of pavement within a 50-foot-wide right-of-way. The property is diagonally encumbered by various overlapping easements and required building setbacks (from the electric easement) within an approximate 270-foot-wide area:

- 70-foot-wide Brazos Electric Power easement
- 75-foot-wide Lone Star Gas Company easement
- 15-foot-wide Verizon easement
- 100-foot-wide building setback area from the electric easement

The accompanying concept site plan [Attachment B(1)] provides for a one-phase residential development consisting of single-family detached dwellings and approximately 3.97 acres of open space and common areas (25 percent of the site). The applicant is proposing a maximum of 52 buildable lots with specific development standards, that in part, will require a minimum lot size of 6,000 square feet of land area for a maximum of 33 of the buildable lots; a minimum lot size of 8,400 square feet of land area for a minimum of 15 buildable lots; and, a minimum lot size of 9,500 square feet of land area for a minimum of four of the buildable lots. A table showing the details for each type of lot is provided further in this material.

The site possesses one specimen tree (19-inch Cedar Elm) which will be retained. It is located along the Sweetwater Lane frontage for the proposed Lot 3.

III. REQUESTED MODIFICATIONS

The applicant is requesting the following modifications to the minimum and maximum dimensional regulations of the SF-5 zoning district:

TOWN STANDARD	EXISTING AGRICULTURAL DISTRICT	SF-5 DISTRICT	PROPOSED SF-5 DISTRICT		
			TYPE A LOTS (MINIMUM 4 LOTS)	TYPE B LOTS (MAXIMUM 33 LOTS)	TYPE C LOTS (MINIMUM 15 LOTS)
MINIMUM LOT AREA	TWO ACRES	5,000 SF	9,500 SF	6,000 SF	8,400 SF
MINIMUM LOT WIDTH	200 FEET	50 FEET	65 FEET	50 FEET	70 FEET
MINIMUM FLOOR AREA/DWELLING UNIT	1,800 SF	1,500 SF	1,800 SF	1,500 SF	1,800 SF
MINIMUM FRONT YARD	40 FEET	20 FEET	25 FEET	20 FEET	20 FEET
MINIMUM SIDE YARD	25 FEET	5 FEET	7 FEET	5 FEET	10 FEET
MINIMUM REAR YARD	20 FEET	20 FEET	10 FEET	10 FEET	20 FEET; 10 FEET ON ELBOW LOTS (3 LOTS, TOTAL)
MAXIMUM LOT COVERAGE	25 PERCENT	55 PERCENT	50 PERCENT	65 PERCENT	60 PERCENT
MAXIMUM STORIES/STRUCTURE HEIGHT	3 STORIES/ 35 FEET	3 STORIES/ 35 FEET	2 STORIES/ 35 FEET	2 STORIES/ 35 FEET	2 STORIES/ 35 FEET
MISCELLANEOUS STANDARDS FOR THE PROPOSED RESIDENTIAL SUBDIVISION • PORCHES MAY ENCROACH INTO THE REQUIRED FRONT YARD A MAXIMUM OF EIGHT FEET • CORNER LOTS-SETBACKS MATCH FRONT YARD SETBACK FOR KEY LOTS; 15 FEET FOR NON-KEY LOTS • FENCES MAY NOT EXTEND INTO THE FRONT YARD BEYOND THE FRONT FAÇADE					

Exception to Access Management Policy and Criteria

The Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances requires driveway spacing along Spinks Road (Urban Minor Arterial) a minimum 250 feet between drive approaches. The applicant is able to comply with the required minimum spacing from Saint Francis Lane to the west, while the requested exception is needed for its drive approach, eastward to its intersection with Gerault Road. Refer to the applicant's letter of intent [Attachment A(2)] for a detailed explanation for the requested exception.

Exception to Section 82-242, Street buffer landscaping

Section 82-242 of the Town Code requires the area of the lot adjacent to the street right-of-way line and extending into the lot for a minimum width as provided below shall be landscaped, except for necessary driveways. The minimum width of the required landscaped street buffer along both Spinks Road and Gerault Road is 25 feet.

The applicant is requesting an exception from the Town's street buffer landscaping requirements for the property frontage along Spinks Road. The required buffer is being reduced from the required 25-foot width to approximately 15 feet in width. It should be noted the existing Town trail is located at back-of-curb, thus this requested exception does not impact its existence along the roadway.

The required street buffer along the west line of Gerault Road is being provided.

Exception to Section 98-1027, Minimum side yard setback

Section 98-1027(e) of the Town Code states the following:

- (e) *Special regulations for residential districts.* In all residential zoning districts, including agricultural, the following building setbacks from street lines shall be required:
 - (1) On minor arterials, a minimum 35-foot side yard setback.
 - (2) On major arterials, a minimum 60-foot side yard setback.
 - (3) Notwithstanding the foregoing, during the platting process, the town council may authorize exceptions to these special side yard requirements in instances where there exists irregular or jogged right-of-way lines, or other such special circumstances.

The following table compares the Town standards to the applicant's requested areas of revision:

ROADWAY SECTION	REQUIRED SIDE YARD SETBACK	APPLICANT'S PROPOSED SIDE YARD SETBACK	NOTES
SPINKS ROAD	35 FEET	WESTERN LOT-25 FEET EASTERN LOT-20 FEET	WESTERN LOT REQUIRES GREATER SIDE YARD SETBACK THAN THE EASTERN LOT
GERAULT ROAD	60 FEET	LOT AT INTERSECTION OF GERAULT AND STREET A-30 FEET LOT AT INTERSECTION OF GERAULT AND SWEETWATER-32 FEET	LOT AT STREET A/GERAULT REQUIRES A 5 FOOT SIDE YARD SETBACK LOT AT SWEETWATER/GERAULT REQUIRES A 7 FOOT SIDE YARD SETBACK

As the applicant is requesting a Planned Development, it is customary to consider all exceptions and modifications during the zoning process.

IV. UNRESOLVED ITEM

This application was submitted to the Town on December 22, 2017. During this time, there has been a significant amount of effort expended by Town staff and the applicant's development team to ensure the application complies with all relevant components of the Master Plan, as well as possessing sensitivity of the development's impact on the residential developments abutting the site's western and northern property lines. As noted at the beginning of this material, the applicant digested the public comments and input of the Commission during its March 26, 2018 public hearing, leading to requesting this application be remanded back to the Planning and Zoning Commission to consider this revised submittal.

As this report has addressed all aspects of the applicant's development vision, there does remain one item where staff retains some concern as to a favorable outcome not being established:

1. Park Land Dedication

As noted below, the Parks Board considered this application on March 1, 2018. The proposed development standards [(Attachment B(2))] provide for the applicant's proposed park land dedication and fee requirements.

As noted above, the site possesses an approximate 270-foot-wide area that is unbuildable. An electrical and gas easement runs through the center of the unbuildable area. On the south side of the easement and building setback area are two x-lots that will serve to capture stormwater runoff. It is not uncommon for private development to improve retention/detention areas with amenities to serve its residents (or tenants/employees/visitors for nonresidential development). Lastly, the span of area proposed for the publicly accessible but privately maintained park land is split by one of the proposed internal streets to serve the development.

While working with the applicant during this process, staff had taken a position that due to the characteristics of the land area identified for dedication, it would be difficult to utilize for public park purposes. It should be noted the Parks and Trails Master Plan denotes a trail section that traverses across the property on the north side of the easement area from Gerault Road. This portion of the trail will be installed between the roadway and its western property line during construction of the residential subdivision.

The proposed development standards intend for a credit against the recommended fees in lieu of park land dedication for common area Lots 18X and 35X, located as shown on the conceptual landscape plan, and credit against park development fees for improvements within the land area noted in this section of the staff report.

On [March 1, 2018](#), the Parks Board voted to recommend acceptance of cash in lieu of land of \$263,088 in the place of otherwise required Park Land dedication and Park Development Fees in the amount of \$80,504. As the applicant is requesting alternate park land dedication and fees, staff has included this under this section of the report. The Town Council will consider this during its public hearing of the request.

This recommendation will be forwarded to the Town Council for consideration at the same time as the subject Zoning Planned Development and companion Master Plan Amendment.

V. CORRESPONDENCE

Because the Town Council motion was to remand the request back to P&Z with a date-certain (April 23, 2018), the Town Attorney has determined this hearing date has been properly notified. Staff has sent a courtesy notification to property owners within 200 feet of the subject property. At the time this report was written, staff had received one piece of correspondence in support and none in opposition of the request.

VI. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

B. Application Details

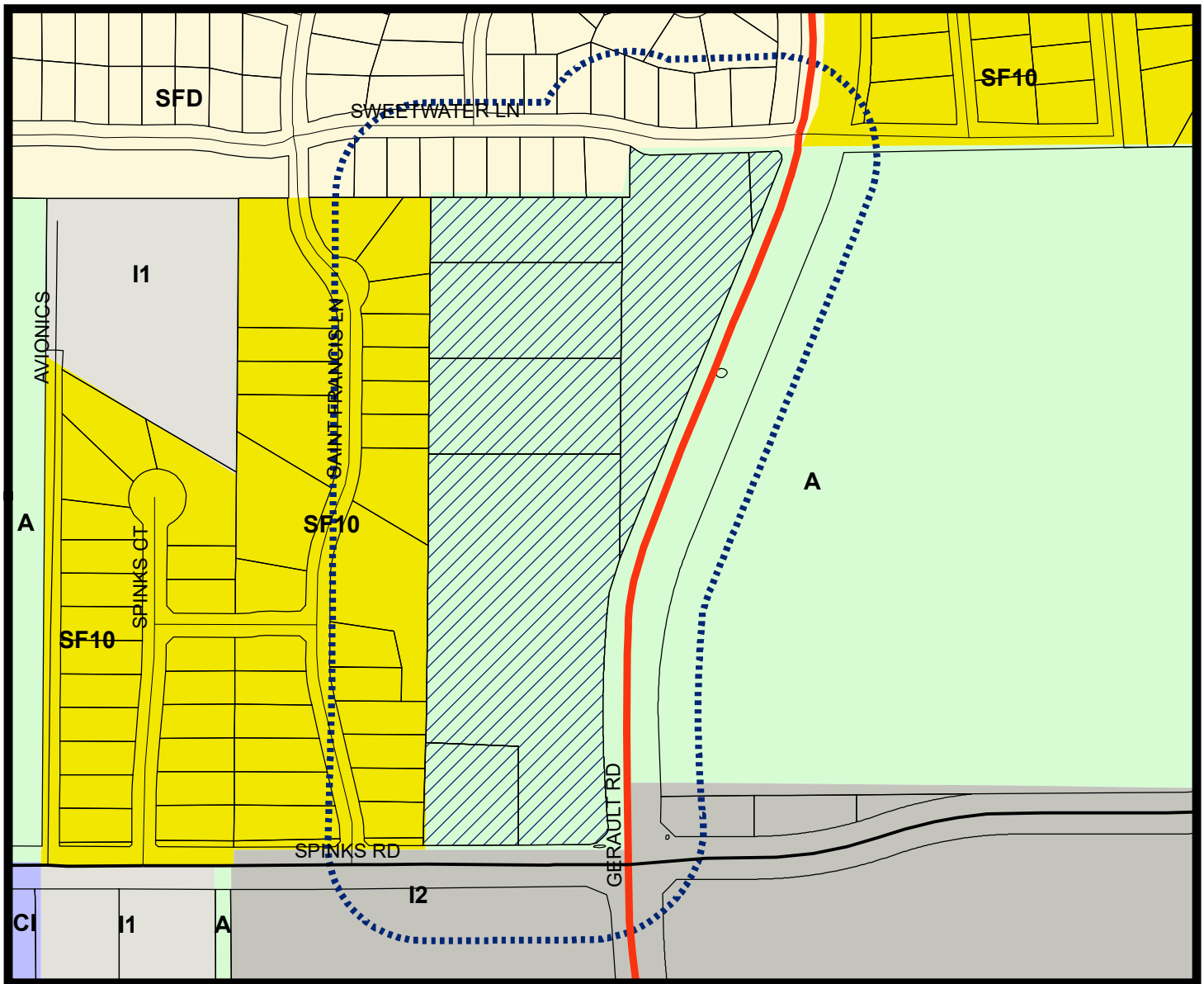
1. Planned Development Zoning Package
2. Draft Planned Development (PD) Standards

C. Correspondence

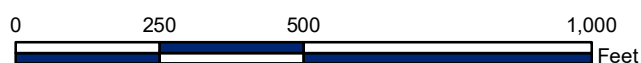
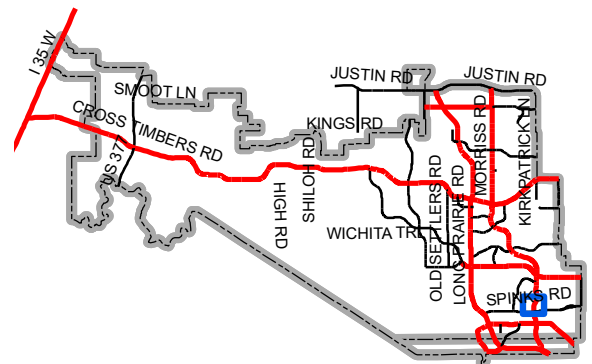
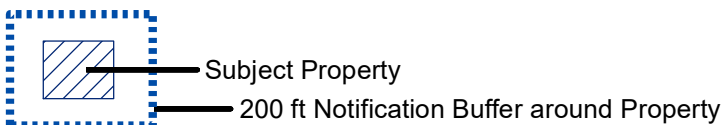
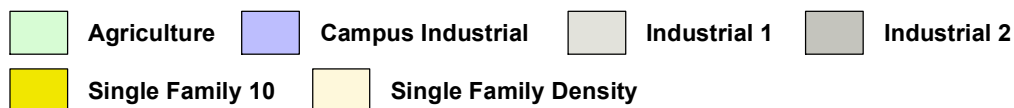
1. Correspondence in Support

Vicinity Map

Reference Project: MPA17-0015 & ZPD17-0020



LEGEND



Map Location



April 19, 2018

Richard Brown, Senior Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

Mr. Brown,

LandDesign, Inc. has submitted an application on behalf of Contour Real Estate & Development, LLC (herein referred to as "Applicant") for a Zoning Planned Development and Master Plan Amendment for Magnolia Court (herein referred to as the "site" or "property"). The application is for approximately 15.759 acres of land located at the northwest corner of the intersection of Gerault Road and Spinks Road.

Existing Zoning and Land Uses

The property is currently zoned Agricultural (A) and listed as "Medium Density" under the Town of Flower Mound's Master Plan. The existing uses on the property include four single-family residences, two of which are currently vacant and primary used for storage.

To the west and north, the property is bordered by the Bella Strada neighborhood (SF-10 zoning, Medium Density Residential) and the Cedar Bluff neighborhood (SFD PD-58 zoning, Medium Density Residential). To the east of the property is the Town of Flower Mound's Community Activity Center (Agricultural zoning, Park). To the south of the property is the northern boundary of the Lakeside Business District (I2 PD-44 zoning) and uses are primarily comprised of warehouse with limited office.

Proposed Zoning and Land Use

The Applicant is requesting a Zoning Planned Development and Master Plan Amendment revision to allow for fifty-two (52) single-family residential lots and it is anticipated that construction of the property shall be developed as one phase. The Zoning Planned Development request will be a revision from Agricultural (A) to Single Family 5 (SF-5) zoning. The Applicant is requesting a Master Plan Amendment revision from "Medium Density" land use to "High Density Single Family Detached" land use.

As shown on the Conceptual Site Plan, of the 15.759 acres within the development area, a collective 3.86 acres (24%) of Common Area X Lots have been provided.

Special Considerations

The following items include special considerations that are unique to the property that the Applicant has taken into consideration:

1. The following easements extend from the eastern right-of-way limits along Gerault Road and continue toward the northwest into the Bella Strada neighborhood:
 - A 70-foot wide Brazos Electric Power Cooperative Easement which contains a high voltage electrical transmission line.
 - A 15-foot wide Verizon Easement.
 - A 75-foot Lonestar Gas Company Easement

As required by Section 98-979 of the Code of Ordinances, no residential building may be constructed within 100-feet of the edge of the right-of-way or easement for a high voltage electrical transmission line, also known as the Building Free Area. As a result of this requirement, no residential building may be constructed within a 270-foot wide area of property extending from the eastern right-of-way limits along Gerault Road and continue toward the northwest into the Bella Strada neighborhood. However, after meeting with the Town of Flower Mound Parks Department, the Applicant is requesting the ability to construct an open air structure for the Private Open Space area that would meet the design criteria for the Town of Flower Mound.

2. The property includes several existing and proposed trails as identified within the Town of Flower Mound's Parks and Trail Master Plan. These include:
 - Along Spinks Road, the Town of Flower Mound has constructed the extension of the Bluebonnet Trail. The existing trail is an 8-foot wide multi-use trail located at the back of curb along Spinks Road and it is the intent of the Applicant to maintain this existing trail.
 - Along Gerault Road, an 8-foot wide meandering multi-use trail is proposed within the 25-foot street buffer and Gerault Road right-of-way. This trail will connect from the existing trail along to Spinks Road and extend to the north to the intersection with Sweetwater Lane.
 - Along Sweetwater Lane, an 8-foot wide meandering multi-use trail is proposed along the residential lot frontage and connect to the existing 4-foot wide sidewalk to the west. This trail will connect from the existing sidewalk and extend to the east to the intersection with Sweetwater Lane and Gerault Road.
 - Within the utility easement extending from the eastern right-of-way limits along Gerault Road and continuing toward the northwest into the Bella Strada neighborhood, an 8-foot wide multi-use trail is proposed to connect from the multi-use trail along Gerault Road and to extend the western property line adjacent to the Bella Strada neighborhood.
3. The existing single-family residential lots within the Bella Strada neighborhood to the west and Cedar Bluff neighborhood to the north are approximately 70-feet in width. Adjacent to these neighborhoods, the Applicant has proposed 70-foot wide lots to provide commonality of width between the properties as well as 10-foot wide side yards within these lots to match the adjacent existing home lots. Homes which are oriented toward Sweetwater Lane are proposed to be 65-feet in width and shall have 7-foot wide side yards to match the adjacent existing home lots along Sweetwater Lane. For the remainder of the

development area, 50-foot wide home lots are proposed as the market for residential lots in North Texas is gravitating toward smaller lots with quality built homes. Many of today's buyers are seeking smaller lots, requiring less time and income for maintenance and more allotment for quality of life pursuits. With these smaller lots come a greater desire for quality public open spaces within the development. Understanding the sensitivity of increased density to the adjacent neighborhoods, the Applicant has agreed to the following items within the Development Standards:

- To ensure only a single family residential development is developed under this rezoning and master plan amendment request, the "Permitted Uses" allowed under Single Family Residential District-5 (SF-5) have been limited to the following uses with this application:
 - o Dwelling, single-family detached;
 - o Accessory use, general, subject to section 98-972;
 - o Garage Sale, subject to section 98-982;
 - o Home occupation, subject to section 98-984;
 - o Model home; and,
 - o Swimming pool, private.
 - To ensure only a single family residential development is developed under this rezoning and master plan amendment request, no "Specific Uses" allowed under Single Family Residential District-5 (SF-5) have been included as allowable uses with this application:
 - To ensure only a single family residential development is developed under this rezoning and master plan amendment request, the "Temporary Uses" allowed under Single Family Residential District-5 (SF-5) have been limited to the following uses with this application:
 - o Asphalt/concrete batch plant, temporary, subject to section 98-974.
 - o Field office, temporary.
 - o Sales trailer, temporary, subject to section 98-993.
4. Street access to the property is proposed to be from Gerault Road to the east and Spinks Road to the south. Access from Gerault Road is intended to align with the existing median break at the entrance to the Town of Flower Mound's Community Activity Center. Access from Spinks Road is intended to be a right-in/right-out only. To the north, no street access is proposed to Sweetwater Lane to minimize disruptions to the existing Cedar Bluff neighborhood as well minimize existing safety concerns of the neighbors by adding additional vehicles using the Sweetwater Lane and Gerault Road intersection.

Proposed Exceptions

Listed below are the exceptions as requested by this application:

1. An exception to the requirements of the Town of Flower Mound's "Access Management Policy and Criteria" for Access Spacing Criteria. Because of the length of the property frontage along Spinks Road, the Applicant is requesting an exception to allow for the Access Spacing Distance to be less than 250-feet from Gerault Road or from St. Francis Lane.
2. Exception to Section 82-242, Street buffer landscaping, to address 25-foot minimum width along Spinks Road. Note required street buffer of 25 feet is provided along Gerault Road.
3. Exception to Section 98-1027, Minimum side yard setback, to address side yard setback adjacent to the street right-of-way. (This affects both lots on Spinks Road, each side of Street B and the corner lot on Street A at Gerault Road, and the corner lot at Sweetwater Lane and Gerault Road). Spinks Road requires a 35' side yard setback and Gerault Road requires 60' side yard setback.

Community Outreach and Due Diligence

To ensure the surrounding property owners are informed of the current design and development process, the Applicant has sent invitations to the residents of Bella Strada, Cedar Bull and Bakers Branch neighborhoods inviting them to four (4) informational meetings held at the Community Activity Center. Dates for these meetings were November 21, 2017, February 7, 2018, and March 19, 2018. A fourth meeting will be held April 20, 2018. Feedback from the first two meetings has helped shape the Development Standards and been incorporated in this submitted application. The purpose of the third and fourth meeting is to provide residents with a view of the updated site plan. The Applicant also participated in a Design Review Committee meeting with Town Staff on November 21, 2017 to receive preliminary feedback based on the proposed site plan. On December 11, 2017, the Applicant walked the property with the Town of Flower Mound's Environmental Review Analyst to identify any specimen trees that may be located on the property.

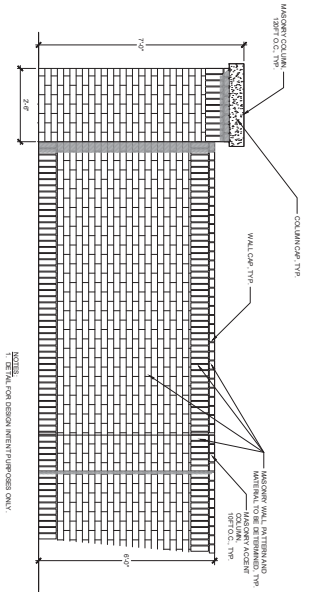
Please let me know if you have any questions or need any further information.

Sincerely,
Matt Vinten, PLA
Associate, Senior Designer for LandDesign, Inc.

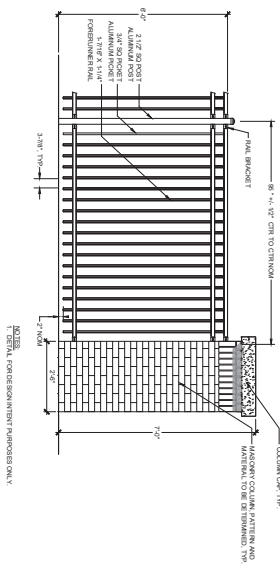




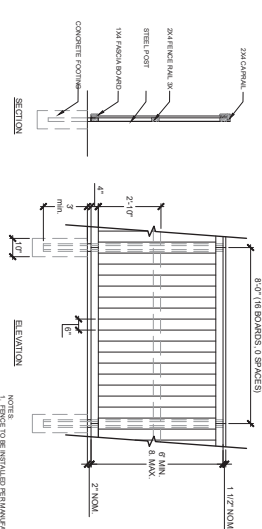
RZ1.0



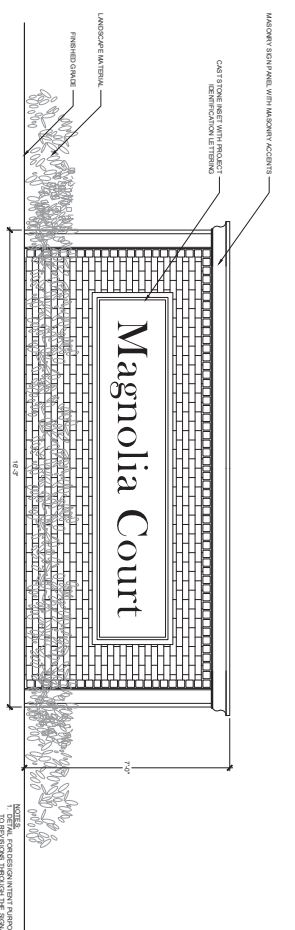
1 SCREENWALL AND COLUMN
R22.0 ELEVATION
NTS



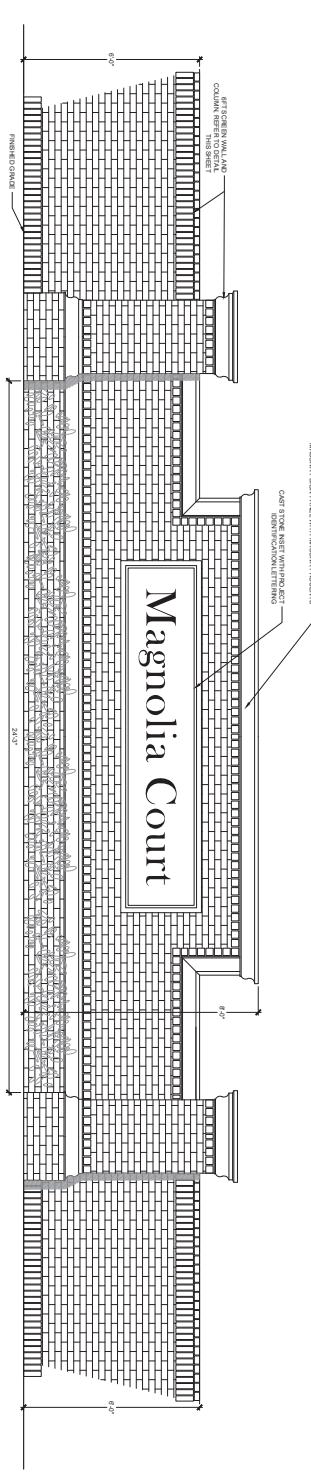
2 DECORATIVE FENCE
R22.0 ELEVATION
NTS



3 WOOD SCREEN FENCE
R22.0 SECTION/ELEVATION
NOT TO SCALE



4 SECONDARY MONUMENT SIGN
R22.0 ELEVATION
NTS



5 PRIMARY MONUMENT SIGN
R22.0 ELEVATION
NTS

Exhibit “B”

Development Standards

Planned Development District No. 161 (PD-161)

Magnolia Court

The development on the property comprising approximately 15.759 acres of land within the corporate limits of the Town of Flower Mound (“Town”) and as described on Exhibit “A” to this Zoning Ordinance adopting PD-161 shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements.

A. Exhibits.

The following exhibits are incorporated into this Planned Development District:

1. Exhibit C: Conceptual Site Plan.
2. Exhibit D: Conceptual Landscape Plan.

B. Uses.

Development of Magnolia Court, comprising approximately 15.759 acres of land, shall comply with all regulations applicable to the Single Family Residential District-5 (SF-5) contained in the Town’s Land Development Regulations, as amended, except as otherwise provided and/or limited herein.

1. Permitted Uses. Only the following permitted uses shall be allowed, subject to compliance with all applicable conditions and provisions of the Town’s Land Development Regulations, as amended:
 - a. Dwelling, single-family detached;
 - b. Accessory use, general, subject to section 98-972;

- c. Garage Sale, subject to section 98-982;
 - d. Home occupation, subject to section 98-984;
 - e. Model home; and,
 - f. Swimming pool, private.
2. Specific Uses. No specific uses requiring the issuance of a specific use permit shall be allowed.
3. Temporary Uses. Only the following temporary uses shall be allowed subject to approval of a temporary use permit in accordance with the procedures and standards of section 78-87 of the Code, "Temporary Use Permits":
- a. Asphalt/concrete batch plant, temporary, subject to section 98-974;
 - b. Field office, temporary;
 - c. Sales trailer, temporary, subject to section 98-993; and,
 - d. Temporary special event, subject to section 98-976.

C. Minimum and maximum dimensions.

1. The maximum number of lots shall be 52, and further restricted to the following:
- a. The minimum number of Type A lots is four and shall be located as shown on Exhibit "C".
 - b. The maximum number of Type B lots is 32 and shall be located as shown on Exhibit "C".
 - c. The minimum number of Type C lots is 16 and shall be located as shown on Exhibit "C".

2. Type A Lots.

- a. Minimum lot area per dwelling. The minimum lot area shall be 9,500 square feet, subject to section 98-1023.
- b. Minimum lot width. The minimum lot width shall be 65 feet, subject to section 98-1024.
- c. Minimum floor area per unit. The minimum floor area per dwelling unit shall be 1,800 square feet, subject to section 98-1025.
- d. Minimum front yard.
 - i. Except as provided in this paragraph, the minimum front yard setback shall be 25 feet, subject to section 98-1026. Minimum setback for corner lots must match the front yard setback for key lots. Minimum setback for non-key lots is 15 feet.
 - ii. A front entry garage shall be set back a minimum of 25 feet from the front property line.
 - iii. Porches may encroach a maximum of eight feet into the front yard.
 - iv. Fences shall not extend into the front yard beyond the front façade of the residential dwelling.
- e. Minimum side yard. The minimum side yard shall be seven feet, subject to section 98-1027.
- f. Minimum rear yard. The minimum rear yard shall be ten feet, subject to section 98-1028.
- g. Maximum lot coverage. The maximum lot coverage shall be 50 percent, subject to section 98-1029.
- h. Maximum height. The maximum height of buildings and structures shall be two stories or 35 feet, subject to section 98-1031.

3. Type B Lots.

- a. Minimum lot area per dwelling. The minimum lot area shall be 6,000 square feet, subject to section 98-1023.
- b. Minimum lot width. The minimum lot width shall be 50 feet, subject to section 98-1024.
- c. Minimum floor area per unit. The minimum floor area per dwelling unit shall be 1,500 square feet, subject to section 98-1025.
- d. Minimum front yard.
 - i. Except as provided in this paragraph, the minimum front yard setback shall be 20 feet, subject to section 98-1026. Minimum setback for corner lots must match the front yard setback for key lots. Minimum setback for non-key lots is fifteen feet 15 feet.
 - ii. A front entry garage shall be set back a minimum of 20 feet from the front property line.
 - iii. Porches may encroach a maximum of eight feet into the front yard.
 - iv. Fences shall not extend into the front yard beyond the front façade of the residential dwelling.
- e. Minimum side yard. The minimum side yard shall be five feet, subject to section 98-1027.
- f. Minimum rear yard. The minimum rear yard shall be ten feet, subject to section 98-1028.

- g. Maximum lot coverage. The maximum lot coverage shall be 65 percent, subject to section 98-1029.
- h. Maximum height. The maximum height of buildings and structures shall be two stories or 35 feet, subject to section 98-1031.

4. Type C Lots

- a. Minimum lot area per dwelling. The minimum lot area shall be 8,400 square feet, subject to section 98-1023.
- b. Minimum lot width. The minimum lot width shall be 70 feet, subject to section 98-1024.
- c. Minimum floor area per unit. The minimum floor area per dwelling unit shall be 1,800 square feet, subject to section 98-1025.
- d. Minimum front yard.
 - i. Except as provided in this paragraph, the minimum front yard setback shall be 20 feet, subject to section 98-1026. Minimum setback for corner lots must match the front yard setback for key lots. Minimum setback for non-key lots is fifteen feet 15 feet.
 - ii. A front entry garage shall be set back a minimum of 20 feet from the front property line.
 - iii. Porches may encroach a maximum of eight feet into the front yard.
 - iv. Fences shall not extend into the front yard beyond the front façade of the residential dwelling.
- e. Minimum side yard. The minimum side yard shall be ten feet, subject to section 98-1027.

- f. Minimum rear yard. Except as provided in this subparagraph, the minimum rear yard shall be 20 feet, subject to section 98-1028.
 - i. Block A/Lots 13, 14, 20. The minimum rear yard shall be ten feet, subject to section 98-1028.
 - g. Maximum lot coverage. The maximum lot coverage shall be 60 percent, subject to section 98-1029.
 - h. Maximum height. The maximum height of buildings and structures shall be two stories or 35 feet, subject to section 98-1031.
- 5. The minimum and maximum dimensions contained in subparagraphs 2, 3, and 4 of this paragraph shall not apply to the x-Lots owned by the Homeowners' Association for Magnolia Court ("HOA"), and located as shown on Exhibit "D".

D. Landscape Standards.

- 1. Landscaping shall be in accordance with the Town's landscape ordinance as amended, and the Town's Urban Design Plan except as otherwise provided and/or limited herein.
- 2. Front Yard Trees.
 - a. At least one canopy street tree shall be required in the front yard of each lot. The tree shall be located within five feet of street right-of-way and be placed within the property boundary area of the lot, subject to compliance with Division 3-Visual Clearances, Section 82-161 of the Town Code. No trees are permitted within the parkway.
 - b. Front yard trees shall be a minimum three and one-half inches in diameter, measured 12 inches from the root ball, when planted. The planting of said tree shall take place in conjunction with the construction of the single family dwelling.

- c. The following trees shall be the only trees allowed to be used as street trees due to their tap root structure versus a horizontal root structure. Southern Live Oak, Shumard Oak, Texas Red Oak, Cedar Elm, Lace Bark Elm, Bald Cypress, and Texas Ash.

3. Front Yard Landscaping.

- a. A minimum of 75 percent of the permeable area within the front yard shall be planted with grass.
- b. A minimum of 25 percent of the permeable area within the front yard shall be planted with other materials such as groundcovers, shrubs, perennial and/or annual plantings, or other similar landscape plantings.

E. Open Space.

- 1. Private open space shall generally be located in the locations as shown on Exhibit "D".

2. Private Open Space.

a. Open Space Area 1A & 1B.

- i. There shall be a minimum of 1.3 acres (Open Space Area 1.A) and a minimum of 0.9 acres (Open Space Area 1.B), or a total of 2.2 acres, of land area as generally located and shown on Exhibit "D". This area shall include a minimum eight-foot-wide multi-purpose trail along the utility easement as required by the *Parks & Trails Master Plan*.
- ii. Design and Access.

AA. The open space shall remain the property of the Magnolia Court HOA; the Magnolia Court HOA shall be solely responsible for all required maintenance.

BB. The Town shall be granted a permanent public access easement.

CC. The open space will be designed in consultation with the appropriate Town Staff and the Parks Board.

- aa. During the development process, the Developer shall meet with Town Staff to gather input into the initial park concept and agree on the scope of the park design. Scope for park construction will include all activities necessary for park construction excluding rough grading.
- bb. During the development plan process, the Developer will submit the 70 percent plans to the appropriate Town Staff for review and comment.
- cc. During the development plan process, the Developer will submit the 90 percent plans, including projected costs, to the Parks Board for review and comment and a recommendation provided to the Town Council.

iii. Fees in lieu of Park Land Dedication.

- 1. Fees in lieu of park land dedication shall be calculated in accordance with 90-445(2).
- 2. A credit against these fees may be given for land marked as Open Space Area 1A and Open Space Area 1B.
- 3. If the appropriate agreed to actions have not been completed, an amount equal to the fees in lieu of park land dedication shall be placed in escrow; this escrow amount shall be released to the Developer upon successful completion of the appropriate agreed to actions.

iv. Park Development Fees.

- 1. Park development fees shall be calculated in accordance with 90-446.

2. The Developer shall be solely liable for construction of the open space as recommended by the Parks Board and approved by Town Council.
 3. Credit towards the Park Development Fees for actual construction costs of the open space, as submitted and approved by receipts, and as approved by Town Council in accordance with Section 90-446(c), can be provided.
- b. Open Space Area 2. There shall be a minimum of 0.3 acres of land area and generally located as shown on the conceptual landscape plan, Exhibit “D”, and shall include a minimum of the following:
- i. Seating area (bench, table and chair, or seat walls).
 - ii. Trash receptacle.
 - iii. Tree plantings to provide a shade canopy.
 - iv. Use of natural and hardscape elements to create intimate gathering areas.
 - v. Public sidewalk located away from Street B and designed to pass through the open space area, with final material to be determined at platting.
 - vi. Use of natural and hardscape elements to create active seating area.
- c. The following improvements are permitted within the 100-foot Building Free Area as shown on the conceptual site plan, subject to the following standards:
- i. Open air structures, constructed to a maximum height of 17 feet as measured to the highest point of the structure, and each not to exceed 600 square feet of land area.

