

**AGENDA
TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION MEETING**

MARCH 11, 2019

**FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS**

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. CALL MEETING TO ORDER 6:30 P.M. (or immediately after the Capital Improvements Advisory Committee meeting)

B. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

C. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chairman and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

D. DIRECTOR'S REPORT

1. Planning & Zoning Retreat covering Business Items
2. Update on Limited Residential designation within Lakeside Business District

E. REGULAR ITEMS

1. *Minutes of February 25, 2019*
Consider approval of the minutes of the February 25, 2019, Planning and Zoning Commission Regular Session.
2. *RC18-0006 – Flower Mound Municipal Library Addition*
Consider a request for a Record Plat to create a non-residential subdivision. The property is generally located east of Old Settlers Road between Broadmoor Lane and Peters Colony Road.

3. *SP18-0018 – Flower Mound Public Library*
Consider a request for a Site Plan to expand the existing Town Library facility with a required parking deviation in excess of 20 percent per Section 82-73 of the Town's Code of Ordinances. The property is generally located east of Old Settlers Road between Broadmoor Lane and Peters Colony Road.
4. *ZPD19-0003 – Home Depot Silveron Addition* *Public Hearing*
Public Hearing to consider a request for rezoning to amend Planned Development District-31 (PD-31) with Campus Commercial uses that is subject to Specific Use Permit 245 (SUP-245) to amend Specific Use Permit 245 (SUP-245) to allow for truck rental, trailer rental, and rental/sales of propane containers outdoors on site. The property is generally located east of Long Prairie Road and south of Lakeside Parkway.
5. *LDR19-0001 – Landscaping* *Public Hearing*
Public Hearing to consider a request to amend the Land Development Regulations by amending Chapter 82, Article V, Division 2, entitled "Landscaping," of the Town's Code of Ordinances, to allow for the use of Synthetic Turf.
6. *Focus North Texas*
Presentation by Commissioner Ruthrauff to the Planning & Zoning Commission on his Focus North Texas event perspective.

F. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: March 7, 2019, at 4:30 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.
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PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

REGULAR ITEM

DATE: March 11, 2019

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the February 25, 2019, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on February 25, 2019.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 25TH DAY OF FEBRUARY, 2019, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Perfecto Solis	Chair
Laile Neal	Vice Chair
David Johnson	Commissioner, Place 4
Albert Picardi	Commissioner, Place 5
Laura Dillon	Commissioner, Place 6
Robert Cox	Commissioner, Place 8
Thomas Pickering	Commissioner, Place 9

Constituting a quorum with the following members absent:

Brad Ruthrauff	Commissioner, Place 1
Robert Rawson	Commissioner, Place 3

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Tommy Dalton	Assistant Town Manager
Lexin Murphy	Director of Planning Services
Chuck Russell	Town Planner
Robert Pegg	Engineering Manager
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER (Council Chambers): 7:24 P.M.

B. PUBLIC COMMENT

None

C. FUTURE AGENDA ITEMS

None

D. REGULAR ITEMS

- 1. Consider approval of the minutes of the February 11, 2019, Planning and Zoning Commission Regular Session**

Commission Deliberation

Commissioner Johnson moved to approve the February 11, 2019, minutes as written. Vice-Chair Neal seconded the motion.

VOTE ON THE MOTION

AYES: Johnson, Picardi, Dillon, Neal, Cox, Pickering

NAYS: None

ABSTAIN: None

The motion passed with a vote of 6-0.

2. Public Hearing to consider a request for a replat (RP18-0017 – Lakeside Ranch Business Park Addition) to create a non-residential lot. The property is generally located north of Lakeside Parkway and east of Garden Ridge Boulevard.

Staff Presentation

Chuck Russell, Town Planner

Applicant Presentation

None

Spoke In Favor:

None

Spoke in Opposition

None

Commission Deliberation

Vice-Chair Neal moved to approve RP18-0017 – Lakeside Ranch Business Park Addition, as presented. Commissioner Johnson seconded the motion.

VOTE ON THE MOTION

AYES: Pickering, Cox, Neal, Dillon, Picardi, Johnson

NAYS: None

The motion passed with a vote of 6-0.

3. **Public Hearing to consider a request for rezoning (ZPD18-0012 – Lisanti Cell Tower) to amend Planned Development -135 (PD-135) with Campus Industrial (CI) uses to allow development of a communication tower, to modify the development standards, and request certain modifications and exceptions to the Code of Ordinances as related to the subject property. The property is generally located south of Spinks Road and east of Long Prairie Road.**

Staff Presentation

Chuck Russell, Town Planner

Applicant Presentation

Bebb Francis, The Francis Law Firm, P.C. (Attorney for American Tower LLC)
Jacob Hamilton, Verizon Wireless

Spoke In Favor:

None

Spoke in Opposition

None

Commission Deliberation

Commissioner Johnson moved to recommend approval of ZPD18-0012 – Lisanti Cell Tower, as presented. Vice-Chair Neal seconded the motion.

VOTE ON THE MOTION

AYES: Johnson, Picardi, Dillon, Neal, Cox, Pickering

NAYS: None

The motion passed with a vote of 6-0.

E. ADJOURNMENT – REGULAR SESSION 8:19 P.M.

[Chair Solis called for a 5-minute break]

i. **CALL TO ORDER – WORK SESSION: 8:22 P.M.**

- a. Presentation and discussion of the Planning and Zoning training topics

The work session was closed at 9:33 P.M.

TOWN OF FLOWER MOUND, TEXAS

Chuck Russell, Town Planner

ATTEST:

LauriAnn Cash, Executive Assistant



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

REGULAR ITEM

DATE: March 11, 2019

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Record Plat (RC18-0006- Flower Mound Municipal Library Addition) to create a non-residential subdivision. The property is generally located east of Old Settlers Road between Broadmoor Lane and Peters Colony Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion site plan application (SP18-0018) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The focus of this application is to obtain approval for a nonresidential subdivision that will provide for the following:

- One buildable lot containing 5.24 acres to accommodate the expansion of the Town Library
- One lot for a Town Park containing 3.29 acres
- Various utility, public access and drainage easements
- Approximately 0.285 acres of right-of-way dedication for Peter's Colony Road

The property is zoned a combination of a Retail-2 (R-2) district, Agricultural (A) district and Planned Development District-65 (PD-65) for Office (O) district uses. The proposed record plat is in compliance with the Town's Land Development Regulations.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