- ii. Recreation areas, passive gathering areas that may include seating, drinking water fountains, trash receptacles, and similar amenities.
- iii. Lighting, inclusive of ground level fixtures and light standards not to exceed 15 feet in height as measured to the top of the light fixture. All lighting must be designed to direct lighting downward and shall not be located as to create a nuisance on abutting properties.
- iv. Final design and installation must be shown on an approved landscape plan.

3. Trail Requirements.

- a. Gerault Road Trail. There shall be a minimum eight-foot-wide multi-purpose trail along the Gerault Road frontage as required by the *Parks & Trails Master Plan*.
- b. Sweetwater Lane Trail.
 - i. There shall be a minimum eight-foot-wide multi-purpose trail along the Sweetwater Lane frontage as required by the *Parks & Trails Master Plan*.
 - ii. The Sweetwater Lane Trail is to be installed at the time of home construction.
- c. Spinks Road Trail. The existing eight-foot-wide multi-purpose trail along the Spinks Road frontage shall be maintained as required by the *Parks & Trails Master Plan*.

F. Supplemental Standards.

- 1. Alleys shall not be required.
- 2. Minimum unobstructed sidewalk width is five feet.
- 3. All landscaping, common areas, and open space shall be in general conformance with Exhibit "D".

4. Required fencing where a residential lot abuts an open space area shall be installed in general conformance with Exhibit "D".
5. All landscaping and open space shall be in general conformance with the conceptual landscape plan with Exhibit "D".
6. Development shall include all of the improvements as depicted on Exhibit "C". Such improvements together with all other improvements necessary to serve the development shall be installed prior to the Town's acceptance of the subdivision.

From: hensley5571

Sent: Wednesday, April 18, 2018 12:02 PM

To: Richard Brown <richard.brown@flower-mound.com>

Subject: Letter of Support for Magnolia Court devopment

Dear Mr.Brown ,

Hazel and Gilbert Colwell worked hard to build their home at 1313 Gerault Road in Flower Mound , Texas long before there were any other housing developments or commercial enterprises in the area. In order to visit them, one had to turn down a little dirt road and cross a one -way bridge. They welcomed their new Neighbors and the Flower Mound Community Activity Center across Gerault Road. They shared their garden with many others and one was always welcome for a cup of coffee.

We feel assured that they would be proud of of the proposed Magnolia Court development .

We support the MPA-Magnolia Court and the ZPD-Magnolia Court .

Michael and Laura Hensley



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: April 23, 2018

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for a Record Plat (RC18-0002 – Flower Mound Church of Christ) to create a non-residential subdivision. The property is generally located south of Karnes Road and east of Old Settlers Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This project has a companion site plan application (SP17-0022) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The property consists of an approximate 2.027-acre parcel of land located at the southeast corner of Old Settlers Road and Karnes Road. The purpose of this record plat is to create a buildable lot to be developed with a church as noted in the above referenced site plan application. The property is zoned Agricultural District (A) which permits the proposed use by right.

Primary access to the property will occur from the east line of Old Settlers Road, with secondary access along the south line of Karnes Road via a 26-foot-wide mutual access easement per the abutting record plat for Autumn Leaves of Flower Mound.

In addition to the above referenced access easement, the record plat provides for all required setbacks and easements.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

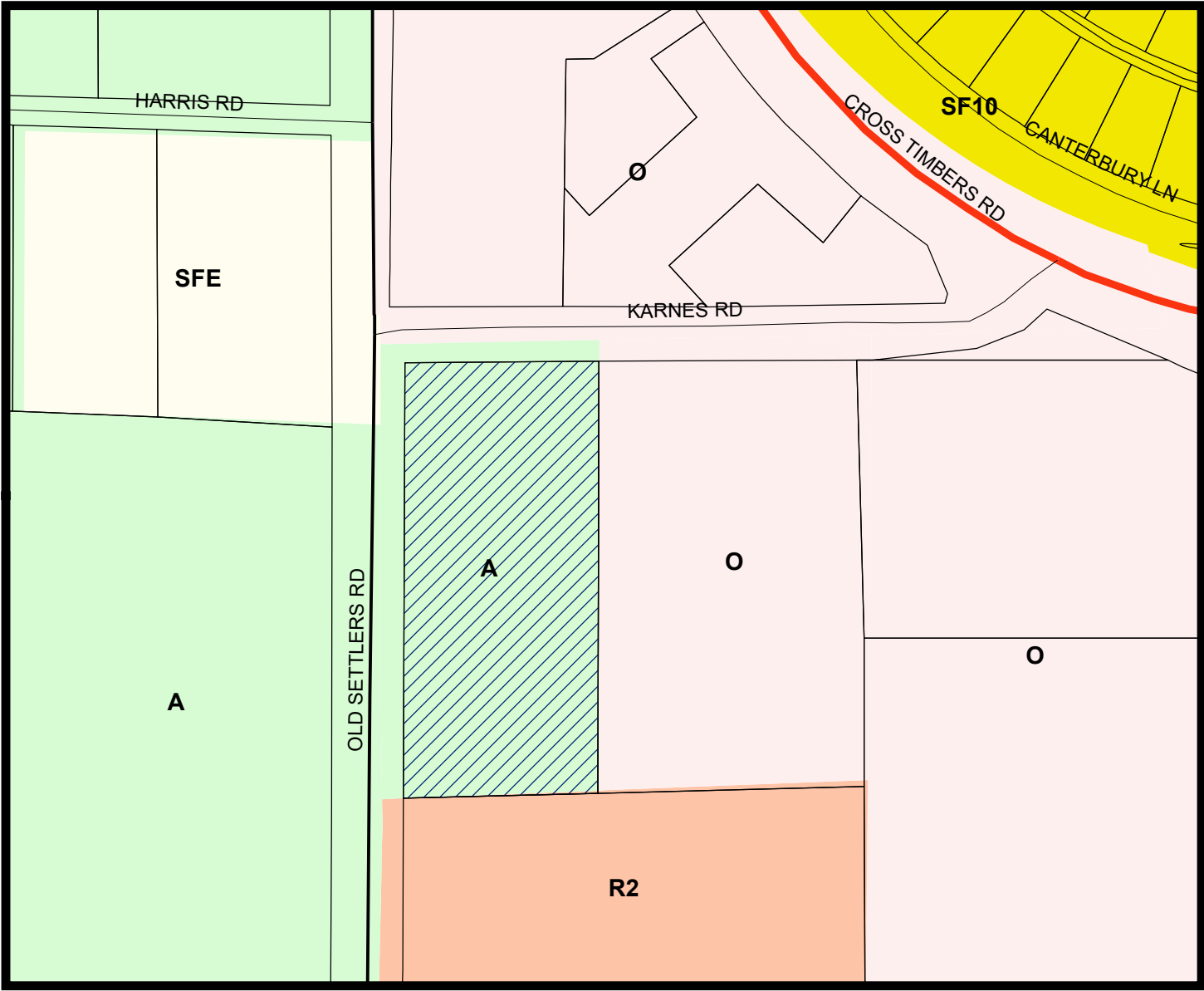
B. Application Details

1. Record Plat Package



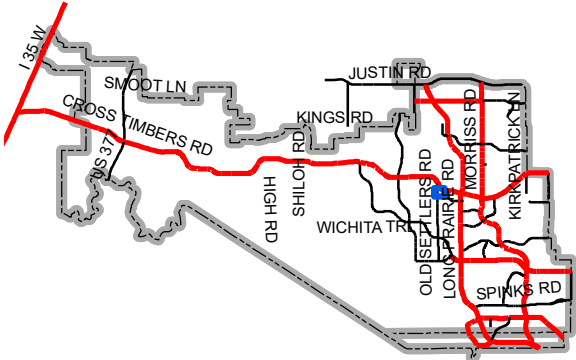
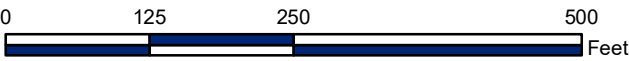
Vicinity Map

Reference Project: RC18-0002 & SP17-0022



LEGEND

- Agriculture
- Office
- Retail 2
- Single Family 10
- Single Family Estate
- Subject Property



Map Location



SITE PLANNING CIVIL ENGINEERING PLATTING
CONSULTANTS, LLC
 LAND SURVEYING LANDSCAPE ARCHITECTURE

TBPE Firm No. 1798

TBPLS Firm No. 10047700

April 19, 2018

Richard Brown
 Senior Planner
 Town of Flower Mound
 2121 Cross Timbers Road
 Flower Mound, TX 75028

**RE: FM Church of Christ Record Plat and Site Plan
 Letter of Intent
 G&A Job No. 17335**

Mr. Brown:

Please accept this letter, on behalf of the membership of the Flower Mound Church of Christ, for the Record Plat and the Site Plan submittals of Tract 42, Abstract 1161, of the J. Stewart Survey. This application includes an approximate 2.027 acre tract of land that is currently zoned an Agricultural District (A). We do not intend to change the zoning at this time. Our client intends to build a Church with 10,910 sq. ft. and the associated parking lot improvements per Town of Flower Mound requirements. FM Church of Christ intends to use this building as a place of worship and there will be no other uses. This project will be built as a single phase. We are requesting an exception from burying the overhead electric lines and have a letter from CoServe explaining their company's purpose in not wanting it buried. Another consideration we request is a 2-1/2' encroachment for the fire lane into the landscape buffer to accommodate a 20' rear building setback. We have shortened the building by 2-1/2' to reduce the encroachment to a minimum amount. We have provided enlarged landscape areas on each side of the encroachment to provide additional landscaping. The church intends to use roll out trash collection at this location. The church will coordinate with the refuse collector to determine the best location for pick up.

We are requesting removal of 6 specimen trees from the 15 total specimen trees on the site. ECC voted unanimously to approve the permit at the March 6th meeting.

We have made 3 submittals of the Site Plan and this is the second submittal of the Record Plat and hope to have approval soon.

Thank you in advance for your time and consideration of this project. Please don't hesitate to contact me with any further questions and/or comments.

Sincerely,

Douglas W. Weaver

Douglas W. Weaver, P.E.

cc: Brad Wright
 Foy Wallace
 Greg Dasher

Z:\2017\17335\PDFs & Submittals\FP & Const. Plans\SITE PLAN\2018.01.31_2nd Submittal\2018.01.31 Revised LOI.doc

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS :
COUNTY OF DENTON : WHEREAS WE, FLOWER MOUND CHURCH OF CHRIST are the owners of all that certain lot, tract or parcel of land

BEING all that certain lot, tract, or parcel of land, situated in the J. T. Stewart Survey, Abstract Number 1161, Denton County, Texas, and being all of that certain called 2.027 acre tract of land, described in deed to Flower Mound Church of Christ, recorded in Document Number 2016-89336, Official Records, Denton County, Texas, and being part of that certain called 16.533 acre tract of land, described in deed to E. E. Harris and wife Dortha Nell Harris, recorded in Volume 303, Page 259, Deed Records, Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 3/8" rebar found at the southeast corner of said 2.027 acre tract, being the southwest corner of Lot 1, Block A, Autumn Leaves of Flower Mound, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Cabinet X, Page 40, Plat Records, Denton County, Texas, and being on the north line of that certain called 3.21 acre tract of land, described in deed to Schmitz Group, LC, recorded in Document Number 2004-112071, Official Records, Denton County, Texas;

THENCE S 87°47'55" W, with the north line of said 3.21 acre tract, and the south line of said 2.027 acre tract, 189.92 feet to a 1/2" rebar found at the southwest corner thereof, and being on the east line of Old Settlers Road, a variable width right-of-way;

THENCE N 00°09'26" W, with the west line of said 2.027 acre tract, and the east line of said Old Settlers Road, 438.63 feet to a 1/2" rebar found at the south end of a corner clip at the intersection of said Old Settlers road, and Karnes Road, a variable width right-of-way;

THENCE N 50°51'37" E, with the north line of said 2.027 acre tract, 38.88 feet to a 1/2" capped rebar found (Arthur Survey Company) at the north end of said corner clip;

THENCE S 89°48'39" E, with the north line of said 2.027 acre tract, and the south line of said Karnes road, 166.08 feet to a 1/2" capped rebar found (Arthur Survey Company) at the northeast corner of said 2.027 acre tract;

THENCE S 00°39'36" W, with the east line of said 2.027 acre tract, passing at 9.53 the northwest corner of said Lot 1, Block A, continuing with the west line thereof, a total distance of 455.36 feet to the POINT OF BEGINNING, and containing approximately 2.027 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS : THAT WE, FLOWER MOUND CHURCH OF CHRIST, do hereby adopt this Record Plat designating the hereinabove described tract of land as FLOWER MOUND CHURCH OF CHRIST, an addition to the Town of Flower Mound, Denton County, Texas. The easements shown hereon are hereby reserved for the purposes indicated. All streets, alleys and rights-of-way are hereby dedicated in fee simple to the Town of Flower Mound for municipal purposes. The utility and firelane easements (streets, alleys and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements are hereby reserved for the mutual use and accommodation of any utility using or desiring to use the same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, reconstruction, maintenance or efficiency of its respective system on the utility easements, and all public utilities shall at all times have the right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining or adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

WITNESS OUR HAND this _____ day of _____, 2018.

AUTHORIZED REPRESENTATIVE

STATE OF TEXAS :
COUNTY OF DENTON : BEFORE ME, THE UNDERSIGNED AUTHORITY, personally appeared _____, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, _____

Notary Public
State of Texas

My commission expires the _____ day of _____, _____

APPROVED :
TOWN OF FLOWER MOUND:
PLANNING AND ZONING COMMISSION

Perfecto Salis, Chairman
Planning and Zoning Commission

Chuck Russell
Town Planner

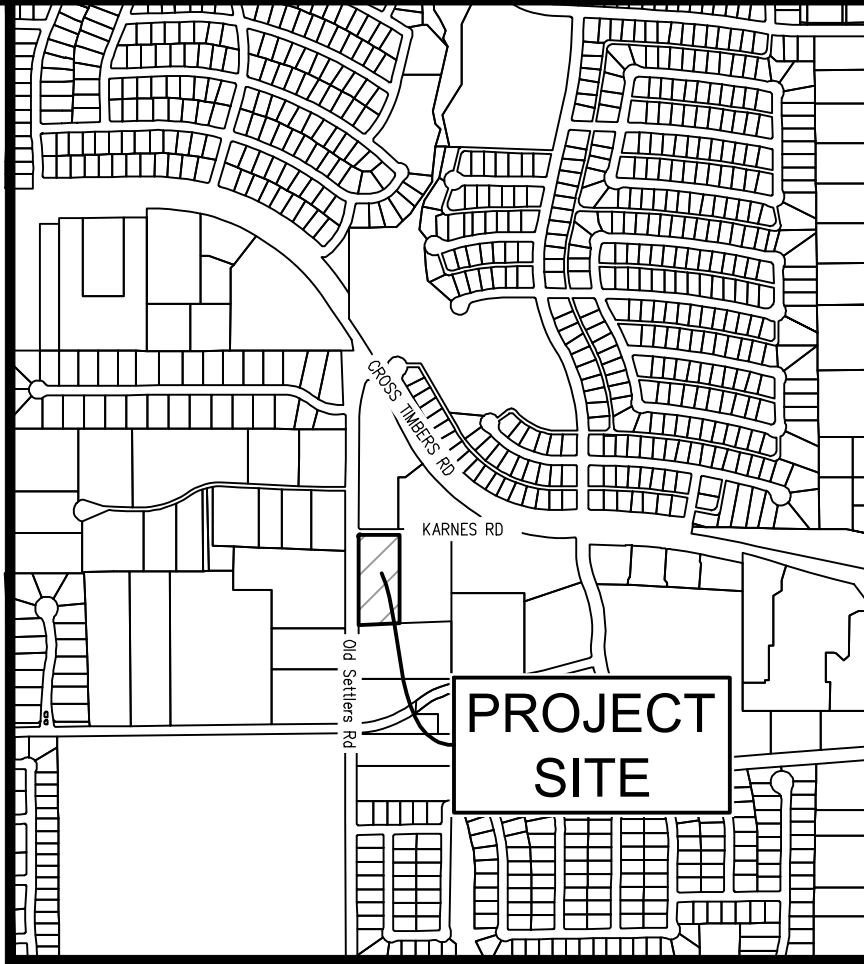
DATE _____, 2018.

SIGNED AND SEALED:

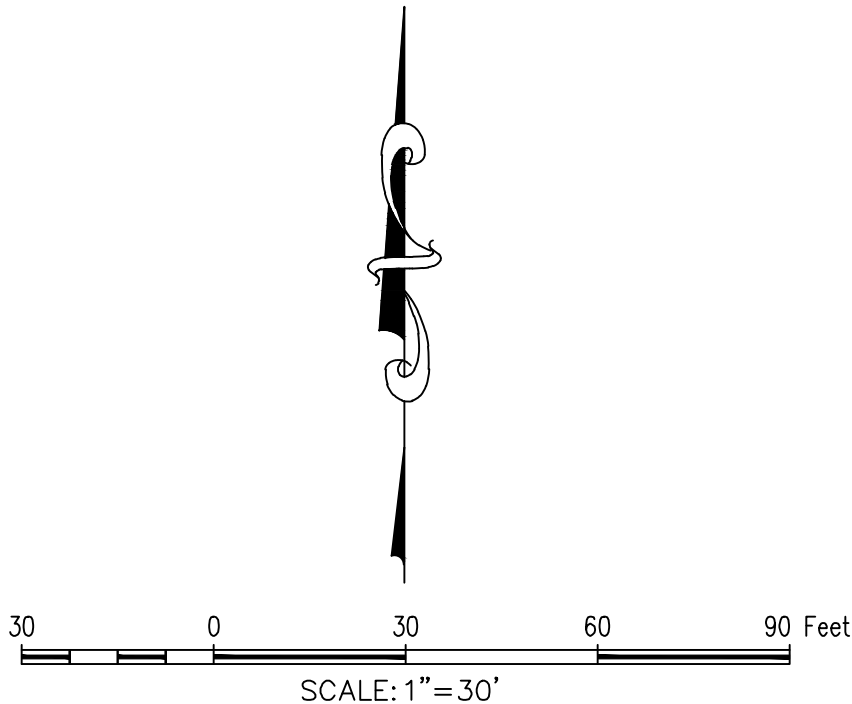
TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound

Date _____, 2018.



Vicinity Map 1"=1000'



SURVEYOR'S STATEMENT

I, James Stowell, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents that survey made by me or under my supervision.

PRELIMINARY DOCUMENT:
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
JAMES STOWELL, RPLS 6615 4/4/18

James Stowell
Texas Registration No. 6513

RECORD PLAT
Lot 1, Block A
FLOWER MOUND CHURCH OF CHRIST
2.027 Acres
in the
J. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS



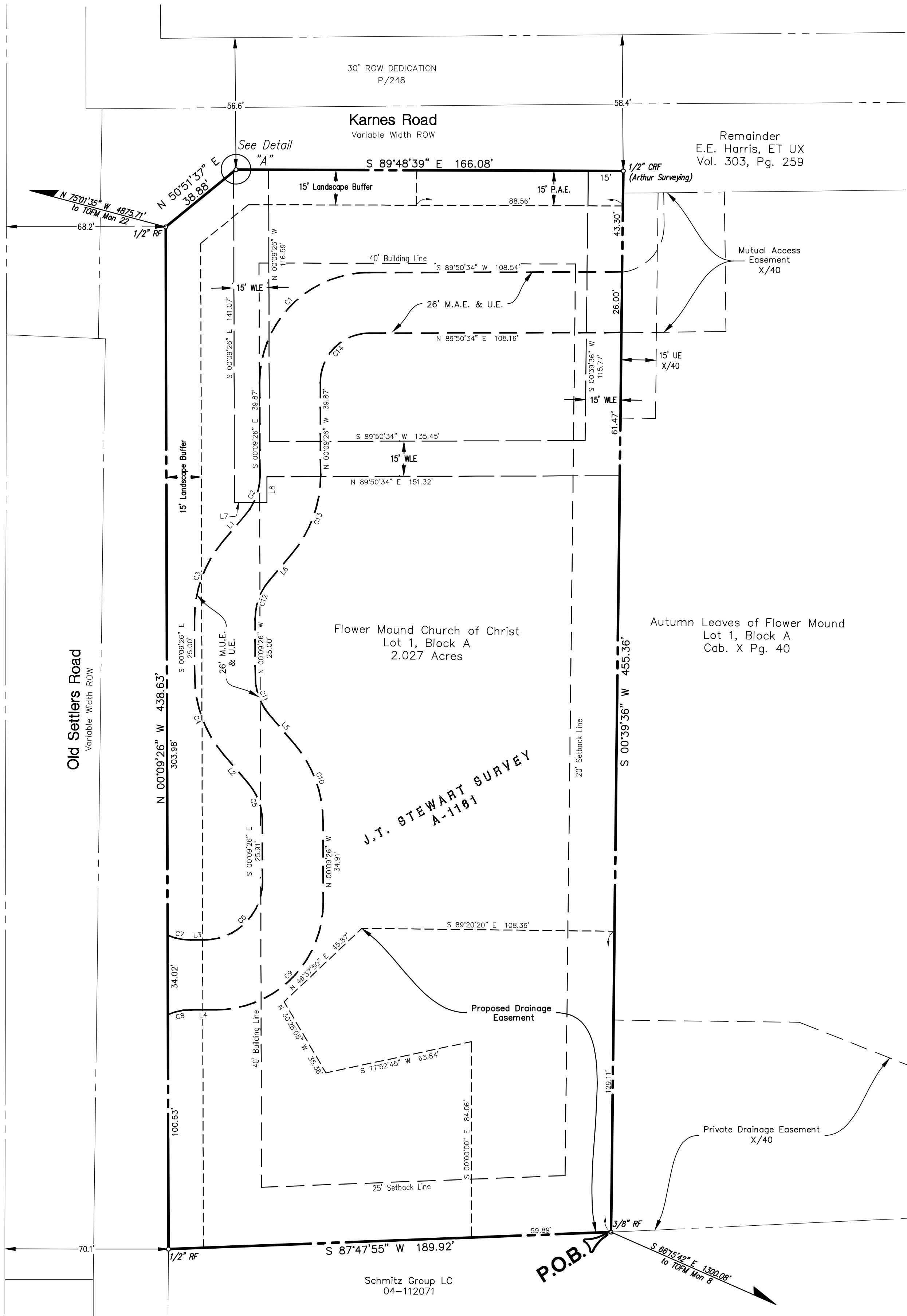
SITE PLANNING CIVIL ENGINEERING PLATTING
CONSULTANTS, LLC
LAND SURVEYING LANDSCAPE ARCHITECTURE

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715
144 Old Town Blvd. North, Ste 2 • Argyle, TX 76226 • P: 940.240.1012 • F: 940.240.1028
TBPE Firm No. 1796 TBPLS Firm No. 10047700

DRAWN BY: SP DATE: 2/2/2018 SCALE: 1"=30' JOB. No. 17335

OWNER/DEVELOPER
FLOWER MOUND CHURCH OF CHRIST
4800 WITCHITA TRAIL
FLOWER MOUND
Ph. 972-886-7240
Contact: BRAD WRIGHT

FILED _____ DOC # _____ PRDCT.



NOTES:

- Bearings based on the Town of Flower Mound's Geodetic System.
- Coordinates for the Southeast corner of Flower Mound Church Of Christ (POB) are grid values referred to the Texas Coordinate System, North Central Zone expressed in NAD '83 projection. The monuments were tied using GPS to station Numbers 8 & 22 of the Town of Flower Mound official control monument system with coordinates thereof provided by the Town of Flower Mound.
Southeast Corner (POB): N 706°36'75" E 2404340
Bearing and distance from the POB to Geo Point 8: S 66°15'42" E, 1300.08'
Bearing and distance from the most westerly corner to Geo Point 22: N 75°01'35" E, 4875.71'
- Surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
- No flood zone area analysis has been performed on the subject property G&A Consultants.
- Subject property is zoned and agricultural district.
- Upkeep and maintenance of the private drainage easement is responsibility of the property owner.
- Upkeep and maintenance shall include but not be limited to the following items:
 - Grass and ground cover shall be kept to a height required by town ordinance
 - detention facility shall be kept free of debris and litter, with particular attention given to keeping the outlet structure clear at all times.
 - accumulated sediment shall be removed from the facility as required to ensure that there is no reduction in function or detention capacity.
- No dumping of any type is permitted within the easement area.
- Selling a portion of this addition by metes and bounds is a violation of state law and is subject to fines and withholding of utilities and building permits.
- Any improvements to the site upon the approval of the record plat shall meet the town's current standards.
- Field work performed during the month of October 2017.

LEGEND	
RF	REBAR FOUND
CRS	CAPPED REBAR SET
BL	BUILDING LINE
UE	UTILITY EASEMENT
CRF	CAPPED REBAR FOUND
G&A	G&A CONSULTANTS, LLC
MAE	MUTUAL ACCESS EASEMENT
SSFI	SANITARY SEWER EASEMENT
WLE	WATER LINE EASEMENT



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 5

DATE: April 23, 2018

FROM: Richard Brown, Senior Planner

ITEM: **Public Hearing to consider a request for a Site Plan (SP17-0022 - Flower Mound Church of Christ) to develop a church building, with exceptions to Section 90-423, "Underground utilities," and Section 82-242, "Street buffer landscaping," of the Code of Ordinances. The property is generally located south of Karnes Road and east of Old Settlers Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are exceptions to the Town's regulations which necessitate special consideration by the Commission (see Application Analysis below).

This project has a companion record plat (RC18-0002) for consideration on the same agenda.

Due to the applicant's request for an exception to Section 90-423, Underground utilities, this application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a 10,910-square-foot, one-story with mezzanine, church. The approximate 2.027-acre parcel is undeveloped.

The site plan provides for two points of ingress/egress; 1) primary access from the east line of Old Settlers Road, and 2) secondary access along the south line of Karnes Road via a 26-foot-wide mutual access easement per the abutting record plat for Autumn Leaves of Flower Mound. The proposed site plan package includes required setbacks and landscaping (exclusive of street buffer; see below), inclusive of a detention pond, consistent with the Town's Land Development Regulations.

With respect to off-street parking, a total of 84 spaces are required with 72 spaces being provided. Town Code requires a parking study for a deviation in required parking, plus or minus 20 percent. As the applicant's proposal provides for a deviation of 14.2 percent, a study is not required. The building materials, color and architecture meet the architectural standards outlined in the Urban Design Plan. Except for the requested exception to the required street buffer, proposed landscaping is in compliance with the Town's landscape standards.

On [March 6, 2018](#), the Environmental Conservation Commission (ECC) reviewed a tree removal permit request for 6 specimen trees. The ECC recommended approval for the removal of the requested specimen trees, which will be forwarded to the Town Council for consideration at the same time as this site plan application.

Exception to Section 82-242, Street buffer landscaping

Section 82-242 of the Town Code requires the area of the lot adjacent to the street right-of-way line and extending into the lot for a minimum width as provided below shall be landscaped, except for necessary driveways. The minimum width of the required landscaped street buffer from both Old Settlers Road and Karnes Road is 15 feet.

The applicant is requesting an exception from the Town's street buffer landscaping requirements for the property frontage along Old Settlers Road. An approximately 60 linear foot length of the required buffer is being reduced from the required 15-foot width to approximately 12 feet in width.

The required street buffer along the south line of Karnes Road is being provided.

Exception to Section 90-423, Underground Utilities

The property possesses an approximate 440-foot-long section of overhead power lines along the east line of Old Settlers Road. The applicant is requesting an exception to Section 90-423, Underground utilities, of the Code of Ordinances to allow the overhead power lines to remain in the existing location. The applicant has provided a letter from the electric provider to support the requested exception [see Attachment A(3)].

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Letter from CoServ Electric

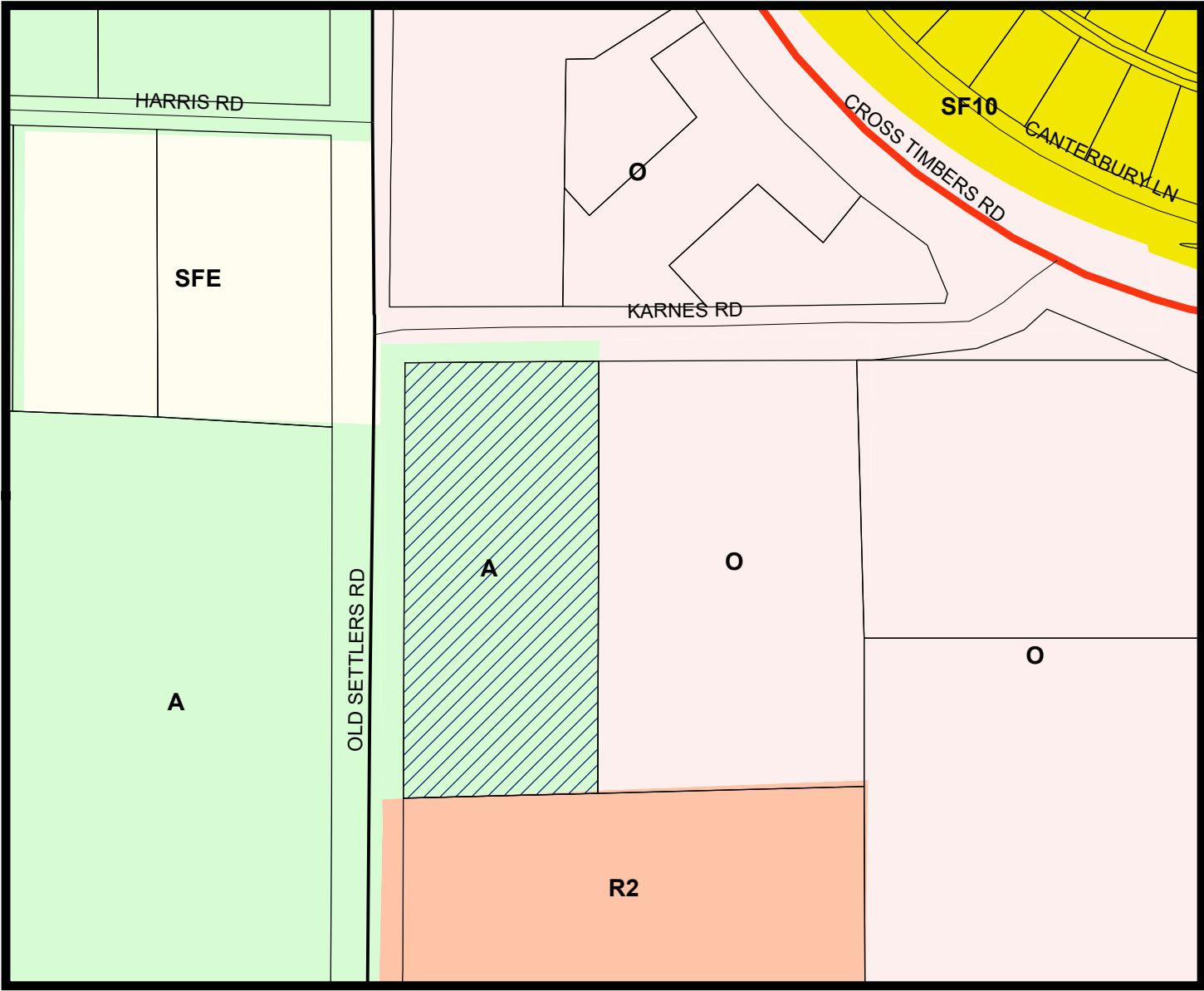
B. Application Details

1. Site Plan Package



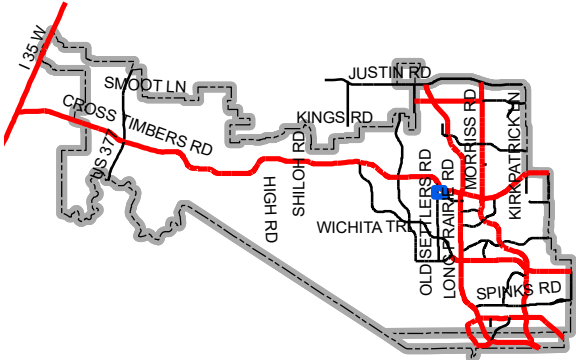
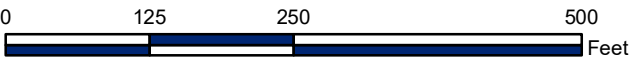
Vicinity Map

Reference Project: RC18-0002 & SP17-0022



LEGEND

- Agriculture
- Office
- Retail 2
- Single Family 10
- Single Family Estate
- Subject Property



Map Location



SITE PLANNING CIVIL ENGINEERING PLATTING
CONSULTANTS, LLC
 LAND SURVEYING LANDSCAPE ARCHITECTURE

TBPE Firm No. 1798

TBPLS Firm No. 10047700

April 19, 2018

Richard Brown
 Senior Planner
 Town of Flower Mound
 2121 Cross Timbers Road
 Flower Mound, TX 75028

**RE: FM Church of Christ Record Plat and Site Plan
 Letter of Intent
 G&A Job No. 17335**

Mr. Brown:

Please accept this letter, on behalf of the membership of the Flower Mound Church of Christ, for the Record Plat and the Site Plan submittals of Tract 42, Abstract 1161, of the J. Stewart Survey. This application includes an approximate 2.027 acre tract of land that is currently zoned an Agricultural District (A). We do not intend to change the zoning at this time. Our client intends to build a Church with 10,910 sq. ft. and the associated parking lot improvements per Town of Flower Mound requirements. FM Church of Christ intends to use this building as a place of worship and there will be no other uses. This project will be built as a single phase. We are requesting an exception from burying the overhead electric lines and have a letter from CoServe explaining their company's purpose in not wanting it buried. Another consideration we request is a 2-1/2' encroachment for the fire lane into the landscape buffer to accommodate a 20' rear building setback. We have shortened the building by 2-1/2' to reduce the encroachment to a minimum amount. We have provided enlarged landscape areas on each side of the encroachment to provide additional landscaping. The church intends to use roll out trash collection at this location. The church will coordinate with the refuse collector to determine the best location for pick up.

We are requesting removal of 6 specimen trees from the 15 total specimen trees on the site. ECC voted unanimously to approve the permit at the March 6th meeting.

We have made 3 submittals of the Site Plan and this is the second submittal of the Record Plat and hope to have approval soon.

Thank you in advance for your time and consideration of this project. Please don't hesitate to contact me with any further questions and/or comments.

Sincerely,

Douglas W. Weaver

Douglas W. Weaver, P.E.

cc: Brad Wright
 Foy Wallace
 Greg Dasher

Z:\2017\17335\PDFs & Submittals\FP & Const. Plans\SITE PLAN\2018.01.31_2nd Submittal\2018.01.31 Revised LOI.doc



November 28, 2017

Flower Mound Church of Christ
c/o Greg Dasher
2201 Long Prairie Road, Suite 107-386
Flower Mound, Texas 75022

Re: Request to bury overhead lines.

Mr. Dasher,

This letter is to confirm that the overhead power lines running parallel to east side of Old Settlers Road and/or along the west side of the Flower Mound Church of Christ property in Flower Mound, Texas are CoServ Electric's facilities.

Due to the large number of failure points created by short sections of CoServ Electric's distribution system being placed underground, CoServ Electric implemented a policy that does not allow overhead facilities of less than 1,200' in length to be placed underground.