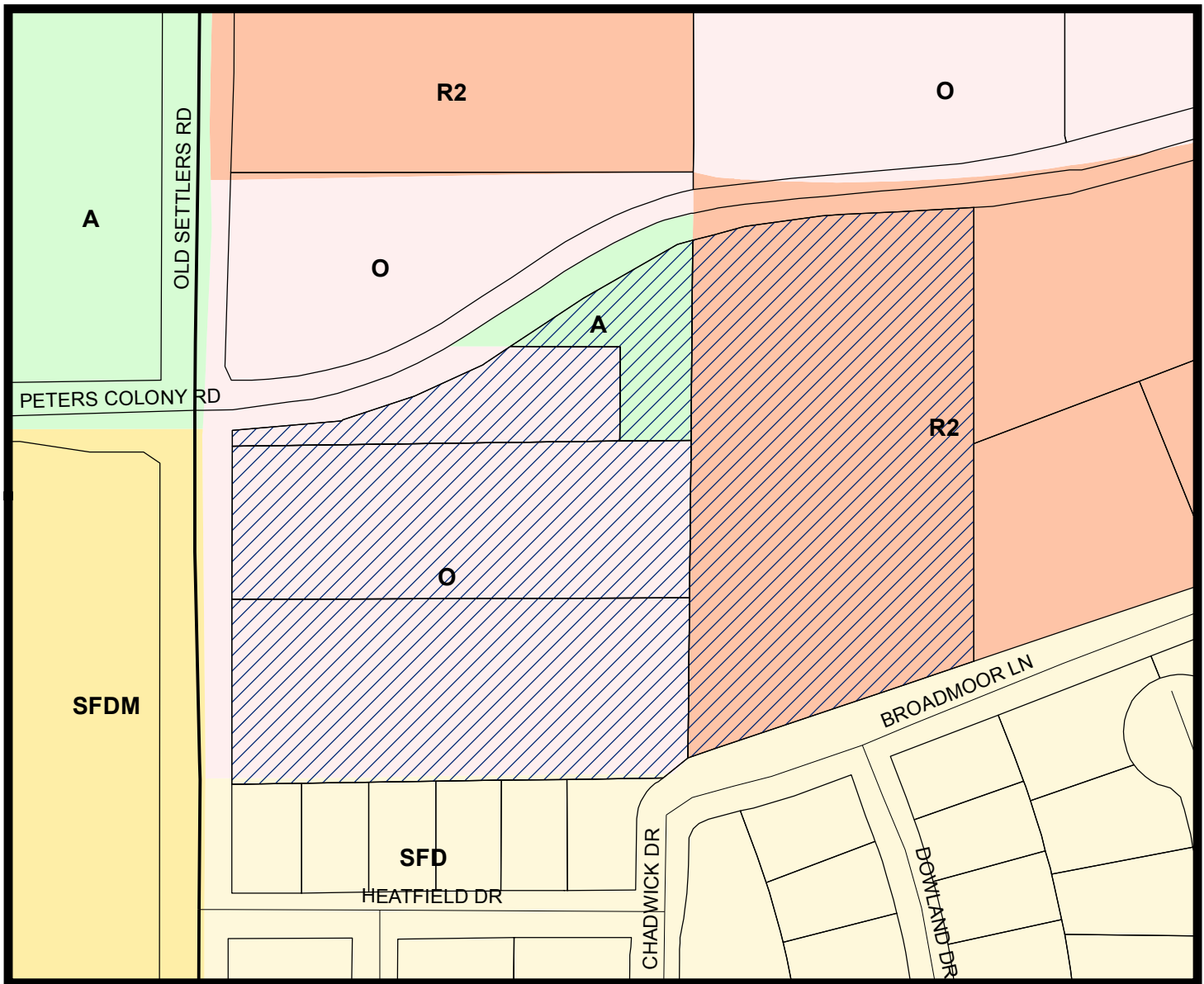
B. Application Details

1. Record Plat Package



Vicinity Map

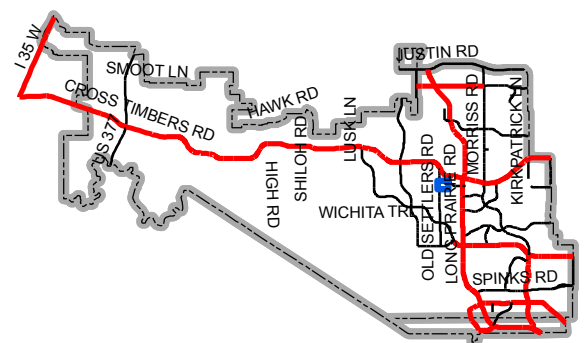
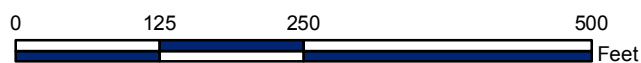
Reference Project: RC18-0006 & SP18-0018



LEGEND

- Agriculture
- Office
- Retail 2
- Single Family Density
- Single Family Density Medium

— Subject Property



Map Location



KOMATSU
ARCHITECTURE

September 06, 2018

Mr. Chuck Russell, Town Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

Re: Letter of Intent - Flower Mound Library Expansion
KA Project Number 2017.139

Dear Mr. Russell,

Please accept this Letter of Intent for the Proposed Expansion of the Flower Mound Library.

In accordance with your requirements, please note the following:

Existing Site is zoned PD-28 and contains an existing Public Library. The existing use will be continued. The site is and will continue to be owned by the Town of Flower Mound. This proposed use continues the use that is presently existing and substantially conforms to the previously approved PD.

The existing Site is 5.215 acres.

The existing Library is 24,999 square feet. The proposed addition to the north is 12,035 square feet; proposed addition to the south is 4,126 square feet. Total building upon completion will be 41,140 square feet.

The building additions and the added parking will be constructed as one project.

The 11 parking spaces to the west (noted as separate cost item) will be used for the future park to be constructed by the Town.