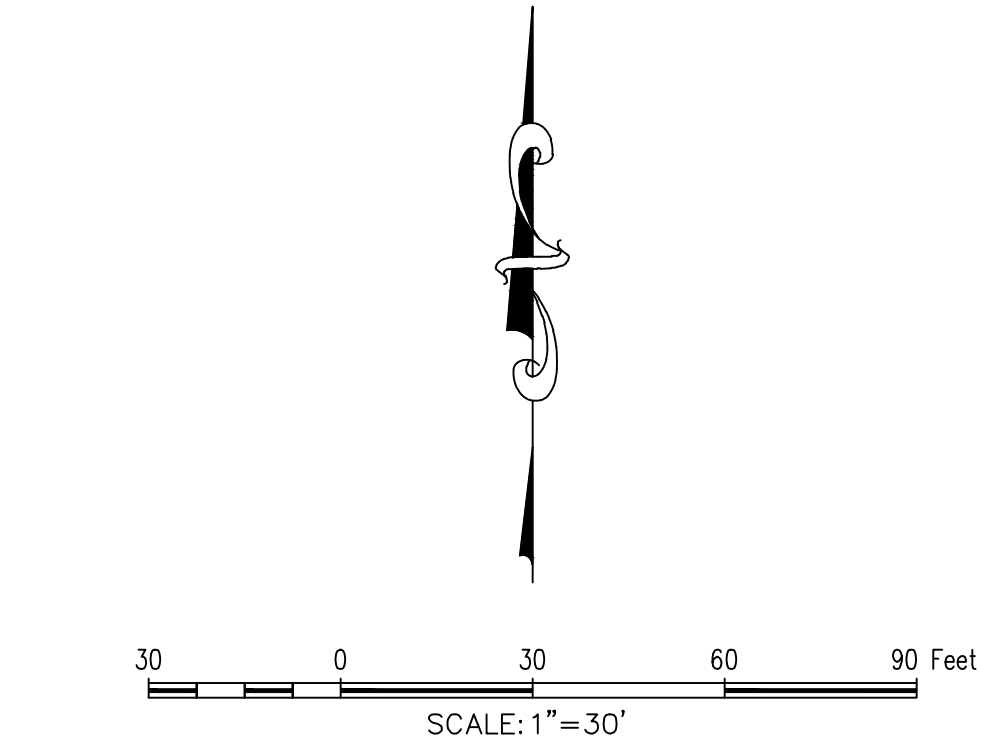
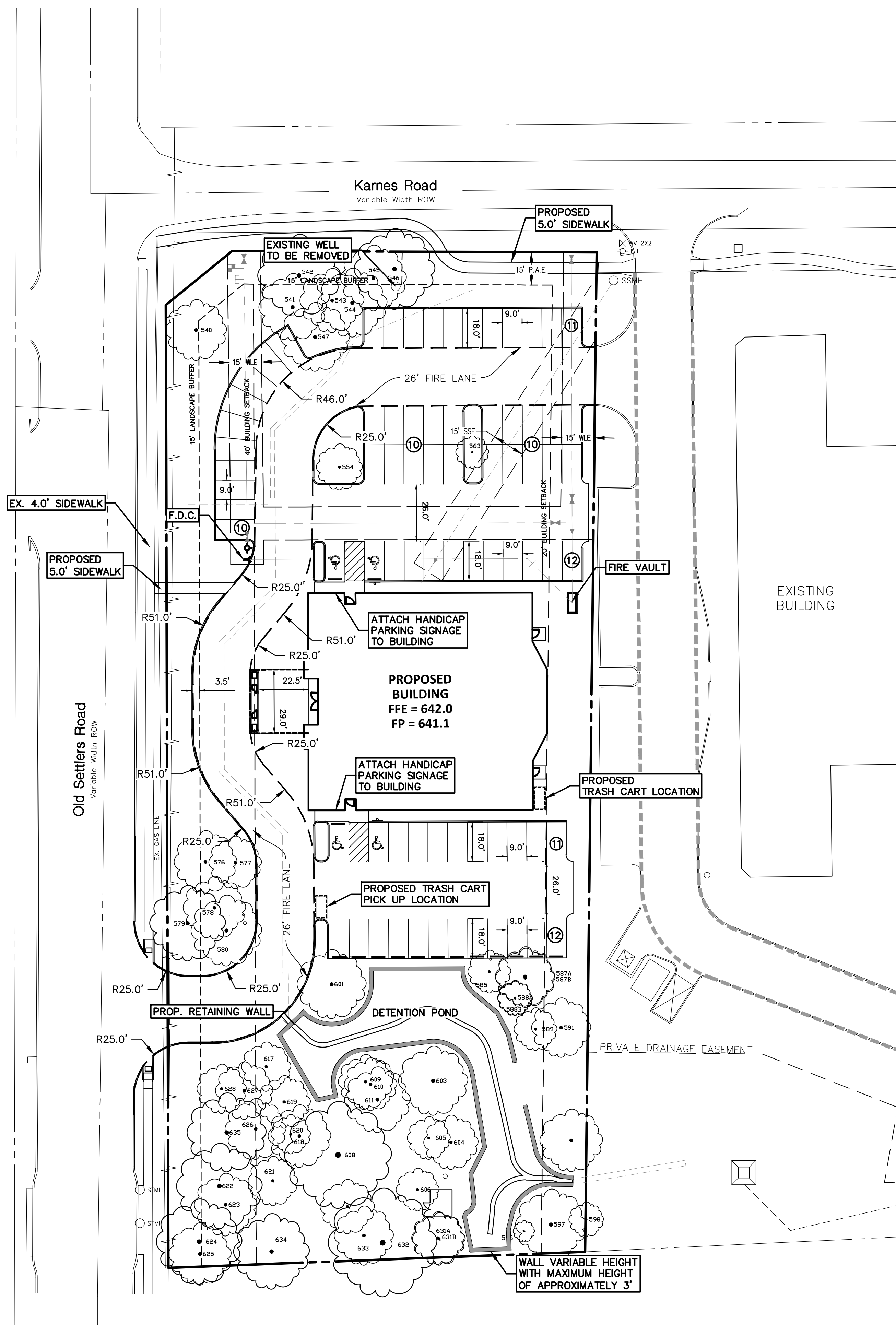
Upon written request, and if approved by CoServ Engineering, CoServ Electric will provide a ballpark estimate to convert an overhead section of not less than 1,200' in length, to underground; however, in this instance, the Town of Flower Mound's request for burial of overhead facilities does not meet CoServ's minimum requirements for a ballpark estimate, being that the property line along Old Settlers Road is approximately 440' in length. It is CoServ's position that burying this section of overhead primary line is not practical, in that it would jeopardize the integrity of the electrical circuit and possibly affect the quality of service provided in this area; therefore, CoServ will forgo any consideration of converting these facilities to underground. If you have any questions or need additional information, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Brant Hargrave", written over a horizontal line.

Brant Hargrave
Engineering Services Manager

File: 2_10171712101.dwg (PLOT) & G&A Plans (G&A) 1/12/2018 4:12 PM, by Martin
Plotted: 3/13/2018 4:58 PM, by Martin, Version: 2/12/2018 4:12 PM, by Martin



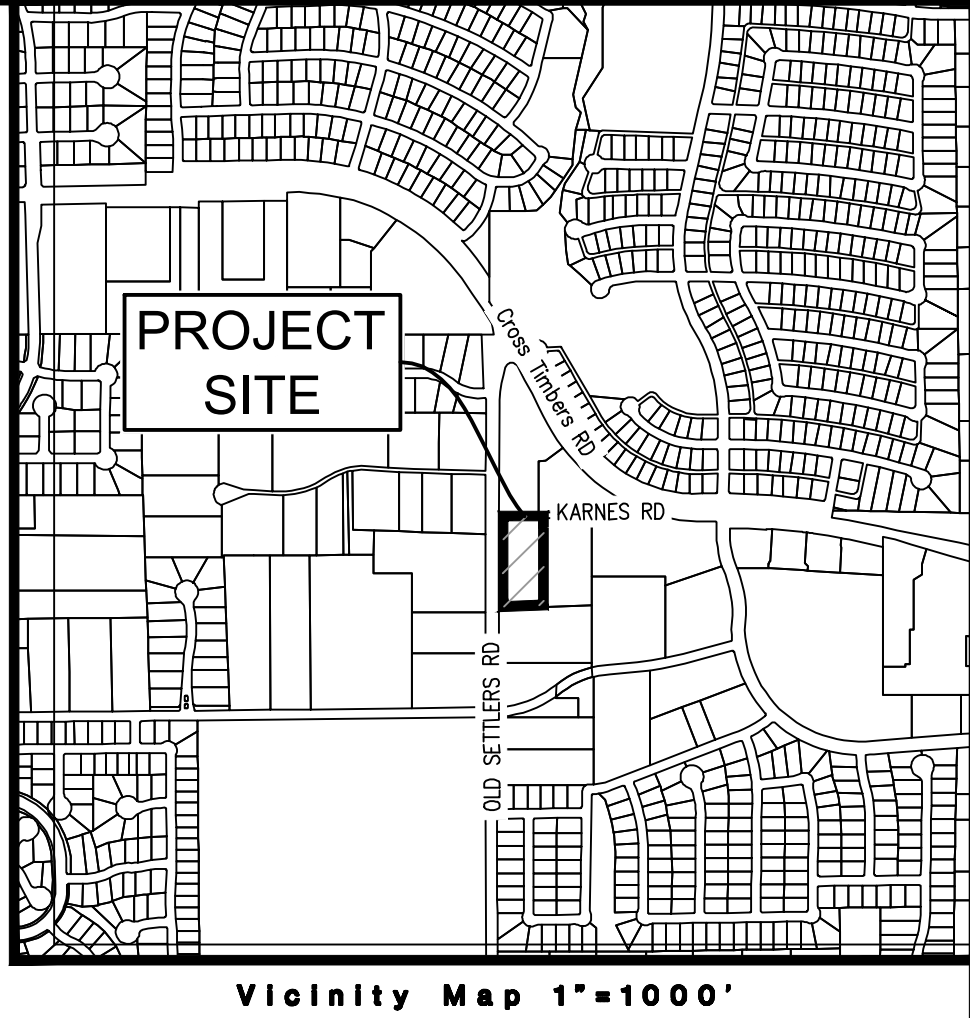
NOTES:

1. CONTRACTOR IS TO CONTACT THE TOWN'S TREE ARBORIST PRIOR TO THE START OF CONSTRUCTION TO OBTAIN TREE PRESERVATION REQUIREMENTS DURING CONSTRUCTION.
2. ALL THE RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
3. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR A MASONRY ENCLOSURE. ANY MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE AIR BUILDING.
4. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED ROM VIEW.
5. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
6. DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
7. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SITE PLAN OR ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
8. CROSS ACCESS WILL BE COMPLETED DURING CONSTRUCTION.
9. OWNER IS TO MAINTAIN VISIBILITY CLEARANCES FOR INTERSECTIONS PER TOWN OF FLOWER MOUND ORDINANCE SEC. 82-161.
10. SEE SHEET C19 FOR STRIPING DETAILS.

SITE DATA TABLE	
PHYSICAL ADDRESS	3800 OLD SETTLERS RD.
GROSS SITE AREA	2.026 AC; 88,285 SF
NET SITE AREA	2.026 AC; 88,285 SF
CURRENT USE	UNDEVELOPED
LOT COVERAGE DATA	
BUILDING COVERAGE	11.8%
IMPERVIOUS AREA	50%
PERVIOUS AREA	50%
PARKING SUMMARY	
CHURCH (251 SEATS) - 1 SPACE PER 3 SEATS	84 SPACES
REQUIRED TOTAL	84 SPACES
PARKING REDUCTION 20%	68 SPACES
PROVIDED PARKING	72 SPACES
HANDICAP PARKING	4 SPACES
BUILDING DATA	
NUMBER OF FLOORS	1 WITH MEZZANINE
PEAK HEIGHT	34' - 9"
MEAN HEIGHT	22' - 2"
FIRST FLOOR SQUARE FOOTAGE	10,254 SF
MEZZANINE FLOOR SQUARE FOOTAGE	656 SF
TOTAL SQUARE FOOTAGE	10,910 SF
MASTER PLAN FEATURES	
LAND USE PLAN	OFFICE
THOROUGHFARE PLAN	URBAN MINOR ARTERIAL UNDIVIDED / OLD SETTLERS ROAD
PARKS AND TRAILS PLAN	EXISTING TRAIL ON WEST SIDE OF OLD SETTLERS ROAD
WATER PLAN	LONG PRAIRIE DISTRICT / CONNECTING TO 8" WATERLINE ALONG KARNES ROAD
WASTE WATER PLAN	LONG PRAIRIE DISTRICT / CONNECTING TO SANITARY SEWER MANHOLE LOCATED AT NORTH WEST CORNER OF LOT

REVIEWED
TOWN OF FLOWER MOUND
Released for Construction
Date _____
Town of Flower Mound
Engineering Services

OWNER/DEVELOPER
FLOWER MOUND CHURCH OF CHRIST
4800 WITCHITA TRAIL
FLOWER MOUND, TX
Ph. 972-698-7240
Contact: BRAD WRIGHT



SITE PLANNING CIVIL ENGINEERING PLATTING
CONSULTANTS, LLC
LAND SURVEYING LANDSCAPE ARCHITECTURE
111 Hillside Drive • Lewisville, TX 75057
P: 972.436.9712 • F: 972.436.9715
144 Old Town Blvd. North, Ste 2 • Argyle, TX 76226
P: 940.240.1012 • F: 940.240.1028
TBPES Firm No. 1798 TBPES Firm No. 10047700

G&A

FLOWER MOUND CHURCH OF CHRIST
Lot 1 Block A
2.026 Acres
in the
J. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

SITE PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.
G&A CONSULTANTS, F-1798
DOUGLAS W. WEAVER,
P.E. #117386
DATE 3/13/2018

Drawn By: MM
Date: 12/18/2017
Scale: 1"=30'
Revisions:
02/01/2018
02/15/2018

17335

C4

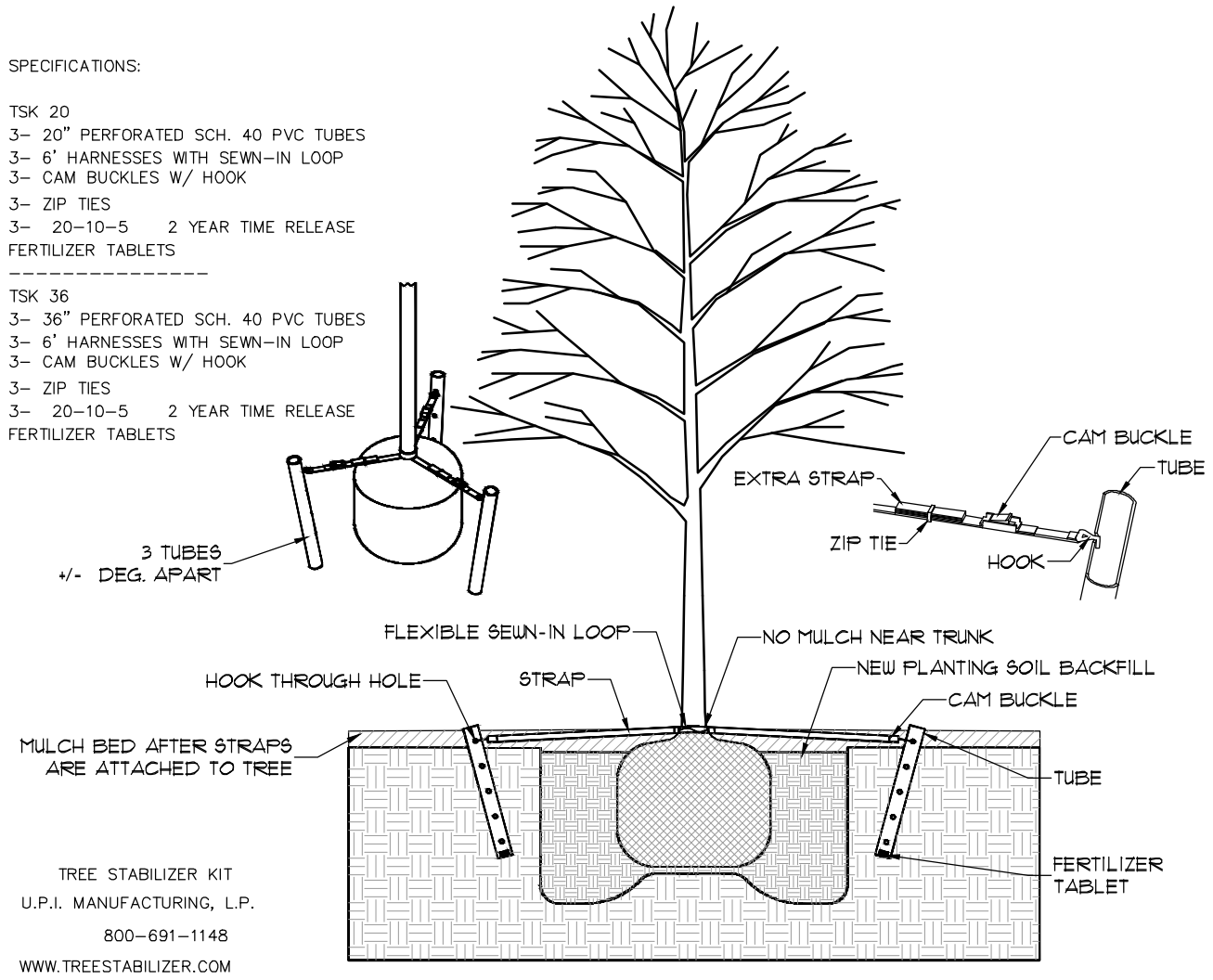


Full

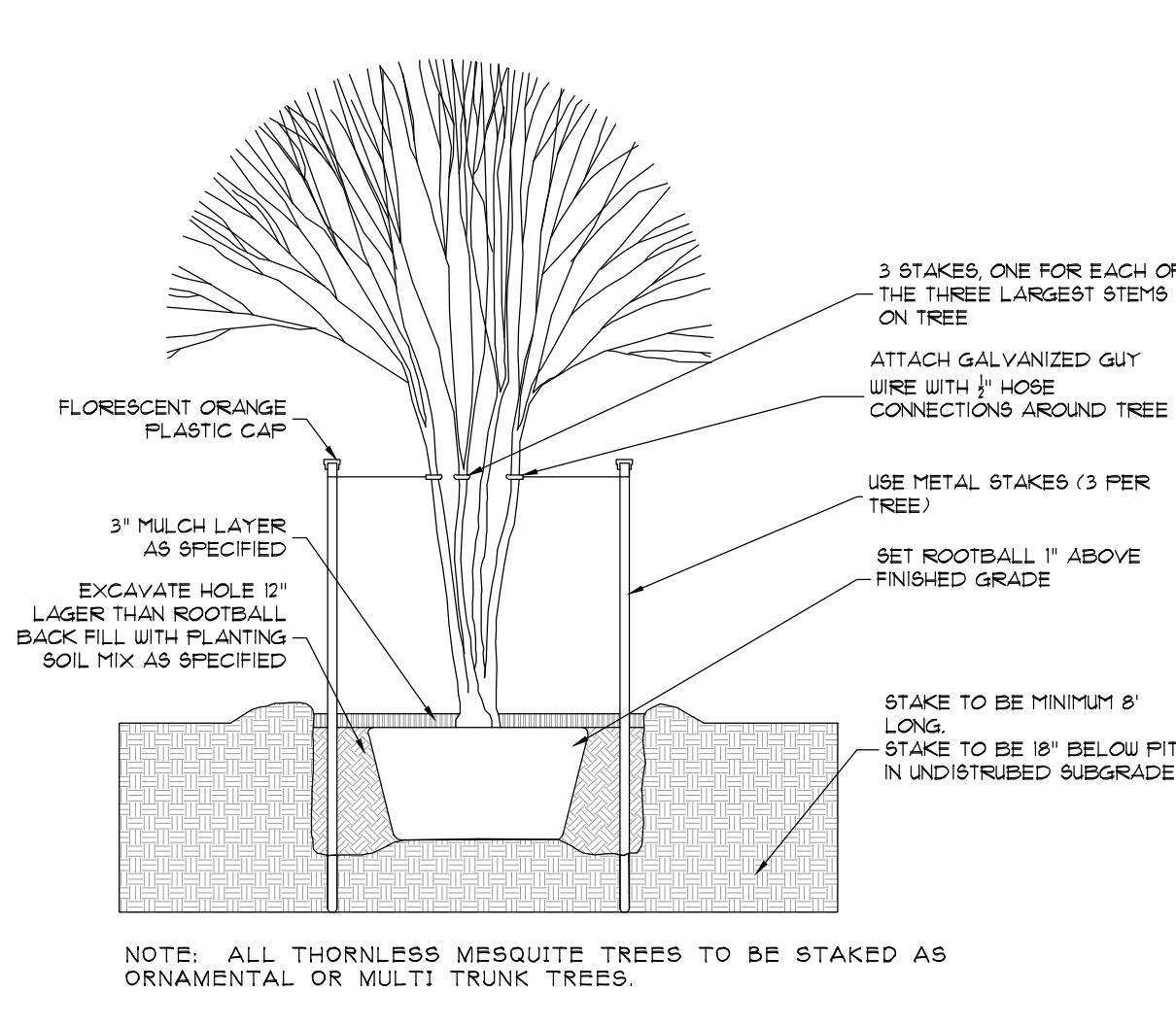


STREET BUFFER LANDSCAPING			
STANDARD		REQUIRED BUFFER WIDTH	PROVIDED
Old Settlers Rd		15 ft.	15 ft.
Karnes Rd		15 ft.	15 ft.
STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LINEAR FEET)	REQUIRED	PROVIDED
1 per 30 Lf.	Old Settlers - 407 Lf.	14 trees (3" cal.)	4 existing trees and 30 ornamental trees
1 per 30 Lf.	Karnes - 166 Lf.	6 trees (3" cal.)	3 existing trees and 3 (3" cal.) shade trees
STREET YARD TREES			
STANDARD	TOTAL STREET YARD (SQUARE FEET)	REQUIRED	PROVIDED
Above 10,000 s.f.-10 + 1 tree for every 2,500 s.f. after 10,000 s.f.	29,380 s.f. of street yard	18 trees (3" cal.)	22 existing trees + 30 ornamental trees
PARKING AREA LANDSCAPING			
STANDARD	# OF PARK. SPACES	REQUIRED	PROVIDED
90 s.f. per 12 spaces	76 parking spaces	578 s.f.	2,599 s.f.
PARKING AREA TREES			
STANDARD	# OF PARK. SPACES	REQUIRED	PROVIDED
1 per 20 parking spaces	76 parking spaces	4 trees (3" cal.)	10 existing trees + 1 (3" cal.) tree
**All parking spaces to be located within 100 ft. of parking lot tree for schools and churches.			
PARKING AREA SCREENING			
STANDARD		landscape berm or screening shrubs	PROVIDED
All head parking to be screened from street view		3' ht. screen	screening shrubs (3' ht.)

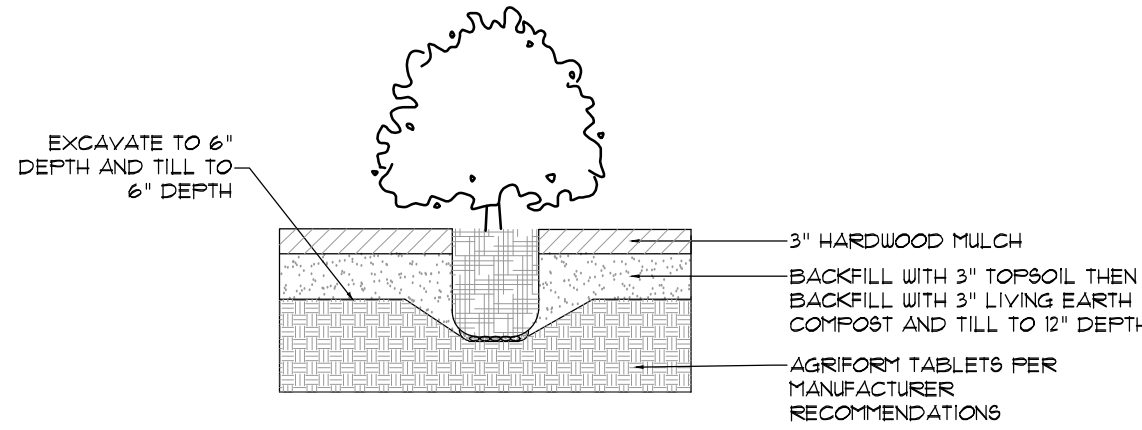
File: Z:\2017\17335\Drawings\JP & Const Plans\SHEETS\17335 LS



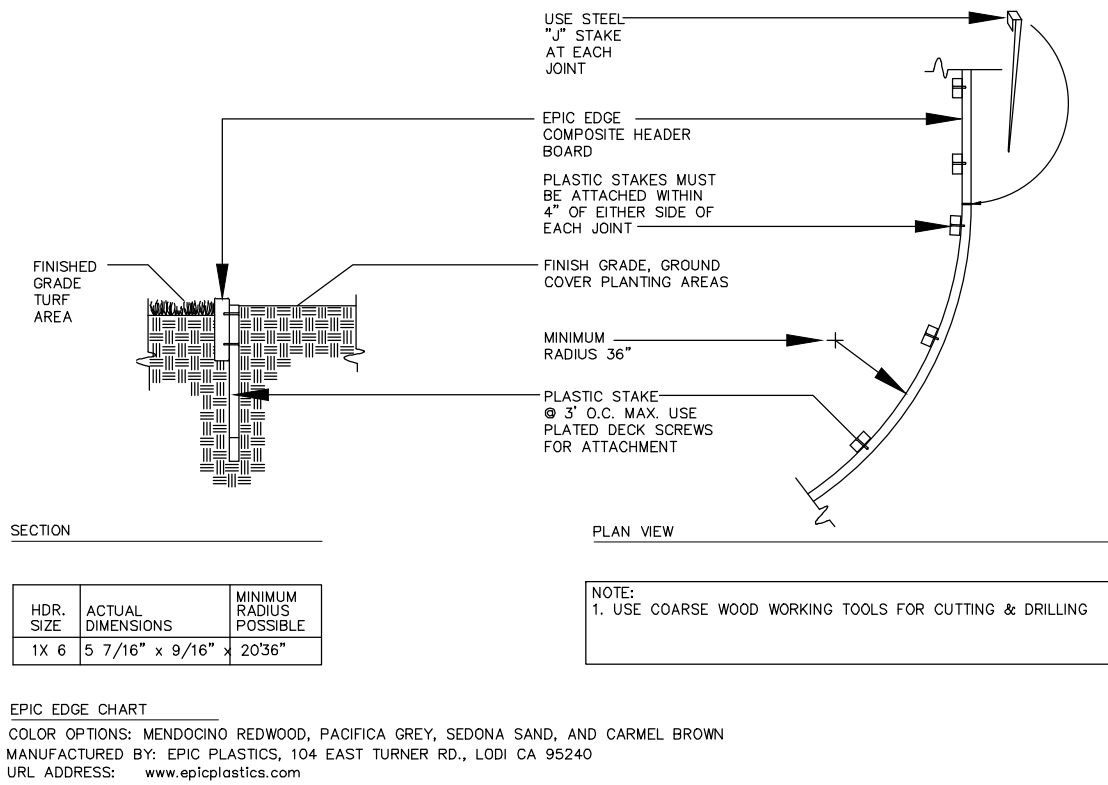
1. TREE STAKING
NOT TO SCALE



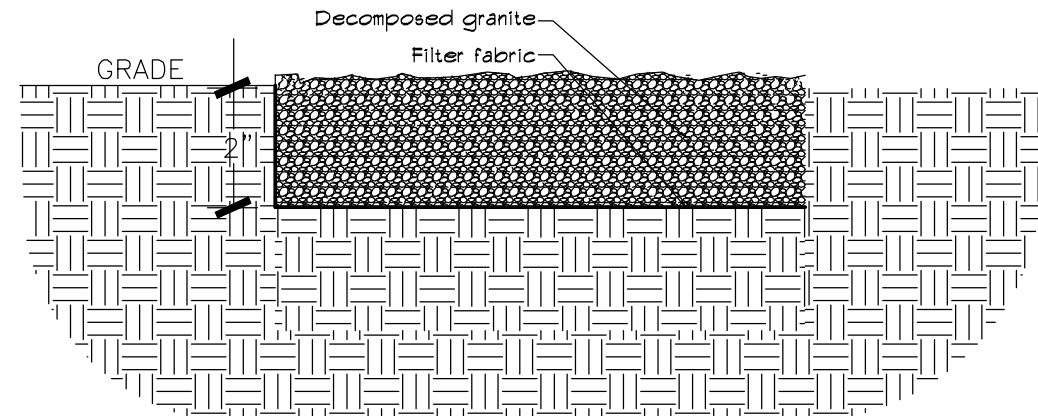
2. ORNAMENTAL TREE STAKING
NOT TO SCALE



3. SHRUB DETAIL
NOT TO SCALE



4. EPIC EDGE COMPOSITE HEADER BOARD DETAIL #210
NOT TO SCALE



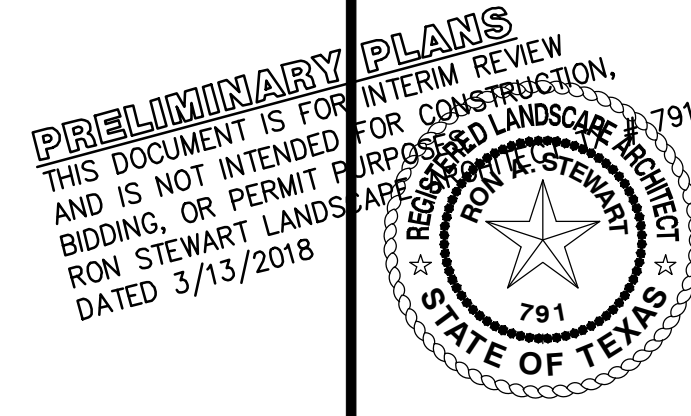
5. CRUSHED GRANITE MULCH
NOT TO SCALE

FLOWER MOUND CHURCH OF CHRIST

CHRIST

Lot 1, Block A
2026 Acres
in the
J. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE DETAILS

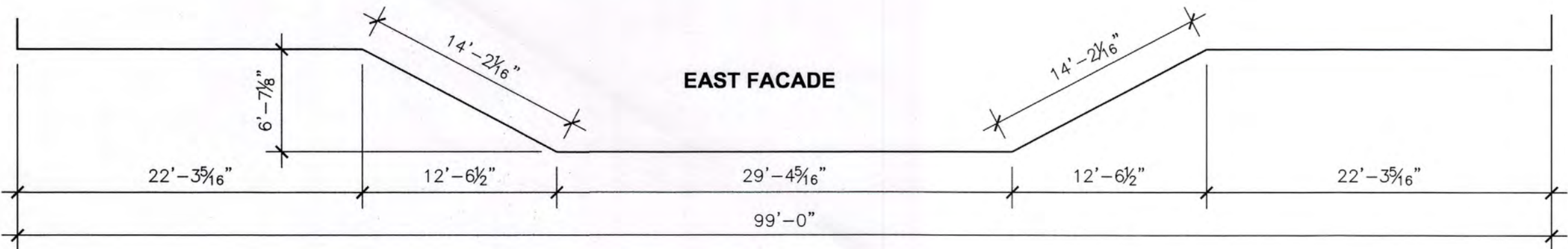
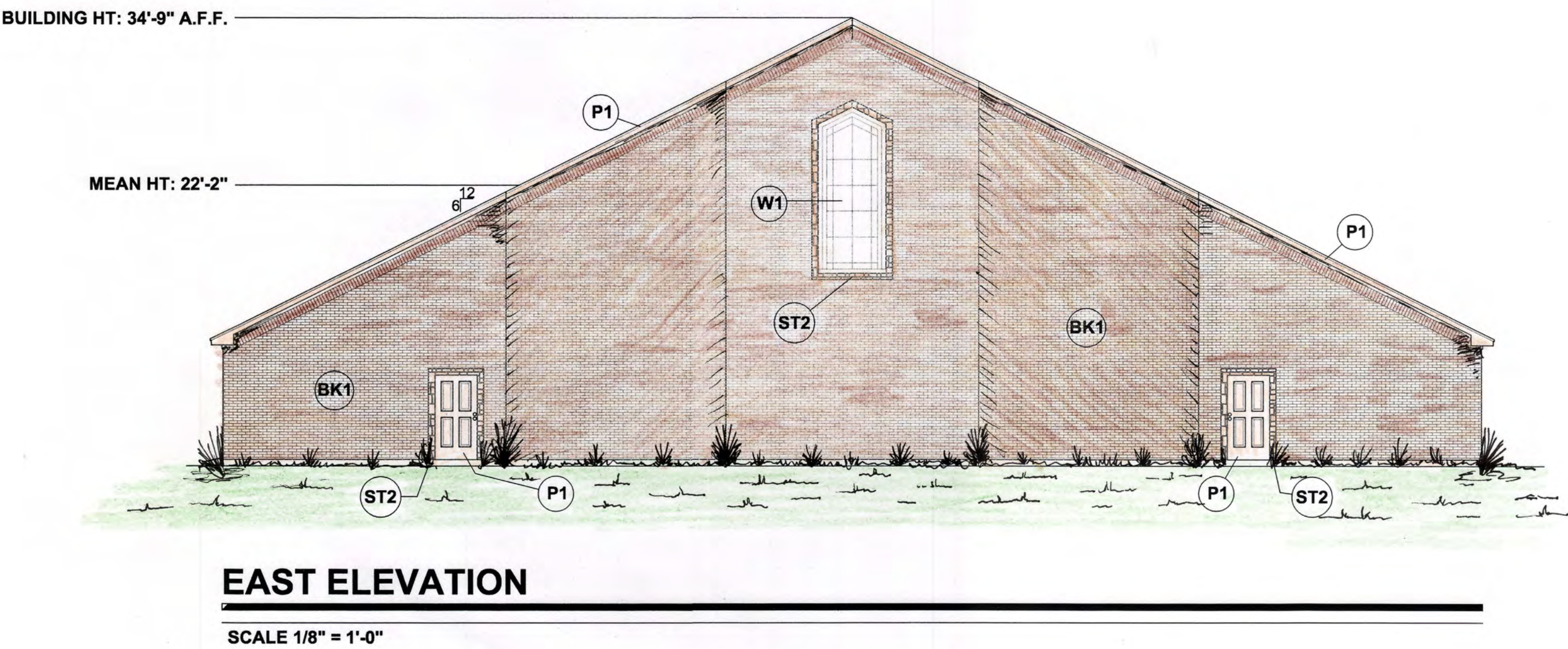
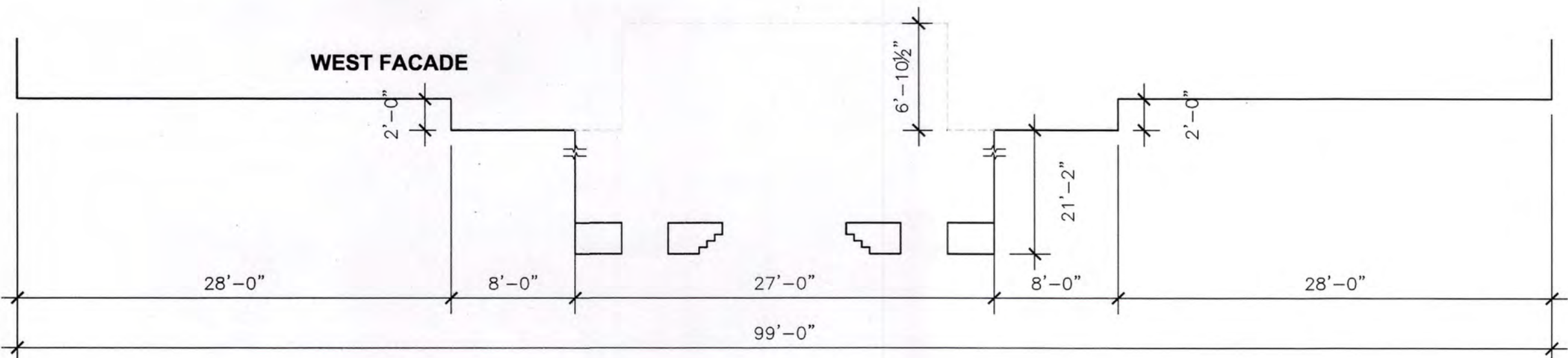
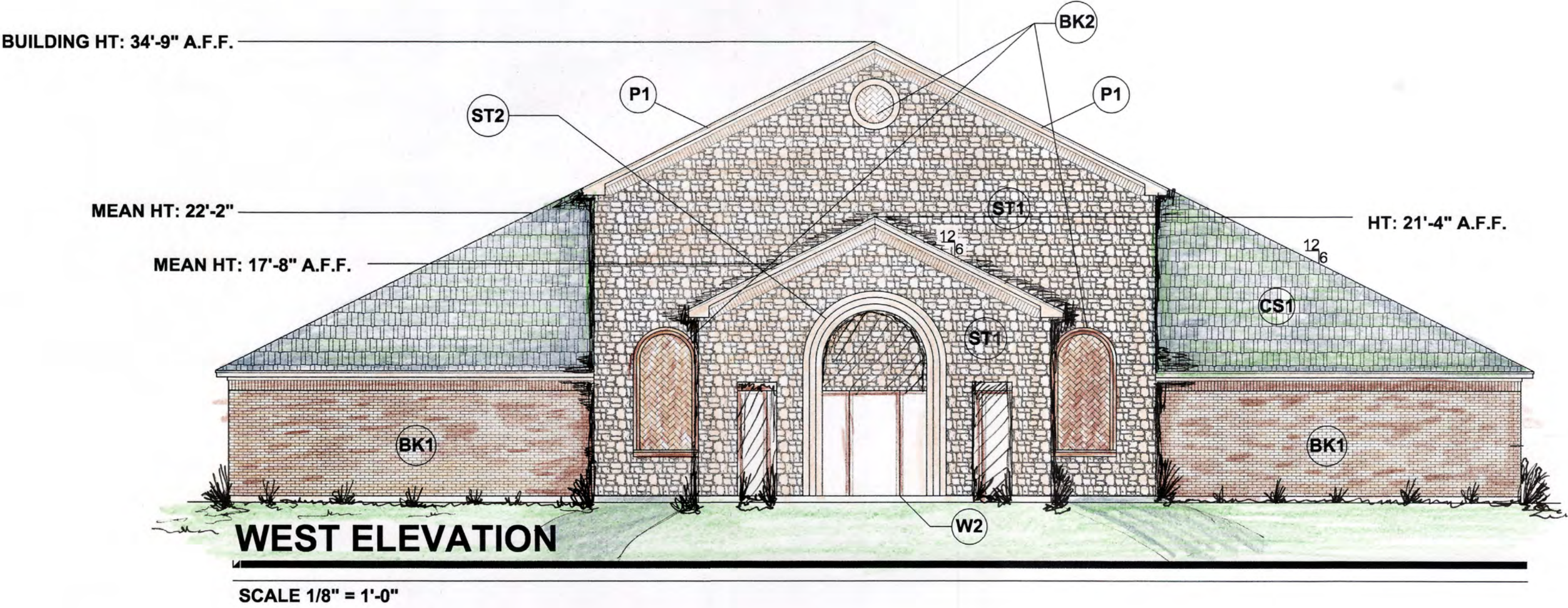