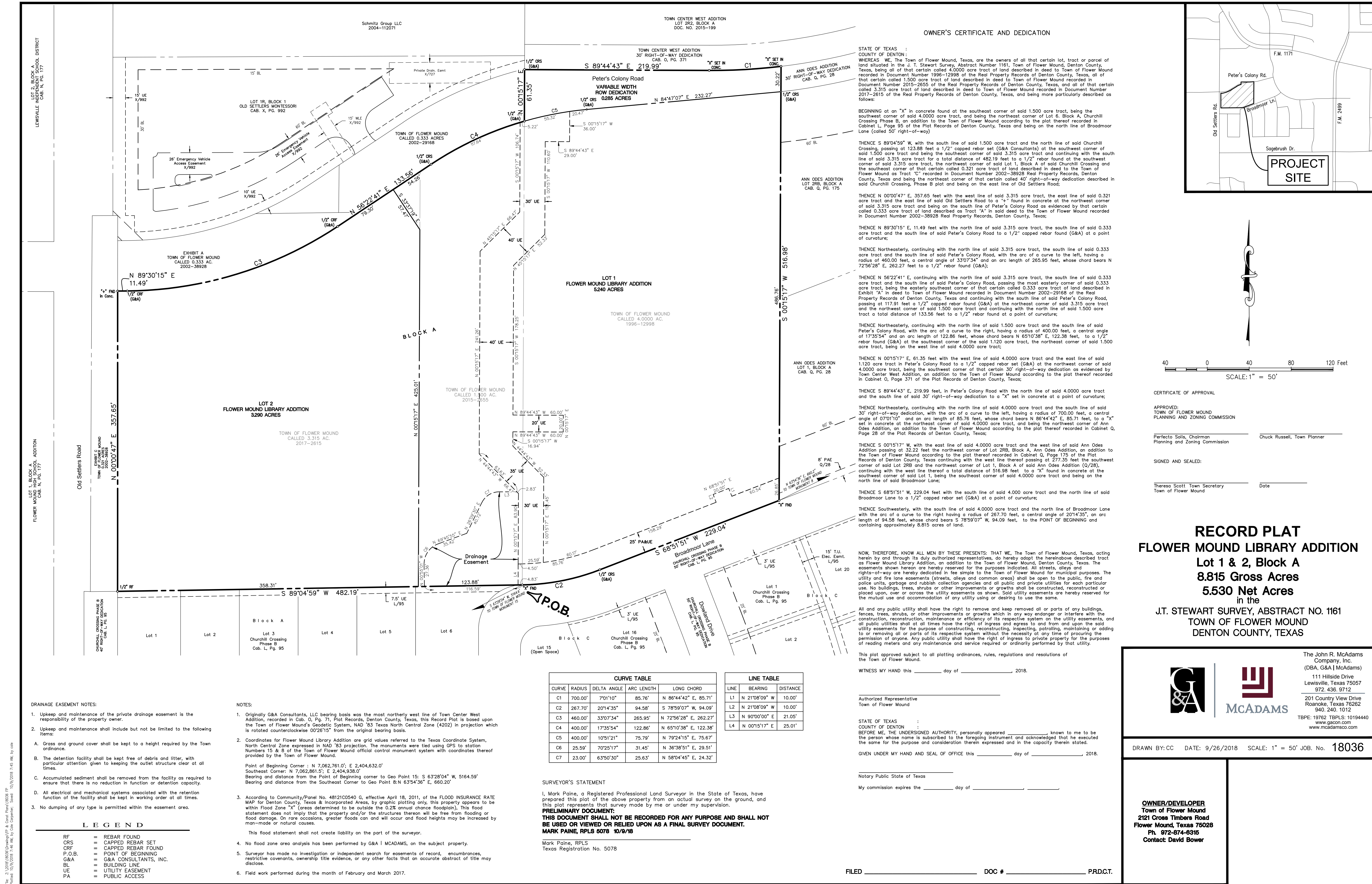
Sincerely,

KOMATSU ARCHITECTURE

Neil P. Bletsch

Neil Bletsch, RA, LEED AP

cc: File





PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 3

REGULAR ITEM

DATE: March 11, 2019

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Site Plan (SP18-0018 - Flower Mound Public Library) to expand the existing Town Library facility with a required parking deviation in excess of 20 percent per Section 82-73 of the Town's Code of Ordinances. The property is generally located east of Old Settlers Road between Broadmoor Lane and Peters Colony Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion record plat application (RC18-0006) for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to provide for the following:

- Expansion of the existing 25,000 square-foot Town Library by additional 16,161 square feet
- Two building additions are proposed, one on the north side of the existing building (12,085 square feet) and one on the south (4,126 square feet)
- Additional parking is being provided on the north side of the site along with a second point of access from Peters Colony Road

The property is zoned a combination of a Retail-2 (R-2) district, Agricultural (A) district and Planned Development District-65 (PD-65) for Office (O) district uses. The site plan depicts necessary setbacks, landscape buffers, and easements. Both landscaping and building elevations are in compliance with the Town's regulations.

Off-street Parking Deviation Request

The Town's parking requirement for a museum, library or art gallery (public) is ten parking spaces plus one space per 500 square feet of floor area. Based on the calculation provided in the attached parking study, the development would require 93 parking spaces per the Code of Ordinances. The Town's parking regulations state:

The amount of parking can be reduced or increased by 20 percent. Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation can be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.

The applicant is proposing to provide a total of 145 parking spaces (combination of existing and proposed) which exceeds the Code requirement by approximately 42 percent, thus a parking deviation is required (See attached Parking Study for rational and required mitigation for the proposed deviation).