Drawn By: MH
Date: 12/18/2017
Scale: #####
Revisions:
02/01/2018
02/15/2018

17335

OWNER/DEVELOPER
FLOWER MOUND CHURCH OF CHRIST
4800 WITCHITA TRAIL
FLOWER MOUND, TX
Ph. 972-698-7240
Contact: BRAD WRIGHT

L1.1



MATERIAL LEGEND

MATERIAL & MANUFACTURER	SERIES & COLOR	NOTES:
CS1 TYP. ROOF: GAF COMP. SHINGLE	TIMBERLINE/ SLATE	TYP. HD COMPOSITION SHINGLES
ST1 TYP. STONE	WHITE LEUDERS	CHOPPED: ASHLAR PATTERN
ST2 STONE ACCENTS	WHITE LEUDERS	STONE RIBBON ACCENT
BK1 TYP. FIELD BRICK: MERIDIAN BRICK CO.	MINERAL WELLS COLLECTION/ RIDGEMONT	TYP. FIELD BRICK
BK2 ACCENT BRICK: MERIDIAN BRICK CO.	MINERAL WELLS COLLECTION/ RIDGEMONT	TYP. DETAIL BANDING
P1 EXTERIOR PAINT: SHERWIN WILLIAMS	ELDER WHITE 7014	TYP. SOFFIT PAINT, DOOR PAINT
W1 WINDOW	VINYL, WHITE	
W2 ALUMINUM & GLASS STOREFRONT	BRONZE ANODIZED ALUMINUM & BRONZE TINT GLASS	

WWW.MERIDIANBRICK.COM/PRODUCT-DETAIL/

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1302 S.F.	1302 S.F.	2123 S.F.	1708 S.F.
2. FACADE S.F. (EXCLUSIVE OF DOORS AND WINDOWS)	1237 S.F.	1237 S.F.	2021 S.F.	1540 S.F.
3. DOORS AND WINDOWS S.F.	65 S.F.	65 S.F.	36 S.F.	168 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	1237 S.F. & 100% OF 2	1237 S.F. & 100% OF 2	2021 S.F. & 100% OF 2	1540 S.F. & 100% OF 2
* BRICK S.F. (AS APPLICABLE)	1120 S.F. & 91% OF 2	1120 S.F. & 91% OF 2	1995 S.F. & 99% OF 2	504 S.F. & 33% OF 2
* STONE S.F. (AS APPLICABLE)	117 S.F. & 9% OF 2	117 S.F. & 9% OF 2	36 S.F. & 1% OF 2	1036 S.F. & 67% OF 2
* TILT WALL S.F. (AS APPLICABLE)	NONE	NONE	NONE	NONE
*STUCCO S.F. (AS APPLICABLE)	NONE	NONE	NONE	NONE
5. SECONDARY MASONRY TOTALS (MAX 20%)	NONE	NONE	NONE	NONE
* EIFS S.F. (AS APPLICABLE)	NONE	NONE	NONE	NONE
* HARDIPLANK S.F. (AS APPLICABLE)	NONE	NONE	NONE	NONE
* DETAIL ANY ADDITIONAL (AS APPLICABLE)	NONE	NONE	NONE	NONE

A NEW FACILITY FOR:

FLOWER MOUND CHURCH OF CHRIST
3800 OLD SETTLERS ROAD
FLOWER MOUND, TX

DATE: 10-3-17

DRAWN BY: ASB

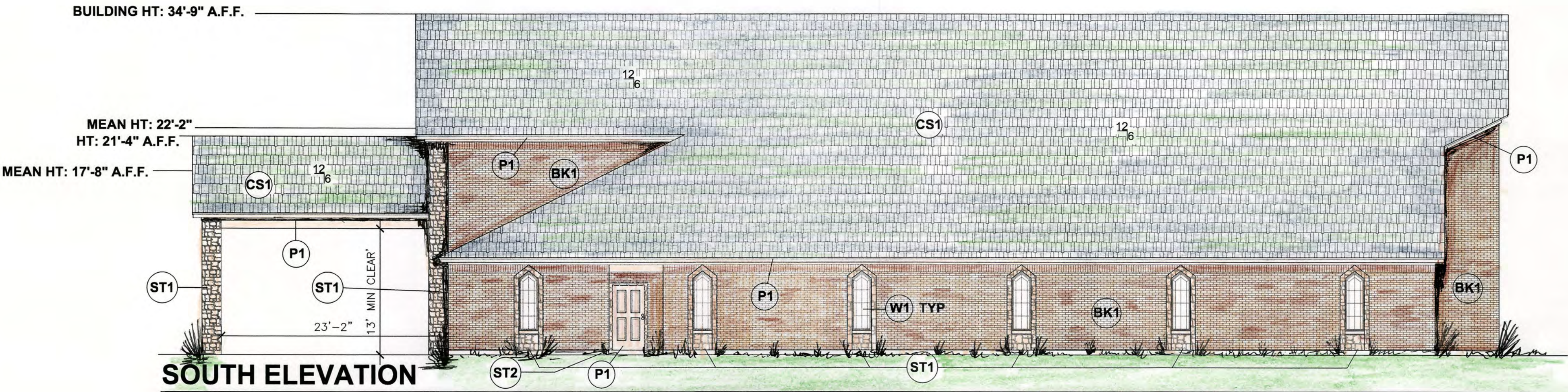
DESCRIPTION

REVISED: E-C1-18

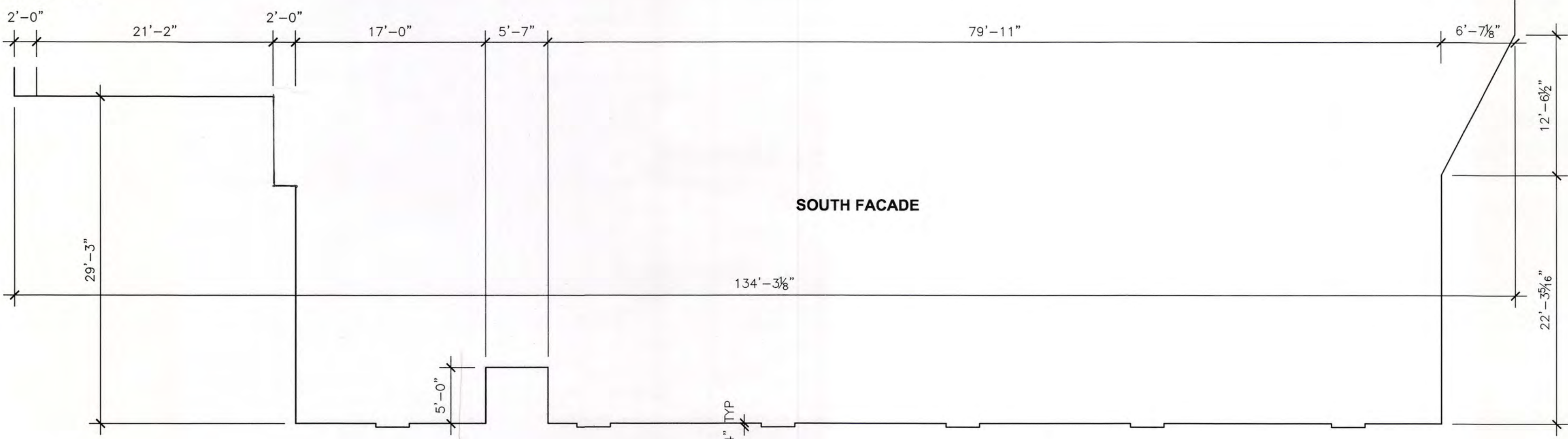
A1

MC COLLUM & ASSOCIATES

ARCHITECTS
217 NORTH WOOD ST. MCKINNEY, TX 75069 214-244-5858



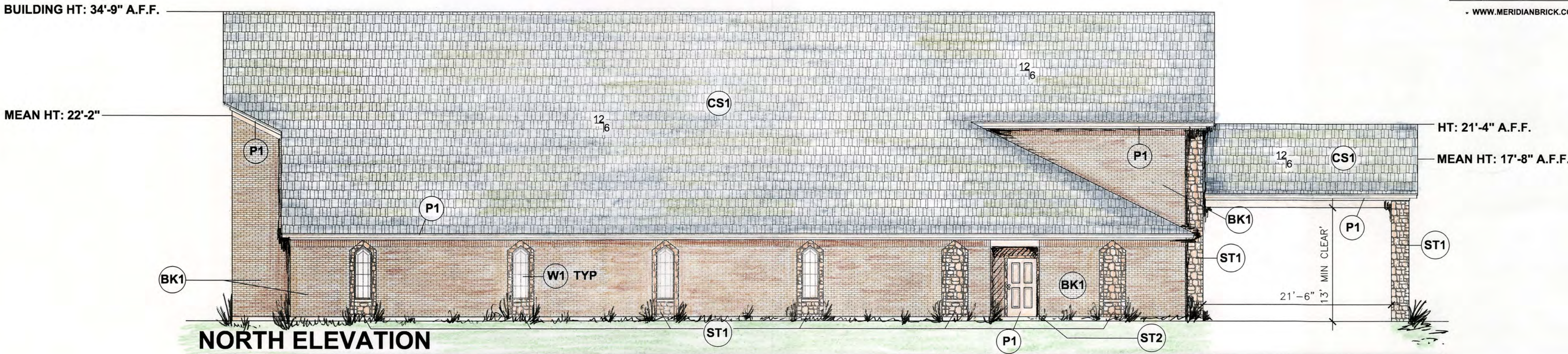
SCALE 1/8" = 1'-0"



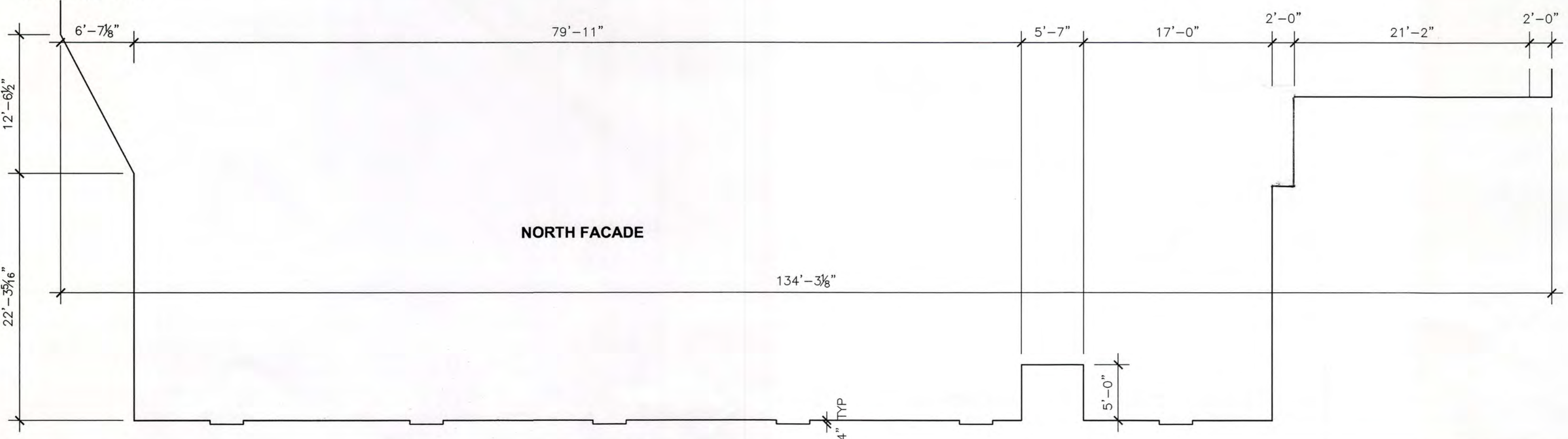
MATERIAL LEGEND

MATERIAL & MANUFACTURER	SERIES & COLOR	NOTES:
CS1	TYP. ROOF: GAF COMP. SHINGLE	TIMBERLINE/ SLATE TYP. HD COMPOSITION SHINGLES
ST1	TYP. STONE	WHITE LEUDERS CHOPPED: ASHLAR PATTERN
ST2	STONE ACCENTS	WHITE LEUDERS STONE RIBBON ACCENT
BK1	TYP. FIELD BRICK: MERIDIAN BRICK CO.	MINERAL WELLS COLLECTION/ RIDGEMONT TYP. FIELD BRICK
BK2	ACCENT BRICK: MERIDIAN BRICK CO.	MINERAL WELLS COLLECTION/ RIDGEMONT TYP. DETAIL BANDING
P1	EXTERIOR PAINT: SHERWIN WILLIAMS	ELDER WHITE 7014 TYP. SOFFIT PAINT, DOOR PAINT
W1	WINDOW	VINYL, WHITE
W2	ALUMINUM & GLASS STOREFRONT	BRONZE ANODIZED ALUMINUM & BRONZE TINT GLASS

WWW.MERIDIANBRICK.COM/PRODUCT-DETAIL/



SCALE 1/8" = 1'-0"



A NEW FACILITY FOR:

FLOWER MOUND CHURCH OF CHRIST
3800 OLD SETTLERS ROAD
FLOWER MOUND, TX

DATE:
10-3-17

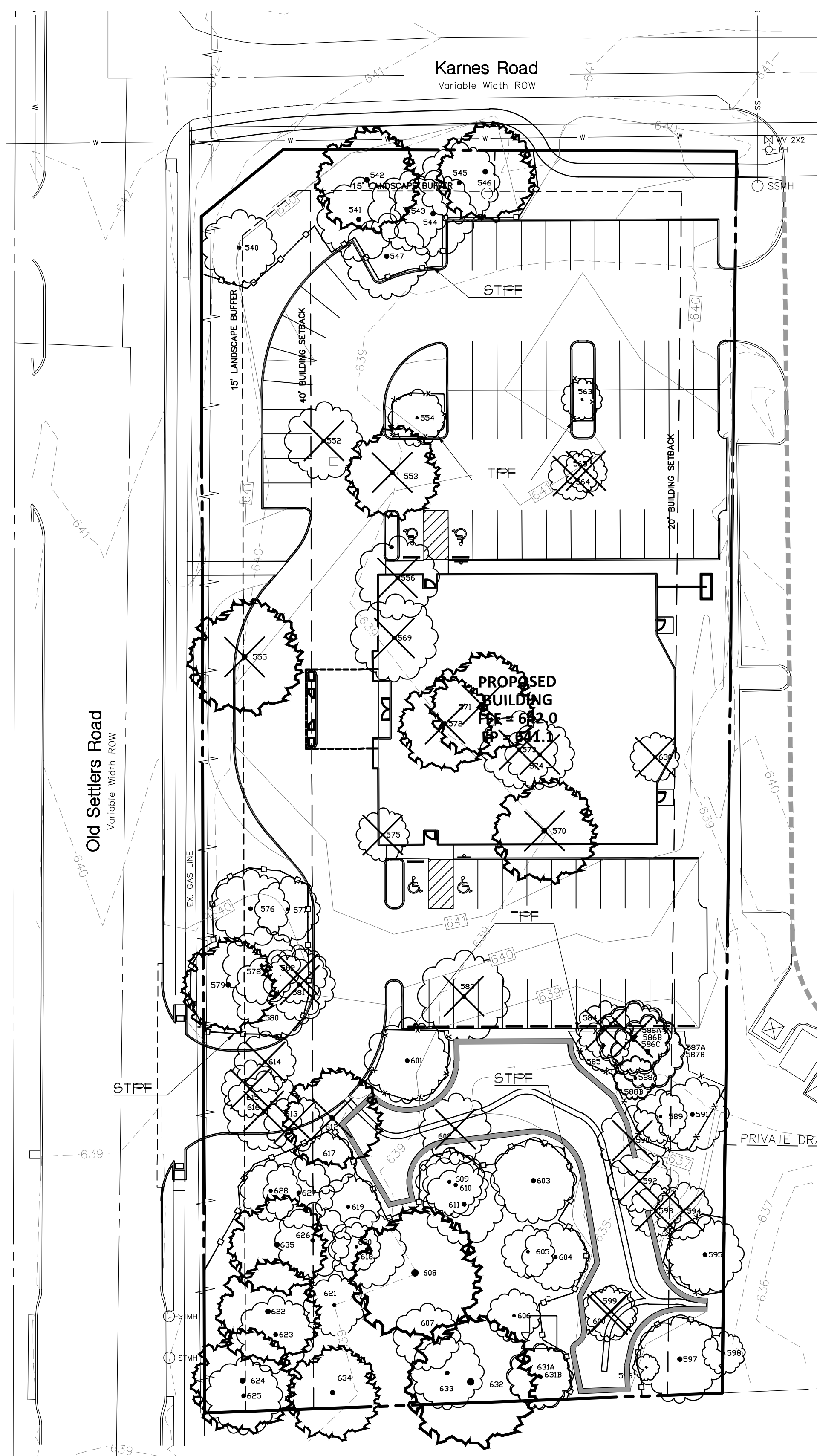
DRAWN BY:
ABM

DESCRIPTION:

REVISED:
2-21-18

A2

MC COLLUM & ASSOCIATES
ARCHITECTS
217 NORTH WOOD ST. MCKINNEY, TX 75069 214-244-5858



LEGEND

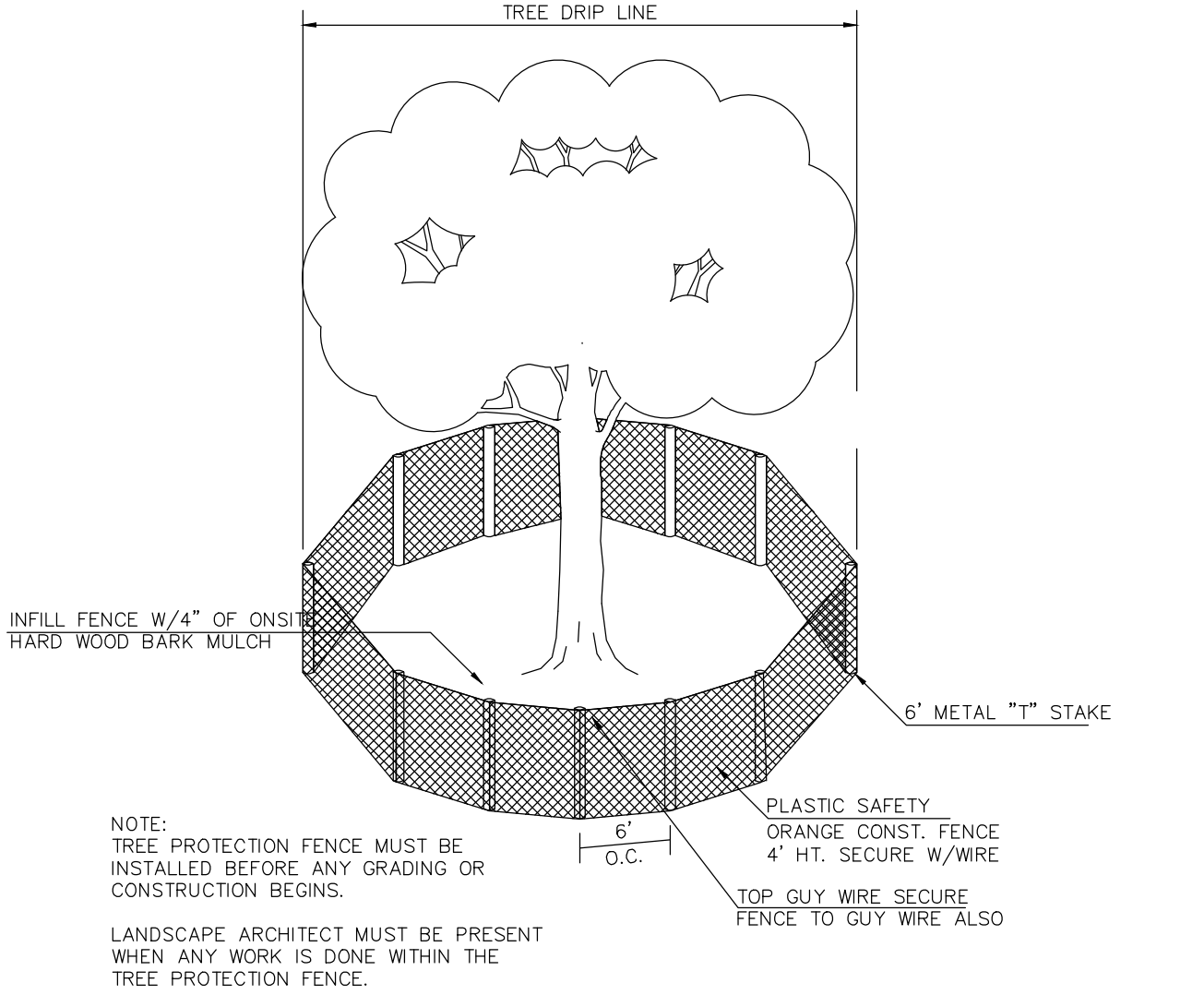
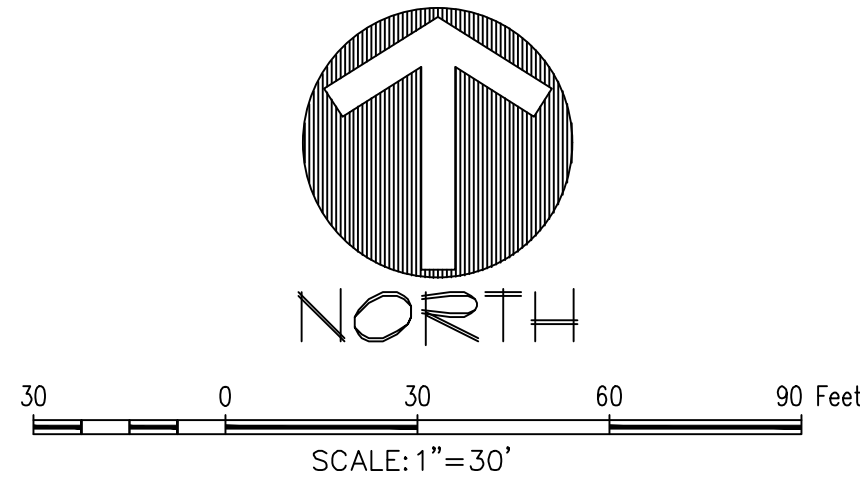
- SPECIMEN TREE TO REMAIN
- SPECIMEN TREE TO BE REMOVED
- PROTECTED TREE TO REMAIN
- PROTECTED TREE TO BE REMOVED
- SPECIMEN TREE PROTECTION FENCING (STPF)
- TREE PROTECTION FENCING (TPF)

TREE PRUNING, REMOVAL AND PROTECTION MEASURES

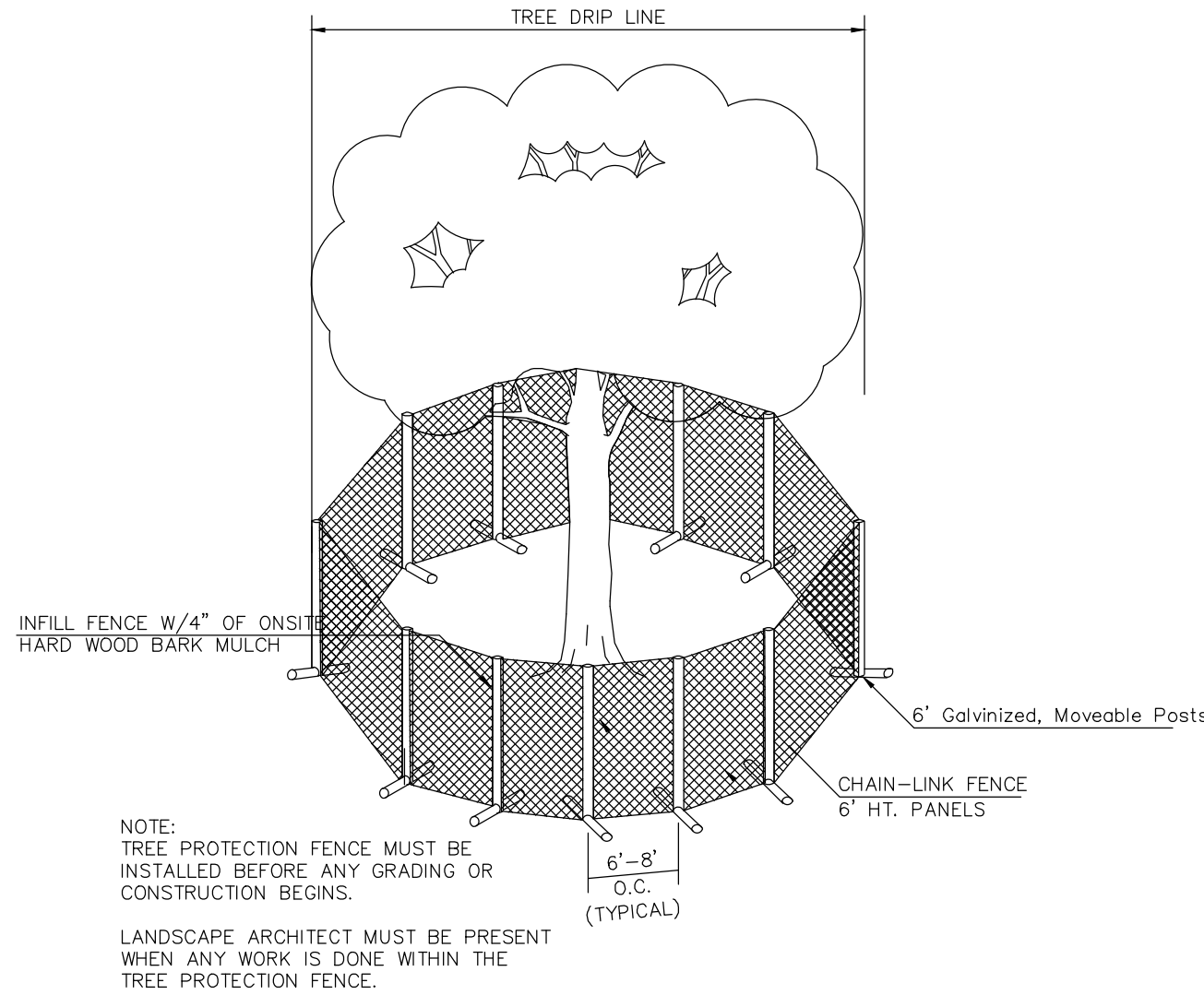
- A. QUALITY ASSURANCE
- Comply with applicable Federal, state, county and local regulations governing landscape work.
 - employ only experienced personnel. Provide adequate supervision by qualified foreman.
- B. JOB CONDITIONS
- Coordination: Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.
 - In order to minimize conflict, secure from the Construction Manager copies of layout drawings showing the location of all underground utility lines and other structures.
- C. PRODUCTS
- MULCH: Double shredded hardwood mulch free of sticks, dirt and other debris and derived from the site clearing.
- D. DEFINITIONS
- CRZ: Critical Root Zone: The area of undisturbed natural soil around a tree defined by a concentric circle with a radius in feet equal to the number of inches of trunk diameter.
 - TPF: Tree Protection Fence: The orange safety barrier netting that shall extend around the entire circumference of the tree at the CRZ or as shown on approved plans.
- E. PRE-CONSTRUCTION TREE PRUNING
- Personnel Qualifications: All pruning shall be performed under the supervision of an international Society of Arboriculture (ISA) Certified Arborist.
 - All trees within the project area shall be pruned to:
 - Clear the crown of diseased, crossing, weak and dead wood to a minimum of 1/4 inches in diameter
 - Provide 14 feet of vertical clearance over streets and 8 feet over sidewalks.
 - Remove stubs, cutting outside the woundwood tissue that has formed around the branch.
 - Reduce end weight on heavy, horizontal branches by selectively removing small diameter branches, no greater than 2 to 3 inches, near the ends of the scaffolds.
 - Pruning cuts shall be made in accordance with ANSI 300 Pruning Standard and work shall be performed in accordance with ANSI Z133.1 Safety Standards. Pruning shall be in accordance with ISA's Best Management Practices: Tree Pruning.
 - No more than 20 percent of live foliage shall be removed from any tree.
 - Brush shall be chipped and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 4 inches, leaving the trunk clear of mulch.
- F. TREE REMOVAL
- Tree preservation requires a commitment to preserving and maintaining retained trees, as well as any unsuited trees within the Project Area.
 - All wood debris from all tree removals at the Project Site is to be chipped and stored on site for use in the tree preservation efforts at the discretion of the Landscape Architect.
 - The limits of all tree protection zones shall be staked in the field and observed by all contractors.
 - Any brush clearing required within the tree protection zone shall be accomplished with hand operated equipment.
 - Trees to be removed from within the tree protection zone shall be removed under the supervision of a Certified Arborist. The trees shall be cut near ground level and the stump ground out.
- G. TREE PROTECTION
- Before beginning work, the Project Manager, Landscape Architect and/or Owner of their agents are required to meet at the site to review all work procedures, access routes, storage areas, and tree protection measures. Any intended construction activities inside the TPZ shall be clearly outlined.
 - Fences shall be erected to protect trees to be preserved prior to construction equipment arriving on the Project Site. Fences will define the specific protection zone for each tree or group of trees.
 - Fences are to be maintained and remain until all site work has been completed and final landscape operations begin. Fences may not be relocated or removed without written permission from the Landscape Architect. Fences may be constructed from 6 "T" stakes and orange web fence material.
 - All trees to be preserved shall have 4 inches of hardwood mulch applied inside the tree protection zone. This hardwood mulch shall be replenished as necessary to maintain a 4 inch depth.
 - Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
 - Tree roots extend out in a straight, radial direction from the tree much like spokes on a wheel (to a depth generally not exceeding 24"). All underground utilities and drains or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree. Trenches "airdug" with Air Spade (registered trademark) or similar technology are the exceptions. Irrigation line may routed in any direction outside the dripline of retained trees. Irrigation lines inside the dripline must be in a straight, radial direction towards the tree trunk and terminate in a dead end sprinkler head no greater than 7 feet from a tree trunk (irrigation lines shall not in any way bisect and therefore damage the "spoke-like" root system).
 - No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone.
 - If unintentional injury should occur to any tree during construction, it shall be reported to the Landscape Architect within six hours so that remedial action can be taken. Timeliness is critical to tree health. The cost of any remedial treatments will become the burden of the offending contracting company.
 - Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Architect. Specific locations or tree tag numbers should be identified.