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

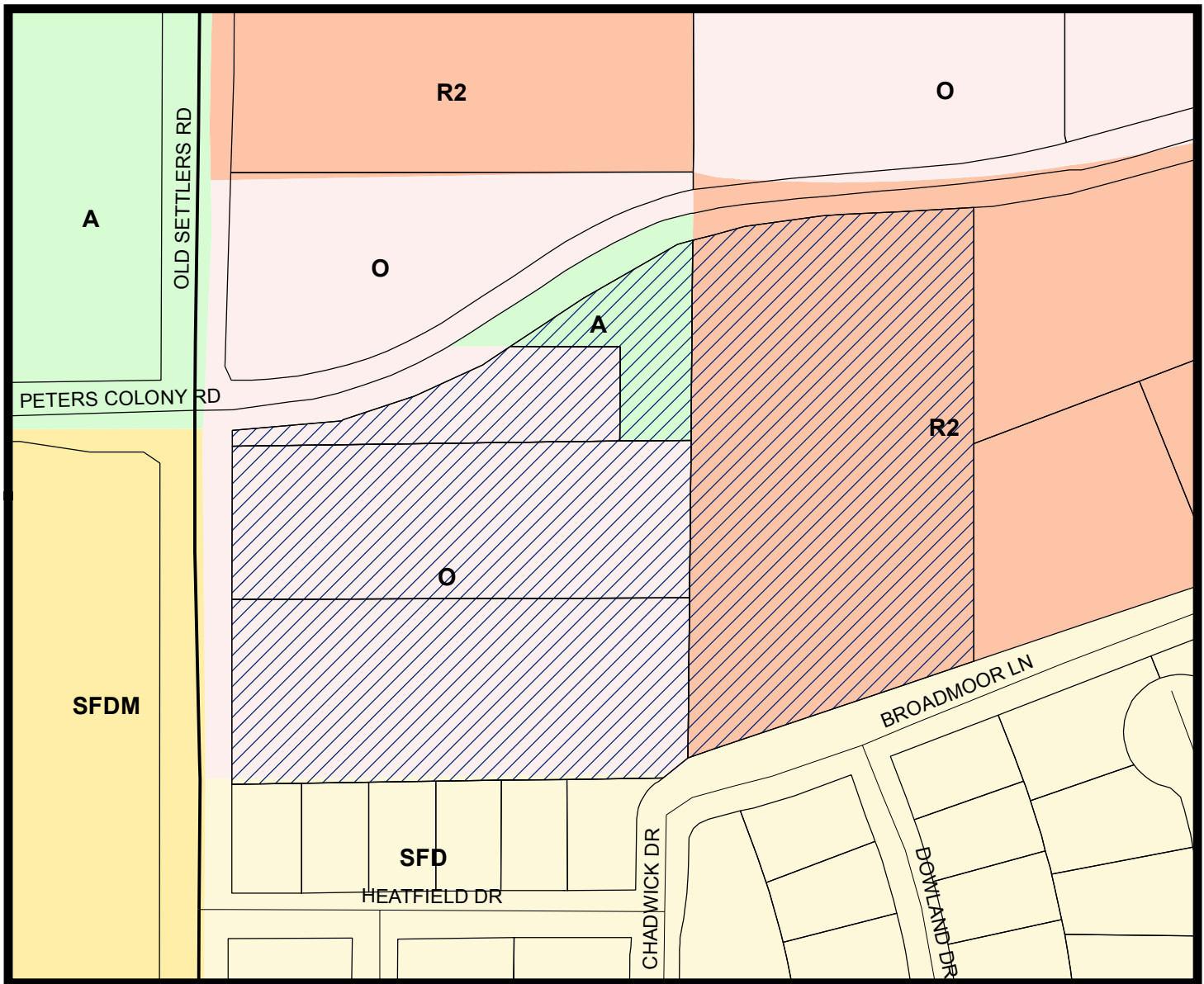
B. Application Details

1. Site Plan Package
2. Parking Study



Vicinity Map

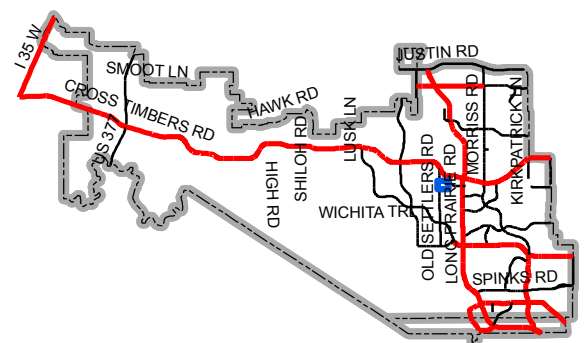
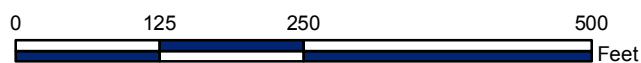
Reference Project: RC18-0006 & SP18-0018



LEGEND

- Agriculture
- Office
- Retail 2
- Single Family Density
- Single Family Density Medium

— Subject Property



Map Location



KOMATSU
ARCHITECTURE

September 06, 2018

Mr. Chuck Russell, Town Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

Re: Letter of Intent - Flower Mound Library Expansion
KA Project Number 2017.139

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In accordance with your requirements, please note the following:

Existing Site is zoned PD-28 and contains an existing Public Library. The existing use will be continued. The site is and will continue to be owned by the Town of Flower Mound. This proposed use continues the use that is presently existing and substantially conforms to the previously approved PD.

The existing Site is 5.215 acres.

The existing Library is 24,999 square feet. The proposed addition to the north is 12,035 square feet; proposed addition to the south is 4,126 square feet. Total building upon completion will be 41,140 square feet.

The building additions and the added parking will be constructed as one project.

The 11 parking spaces to the west (noted as separate cost item) will be used for the future park to be constructed by the Town.

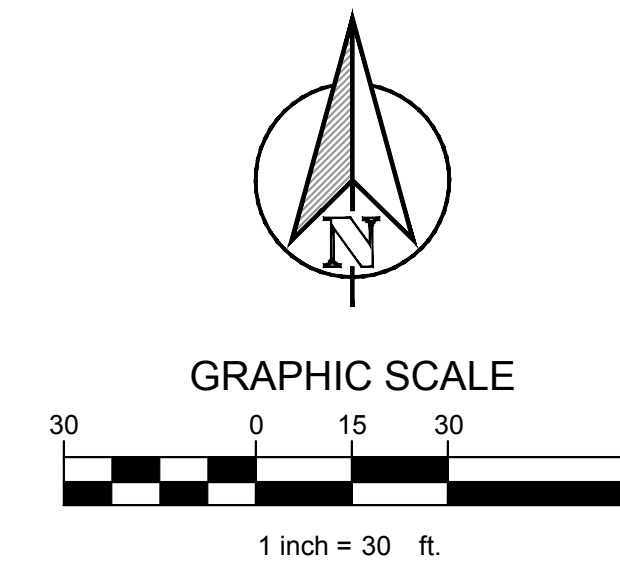
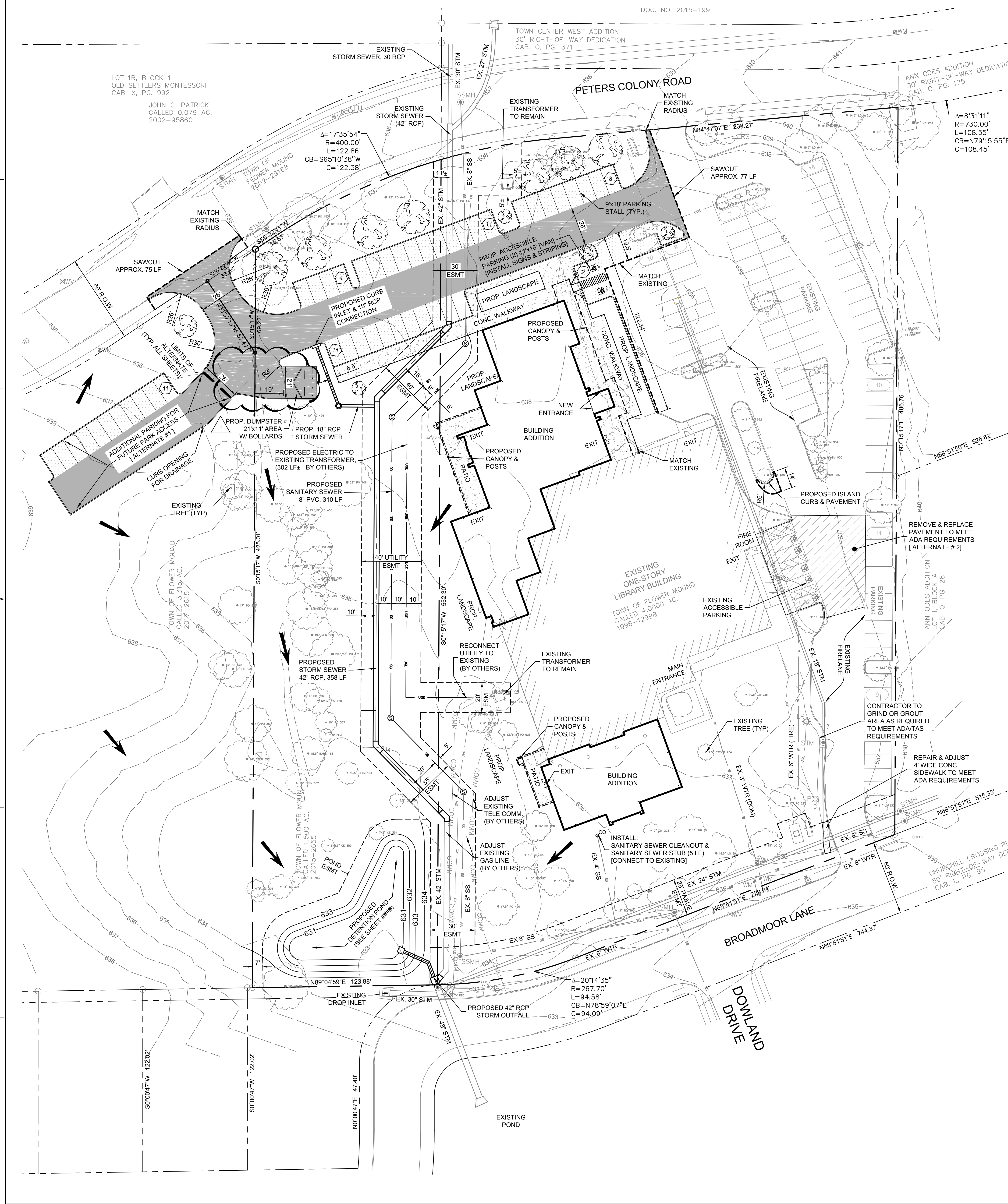
Sincerely,