TREE CHART

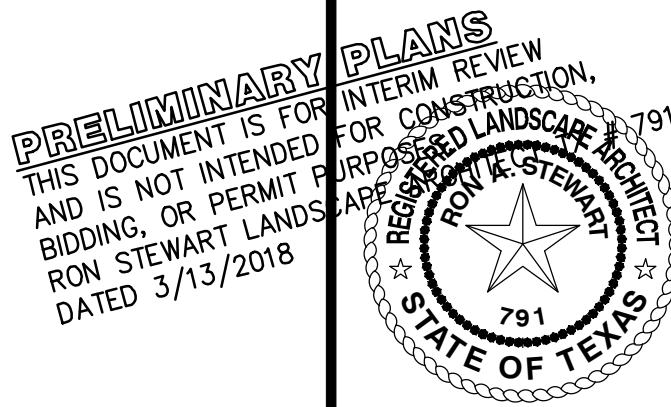
TREE #	CALIPER (")	COMMON NAME	BOTANICAL NAME	PROTECTED	REMARKS	REMOVED	MITIGATION	CREDITS
540	18.5	Post Oak	Quercus stellata	Yes	Oba			
541	20.5	Post Oak	Quercus stellata	Yes	BA			4
542	25	Post Oak	Quercus stellata	Yes	Specimen, OBA			
543	19.5	Post Oak	Quercus stellata	Yes	BA			4
544	21	Post Oak	Quercus stellata	Yes	BA	Yes	3	
545	20	Post Oak	Quercus stellata	Yes	Oba			
546	24.5	Post Oak	Quercus stellata	Yes	Specimen, OBA			
547	21	Post Oak	Quercus stellata	Yes	BA	Yes	3	
552	19	Post Oak	Quercus stellata	Yes	BA	Yes	3	
553	23.5	Post Oak	Quercus stellata	Yes	Specimen, BA	Yes	47	
554	14	Post Oak	Quercus stellata	Yes	BA			4
555	27	Post Oak	Quercus stellata	Yes	Specimen, BA			
556	20.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
563	10	Pecan	Carya illinoensis	Yes	BA			1
564	12	Pecan	Carya illinoensis	Yes	BA	Yes	3	
565	10.5	Pecan	Carya illinoensis	Yes	BA	Yes	3	
569	21.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
570	25.5	Post Oak	Quercus stellata	Yes	Specimen, BA	Yes	51	
571	26	Post Oak	Quercus stellata	Yes	Specimen, BA	Yes	52	
572	23	Post Oak	Quercus stellata	Yes	Specimen, BA	Yes	46	
573	19	Post Oak	Quercus stellata	Yes	BA	Yes	3	
574	17	Post Oak	Quercus stellata	Yes	BA	Yes	3	
575	13	Post Oak	Quercus stellata	Yes	BA	Yes	3	
576	19	Post Oak	Quercus stellata	Yes	BA			4
577	16	Post Oak	Quercus stellata	Yes	BA			4
578	19	Post Oak	Quercus stellata	Yes	BA			4
579	22	Post Oak	Quercus stellata	Yes	Specimen, OBA			
580	21.5	Post Oak	Quercus stellata	Yes	BA			4
581	17.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
582	14.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
583	21	Post Oak	Quercus stellata	Yes	BA	Yes	3	
584	14	Post Oak	Quercus stellata	Yes	BA	Yes	3	
585	13	Post Oak	Quercus stellata	Yes	BA			4
589	13	Post Oak	Quercus stellata	Yes	BA			4
590	17	Post Oak	Quercus stellata	Yes	BA	Yes	3	
591	18	Post Oak	Quercus stellata	Yes	BA			4
592	15.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
593	13	Post Oak	Quercus stellata	Yes	BA	Yes	3	
594	14	Post Oak	Quercus stellata	Yes	BA	Yes	3	
595	19	Post Oak	Quercus stellata	Yes	BA			4
596	6.5	Black Walnut	Juglans nigra	Yes	BA			1
597	21.5	Post Oak	Quercus stellata	Yes	BA			4
598	10.5	American Elm	Ulmus americana	Yes	BA			1
599	13	Post Oak	Quercus stellata	Yes	BA	Yes	3	
600	13.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
601	21	Post Oak	Quercus stellata	Yes	BA			4
602	17.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
603	21	Post Oak	Quercus stellata	Yes	BA			4
604	16.5	Post Oak	Quercus stellata	Yes	BA			4
605	13	Post Oak	Quercus stellata	Yes	BA			4
606	13	Post Oak	Quercus stellata	Yes	BA			4
607	16.5	Post Oak	Quercus stellata	Yes	BA			4
608	32.5	Post Oak	Quercus stellata	Yes	Specimen, BA			6
609	16.5	Post Oak	Quercus stellata	Yes	BA			4
610	16	Post Oak	Quercus stellata	Yes	BA			4
611	20	Post Oak	Quercus stellata	Yes	BA			4
612	24	Post Oak	Quercus stellata	Yes	Specimen, BA	Yes	48	
613	14.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
614	15	Post Oak	Quercus stellata	Yes	BA	Yes	3	
615	14	Post Oak	Quercus stellata	Yes	BA	Yes	3	
616	19.5	Post Oak	Quercus stellata	Yes	BA	Yes	3	
617	15	Post Oak	Quercus stellata	Yes	BA			4
618	19	Post Oak	Quercus stellata	Yes	BA			4
619	16	Post Oak	Quercus stellata	Yes	BA			4
620	12	Post Oak	Quercus stellata	Yes	BA			2
621	15	Post Oak	Quercus stellata	Yes	BA			4
622	25	Post Oak	Quercus stellata	Yes	Specimen, BA			6
623	19	Post Oak	Quercus stellata	Yes	BA			4
624	26	Post Oak	Quercus stellata	Yes	Specimen, OBA			
625	19	Post Oak	Quercus stellata	Yes	Oba			
626	17.5	Post Oak	Quercus stellata	Yes	BA			4
627	17.5	Post Oak	Quercus stellata	Yes	BA			4
628	15	Post Oak	Quercus stellata	Yes	BA			4
630	12	Slippery Elm	Ulmus rubra	Yes	BA	Yes	3	
632	33	Post Oak	Quercus stellata	Yes	Specimen, BA			6
633	18	Post Oak	Quercus stellata	Yes	BA			4
634	22.5	Post Oak	Quercus stellata	Yes	Specimen, BA			6
635	24	Post Oak	Quercus stellata	Yes	Specimen, BA			6
586A	18	Post Oak	Quercus stellata	Yes	BA	Yes	3	
586B	18	Post Oak	Quercus stellata	Yes	BA	Yes	3	
586C	18	Post Oak	Quercus stellata	Yes	BA	Yes	3	
587A	18	Post Oak	Quercus stellata	Yes	BA			4
587B	18	Post Oak	Quercus stellata	Yes	BA			4
588A	10.5	Post Oak	Quercus stellata	Yes	BA			2
588B	13	Post Oak	Quercus stellata	Yes	BA			4
631A	16	Post Oak	Quercus stellata	Yes	BA			4
631B	16	Post Oak	Quercus stellata	Yes	BA			4
TOTALS								177
TOTAL MITIGATION INCHES								385
MITIGATION TREES								129
CREDITS								177
FINAL MITIGATION TREE REQUIREMENTS								48
TOTAL PROTECTED TREES ON SITE								74
TOTAL SPECIMEN TREES ON SITE								15
TOTAL PROTECTED TREES REMOVED								30
TOTAL SPECIMENS REMOVED								6
TOTAL INCHES REMOVED								623



TREE PROTECTION
(PROTECTED)



TREE PROTECTION
(Specimen)



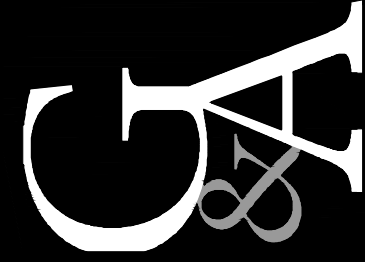
Drawn By: VC
Date: 12/18/2017
Scale: 1"=30'
Revisions:
02/01/2018
02/15/2018

OWNER/DEVELOPER
FLOWER MOUND CHURCH OF CHRIST
4800 WITCHITA TRAIL
FLOWER MOUND, TX
Ph. 972-698-7240
Contact: BRAD WRIGHT

17335

T1.0

SITE PLANNING CIVIL ENGINEERING PLATTING
CONSULTANTS, LLC
LAND SURVEYING LANDSCAPE ARCHITECTURE
111 Hillside Drive • Lewisville, TX 75057
P: 972.436.9712 • F: 972.436.9715
144 Old Town Blvd. North, Ste 2 • Argyle, TX 76226
P: 940.240.1012 • F: 940.240.1028
TBPES Firm No. 1798 TBPES Firm No. 10047700



FLOWER MOUND CHURCH OF CHRIST
Lot 1, Block A
2026 Acres
in the
J. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

TREE SURVEY

FLOWER MOUND CHURCH OF CHRIST



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 6

DATE: April 23, 2018

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Record Plat (RC18-0001 – DFW North 4) to create a non-residential subdivision. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion site plan application (SP18-0002) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The property consists of an approximate 17.12-acre undeveloped parcel of land. The purpose of this record plat is to create a buildable lot to be developed with an office/warehouse building as noted in the above referenced site plan application. The property is zoned Planned Development District No. 145 (PD-145) which permits the proposed use by right.

The record plat provides for all required setbacks and easements. An off-site wastewater easement is also depicted to the south of the site (to be recorded by separate instrument). The applicant has worked with the developer of the Lakeside Point project to provide wastewater service to the site.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

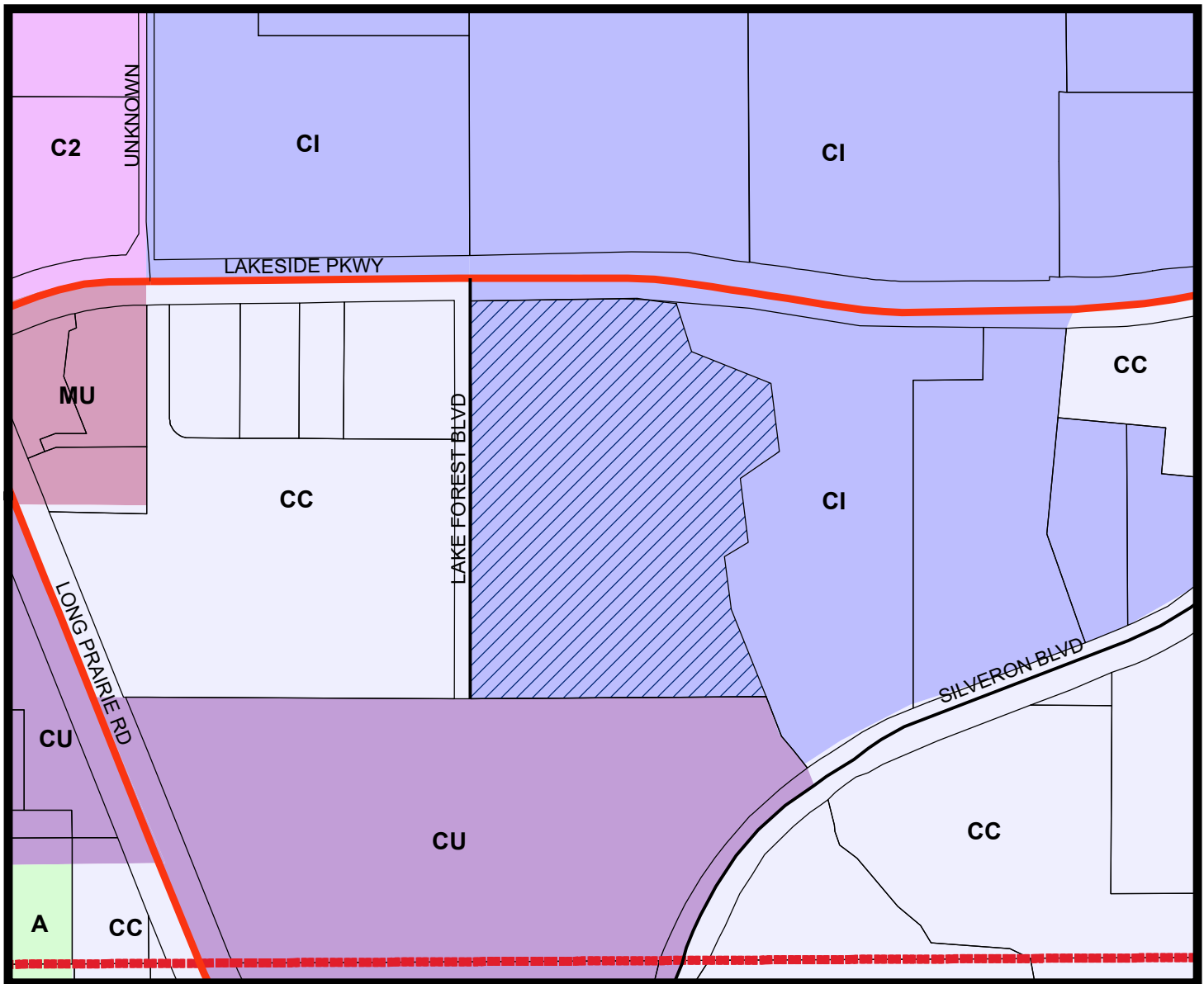
B. Application Details

1. Record Plat Package

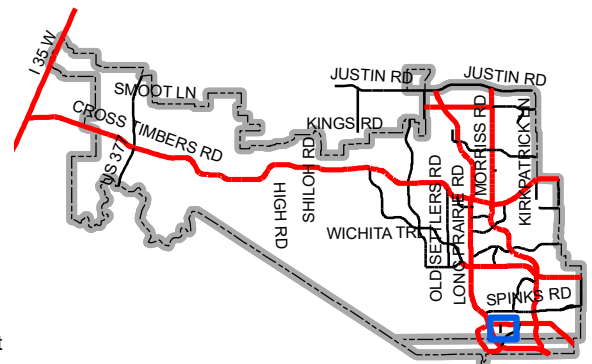
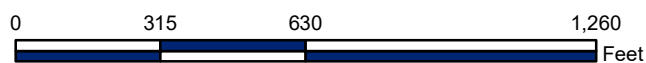
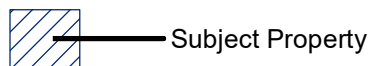
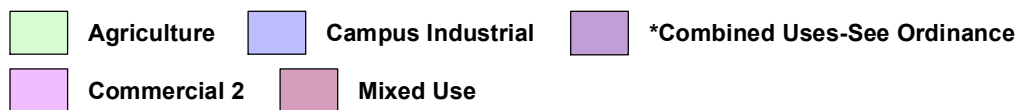


Vicinity Map

Reference Project: RC18-0001 & SP18-0002



LEGEND



Map Location



January 12, 2018

Mr. Chuck Russell
Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

RE: Letter of Intent – DFW North 4 Project
Lakeside Boulevard, Flower Mound, TX
Project ID: DRC17-0063

Dear Mr. Russell-

The intent of this letter is to begin the approval process as it pertains to Site Plan and Record Plat approval, so that Huntington can fully understand development requirements prior to closing on the referenced property prior to early May, 2018. A Site Plan and Record Plat application are submitted with this letter along with all required documentation as specified in the respective application checklists provided earlier by the Town.

Specifically, Huntington is requesting (1) a Site Plan Approval, and (2) a Record Plat Approval. Per conversations with Town staff, at this time we are submitting civil engineering plans, site plan, building elevations, a landscape plan and a tree survey. Site specifics are as follows:

Existing Zoning: PD—145, CI - Campus Industrial

Note: Huntington submits that our proposed project is in substantial conformity with the current PD and the related Lakeside Business District Campus Industrial zoning.

Site Acreage: 17.1 Acres

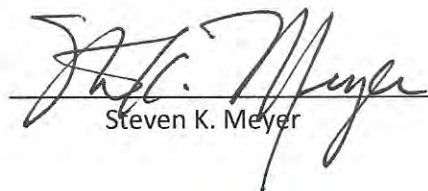
Proposed use Office/Warehouse Building

Building Area: 198,961 Square feet

Access to the property is proposed via two entrances; (1) on Lakeside Parkway, (2) on the private roadway formerly known as Lake Forest Boulevard that was recently removed from the Town's Thoroughfare Plan.

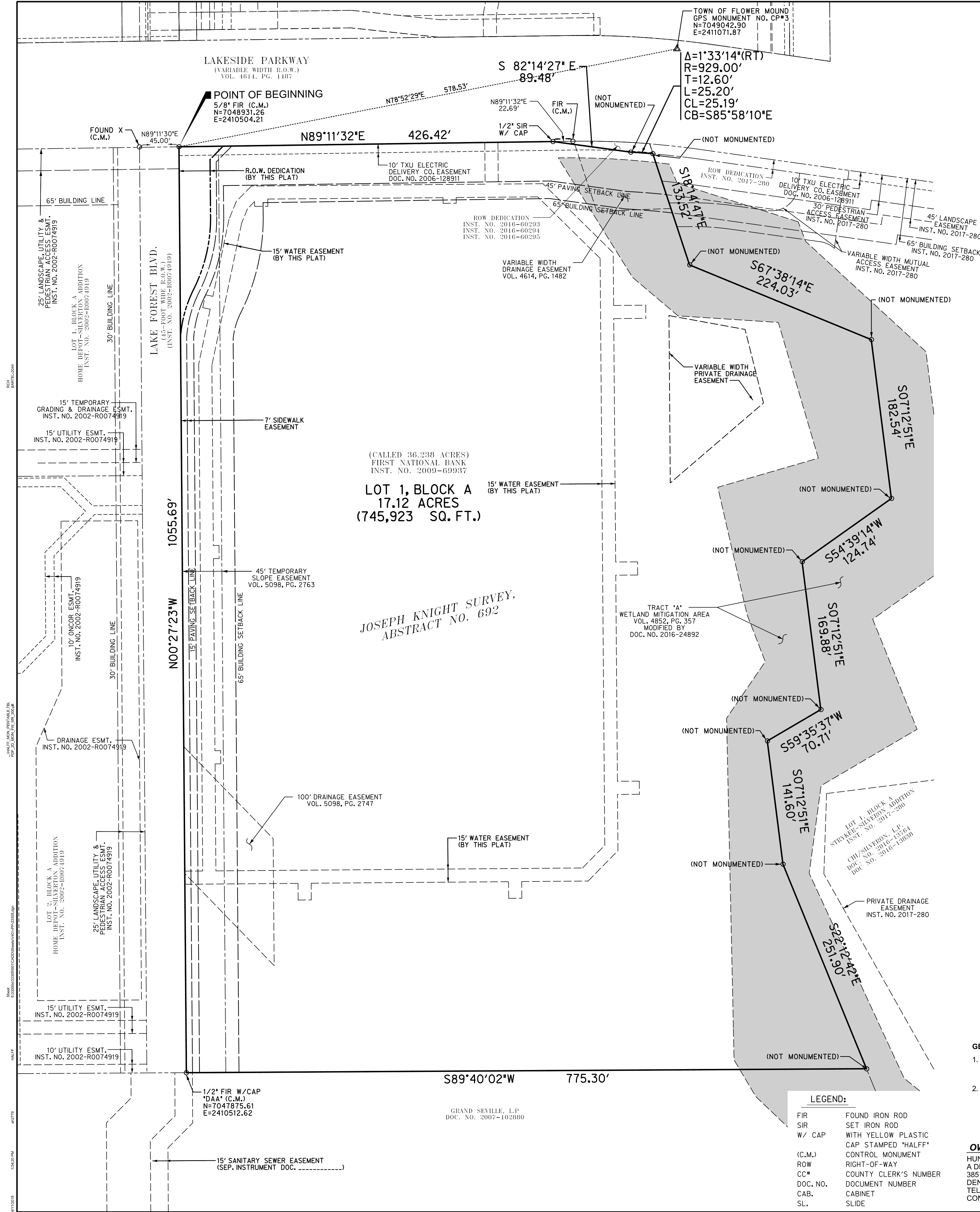
Sincerely,

HUNTINGTON INDUSTRIAL PARTNERS


Steven K. Meyer

Date: 1-15-2018

Attachment B(1): Record Plat Package



LEGAL DESCRIPTION

BEING a 17.12 acre tract of land situated in the Joseph Knight Survey, Abstract Number 692, City of Flower Mound, Denton County, Texas, being part of a called 36.238 acre tract of land described in Deed in Lieu of Foreclosure and Release Agreement to First National Bank, as recorded in Instrument Number 2009-69937 of the Official Public Records of Denton County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch found iron rod for the northwest corner of said 36.238 acre tract, and the intersection of the south right-of-way line of Lakeside Parkway (a variable width right-of-way) and the east right-of-way line of Lake Forest Boulevard (a 45-foot wide right-of-way);

THENCE North 89 degrees 11 minutes 32 seconds East, with the north line of said 36.238 acre tract, and the south right-of-way line of said Lakeside Parkway, a distance of 426.42 feet to a 1/2-inch set iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "with cap") for the west corner of a right-of-way dedication to the Town of Flower Mound, Texas, as recorded in Instrument Number 2016-60294 of the Deed Records of Denton County, Texas (D.R.D.C.T.);

THENCE South 82 degrees 14 minutes 27 seconds East, departing the north line of said 36.238 acre tract and over and across said 36.238 acre tract and with the south right-of-way line of said Lakeside Parkway, a distance of 89.48 feet to a corner (not monumented), said corner being the point of curvature of a non-tangent circular curve to the right, having a radius of 929.00 feet, chord that bears South 85 degrees 58 minutes 10 seconds East, a distance of 25.19 feet;

THENCE Southeasterly, with said south right-of-way line and over and across said 36.238 acre tract, and with said curve, through a central angle of 01 degree 33 minutes 14 seconds, an arc distance of 25.20 feet to a corner (not monumented), said corner being on the west line of Lot 1, Block A of Stryker-Silverton Addition, an addition to the Town of Flower Mound, Texas, as recorded in Instrument Number 2017-280, O.P.R.D.C.T.;

THENCE with the west line of said Lot 1, Block A, the following bearings and distances:

- South 18 degrees 14 minutes 47 seconds East, a distance of 133.52 feet to a corner (not monumented);
- South 67 degrees 38 minutes 14 seconds East, a distance of 224.03 feet to a corner (not monumented);
- South 07 degrees 12 minutes 51 seconds East, a distance of 182.54 feet to a corner (not monumented);
- South 54 degrees 39 minutes 14 seconds West, a distance of 124.74 feet to a corner (not monumented);
- South 07 degrees 12 minutes 51 seconds East, a distance of 169.88 feet to a corner (not monumented);
- South 59 degrees 35 minutes 37 seconds West, a distance of 70.71 feet to a corner (not monumented);
- South 07 degrees 12 minutes 51 seconds East, a distance of 141.60 feet to a corner (not monumented);
- South 22 degrees 12 minutes 42 seconds East, a distance of 251.90 feet to a corner (not monumented) for an "ell" corner of said 36.238 acre tract and the northeast corner of a tract of land described in deed to Grand Seville, L.P., as recorded in Document Number 2007-102880, O.P.R.D.C.T.;

THENCE South 89 degrees 40 minutes 02 seconds West, departing the west line of said Lot 1, Block A, and with the south line of said 36.238 acre tract, and the north line of said Grand Seville tract, a distance of 775.30 feet to a 1/2-inch found iron rod with cap stamped "DAA" for the southwest corner of said 36.238 acre tract, said corner being at the intersection of the north line of said Grand Seville tract and the east right-of-way line of said Lake Forest Boulevard;

THENCE North 00 degrees 27 minutes 23 seconds West, with the west line of said 36.238 acre tract, and said east right-of-way line, a distance of 1,055.69 feet to the POINT OF BEGINNING AND CONTAINING 17.12 acres (745,923 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MACH II-HIP DFW NORTH AIRPORT, LLC, does hereby adopt this plat designated herein as **DFW AIRPORT NORTH DISTRIBUTION CENTER II**, an addition to the Town of Flower, Denton County, Texas.

The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys, and rights-of-way are hereby dedicated in fee simple to the Town of Flower Mound for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

Witness my hand this _____ day of _____, 20____.

By: MACH II-HIP DFW NORTH AIRPORT, LLC

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 20____.

Notary Public in and for the State of Texas

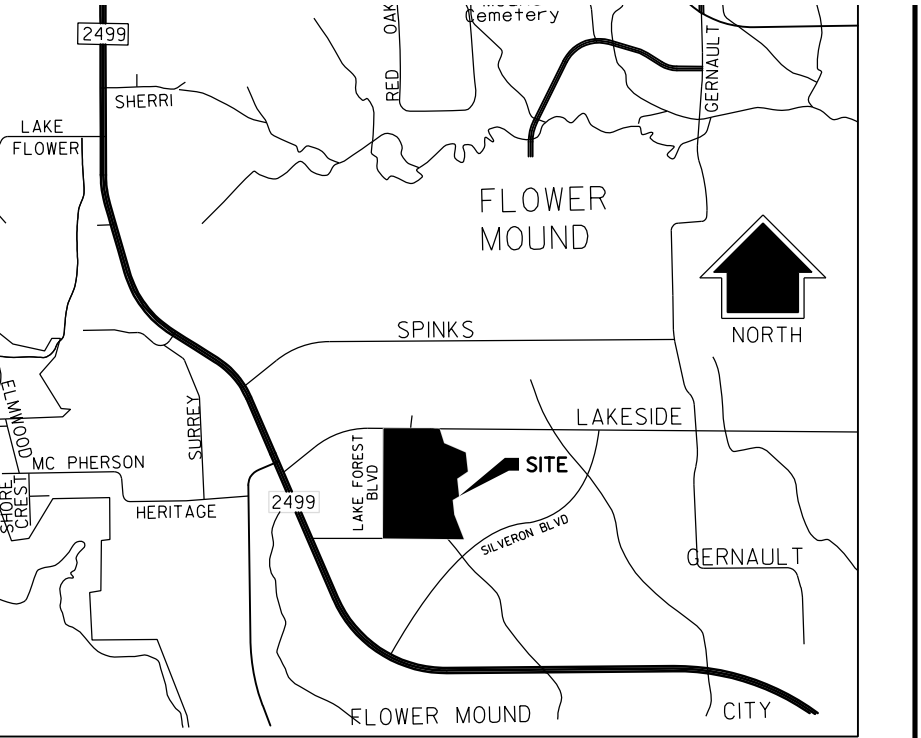
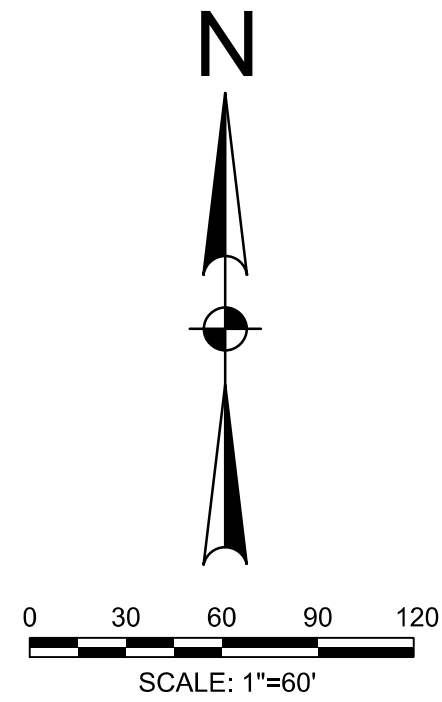
My Commission Expires: _____

GENERAL NOTES

- The Basis of Bearing is the Texas Coordinate System of 1983, North Central Zone (4202). Based on Town of Flower Mound GPS points 11, 12, 18 and 19. All distances are surface distances. Surface Adjustment Scale Factor: 0.999844414.
- By graphical plotting, this property lies within Zone "X" based on the Denton County, Texas, Flood Insurance Rate Map, Panel No. 48121C0685G, dated April 18, 2011, published by the Federal Emergency Management Agency. Zone "X" is defined therein as "Areas determined to be outside the 0.2% annual chance floodplain."

OWNER/DEVELOPER
HUNTINGTON INDUSTRIAL PARTNERS-TEXAS LLC
A DELAWARE LIMITED LIABILITY COMPANY
385 INVERNESS PARKWAY, SUITE 460
DENVER, CO 80112
TEL: 720-233-6966
CONTACT: RANDY SIMMERING

ENGINEERS/SURVEYORS
HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
TBPLS FIRM NO. 10029600
TEL: 214-346-6200
CONTACT: GETSY J. SUTHAN, RPLS



LOCATION MAP
(NOT TO SCALE)

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Getsy J. Suthan, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

GETSY J. SUTHAN
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 6449

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned authority, on this day personally appeared Getsy J. Suthan, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires: _____

APPROVED:

TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION

Thomas Goss, Chairman Planning
and Zoning Commission _____ Date _____ 20____

Doug Powell, Executive Director
of Development Services _____ Date _____ 20____

SIGNED AND SEALED:

TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound _____ Date _____ 20____

NOTES:

- Upkeep and maintenance of the private drainage easement is the responsibility of the property owner.
- Upkeep and maintenance shall include but not be limited to the following items:
 - grass and ground cover shall be kept to a height required by Town ordinance;
 - The detention facility shall be kept free of debris and litter, with particular attention given to keeping the outlet structure clear at all times;
 - Accumulated sediment shall be removed from the facility as required to ensure that there is no reduction in function or detention capacity;
 - All electrical and mechanical systems associated with the retention function of this facility shall be kept in working order at all times.
- No dumping of any type is permitted within the easement area.

RECORD PLAT

OF
LOT 1, BLOCK A
OF
DFW AIRPORT NORTH
DISTRIBUTION CENTER IV
BEING
17.12 ACRES OF LAND
SITUATED IN THE

JOSEPH KNIGHT SURVEY, ABSTRACT NO. 692

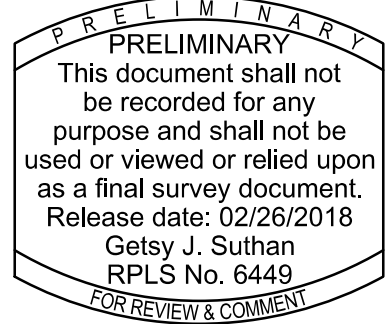
AN ADDITION TO THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

BY



1201 NORTH BOWSER ROAD RICHARDSON, TEXAS 75081 (214) 346-6200 FAX (214) 739-0095

AVO: 33305 FEBRUARY, 2018 SCALE: 1" = 60'





PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 7

DATE: April 23, 2018

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Site Plan (SP18-0002 – DFW North 4) to develop an office/warehouse building. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion record plat application (RC18-0001) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a 198,854-square-foot, one-story, office/warehouse building to be located on proposed Lot 1, Block A, of the DFW Airport North Distribution Center IV Addition (see companion plat application). The property is currently zoned Planned Development District-145 (PD-145) for Campus Industrial District (CI) uses in compliance with the Campus Industrial land use designation within the Lakeside Business District Area Plan.

The subject property contains approximately 17.12 acres and is undeveloped. Access to this development will be from Lakeside Parkway and Lake Forest Boulevard. The site plan depicts a total of 170 off-street parking spaces (212 spaces are required) which is within the 20% deviation allowed by the Code of Ordinances.

The site plan provides setbacks as required by PD-145 (60 feet) along the western and northern property lines. Proposed landscaping is in compliance with both PD-145 and the Town's landscape regulations. Proposed elevations are in compliance with the Town's Urban Design Plan, as well as adhering to the unified design theme that has been established within PD-145.

On January 21, 2016, the Town Council approved both a request for a Master Plan Amendment (MPA15-0010 – Silveron Industrial Warehouse) to amend Section 1.0, Land Use Plan, and Section 2.0, Area Plans, of the Master Plan to change the land use designation from Campus Commercial uses to Campus Industrial uses and a request for rezoning (ZPD15-0013 – Silveron Industrial Warehouse) from Planned Development District No. 31 (PD 31) for Campus Commercial District (CC) uses to

Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses with certain exceptions to the Code of Ordinances on the subject property.

<http://flowermoundtx.swagit.com/play/01212016-828/11/>

On March 28, 2016, the Planning and Zoning Commission approved a request for a Record Plat (RC16-0003) and a Site Plan (SP15-0029 -Stryker - Silveron Addition) to develop one office/warehouse building east of the subject property within PD-145.

<http://flowermoundtx.swagit.com/play/03282016-960/4/>

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Approved PD-145 Conceptual Plans

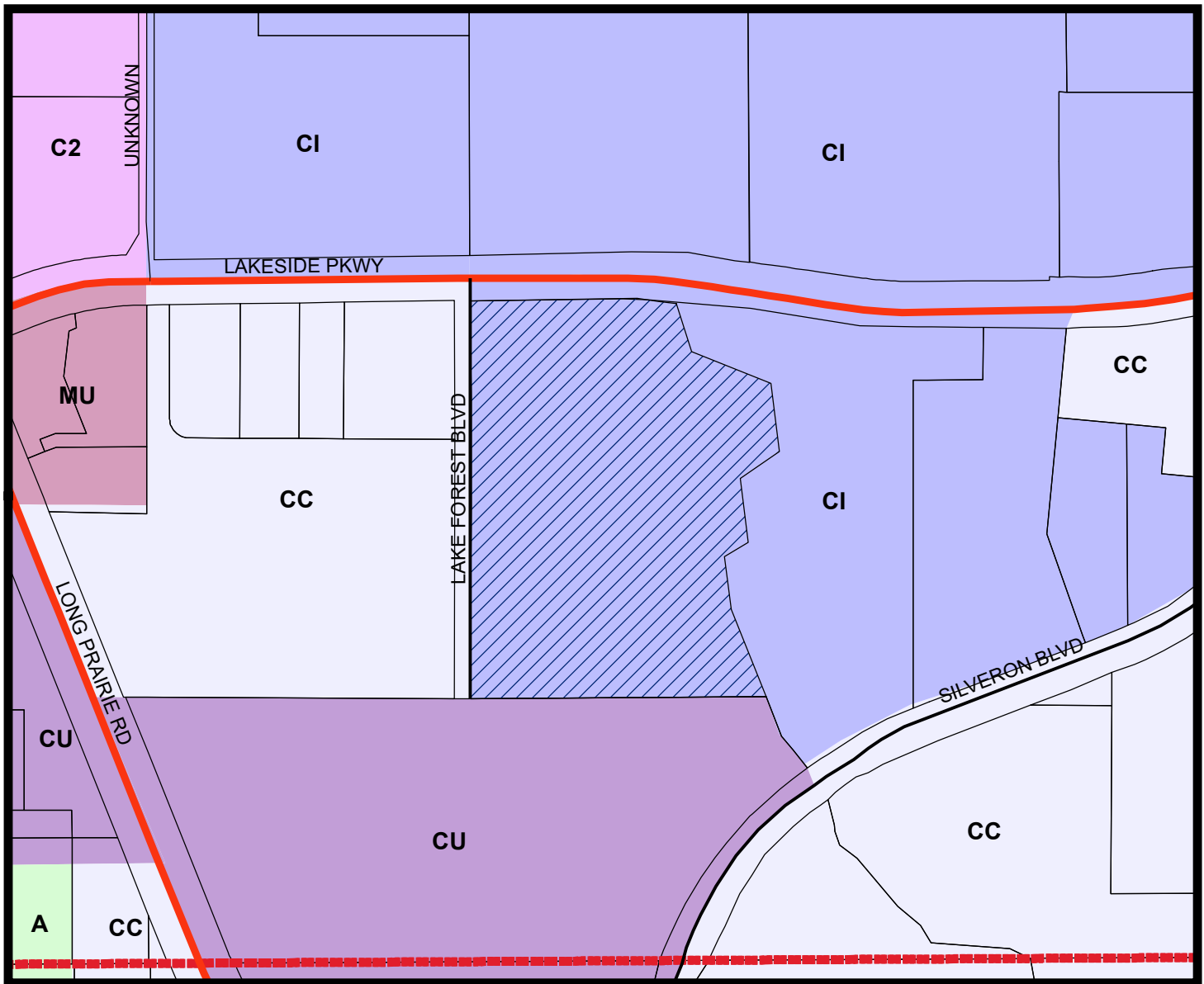
B. Application Details

1. Site Plan Package

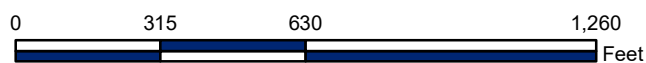
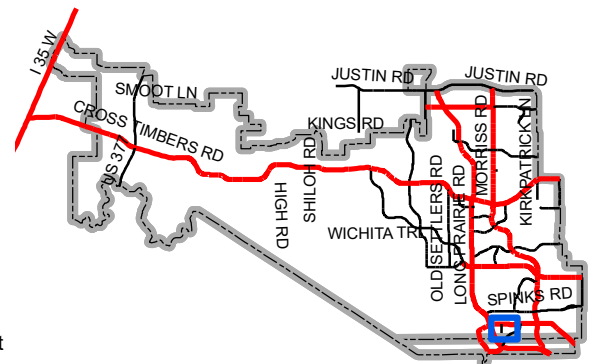
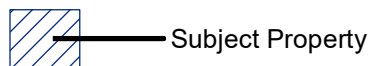
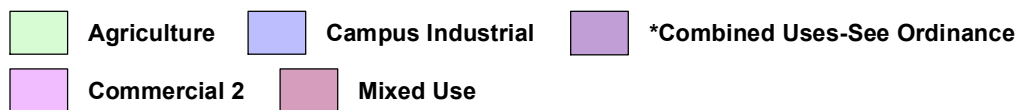


Vicinity Map

Reference Project: RC18-0001 & SP18-0002



LEGEND



Map Location



January 12, 2018

Mr. Chuck Russell
Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

RE: Letter of Intent – DFW North 4 Project
Lakeside Boulevard, Flower Mound, TX
Project ID: DRC17-0063

Dear Mr. Russell-

The intent of this letter is to begin the approval process as it pertains to Site Plan and Record Plat approval, so that Huntington can fully understand development requirements prior to closing on the referenced property prior to early May, 2018. A Site Plan and Record Plat application are submitted with this letter along with all required documentation as specified in the respective application checklists provided earlier by the Town.

Specifically, Huntington is requesting (1) a Site Plan Approval, and (2) a Record Plat Approval. Per conversations with Town staff, at this time we are submitting civil engineering plans, site plan, building elevations, a landscape plan and a tree survey. Site specifics are as follows:

Existing Zoning: PD—145, CI - Campus Industrial

Note: Huntington submits that our proposed project is in substantial conformity with the current PD and the related Lakeside Business District Campus Industrial zoning.

Site Acreage: 17.1 Acres

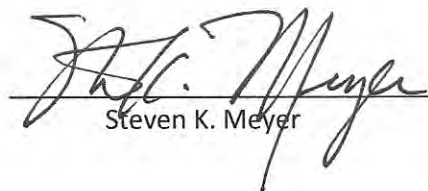
Proposed use Office/Warehouse Building

Building Area: 198,961 Square feet

Access to the property is proposed via two entrances; (1) on Lakeside Parkway, (2) on the private roadway formerly known as Lake Forest Boulevard that was recently removed from the Town's Thoroughfare Plan.

Sincerely,

HUNTINGTON INDUSTRIAL PARTNERS


Steven K. Meyer

Date: 1-15-2018

Attachment A(3): Approved PD-145 Conceptual Plans

SITE DATA

SITE AREA PROPOSED LOT 1 =	1,603,400 S.F. / 36.809 AC.
SITE AREA PROPOSED LOT 2 =	184,221 S.F. / 4.229 AC.
BUILDING 1 AREA =	209,300 S.F.
BUILDING 1 AREA FUTURE OFFICE =	78,100
BUILDING 1 AREA WAREHOUSE EXPANSION =	41,600
BUILDING 1 AREA TOTAL =	329,000
BUILDING 2 AREA =	128,950 S.F.
TOTAL BUILDING AREA =	457,950 S.F.
COVERAGE =	25.62%
TOTAL PARKING REQUIRED W/OUT 20% REDUCTION =	728
TOTAL PARKING REQUIRED WITH 20% REDUCTION =	582
TOTAL PARKING PROVIDED =	604

BUILDING FEATURES

BUILDING 1:

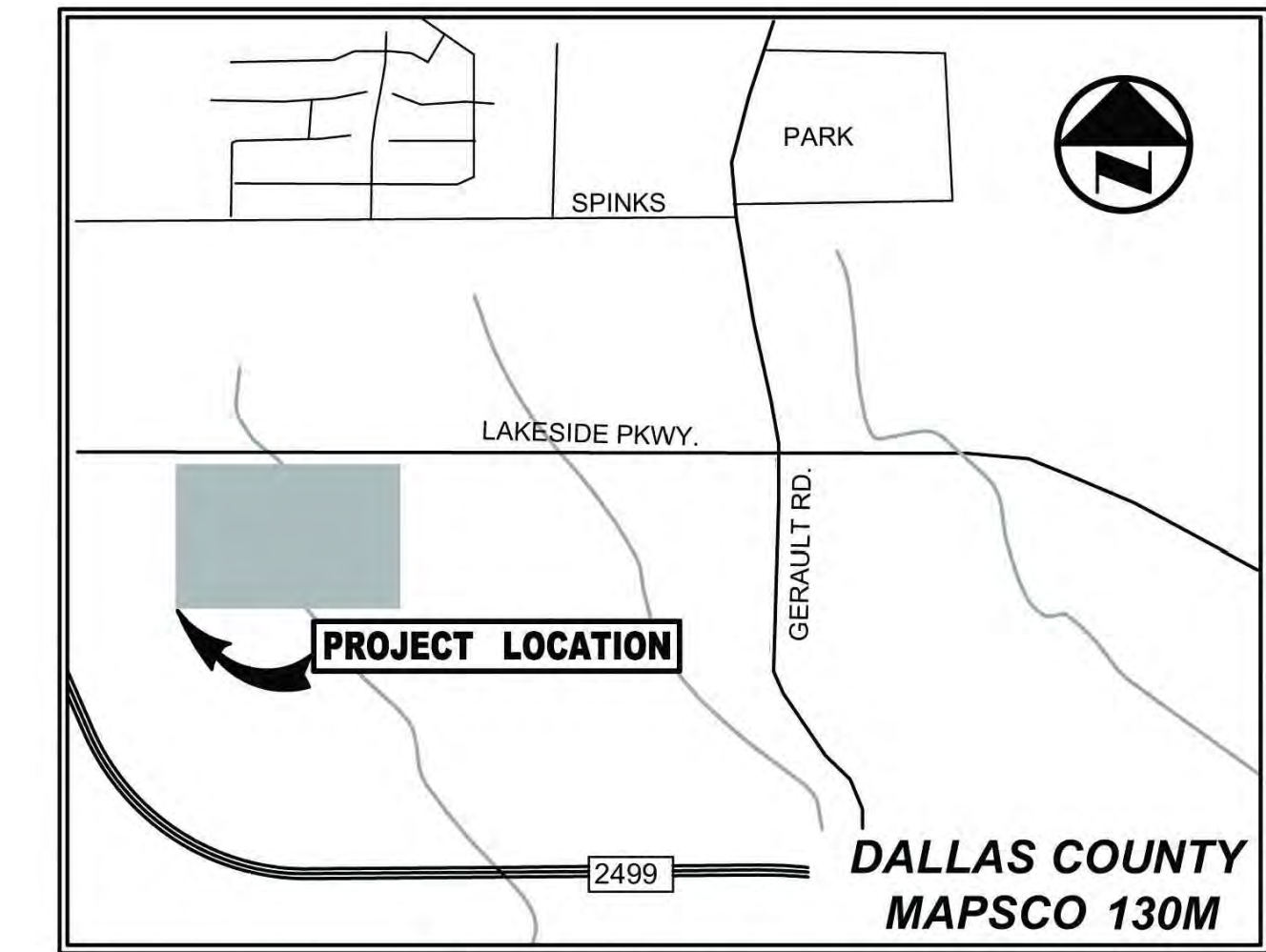
- PAINT FINISH CONCRETE TILTWALL BUILDING WITH STONE FEATURES
- PAINTED STEEL CANOPIES AT OFFICE ENTRIES
- 50' X 50' TYPICAL BAY
- (19) 10' X 10' O.H. DOCK DOORS
- 32' CLEAR HEIGHT - TOTAL BUILDING HEIGHT 42'-6"
- E.S.F.R. FIRE PROTECTION SYSTEM

BUILDING 2:

- PAINT FINISH CONCRETE TILTWALL BUILDING WITH STONE FEATURES
- PAINTED STEEL CANOPIES AND TRELLIS AT OFFICE ENTRIES
- 50' X 50' TYPICAL BAY, 60' X 50' STAGING BAY
- (32) 9' X 10' O.H. DOCK DOORS
- 32' CLEAR HEIGHT - TOTAL BUILDING HEIGHT 40'
- E.S.F.R. FIRE PROTECTION SYSTEM

GENERAL NOTES

- ALL RETAINING / DETAINING WALL, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- ALL GROUND BASED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
- DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.



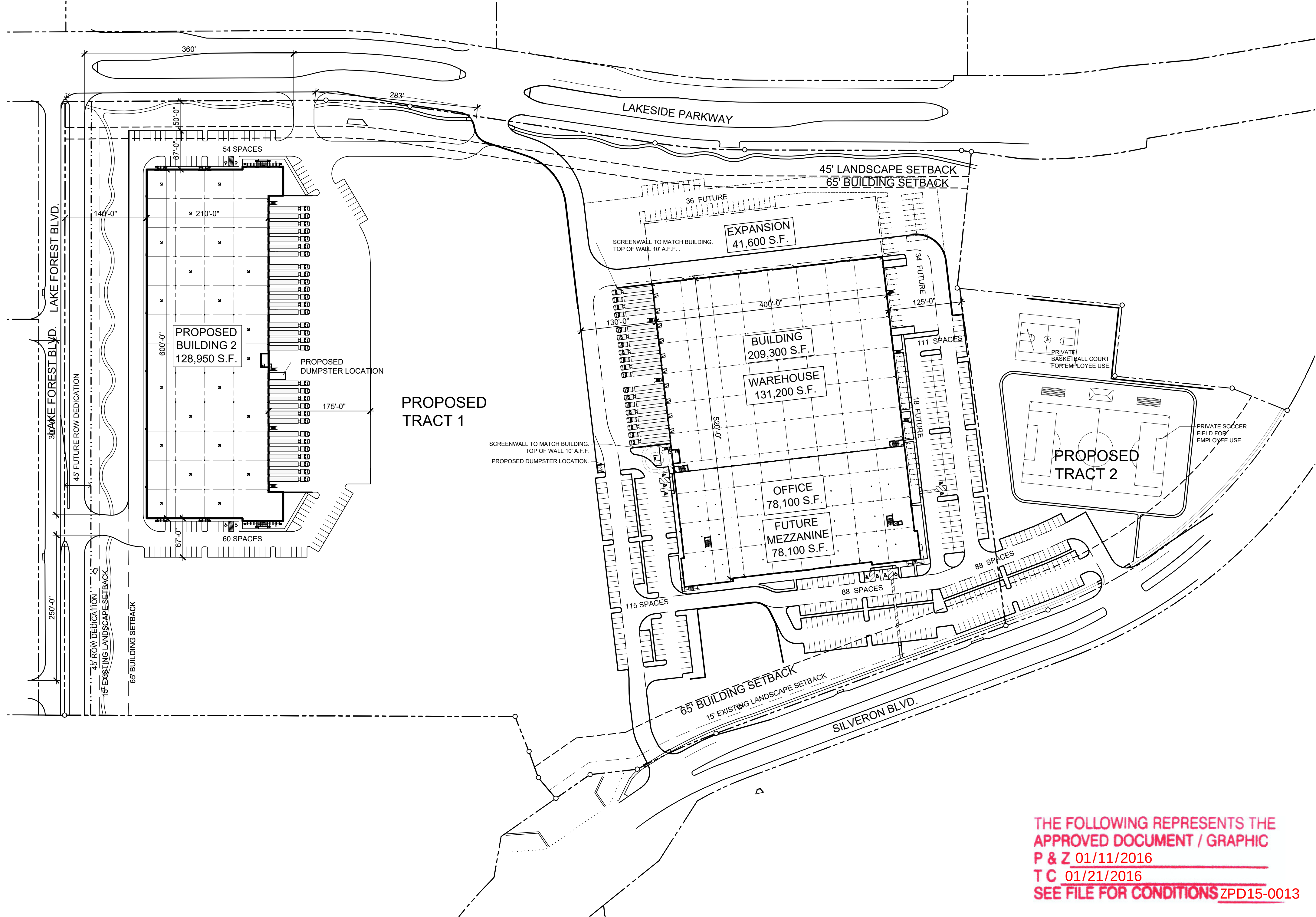
VICINITY MAP
(NOT TO SCALE)

BUILDING 1:		
OFFICE = 78,100 SF	78,100 S.F.	
OFFICE FUTURE = 78,100 SF	78,100 S.F.	
WAREHOUSE = 131,200 SF	131,200 S.F.	
WAREHOUSE EXPANSION = 41,600	41,600 S.F.	
OFFICE PARKING 1:300 (78,100 / 300) = 260	260 SPACES	
OFFICE PARKING FUTURE 1:300 (78,100 / 300) = 260	260 SPACES	
WH PARKING 1:2000 (131,200 / 2000) = 65.6	66 SPACES	
WH PARKING EXPAN. 1:2000 (41,600 / 2000) = 20.8	21 SPACES	
TOTAL PARKING	607 SPACES	
20% REDUCTION	121 SPACES	
TOTAL PARKING REQUIRED	486 SPACES	
TOTAL PARKING PROVIDED INCLUDING FUTURE	490 SPACES	

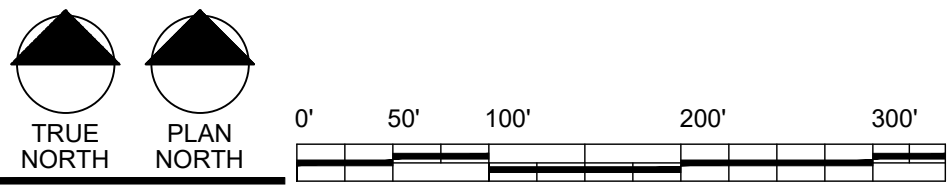
BUILDING 2:		
128,950 SF X 15% OFFICE = 19,342 SF	19,342 S.F.	
128,950 SF X 90% WAREHOUSE = 109,608 SF	109,608 S.F.	
OFFICE PARKING 1:300 (19,342 / 300) = 64.5	65 SPACES	
WH PARKING 1:2000 (109,608 / 2000) = 54.8	55 SPACES	
TOTAL PARKING	120 SPACES	
20% REDUCTION	24 SPACES	
TOTAL PARKING REQUIRED	96 SPACES	
TOTAL PARKING PROVIDED	114 SPACES	

MASTER PLAN FEATURE

LAND USE PLAN	LAKESIDE BUSINESS DISTRICT
SPECIFIC PLAN	CAMPUS INDUSTRIAL
URBAN DESIGN PLAN	LAKESIDE BUSINESS DISTRICT
PARKS AND TRAILS	N/A
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	LAKESIDE PARKWAY (MAJOR ARTERIAL) SILVERON BLVD. (URBAN MINOR ARTERIAL) LAKE FOREST BLVD. (URBAN MINOR ARTERIAL)
WATER PLAN	LAKESIDE BUSINESS DISTRICT
WASTEWATER PLAN	LAKESIDE BUSINESS DISTRICT
ECONOMIC IMPACT	N/A



THE FOLLOWING REPRESENTS THE
APPROVED DOCUMENT / GRAPHIC
P & Z 01/11/2016
T C 01/21/2016
SEE FILE FOR CONDITIONS ZPD15-0013



01 CONCEPTUAL SITE PLAN

Scale: 1" = 100'-0"

AZIMUTH:

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

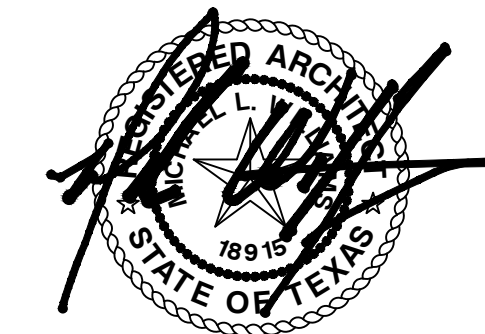
21009

CLIENT:

1	07.17.15	City Submittal
2	08.28.15	City Submittal
3	09.08.15	Pricing Set
4	09.18.15	City Comments
5	10.06.15	City Comments
6	10.27.15	City Comments
7	11.16.15	City Comments
8	12.01.15	City Comments
9	12.28.15	City Comments

REVISIONS:

SEAL:



SHEET CONTENTS:
CONCEPTUAL
SITE PLAN

DATE: December 28, 2015

SHEET:

A1.00

© COPYRIGHT 2015 AZIMUTH: ARCHITECTURE, INC.



LOT 3: LANDSCAPE TABULATIONS

Street Yard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Min. 20% of street yard	366,880	73,376	216,943
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Lakeside Parkway 197,841 s.f.	68	68
10,000 to 110,000 plus (1) per 2,500 in excess of 10,000 s.f.	Lake Forest Blvd. 83,768 s.f.	42	42
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Silveron Blvd. 146,903 s.f.	59	59
Trees required to satisfy other provisions of landscaping requirements and lying within the street yard may be used to satisfy the requirements of other sections.			
Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 L.F.	Lakeside Parkway 1,520 L.F.	51	52
1 per 30 L.F.	Lake Forest Blvd. 1,068 L.F.	36	36
1 per 30 L.F.	Silveron Blvd. 1,458 L.F.	49	49
Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
80 s.f. per 12 spaces	338	2,536 s.f.	7,317 s.f.
Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 per 10 spaces	338	34	47

PLANT KEY

- Cedar Elm QTY: 65
- Red Oak QTY: 50
- Live Oak QTY: 87
- Crepe Myrtle QTY: 42
- Vitex QTY: 34
- Nellie R. Stevens Holly
- Texas Sage
- Loropetalum
- Dwarf Wax Myrtle
- Compact Texas Sage
- Dwarf Yaupon Holly / Indian Hawthorn
- Mexican Feather Grass
- Dwarf Hamlin Grass
- Needlepoint Holly
- Muhly Grass
- Salvia Greggii
- Purple Wintercreeper

THE FOLLOWING REPRESENTS THE APPROVED DOCUMENT / GRAPHIC P & Z 01/11/2016 T.C. 01/21/2016 SEE FILE FOR CONDITIONS ZPD15-0013

NOTE 1:
Contact John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346 prior to beginning any work in the town's R.O.W.

Contractor is responsible for repairing any damage to existing town irrigation systems.

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids, purple bubblers, purple drip tubing, and purple caps on all irrigation heads. R.O.W. Irrigation shall be on separate valves from the remainder of the system.

Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit through the building department. The plans will be approved at the time the permit is pulled.

01 CONCEPTUAL LANDSCAPE SITE PLAN
SCALE: 1" = 80'-0"

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

1	07.17.15	City Submittal
2	10.06.15	City Comments
3	10.28.15	City Comments
4	12.28.15	City Submittal

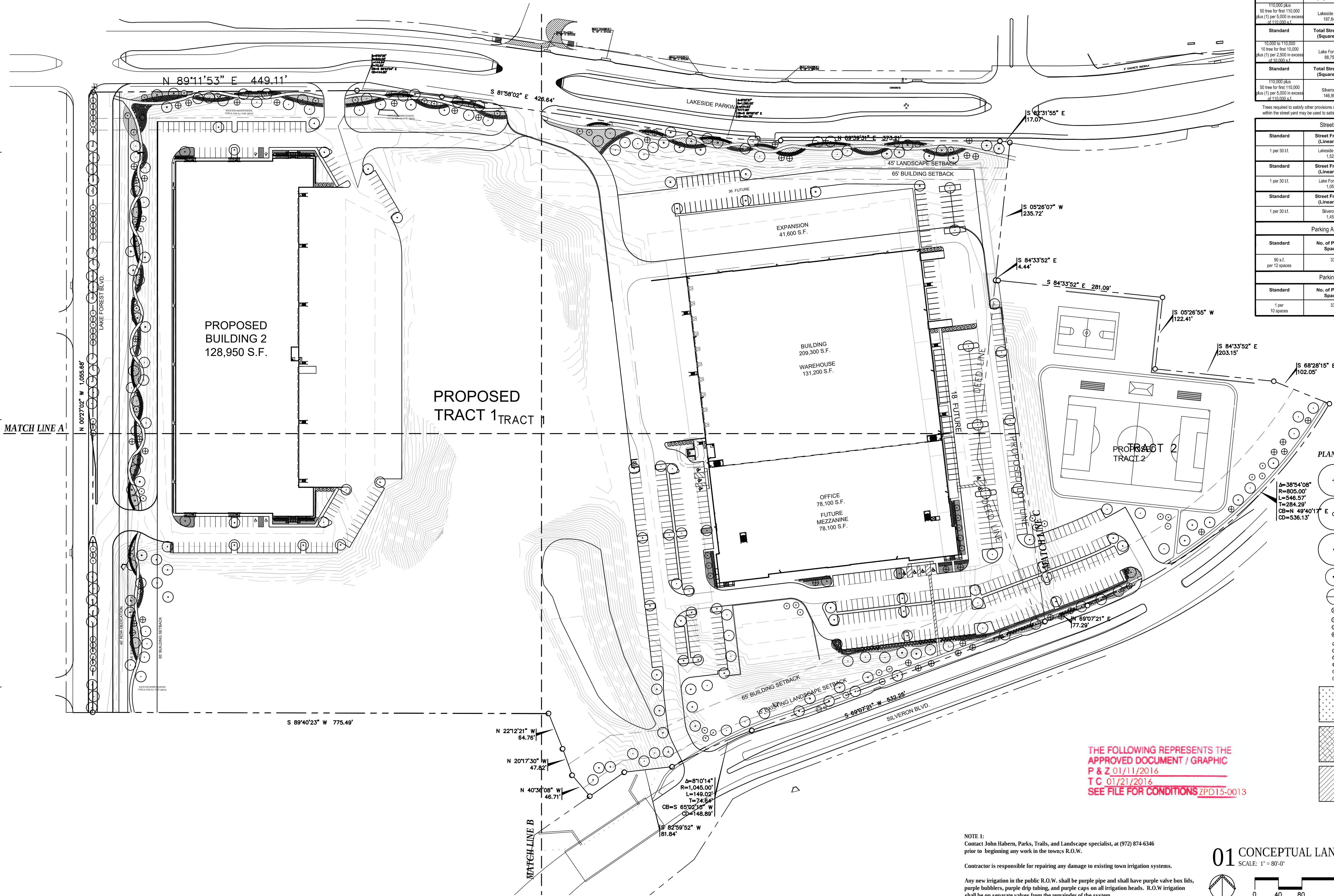
5		
6		
7		
8		
9		



SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015
SHEET: L1.01



LOT 3: LANDSCAPE TABULATIONS

Street Yard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Min. 20% of street yard	368,880	73,376	218,943
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Lakeside Parkway 197,841 s.f.	68	68
Standard	Total Street Yard (Square Feet)	Required	Provided
10,000 to 110,000 10 tree for first 10,000 plus (1) per 2,500 in excess of 10,000 s.f.	Lake Forest Blvd. 88,736 s.f.	42	42
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Silveron Blvd. 146,903 s.f.	59	59

Trees required to satisfy other provisions of landscaping requirements and lying within the street yard may be used to satisfy the requirements of other sections.

Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Lakeside Parkway 1,520 l.f.	51	52
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Lake Forest Blvd. 1,056 l.f.	36	36
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Silveron Blvd. 1,458 l.f.	49	49

Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
90 s.f. per 12 spaces	338	2,535 s.f.	7,317 s.f.

Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 per 10 spaces	338	34	47

PLANT KEY

+	Cedar Elm	QTY: 65
o	Red Oak	QTY: 50
.	Live Oak	QTY: 87
•	Crape Myrtle	QTY: 42
⊕	Vitex	QTY: 34
⊗	Nellie R. Stevens Holly	
⊙	Texas Sage	
⊖	Loropetalum	
⊗	Dwarf Wax Myrtle	
⊙	Compact Texas Sage	
⊖	Dwarf Yaupon Holly / Indian Hawthorn	
⊙	Loropetalum	
⊖	Mexican Feather Grass	
⊙	Dwarf Hamlin Grass	
⊖	Needlepoint Holly	
⊗	Muhly Grass	
⊙	Salvia Greggii	
⊖	Purple Wintercreeper	

THE FOLLOWING REPRESENTS THE APPROVED DOCUMENT / GRAPHIC P & Z 01/11/2016 T C 01/21/2016 SEE FILE FOR CONDITIONS ZPD15-0013

NOTE 1:
Contact John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346 prior to beginning any work in the town's R.O.W.

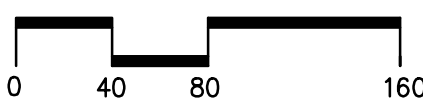
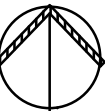
Contractor is responsible for repairing any damage to existing town irrigation systems.

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids, purple bubblers, purple drip tubing, and purple caps on all irrigation heads. R.O.W irrigation shall be on separate valves from the remainder of the system.

Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit through the building department. The plans will be approved at the time the permit is pulled.

01 CONCEPTUAL LANDSCAPE SITE PLAN

SCALE: 1" = 80'-0"



architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

1	07.17.15	City Submittal
2	10.06.15	City Comments
3	10.28.15	City Comments
4	12.28.15	City Submittal

REVISIONS:



SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015

SHEET: L1.01

ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

- COLOR PT-1: SHERWIN WILLIAMS - SW 7036 Accessible Beige
- COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
- COLOR PT-3: SHERWIN WILLIAMS - SW 7039 Virtual Taupe
- COLOR PT-4: SHERWIN WILLIAMS - SW 7040 Smokehouse
- STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE

MARK	NAME	DESCRIPTION	COMMENTS
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM	
GL-1	GLASS	1" INSULATED GRAYLITE II GLASS	
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER	
PT-1	CONCRETE TILTWALL PANEL	SW 7009 PEARLY WHITE	MEDIUM TEXTURED
PT-2	CONCRETE TILTWALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED

MATERIALS TABLE - BUILDING 1

		NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	16,785 SF	17,393 SF	21,889 SF	25,277 SF
2.	FACADE S.F. (MINUS DOORS AND WINDOWS)	16,689 SF	12,669 SF	19,071 SF	21,061 SF
3.	DOORS AND WINDOWS S.F.	96 SF	4,724 SF	2,818 SF	4,216 SF
4.	PRIMARY MASONRY TOTALS (MIN. 80%)	16,689 SF / 100%	12,669 SF / 100%	19,071 SF / 100%	21,061 SF / 100%
	- BRICK S.F. (AS APPLICABLE)	0 SF / 100%	0 SF / 100%	0 SF / 100%	0 SF / 100%
	- STONE S.F. (AS APPLICABLE)	2,145 SF / 12.9%	2,433 SF / 19.2%	0 SF / 100%	0 SF / 100%
	- TILTWALL S.F. (AS APPLICABLE)	14,544 SF / 87.1%	10,236 SF / 80.8%	19,071 SF / 100%	21,061 SF / 100%
5.	SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- HARDPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



Crow Holdings
INDUSTRIAL

3819 Maple Ave. Dallas TX 75219
P: 214.661.8341 | C: 214.766.1024
www.crowholdingsindustrial.com

AZIMUTH:

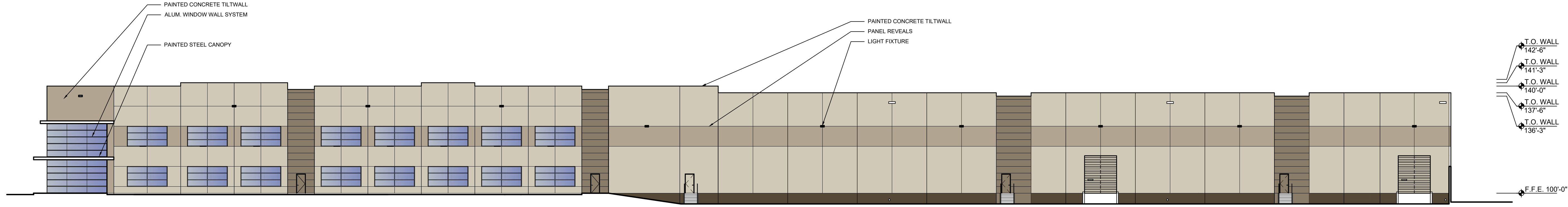
architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

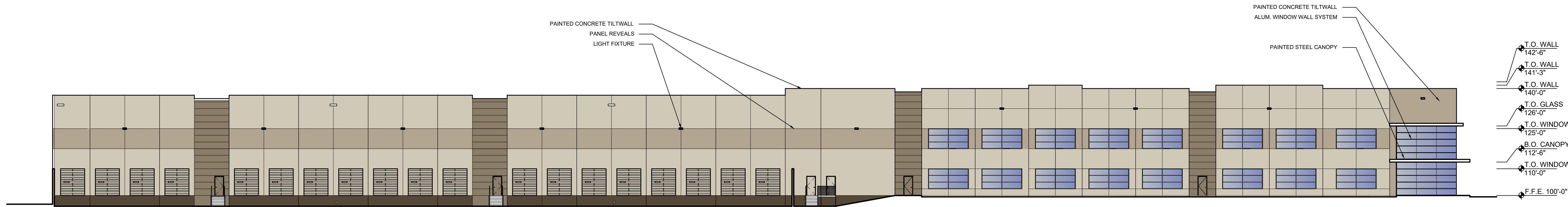
16 CONCEPTUAL EAST ELEVATION

Scale: 1" = 20'-0"



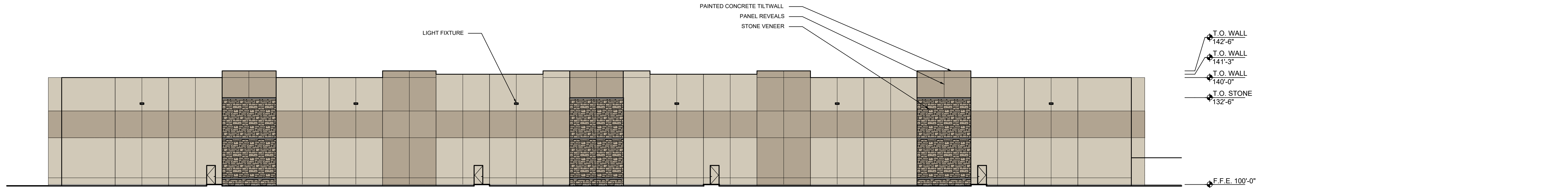
12 CONCEPTUAL WEST ELEVATION

Scale: 1" = 20'-0"



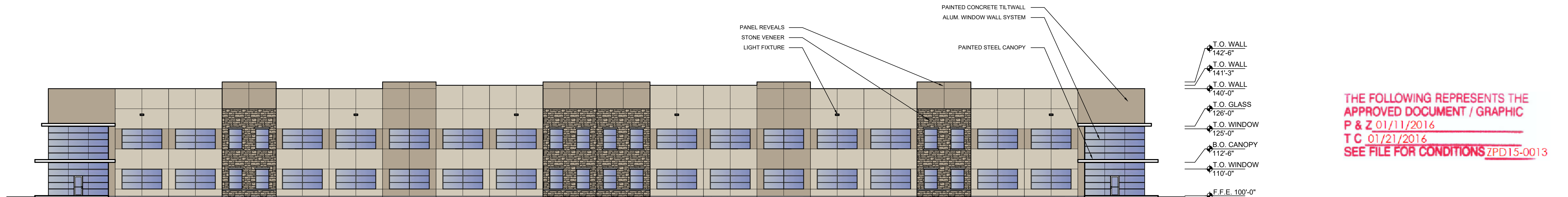
08 CONCEPTUAL NORTH ELEVATION

Scale: 1" = 20'-0"



04 CONCEPTUAL SOUTH ELEVATION

Scale: 1" = 20'-0"



THE FOLLOWING REPRESENTS THE
APPROVED DOCUMENT / GRAPHIC
P & Z 01/11/2016
T C 01/21/2016
SEE FILE FOR CONDITIONS ZPD15-0013

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

CLIENT:

JOB #:

1	07.17.15	City Submittal
2	08.28.15	City Submittal
3	09.08.15	Pricing Set
4	09.18.15	City Comments
5	10.06.15	City Comments
6	10.27.15	City Comments
7	11.16.15	City Comments
8	12.01.15	City Comments
9	01.04.16	City Comments

REVISIONS:

SEAL:



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #18915
January 4, 2016 City Submittal
ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN
OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL
EXAMINERS.

SHEET CONTENTS:
CONCEPTUAL
ELEV. BLDG. 1

DATE: January 4, 2016

SHEET:

A7.01

© COPYRIGHT 2016 AZIMUTH - ARCHITECTURE, INC.

ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

- COLOR PT-1: SHERWIN WILLIAMS - SW 7009 Pearly White
- COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
- STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE				MATERIALS TABLE - BUILDING 2					
MARK	NAME	DESCRIPTION	COMMENTS			NORTH	SOUTH	EAST	WEST
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM		1.	TOTAL FACADE S.F.	9,550 SF	9,550 SF	25,080 SF	24,390 SF
GL-1	GLASS	1" INSULATED GRAYLITE II GLASS		2.	FACADE S.F. (MINUS DOORS AND WINDOWS)	8,580 SF	8,580 SF	21,453 SF	23,464 SF
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER		3.	DOORS AND WINDOWS S.F.	970 SF	970 SF	3,627 SF	926 SF
PT-1	CONCRETE TILTWALL PANEL	SW 7009 PEARLY WHITE	MEDIUM TEXTURED	4.	PRIMARY MASONRY TOTALS (MIN. 80%)	8,580 SF / 100%	8,580 SF / 100%	21,453 SF / 100%	23,464 SF / 100%
PT-2	CONCRETE TILTWALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED		- BRICK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
ST-1	STONE VENEER	AUSTIN STONE			- STONE S.F. (AS APPLICABLE)	970 SF / 11.3%	970 SF / 11.3%	0 SF / 0%	1,488 SF / 6.3%
					- TILTWALL S.F. (AS APPLICABLE)	7,610 SF / 88.7%	7,610 SF / 88.7%	21,453 SF / 100%	21,976 SF / 93.7%
				5.	SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- HARDIPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



Crow Holdings
INDUSTRIAL

3819 Maple Ave. Dallas TX 75219
P: 214.661.8341 | C: 214.766.1024
www.crowholdingsindustrial.com

AZIMUTH:

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

11 BUILDING 2 EAST CONCEPTUAL ELEVATION

Scale: 1" = 20'-0"

PAINTED CONCRETE TILTWALL PT-2
PAINTED CONCRETE TILTWALL PT-1
ALUM. STOREFRONT AL-1

07 BUILDING 2 WEST CONCEPTUAL ELEVATION

Scale: 1" = 20'-0"

AUSTIN STONE VENEER ST-1
PAINTED CONCRETE TILTWALL PT-1
PAINTED CONCRETE TILTWALL PT-2
ALUM. STOREFRONT AL-1

NOTE: OVERALL BUILDING HEIGHT IS 40'

THE FOLLOWING REPRESENTS THE
APPROVED DOCUMENT / GRAPHIC
P & Z 01/11/2016
T C 01/21/2016
SEE FILE FOR CONDITIONS ZPD15-0013

02 BUILDING 2 NORTH CONCEPTUAL ELEVATION (SOUTH O.H.)

Scale: 1" = 20'-0"

PAINTED CONCRETE TILTWALL PT-1
PAINTED CONCRETE TILTWALL PT-2
ALUM. STOREFRONT AL-1
AUSTIN STONE VENEER ST-1
PAINTED STEEL TRELISS
PANEL REVEALS
PANEL FORM LINER
WALL SCONCE LIGHT FIXTURE

T.O. WALL 140'-0"
T.O. WALL 138'-9"
T.O. GLASS 130'-0"
T.O. GLASS 122'-6"
T.O. WALL 120'-0"
T.O. TRELESS 112'-6"
T.O. GLASS 110'-0"
F.F.E. 100'-0"

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

1	07.17.15	City Submittal
2	08.28.15	City Submittal
3	09.08.15	Pricing Set
4	09.18.15	City Comments
5	10.06.15	City Comments
6	10.27.15	City Comments
7	11.16.15	City Comments
8	12.01.15	City Comments
9	12.28.15	City Comments



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #18915
December 28, 2015 City Submit
ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN
OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL
EXAMINERS

SHEET CONTENTS:
CONCEPTUAL
ELEV. BLDG. 2

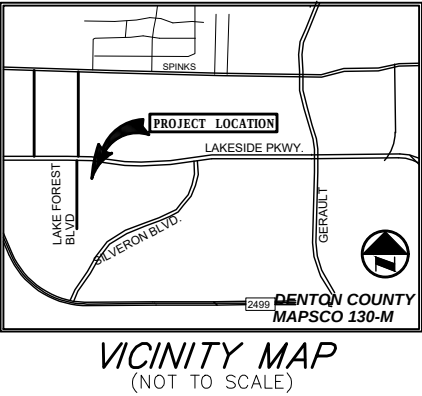
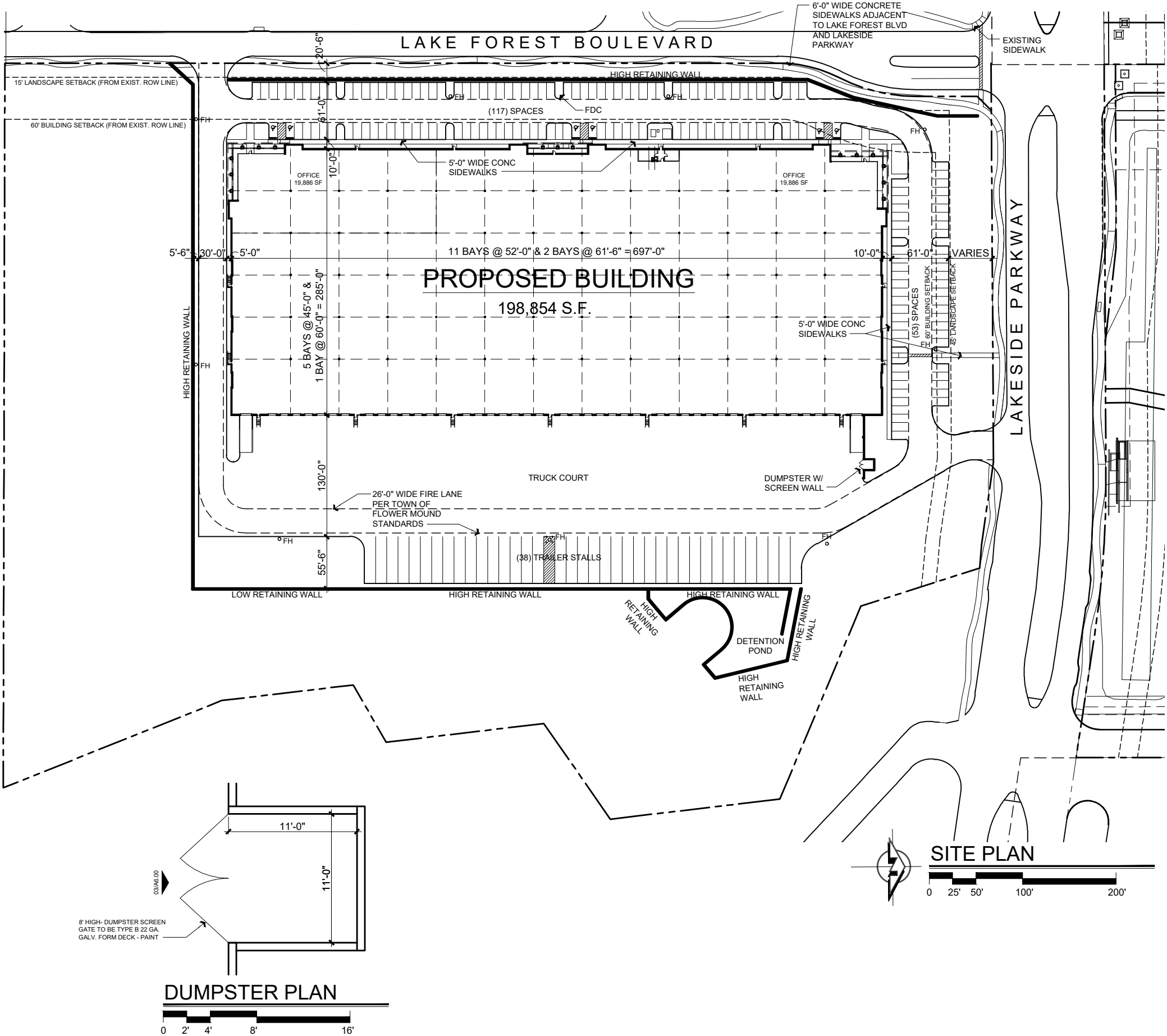
DATE: December 28, 2015

SHEET:

A7.02

© COPYRIGHT 2015 AZIMUTH - ARCHITECTURE, INC.