KOMATSU ARCHITECTURE

Neil P. Bletsch

Neil Bletsch, RA, LEED AP

cc: File



LEGEND

WM	WATER METER	PROPOSED BUILDING
WV	WATER VALVE	PROPOSED CURB
LP	LIGHT STANDARD	PROPOSED EASEMENT
FH	FIRE HYDRANT	PROPOSED SITE BOUNDARY
CO	CLEANOUT	STORMWATER RUNOFF DIRECTION OF FLOW
GM	GAS METER	PROPOSED FIRELANE (HEAVY DUTY PAVEMENT)
GS	GAS SERVICE MANHOLE	LIGHT DUTY PAVEMENT
EX	EXISTING GAS	SIDEWALK PAVEMENT
W	EXISTING WATER	FULL DEPTH SAWCUT OR LIMITS OF PAVEMENT REMOVAL
SS	SANITARY SEWER MANHOLE	PROPOSED TREE SHOWN FOR GRAPHIC VISUALIZATION ONLY (REFER TO LANDSCAPE DRAWINGS FOR EXACT LOCATIONS)
SS	EXISTING SANITARY SEWER	
SW	STORM SEWER MANHOLE	
EX	EXISTING STORM SEWER	
O/H	OVERHEAD ELECTRIC LINE	
●	EXISTING POWER POLE	
—	SIGN	

SITE PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS AND SPECIFICATIONS, FOR ANY WORK NOT GOVERNED BY CITY DETAILS, STANDARDS AND SPECIFICATIONS, LATEST EDITION OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCG) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SHALL APPLY.
- THE CONTRACTOR MUST BE FAMILIAR WITH TOWN CONSTRUCTION STANDARDS AND PROCEDURES PRIOR TO BIDDING AND CONSTRUCTION. UNFAMILIARITY OF CONSTRUCTION STANDARDS, DETAILS, AND SPECIFICATIONS SHALL NOT BE A BASIS FOR CHANGE ORDERS, WORK DELAYS, OR ADDITIONAL COMPENSATION.
- ALL MATERIAL REQUIRED TO COMPLETE THE WORK AS SHOWN OR IMPLIED IN THE CONSTRUCTION PLANS AND AS SPECIFIED IN THE CONTRACT DOCUMENTS THAT ARE NOT LISTED AS A PAY ITEM IN THE PROPOSAL SHALL BE CONSIDERED SUBSIDIARY.
- THE LOCATION, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN OBTAINED FROM FIELD MARKINGS, PHYSICAL APPURTENANCES AND UTILITY COMPANY RECORDS AND ARE CONSIDERED APPROXIMATE. THE ENGINEER DOES NOT CERTIFY THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS, SIZES AND DEPTHS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION BY CONTACTING TEXAS EXCAVATION SAFETY SYSTEM (800-DIG-TESS) AND RELEVANT UTILITY COMPANIES 48 HOURS PRIOR TO LOCATING EXISTING UTILITIES OR CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE PRIOR TO AND DURING CONSTRUCTION. ANY DAMAGE THAT OCCURS FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE OF TEXAS LAWS CONCERNING EXCAVATION, EMISSIONS, TRENCHING, SHORING, AND SITE SAFETY.
- THE CONTRACTOR SHALL PROTECT ALL PAVEMENT INCLUDING SIDEWALKS THAT ARE OUTSIDE THE LIMITS OF CONSTRUCTION FROM DAMAGE PARTICULARLY AT CONSTRUCTION ENTRANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED PAVEMENT.
- POSITIVE DRAINAGE MUST BE MAINTAINED FOR ALL DRAINAGE SWALES, CULVERTS AND CREEKS INCLUDING INTERMITTENT STREAMS AFFECTED BY CONSTRUCTION OPERATIONS. ANY WORK NECESSARY TO DAM OR DIVERT EXISTING DRAINAGE WAYS TO COMMENCE CONSTRUCTION SHALL BE CONSIDERED SUBSIDIARY.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED TO INCLUDE BUT NOT BE LIMITED TO ROCK, RUBBLE, DEBRIS, TRASH, ETC. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE. SPOILS MAY BE DISPOSED OF ON-SITE ONLY WITH PRIOR APPROVAL FROM THE ENGINEER & OWNER ONLY IN LOCATIONS APPROVED BY THE ENGINEER.
- AT SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIAL, FORM-WORK, TRASH, EQUIPMENT, OR ANY OTHER SUPERFLUOUS OR WASTE MATERIAL FROM THE SITE, INCLUDING EROSION CONTROL DEVICES (SEE EROSION CONTROL AND SOIL MANAGEMENT NOTES).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK INVOLVING FRANCHISE UTILITIES WITH UTILITY OWNERS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO AND THROUGHOUT CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORDS FOR THE OWNER USE. THE CONTRACTOR SHALL PROVIDE THE OWNER CLEAN AND ACCURATE FULL SIZE REPRODUCIBLE RECORD DRAWINGS WHICH CLEARLY DESCRIBE ALL CONSTRUCTION AND ANY DEVIATIONS FROM THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS, APPROVED BY THE CITY AND ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING, QUALITY CONTROL, AND MATERIALS TESTING.
- ALL EFFORTS SHALL BE MADE TO AVOID DAMAGE TO EXISTING TREES THAT ARE TO REMAIN. TREES SHALL BE TRIMMED AND PAINTED ONLY IF NECESSARY FOR THE SAFE MANEUVERING OF CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL REQUEST APPROVAL FROM THE OWNER FOR REMOVAL OF ANY TREES. WHEN EXCAVATING AROUND A TREE, THE ROOTS SHALL BE CLEAN CUT PRIOR TO ANY EXCAVATION WORK. DO NOT SMAG AND TEAR TREE ROOTS.
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS AND SUBMITTALS REQUIRED TO BE SUBMITTED BY THE CONTRACT SPECIFICATIONS. ANY WORK PERFORMED OR MATERIALS USED THAT ARE REQUIRED TO BE SUBMITTED BUT HAVE NOT BEEN REVIEWED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE SHALL NOT BE PAID FOR OR SHALL BE PAID FOR AT A REDUCED RATE. ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE PROOFREAD AND REVIEWED BY THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO SUBMITTAL TO THE ENGINEER. SUBCONTRACTOR / GENERAL CONTRACTOR SHALL CLEARLY INDICATE, MARK, HIGHLIGHT, AND PROPERLY CLARIFY PRODUCTS TO BE CONSIDERED FOR APPROVAL SUBMITTALS NOT PROOFREAD OR REVIEWED OR CLARIFIED PROPERLY SHALL BE RETURNED UNREVIEWED. CONTRACTOR SHALL RESUBMIT SHOP DRAWINGS AND ALLOW FOR SUITABLE REVIEW TIME. SUITABLE REVIEW TIME SHALL BE NO MORE TEN (10) WORKING DAYS.

SITE SUMMARY TABLE: FLOWER MOUND PUBLIC LIBRARY 3030 Broadmoor Lane

LOT INFORMATION:

EXISTING LOT:	239,580 sq.ft (5.50ac) Approx.
IMPERVIOUS AREA:	79,321 sq.ft (33.1%) Approx.
PERVIOUS AREA:	160,259 sq.ft (66.9%) Approx.

ZONING: Planned Development District No. 28 (PD-28) for RETAIL 2 (R-2)

PARKING SUMMARY: (sec. 82-74)

Requirement - 10 plus 1 space per 500 sq.ft

	Required	Provided
Site Existing:	60	114 (5 are Accessible spaces {1 VAN SP})
Site Addition:	33	36
Alterante #1	—	11
Existing Spaces Removed:	—	16

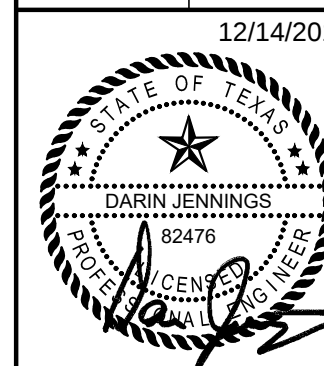
Total Parking: 93 145 (7 are Accessible spaces {3 VAN SP})

BUILDING INFORMATION:

Building Height:	- 1 Story Tall -
Existing Building Area:	24,999 sq.ft (0.57ac) Approx.
Proposed North Addition:	12,085 sq.ft (0.28ac) Approx.
Proposed South Addition:	4,126 sq.ft (0.09ac) Approx.
After Construction Total:	41,160 sq.ft (0.94ac) Approx.

Future Park Addition - Impervious Pavement: 8,332 sq.ft (0.19ac) Approx.
(INCLUDES ALL PROPOSED PAVEMENT AND ENTRANCE WEST OF PROPERTY R.O.W.)