G:\HUNTINGTON\17118-DFW North 4\Town Design Submittals\118-A100Series.dwg, 4/10/2018 10:06:00 AM, 1:2.30816



- GENERAL NOTES**
- ALL EXPOSED CONCRETE, INCLUDING BUT NOT LIMITED TO RETAINING/DETAINING WALLS, TURN-DOWN CURBS, AND TREE RETAINING WALLS, SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING ON THE SITE.
 - ALL GROUND BASED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
 - ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW IN ACCORDANCE WITH SECTION 82-273 OF THE LAND DEVELOPMENT REGULATIONS.
 - DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.

SITE DATA

SITE AREA	745,922.9 SF / 17.1 AC.
LOT COVERAGE DATA	
BUILDING COVERAGE	27% / 198,854 S.F.
IMPERVIOUS AREA	26% / 197,133 S.F.
PERVIOUS AREA	47% / 349,829 S.F.

BUILDING DATA

BUILDING	1 STORY
PEAK HEIGHT	44'-2" A.F.F.
MEAN HEIGHT	39'-0" A.F.F.
BUILDING SQUARE FOOTAGE	198,854 S.F.
BUILDING CODE	2015 IBC
CONSTRUCTION TYPE	TYPE II B
OCCUPANCY CLASSIFICATION	FULLY SPRINKLERED- ESFR
PROPOSED USE	STORAGE GROUP S-1 CI (CAMPUS INDUSTRIAL)
9'x10' O.H. DOCK DOORS	42 DOORS
12'x14' O.H. DOORS W/ RAMPS	2 DOORS

PARKING TABULATIONS

198,961 SF x 20% OFFICE = 39,771 SF	39,792 SF
198,961 SF x 80% WAREHOUSE = 159,083 SF	159,169 SF
OFFICE PARKING 1:300 (39,771/300) = 132.6	132.6 SPACES
WH PARKING 1:2000 (159,083/2000) = 79.5	79.5 SPACES
TOTAL PARKING	212.1 SPACES
20% REDUCTION	42.4 SPACES
TOTAL PARKING REQUIRED	169.7 SPACES
TOTAL PARKING PROVIDED	170 SPACES
ACCESSIBLE PARKING REQUIRED/PROVIDED	6/6 SPACES
TRAILER STORAGE	38 STALLS

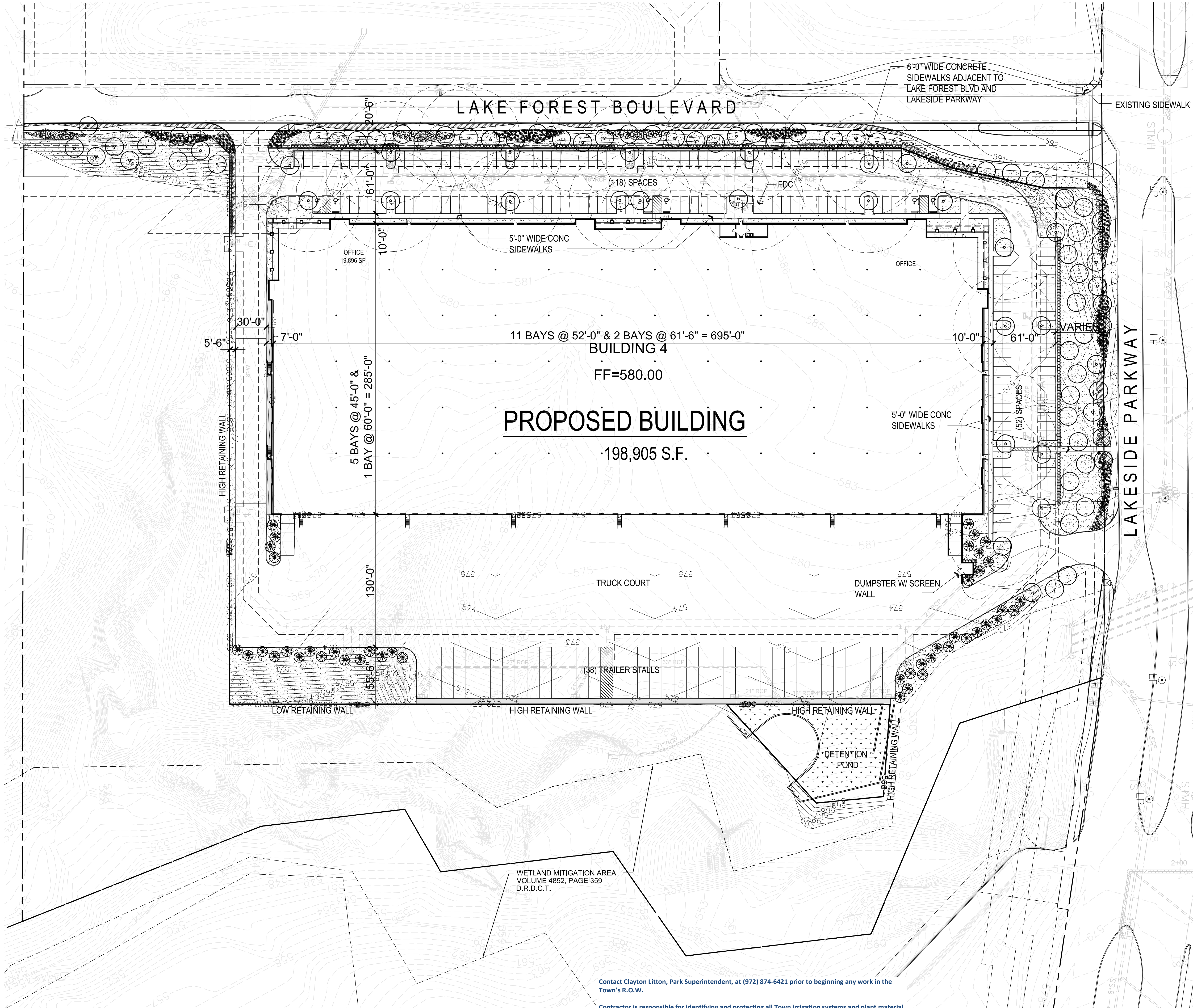
DFW NORTH 4
FLOWER MOUND, TEXAS
DENTON COUNTY

HUNTINGTON
INDUSTRIAL PARTNERS, L.P.
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14663 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972.980.8980

04.09.18
Job #17-118
SITE PLAN
SHEET:

A1.00



SITE DATA

SITE AREA	745,922.9 SF/17.1 AC.
BUILDING AREA	198,961 S.F.
COVERAGE	26.7%
LOT COVERAGE DATA	134.9/135 SPACES
BUILDING COVERAGE	5/5 SPACES
IMPERVIOUS AREA	28 SPACES
PERVIOUS AREA	
198,961 SF x 20% OFFICE = 39,792 SF	39,792 SF
198,961 SF x 80% WAREHOUSE = 159,169 SF	159,169 SF
OFFICE PARKING 1:300 (39,792/300) = 132.6	132.6 SPACES
WH PARKING 1:2000 (159,169/2000) = 79.6	79.6 SPACES
TOTAL PARKING	212.2 SPACES
20% REDUCTION	42.4 SPACES
TOTAL PARKING REQUIRED	169.8 SPACES
TOTAL PARKING PROVIDED	170 SPACES
ACCESSIBLE PARKING REQUIRED/PROVIDED	6/6 SPACES
TRAILER STORAGE	38 STALLS

LANDSCAPE TABULATIONS

STREET/YARD
Requirements: 20% of Street/Yard to be landscape
(1) tree per 2,500 s.f. for street/yards
10,000 and 110,000 s.f. plus 10 trees

Lakeside Parkway (59,420 s.f.)
Required
11,884 s.f. (20%)
10 trees plus 20 = (30) trees

Lake Forest Blvd. (85,336 s.f.)
Required
17,067 s.f. (20%)
10 trees plus 30 = (40) trees

PARKING LOT (170 spaces)
Requirements: (1) tree, 3" cal., per 10 spaces
90 s.f. per tree, 12 spaces

Required
(17) trees, 3" cal.
1,275 s.f.

STREET BUFFER
Requirements: (1) tree, 3" cal., per 30 ft.

Lakeside Parkway: 496,10 ft.
Required
(17) trees, 3" cal.

Lake Forest Blvd.: 1,056,41 ft.
Required
(36) trees, 3" cal.

PLANT LIST

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
34	CE	Cedar Elm	Ulmus crassifolia	3" cal	container grown, 13" ht., 5" spread min., 5" clear trunk
6	CP	Chinese Pistache	Pistacia chinensis	3" cal	container grown, 14" ht., 5" spread min., 5" clear trunk
44	ERC	Eastern Red Cedar	Juniperus virginiana	8/8B, full to trees	
33	LO	Live Oak	Quercus virginiana	3" cal	container grown, 13" ht., 5" spread min., 5" clear trunk
21	RO	Red Oak Shumard	Quercus shumardii	3" cal	container grown, 13" ht., 5" spread min., 5" clear trunk
13	VTX	Vitex	Vitex agni-castus	6" ht.	container grown or 8/8B, full to ground
7	TY	Tree Yaupon Holly	Ilex vomitoria	7" ht.	8/8B, 3-5 cane, no cross cuning

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
118	DTS	Dwarf Texas Sage 'Compactum'	Leucophyllum sp. 'Compactum'	5 gal.	container, full 24" ht, 36" o.c.
115	DWM	Dwarf Wax Myrtle 'Don's Dwarf'	Myrica pauciflora 'Don's Dwarf'	5 gal.	container, full 30" ht, 36" o.c.
205	MFG	Mexican Feather Grass	Nassella tenuissima	3 gal.	container, full 36" o.c.
109	GM	Gulf Muhly	Muhlenbergia capillaris	5 gal.	container, full 36" o.c.
71	LOR	Loropetalum sp. 'Rubrum'	Loropetalum sp. 'Rubrum'	5 gal.	container, full 36" o.c.
138	NPH	Needlepoint Holly	Ilex cornuta 'Needlepoint'	5 gal.	container, full 36" o.c.

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
3,194 S.F.	WLG	Weeping Lovegrass	Eriogonum curvula	hydromulch	refer to notes
795	WC	Wintercreeper	Eucynurus fortunei coloratus	4" pots	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	Cynodon dactylon		hydromulch, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

GRAPHIC PLANT LEGEND

- CEDAR ELM
- LIVE OAK
- RED OAK
- CHINESE PISTACHE
- ⊕ VITEX
- ⊙ EASTERN RED CEDAR
- TREE YAUPON HOLLY
- LOROPETALUM
- ⊗ DWARF WAX MYRTLE 'DON'S DWARF'
- ⊗ MEXICAN FEATHER GRASS
- ⊗ DWARF TEXAS SAGE GREEN CLOUD
- ⊗ GULF MUHLY
- NEEDLEPOINT HOLLY
- ⊗ WINTERCREEPER
- ⊗ WEEPING LOVEGRASS
- ⊗ LAWN BERMUDAGRASS
- ⊗ DRAINFIELD MIX

REVIEWED
TOWN OF FLOWER MOUND
Released for Construction
DATE: _____

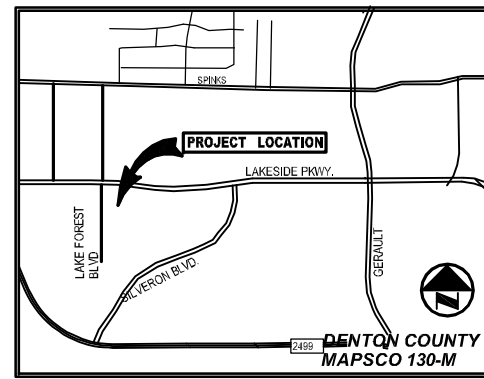
Town of Flower Mound
Engineering Services

01 LANDSCAPE SITE PLAN
SCALE: 1" = 50'-0"



RC18-0001

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-las.com



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any discrepancies. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be hydromulch Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, their agent and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding of top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid soil shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt debris, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

Contact Clayton Litton, Park Superintendent, at (972) 874-6421 prior to beginning any work in the Town's R.O.W.

Contractor is responsible for identifying and protecting all Town irrigation systems and plant material.

Contractor is responsible for repairing any damage to existing Town irrigation systems.

ANY EXISTING IRRIGATION (RAW WATER LINE / PURPLE PIPE) IN PUBLIC ROW SHALL BE RESTORED TO ITS ORIGINAL CONDITION
ANY NEW IRRIGATION IN PUBLIC ROW SHALL BE PURPLE PIPE AND SHALL HAVE PURPLE VALVE BOX LIDS AND PURPLE CAPS
ON ALL IRRIGATION HEADS. R.O.W. IRRIGATION SHALL BE ON SEPARATE SYSTEM FROM THE REMAINDER OF THE SITE

Landscaping should maintain a 5' clear zone from
fire hydrants and not obstruct FDCs.

DENTON COUNTY

DFW NORTH 4

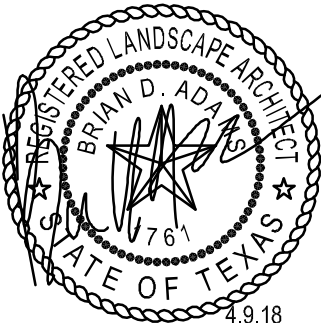
FLOWER MOUND, TEXAS

HUNTINGTON™
INDUSTRIAL BUILDINGS

5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016



MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14643 DALLAS PARKWAY
SUITE 606
DALLAS TEXAS 75244
972.880.8880



04-09-2018

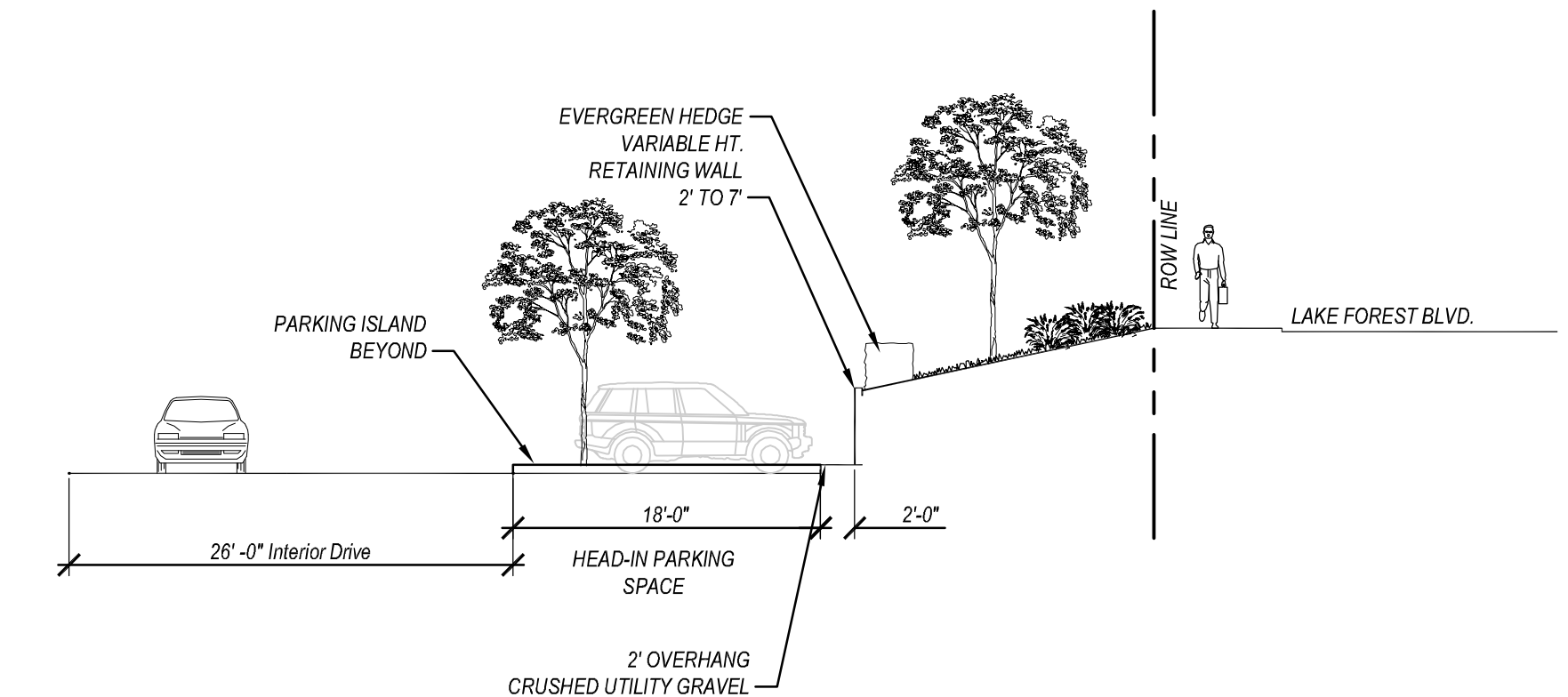
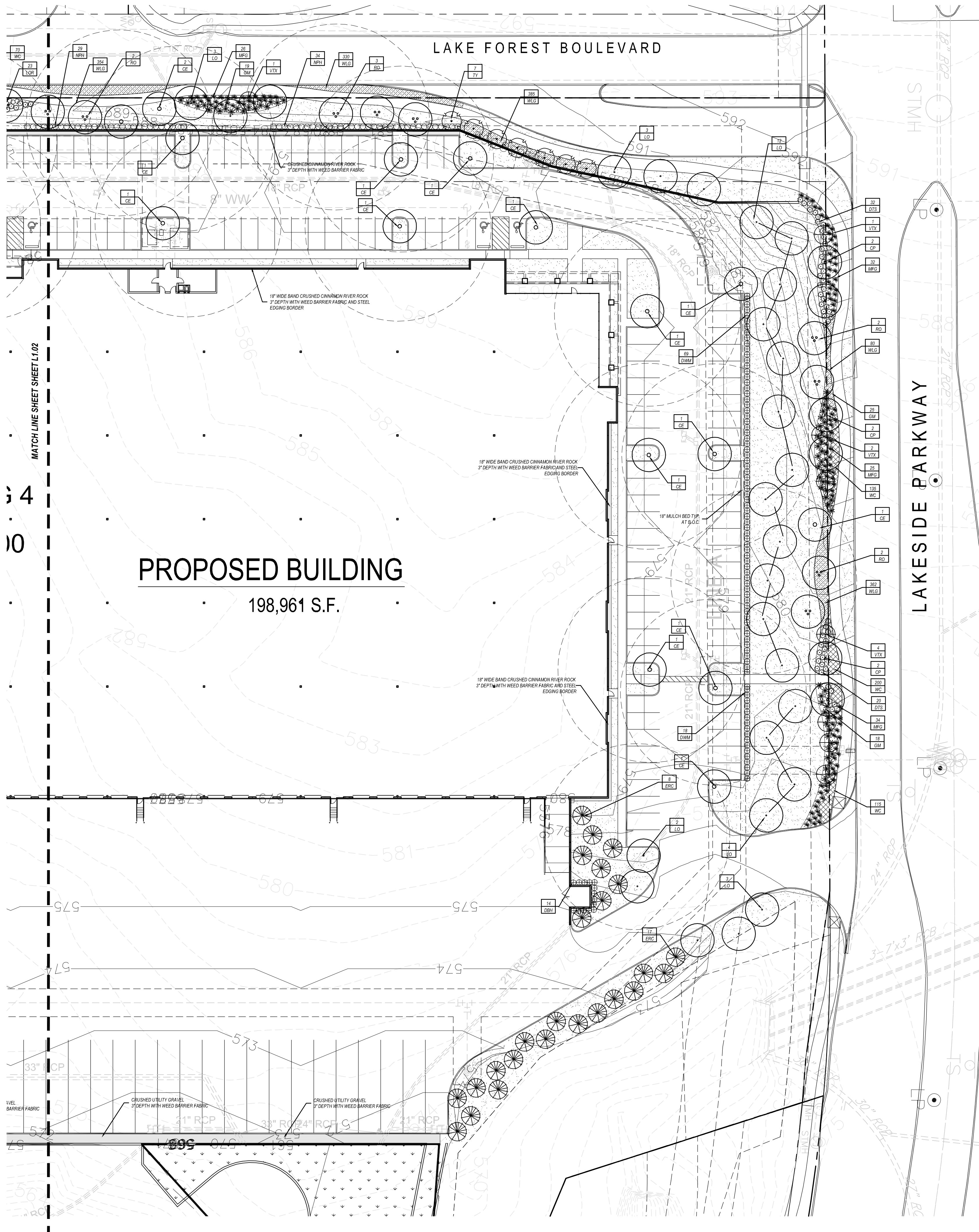
Job #17-118

LANDSCAPE SITE PLAN

SHEET:

L1.00

1. **Introduction**



GRAPHIC PLANT LEGEND	
	CEDAR ELM
	LIVE OAK
	RED OAK
	CHINESE PISTACHE
	VITEX
	EASTERN RED CEDAR
	TREE YAUPON HOLLY
	LOROPETALUM
	DWARF WAX MYRTLE 'DORIS DWARF'
	MEXICAN FEATHER GRASS
	DWARF TEXAS SAGE GREEN CLOUD
	GULF MUHLY
	NEEDPOINT HOLLY
PLANT LEGEND	
QUANTITY	
PLANT TYPE	
TREES	
TYPE	COMMON NAME
CE	Cedar Elm
CP	Chinese Pistache
EO	Eastern Red Cedar
LO	Live Oak
RO	Red Oak 'Shumard'
YX	Vitex
TY	Tree Yaupon Holly
SHRUBS	
TYPE	COMMON NAME
DTS	Dwarf Texas Sage 'Compactum'
DWM	Dwarf Wax Myrtle 'Doris Dwarf'
MFG	Mexican Feather Grass
GM	Gulf Muhly
LOR	Loropetalum 'Rubrum'
NPH	Needpoint Holly
GROUNDCOVERS	
TYPE	COMMON NAME
VLG	Weeping Lovegrass
WC	Wintercreeper

REVIEWED
TOWN OF FLOWER MOUND
Released for Construction
DATE: _____

Town of Flower Mound
Engineering Services

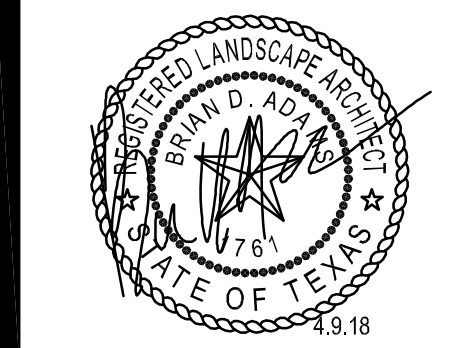


01 LANDSCAPE PLAN
SCALE: 1" = 30'-0"
0 15 30 60

RC18-0001
smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0083
Fax: 214.871.0545
Email: smr@smr-lk.com

HUNTINGTON
INDUSTRIAL PARKING LOT
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14643 DALLAS PARKWAY
SUITE 306
DALLAS TEXAS 75244
972.380.8880



04-09-2108
Job #17-118
LANDSCAPE PLAN
SHEET:

L1.02

DFW NORTH 4
FLOWER MOUND, TEXAS
DENTON COUNTY

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the option of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including nuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedule to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

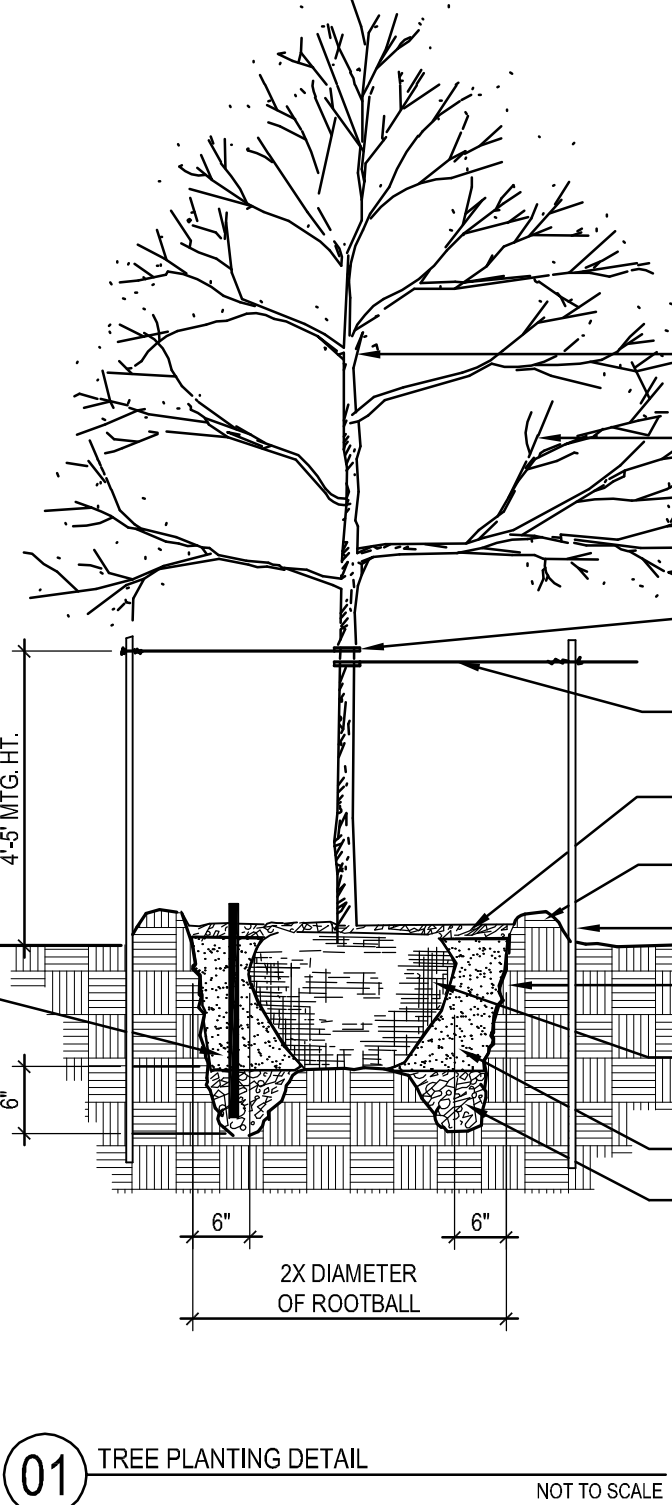
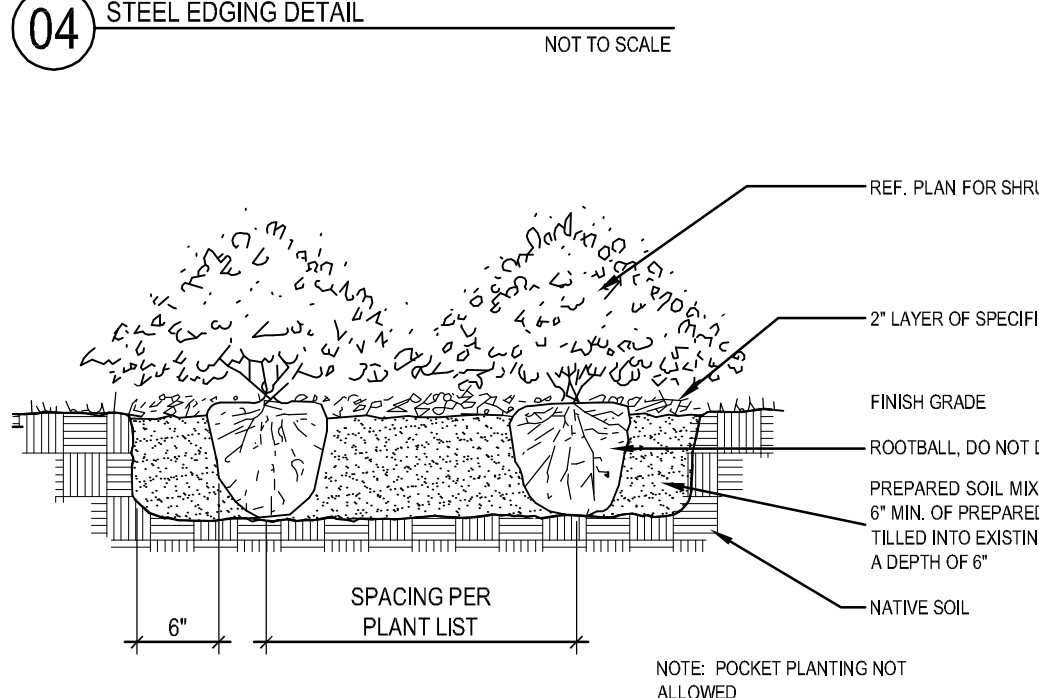
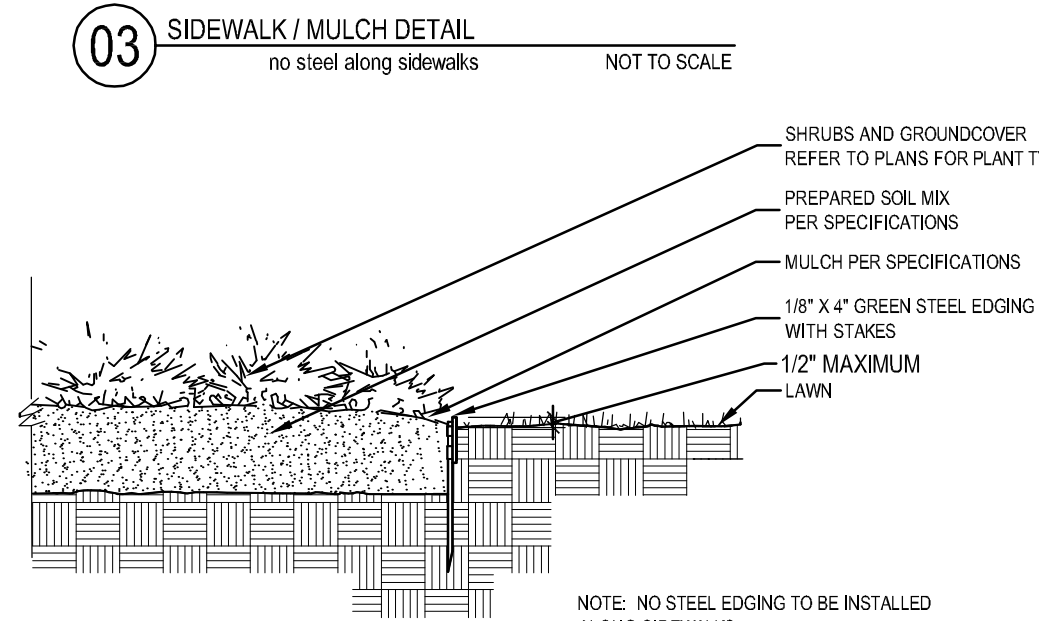
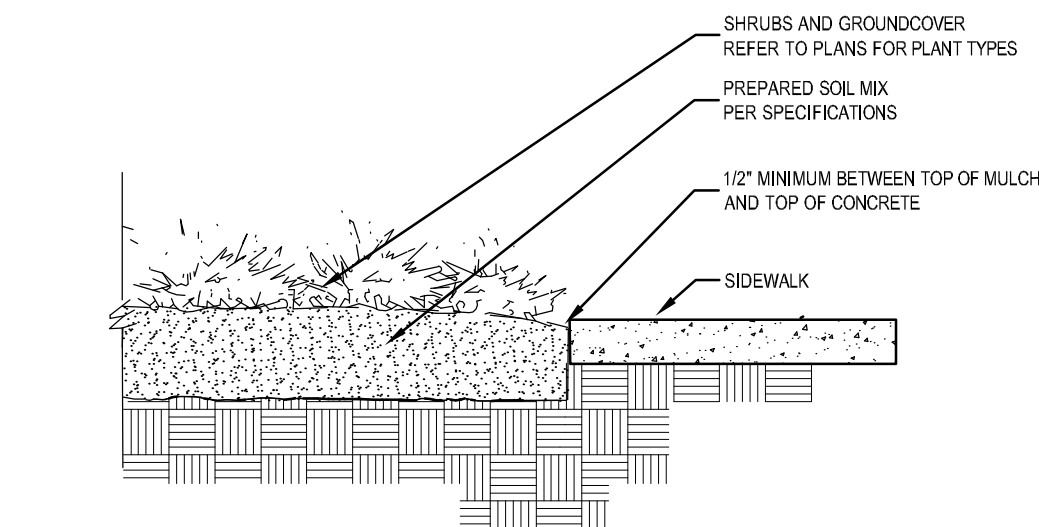
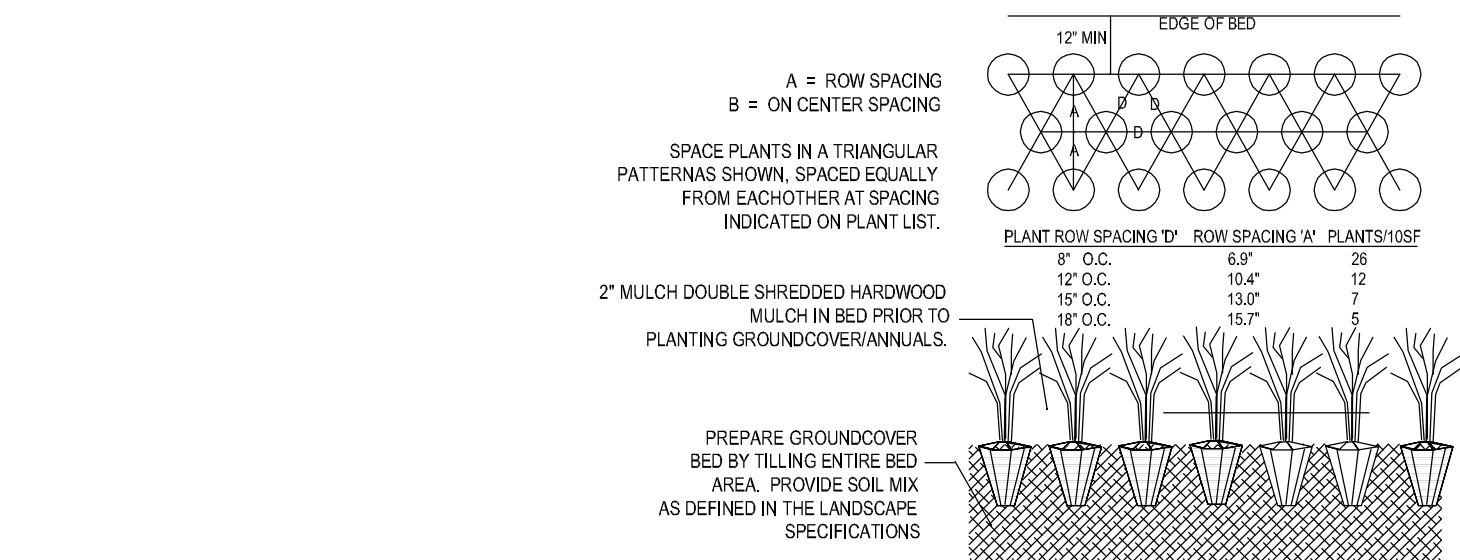
- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tips of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Studded T-Post, #1 Armoac with anchor plate; 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/8 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