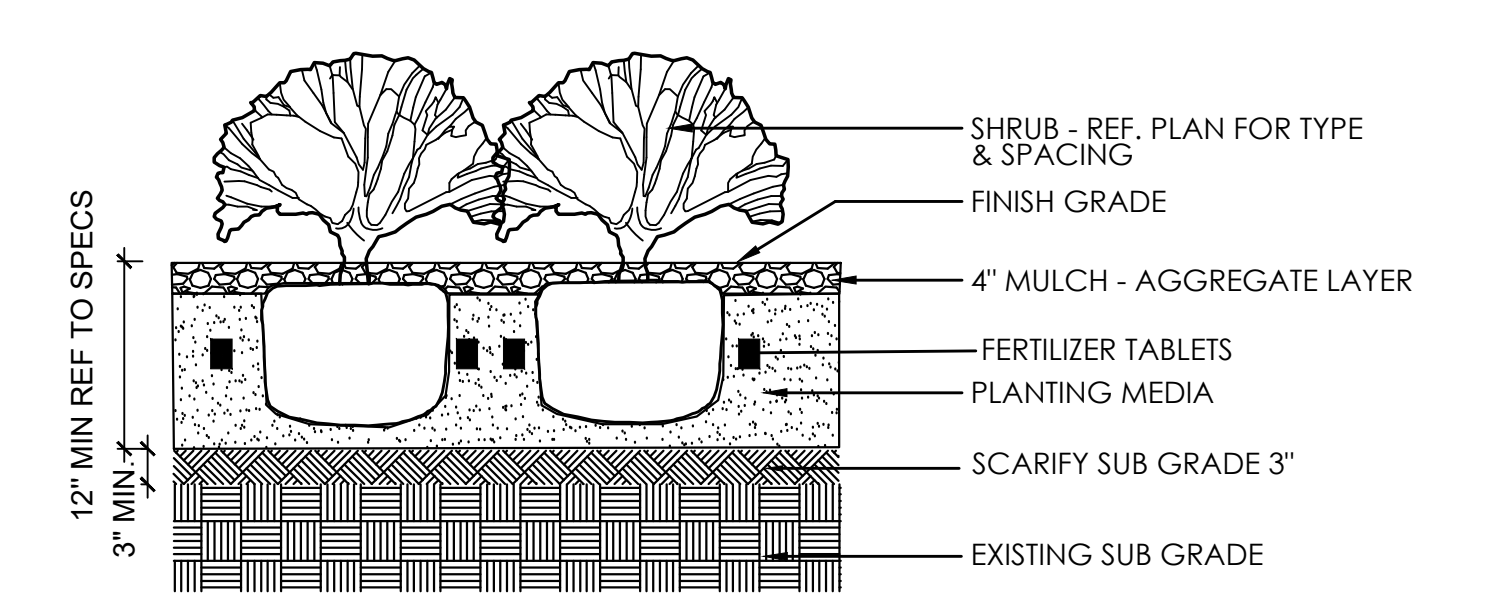
KOMATSU
ARCHITECTURE



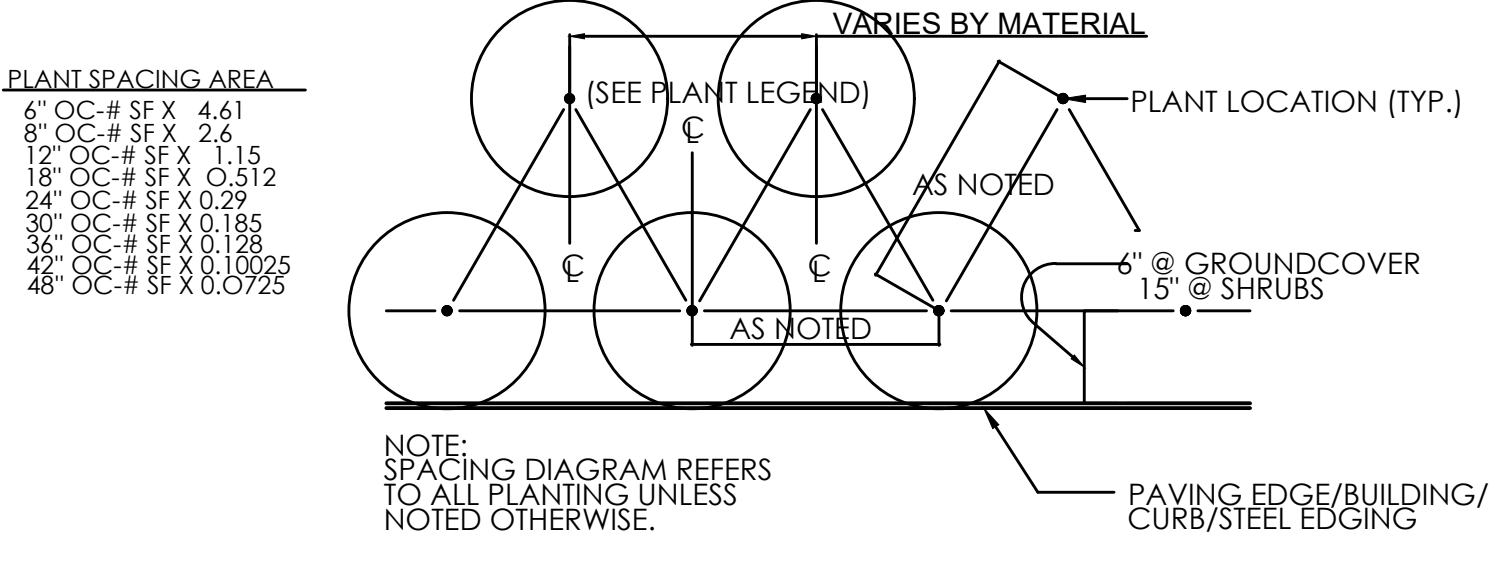
FLOWER MOUND PUBLIC LIBRARY ADDITION
3030 BROADMOOR LANE
FLOWER MOUND, TEXAS 75022

SITE PLAN

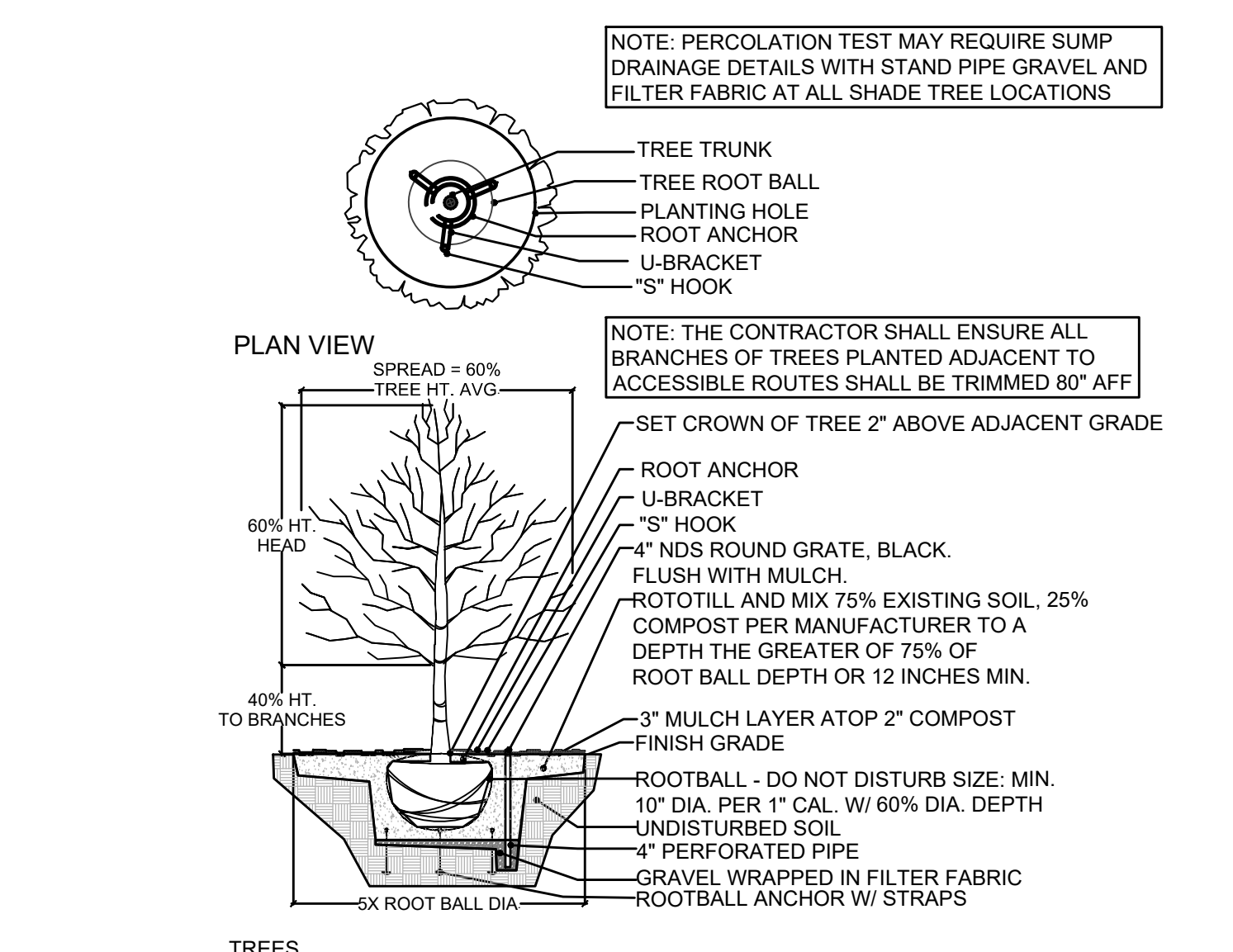
shaping the built environment	JQ	SHEET SIZE: 30" x 42"
JQ ENGINEERING, LLP 300 GLASS STREET 214.752.9088 PROJECT NO. 2108004	DALLAS, TEXAS 75201 TDR FORM # 1204	DATE: 12.14.2018 DRAWN BY: AB CHECKED BY: DJ
		C3.0