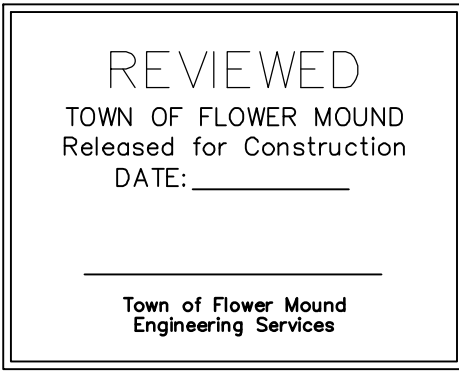


- F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticulture practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
- Q. Steel Curbing Installation:
 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 2. All steel curbing shall be free of kinks and abrupt bends.
 3. Top of curbing shall be 3/4" maximum height above grade.
 1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 2. Do not install steel edging along sidewalks.
 3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION



DENTON COUNTY

DFW NORTH 4
FLOWER MOUND, TEXAS

HUNTINGTON
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14043 DALLAS PARKWAY
SUITE 608
DALLAS TEXAS 75254
972.380.8880



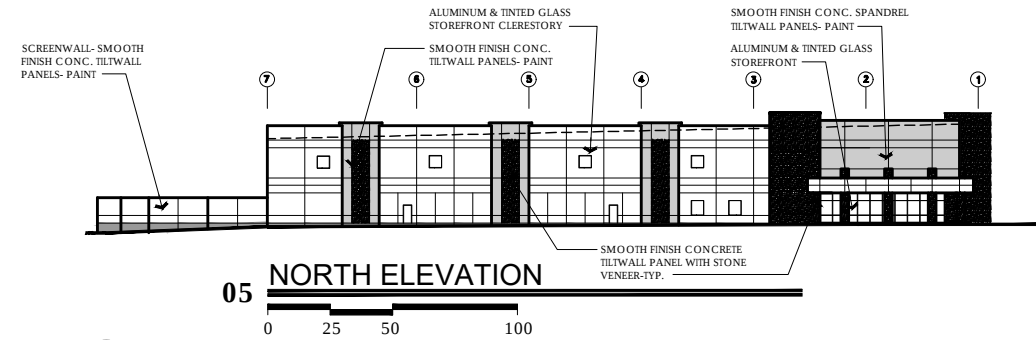
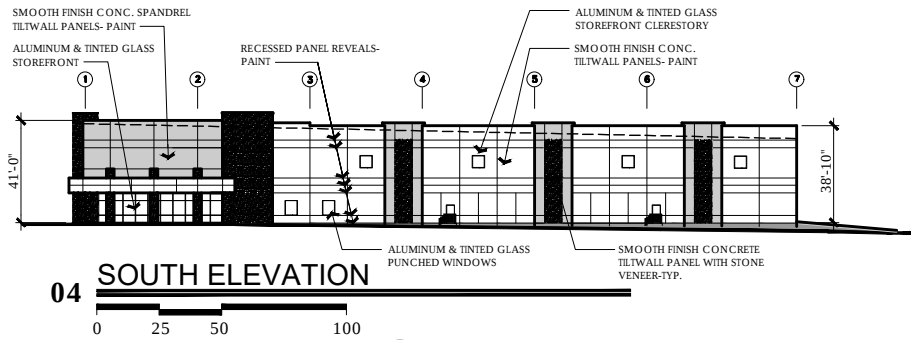
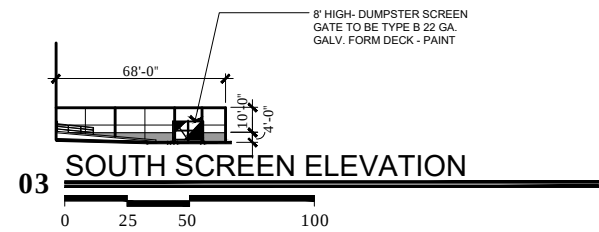
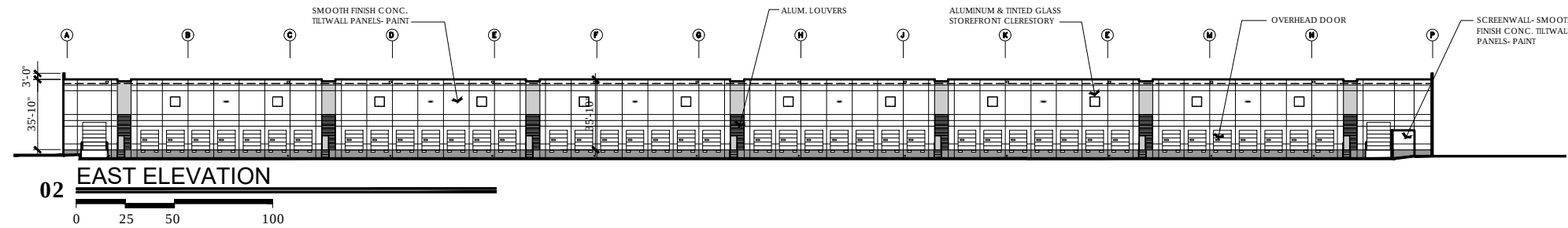
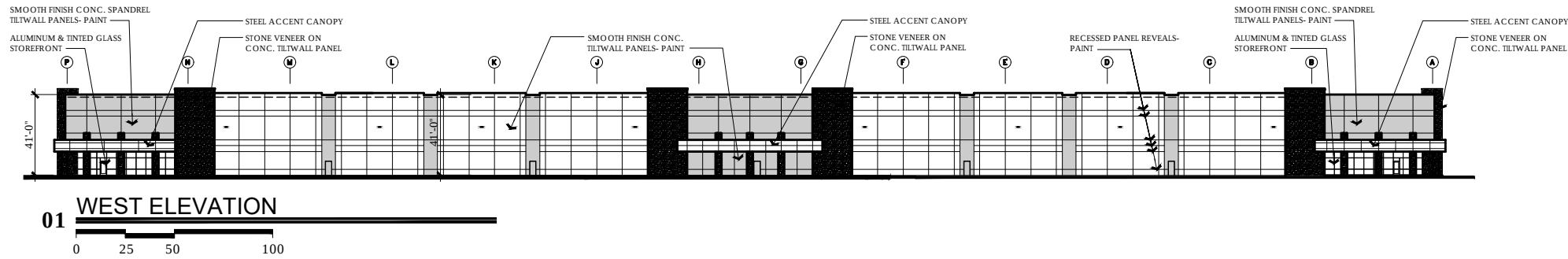
RC18-0001

srm
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email srm@srm-ls.com

04-09-2018
Job #17-118
LANDSCAPE DETAILS
SHEET:

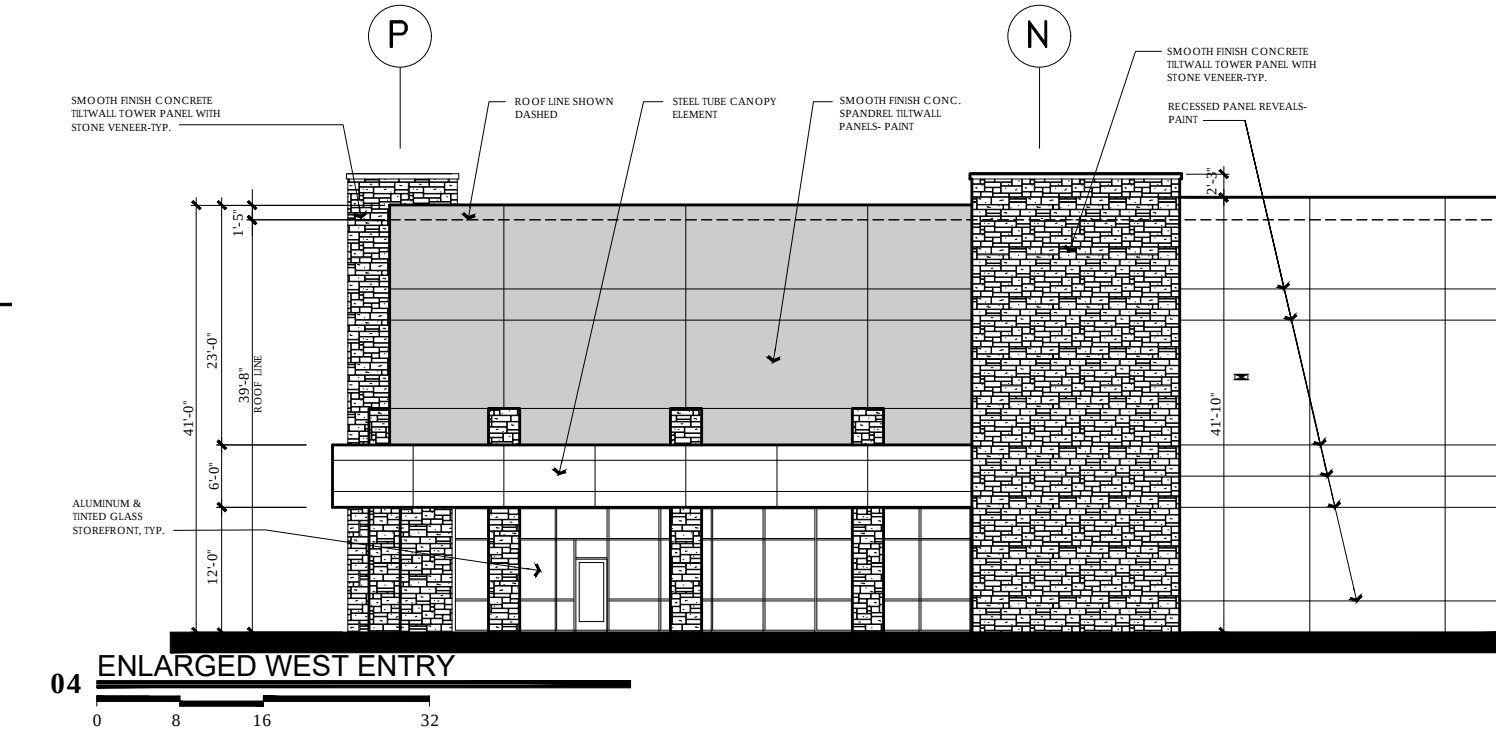
L1.03

G:\HUNTINGTON\17118-DFW North 4CDs Shell\118-A600Series.dwg, 2/26/2018 1:59:54 PM, 1:2.3081



COLOR SELECTION KEY

- STONE TO MATCH DFW DISTRIBUTION CENTER I AND II ACROSS THE STREET
- FIELD COLOR TO MATCH DFW DISTRIBUTION CENTER I AND II ACROSS THE STREET
- MEDIUM ACCENT COLOR TO MATCH DFW DISTRIBUTION CENTER I AND II ACROSS THE STREET
- DARK ACCENT COLOR TO MATCH DFW DISTRIBUTION CENTER I AND II ACROSS THE STREET
- STEEL METAL COLOR TO MATCH DFW DISTRIBUTION CENTER I AND II ACROSS THE STREET



MATERIAL USE TABLE- BLDG. 2

MATERIAL	NORTH ELEV.	SOUTH ELEV.	EAST ELEV.	WEST ELEV.
1. TOTAL FACADE S.F.	11,552 S.F.	11,552 S.F.	24,909 S.F.	29,568 S.F.
2. FACADE (EXCLUSIVE OF DOOR AND WINDOWS)	10,910 S.F.	10,910 S.F.	20,346 S.F.	28,263 S.F.
3. DOORS AND WINDOWS S.F.	642 S.F.	642 S.F.	4,563 S.F.	1,305 S.F.
4. PRIMARY MASONRY TOTALS- (MIN. 80%)	10,499 S.F. and 96%	10,499 S.F. and 96%	20,346 S.F. and 100%	26,997 S.F. and 96%
*TILT WALL S.F.	9,376 S.F. and 86%	9,376 S.F. and 86%	20,346 S.F. and 100%	22,911 S.F. and 81%
*TEXTURED STONE S.F.	1,123 S.F. and 10%	1,123 S.F. and 10%		4,086 S.F. and 15%
5. SECONDARY TOTALS- (MAX. 20%)	411 S.F. and 4%	411 S.F. and 4%		1,266 S.F. and 4%
*METAL ACCENT S.F.	411 S.F. and 4%	411 S.F. and 4%		1,266 S.F. and 4%

NOTE:
ANY EXTERNAL ELECTRICAL PANELS
WILL BE PAINTED/TEXTURED TO
MATCH THE MATERIAL AND COLOR
OF THE BUILDING.

DENTON COUNTY

DFW NORTH 4
FLOWER MOUND, TEXAS

HUNTINGTON
INDUSTRIAL PARTNERS
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14543 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972.980.8980

02.26.18
Job #17-118
EXTERIOR ELEVATIONS
SHEET:

A6.00



ENLARGED WEST ENTRY
SCALE: NO SCALE



WEST ELEVATION
SCALE: NO SCALE



EAST ELEVATION
SCALE: NO SCALE



SOUTH SCREEN ELEVATION
SCALE: NO SCALE



SOUTH ELEVATION
SCALE: NO SCALE



NORTH ELEVATION
SCALE: NO SCALE

DFW NORTH 4

FLOWER MOUND,

DENTON COUNTY, TEXAS

HUNTINGTON™
INDUSTRIAL PARTNERS
5950 Berkshire, Suite 1250
Dallas, Texas 75225
972-951-9016

II&A
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14643 DALLAS PARKWAY, SUITE 636
DALLAS, TEXAS 75254
972-580-8960

DATE: 02-21-18

COLOR



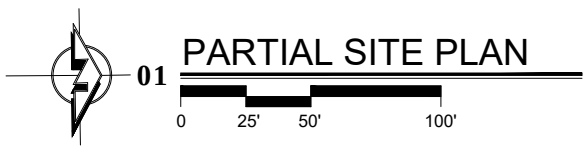
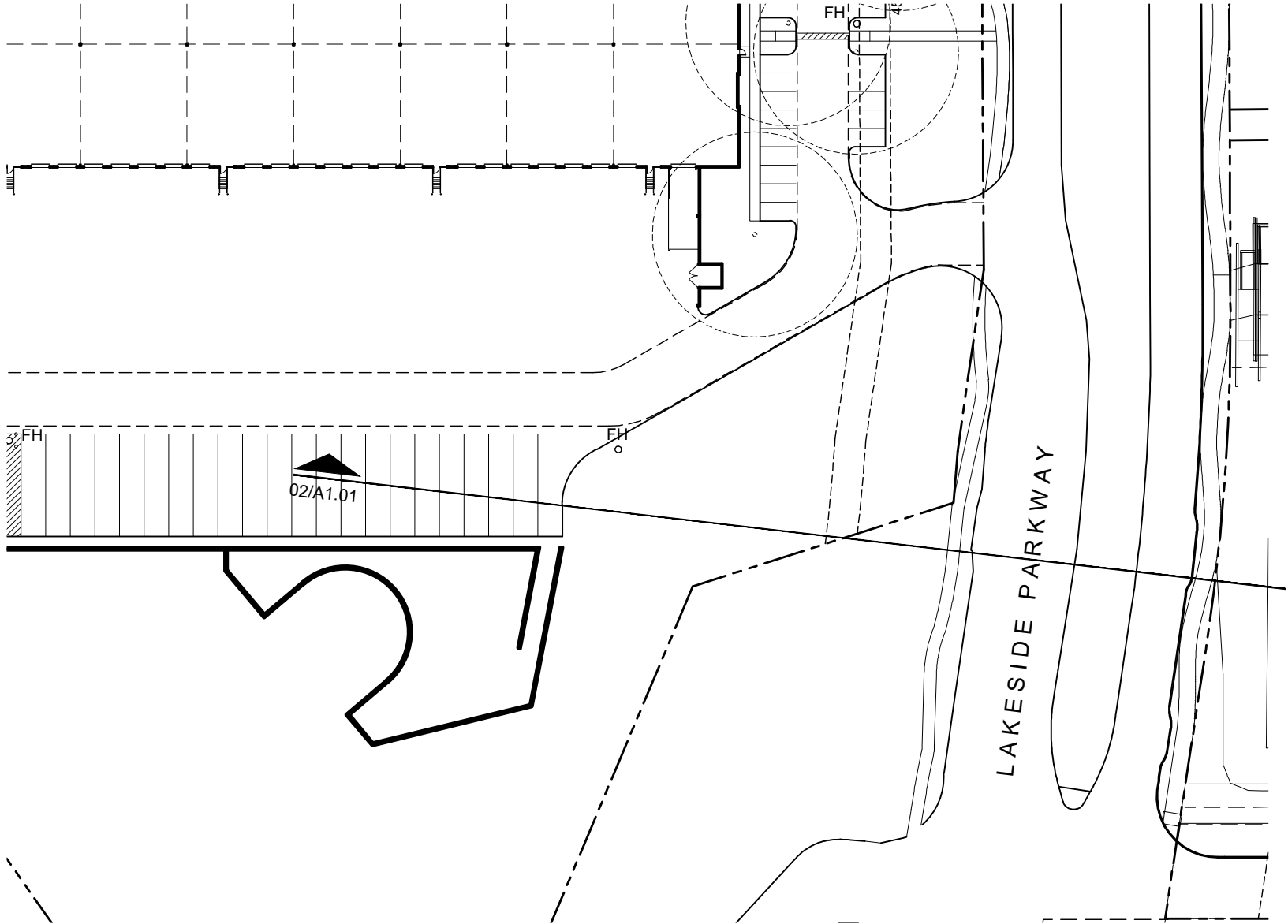
HUNTINGTON
INDUSTRIAL PARTNERS, L.P.
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

M&A
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14643 DALLAS PARKWAY
SUITE 630
DALLAS TEXAS 75254
972.980.8980

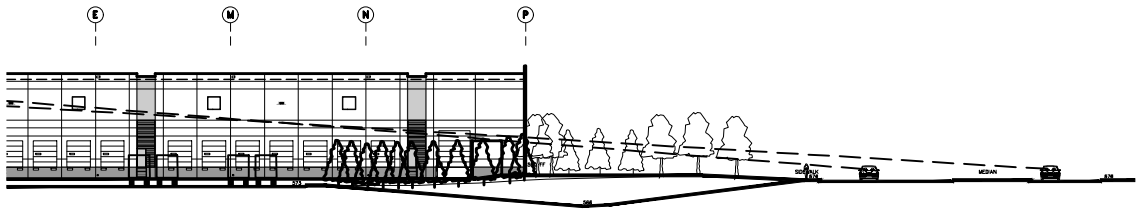
02.26.18
Job #17-118
SAMPLE BOARD
SHEET:

4A

DFW NORTH 4
FLOWER MOUND, TEXAS
DENTON COUNTY



PARTIAL SITE PLAN



LAKESIDE SIGHT LINE

HUNTINGTON
INDUSTRIAL PARTNERS, L.P.
5950 Berkshire Lane, Suite 1250
Dallas, Texas 75225
972.951.9016

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14543 DALLAS PARKWAY
SUITE 630
DALLAS TEXAS 75254
972.980.8980

DFW NORTH 4

FLOWER MOUND, TEXAS

DENTON COUNTY

04.09.18
Job #17-118
SITE PLAN
SHEET:

A1.01



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 8

DATE: April 23, 2018

FROM: Matthew J. Hotelling, P.E., PTOE, Traffic Engineer

ITEM: **Public Hearing to consider a request for a Master Plan Amendment (MPA18-0002 – Morriss Road) to amend Section 7.0, Thoroughfare Plan, by changing the designation of Morriss Road from a Major Arterial to a specified Urban Minor Arterial between Justin Road (FM 407) and Flower Mound Road (FM 3040) and by amending text related to Morriss Road being six lanes. (The Transportation Commission recommended approval by a vote of 4 to 2 at its April 20, 2018, meeting.)**

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations. The Transportation Commission packet for this case and associated attachments are included with this item (Attachment A.1).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

This application was presented to the Transportation Commission (TRC) on April 10, 2018 (see Attachment A.1 for details). The video of the meeting can be viewed at: <https://flowermoundtx.swagit.com/play/04102018-2040> Item F2.

A. Thoroughfare Plan Amendment

Beyond the change to the Thoroughfare Plan, there are references in Section 7.0 regarding Morriss Road. Under Analysis of Future Conditions, numbered Paragraph 1 lists various roadways which include Morriss Road that are projected to carry the most traffic. This paragraph would be changed to exclude Morriss Road being listed as a Major Arterial. It would remain being listed as a road that is projected to carry the most traffic.

Under Analysis of Future Conditions, numbered Paragraph 6 identifies the need to widen Morriss Road to six lanes. The paragraph would be modified by removing the wording after the word Morriss.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Master Plan amendment requests. To date, seven correspondence have been received (Attachment A.2). Additional correspondence

received after the packet posting will be handed out at the Planning and Zoning Commission meeting.

IV. ATTACHMENTS

A. Background Information

1. Transportation Commission Agenda Item F, April 10, 2018
2. Correspondence



TRANSPORTATION COMMISSION AGENDA ITEM NO. 2

REGULAR ITEM

DATE: April 10, 2018

FROM: Matthew J. Hotelling, P.E., PTOE, Traffic Engineer

ITEM: Consider a recommendation regarding a Thoroughfare Plan Amendment for Morriss Road from Flower Mound Road (FM 3040) to Justin Road (FM 407) to the Town Council.

BACKGROUND INFORMATION: This item is to consider changes to the Master Transportation Plan, more specifically the Thoroughfare Plan regarding Morriss Road between Flower Mound Road (FM 3040) and Justin Road (FM 407). A copy of the existing Thoroughfare Plan is included as Attachment 1. Morriss Road as it is currently built resembles a Greenway Urban Arterial and is designated as a Major Arterial on the current Thoroughfare Plan.

At the February 5, 2018, Town Council meeting, the direction from the Council was for the Transportation Commission to study the need for Morriss from FM 3040 to FM 407 to be a Major Arterial street. The agenda packet and video from this meeting can be found at the following links:

- Agenda Item, <http://www.flower-mound.com/ArchiveCenter/ViewFile/Item/4005>
- Video, <http://flowermoundtx.swagit.com/play/02052018-1085>

Results of the Town Council meeting were unanimous that the Council was not interested in building Morriss Road to its current Thoroughfare Plan cross section (6 lane divided arterial). The Town Council voted to keep Morriss Road as a 4 lane divided roadway. Discussion amongst the Council was to change it to one of the 4 lane arterial cross sections and asked the Transportation Commission to study Morriss Road and to give their recommendation.

At the March 27, 2017, Joint Work Session between the Town Council and the Transportation Commission, Town Council provided direction to the Transportation Commission regarding Morriss Road. The video from this Joint Work Session can be found at the following link.

- Video, <http://flowermoundtx.swagit.com/play/03272018-1379>

The purpose of this item is to discuss the appropriate Thoroughfare Cross Section for Morriss Road.

ALTERNATIVES/OPTIONS: Leave Morriss Road as is, change to a Greenway Urban Arterial or as one of the Urban Minor Arterials.

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

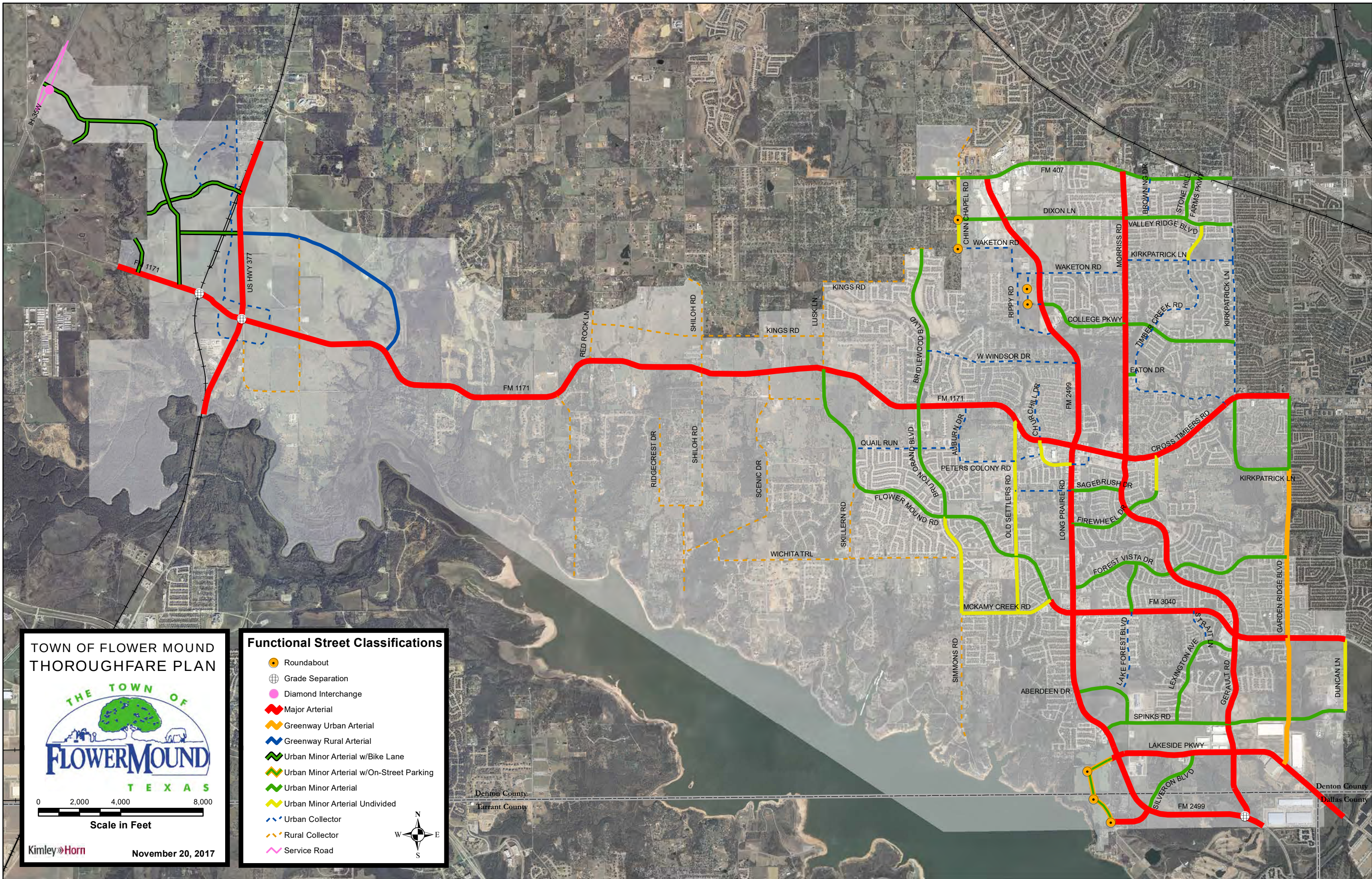
ATTACHMENTS:

1. Existing Thoroughfare Plan

DRAFT RECOMMENDATIONS: Move to recommend that Morriss Road from Flower Mound Road (FM 3040) to Justin Road (FM 407) be changed to an Urban Minor Arterial (*specify type*) on the Thoroughfare Plan to the Town Council.

Move to recommend that Morriss Road from Flower Mound Road (FM 3040) to Justin Road (FM 407) remain as currently shown on the Thoroughfare Plan to the Town Council.

Move to recommend that Morriss Road from Flower Mound Road (FM 3040) to Justin Road (FM 407) be changed to a Greenway Urban Arterial on the Thoroughfare Plan to the Town Council.



TOWN OF FLOWER MOUND
THOROUGHFARE PLAN

0 2,000 4,000 8,000
Scale in Feet

KimleyHorn November 20, 2017

Functional Street Classifications

- Roundabout
- Grade Separation
- Diamond Interchange
- Major Arterial
- Greenway Urban Arterial
- Greenway Rural Arterial
- Urban Minor Arterial w/Bike Lane
- Urban Minor Arterial w/On-Street Parking
- Urban Minor Arterial
- Urban Minor Arterial Undivided
- Urban Collector
- Rural Collector
- Service Road

From: [Jack L Bomar Jr.](#)
To: [planning](#)
Subject: Morriss Road
Date: Tuesday, April 17, 2018 7:16:20 AM

As a homeowner whose property sets right on Purple Sage with a clear view of traffic on Morriss, our biggest complaint is traffic rocketing away southbound from the Firewheel/Morriss intersection. Almost like a drag race at times. Our HOA recently voted to remove a large hedge of old photinia bushes(2017), so we now have a clear view of Morriss.

We rarely use Morriss south of our sub-division because the pavement is so uneven and narrow. We have never understood the huge amount of money spent several years ago for "improvements" to Morriss.

Seems like that was quite a waste of funds.

We think widening the existing 2 lanes, and overlaying with a smooth layer of asphalt would be a better idea than widening to 3 lanes in each direction.

Thank you.

Jack and Barbara Bomar
2921 Purple Sage Dr
75028

--

From: [Jay Cannon](#)
To: [planning](#)
Subject: Master Plan Amendment Morris Road Thoroughfare Plan
Date: Wednesday, April 18, 2018 7:40:41 PM

Mr. Hotelling,

I am writing in response to the property owner notice I received regarding this amendment. I would like to say that I am against the amendment. I would like to see Morriss Road stay designated as a major arterial and eventually widened to 6 lanes. Anyone who doesn't realize that there are hundreds of people about to move into the Riverwalk apartments and are going to be traveling this road is just deluding themselves. If Morriss Road stays as is (especially with the slower speed limit), it will get to the point that it will take 20 minutes or more to travel the length of 1171 to 3040 during rush hours.

I thank you for your time.

Jay Cannon
2208 Sagebrush

From: [Karen Helbig](#)
To: [planning](#)
Subject: MASTER PLAN AMENDMENT
Date: Monday, April 16, 2018 8:49:53 PM

My name is Karen Helbig and I reside at 2300 Golden Arrow Drive in Flower Mound.
I would like to see Morriss Road changed to an Urban Minor Arterial Road due to students safety walking to and from school. Also, the safety of people walking or riding their bikes on Morriss. I do appreciate the drop in the speed limit even though some people still drive 40 mph. Wish something can be done around the curves as when you are walking down Morriss you worry if someone is going to jump the curb and end up on sidewalks. I do know not much can be done about this but, just warn drivers of curved road.

Thank you and PRAYING MORRISS RD can be TURNED into and URBAN MINOR ARTERIAL .

Sent from my iPad

From: [Glenn Hendry](#)
To: [planning](#)
Subject: Master Plan Amendment (MPA 18-0002) Morris Road Thoroughfare Plan
Date: Monday, April 16, 2018 3:55:24 PM

I am in favor of designating Morris Road between Justin Road and Flower Mound Road an Urban Minor Arterial Road. I either cross Morris or make a left turn onto Morris about 8-10 times each week from the street on which I live, Ponderosa Pine Drive, and it is difficult at times now to get across the road with the current 4 lanes, but would be impossible if this area of Morris Road were 6 lanes. I often depend on the wide area of space between North bound and South bound lanes to assist me. I would have to drive several blocks out of my way instead of crossing Morris if Morris were to become a 6 lane road. I also often drive my grandchildren to and from Forestwood Middle School. This also be much more difficult if Morris Road were 6 lanes. Students from Forestwood are currently able to cross Morris at Forest Vista with the assistance of crossing guards, it would be much more difficult on the students were Morris Road 6 lanes. This is also true for the cars entering and exiting Forestwood onto Morris and that cross walk on the North side of the school.

I support keeping Morris Road 4 lanes!!

Glenn Hendry
2504 Ponderosa Pine Dr

Sent from my iPad

From: [Scott McCain](#)
To: [planning](#)
Subject: Morris road
Date: Tuesday, April 17, 2018 12:10:40 PM

I live on Morris near Forestwood middle school. I have no problem with 4 or 6 lanes but the road needs to be improved regardless. When the road was messed with 10 years ago it made the road worse. The road does not flow and when the school lets out it turns into a parking lot. Pickup overflows into the neighborhood cause a nightmare for those of us that live here. It should have been widened properly the first time then the flow to the school would be better.

Aldo with all the apartments being built the traffic will only increase so it may need to be 6 lanes eventually. Dont be shortsighted. Flower Mound has normally planned ahead.

Thank you

Scott McCain

From: [Todd Schreiber](#)
To: [Tom Walker](#); [Matthew Hotelling](#); [Theresa Scott](#); [Delona Verplank](#); [Jimmy Stathatos](#); [bobbimitchell](#)
Subject: Transportation Commission Meeting Apr 10 - Morriss Road - Agenda Regular Item #2
Date: Saturday, April 07, 2018 4:18:27 PM

Dear Delona,

I will appreciate it if you will please distribute the following to all of the Transportation Commission Members in advance of their meeting on Tuesday.

Thanks and have a great weekend.

Todd

Dear Transportation Commission Members,

As a twenty-five year resident and an involved citizen who served for ten years on many boards, commissions and committees (including the Transportation Commission), these are key issues that must be addressed as you discuss this regional connector/roadway in our town.

1) Morriss Road Expansion to six full lanes from FM 407 to FM 3040 must be completed. The nonsense debate of this much needed project must finally end and the needs of the vast majority of citizens for improved traffic flow must outway the interests of a small special interest group that represents a fractional percentage of our town's total population. If this roadway had been completed as a single project as originally planned and intended, Flower Mound would have saved MILLIONS of our taxpayer dollars. This is one of our town's greatest financial debacles if not the greatest financial debacle in the town's history. Our major roadways are regional connections not town or neighborhood specific roads.

2) North/South Regional transportation congestion must be addressed and residents/neighborhoods who rely on FM 2499 must not bear the brunt of this burden. FM 2499 is already un-drivable at certain times of the day. It can take fifteen to twenty minutes to travel 3 miles. This has nothing to do with any development or proposed developments in Flower Mound. It is the result of all of the development directly north and northwest outside the town's boundaries which is going to continue to expand and move through town to reach DFW Airport which is the fourth busiest airport in the United States and the eleventh busiest in the world.

It would be wise for the TC to invite Denton County Commissioner Bobbie Mitchell to an upcoming Transportation Commission meeting to educate and inform the current commission members regarding the "Trip '08" bond package and Denton County's transportation and connectivity plans as the region continues to grow and expand. Certainly before any recommendations are made regarding Morriss Road.

Thank you for your service to our town.

Todd Schreiber
925 Canongate Drive
Flower Mound, TX 75022

From: [Alexandra Kiliadis](#)
To: [planning](#)
Subject: MPA18-0002
Date: Thursday, April 19, 2018 8:37:45 AM

Good Morning,

We received the Master Plan Amendment in yesterday's mail, and cannot attend the meeting on April 23rd. Our property borders Morriss Road, and we do agree on the amendment to keep Morriss a four lane road versus a six lane road.

Regards,

Carl and Alexandra Shipman