SHRUB PLANTING DETAIL (TYPICAL)
NOT TO SCALE



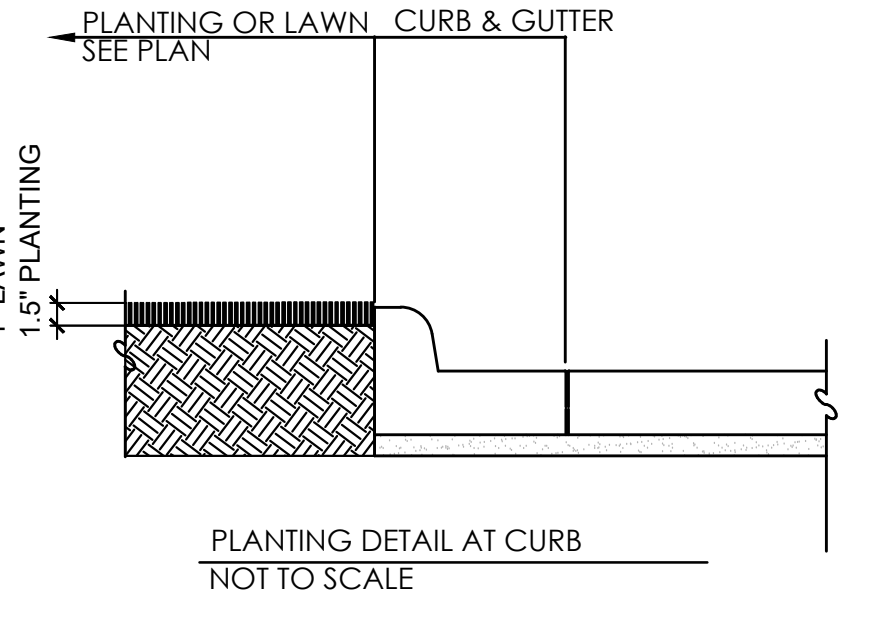
PLANT SPACING PLAN (TRIANGULAR)
NOT TO SCALE



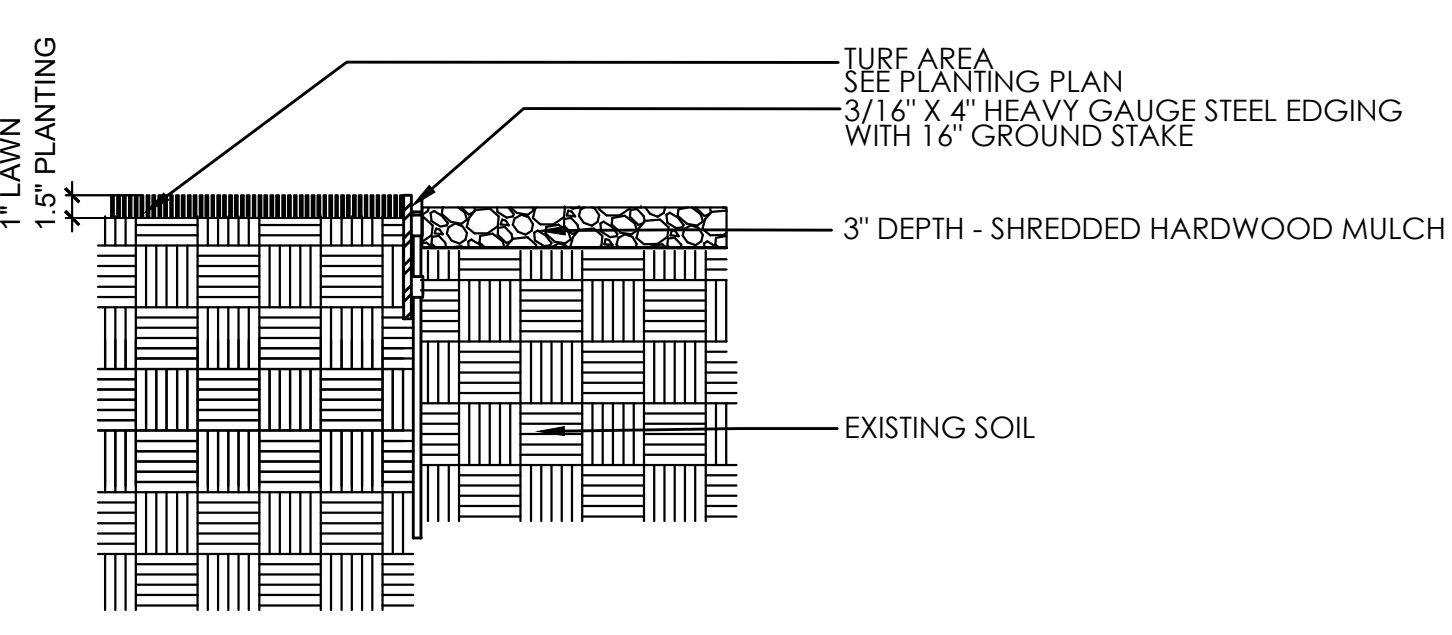
TREES
TYPICAL TREE PLANTING PIT - BED PREPARATION
CHECK PERCOLATION RATE. IF UNACCEPTABLE FOR GUARANTEE INSTALL 4\" DIA.
PERFORATED ADS TUBING WITH SOCK, WASHED AGGREGATE AND FILTER FABRIC
SEE STREET TREE PLANTING DETAIL - AREA BELOW TREE BALL
WRAP CANOPY STREET TREE TRUNKS W/ BURLAP, STARTING AT BASE
OF TRUNK EXTENDING UP TO BOTTOM BRANCHING.

TREE PLANTING DETAIL WITH ROOT ANCHOR SYSTEM
& DRAINAGE DETAIL (TYPICAL)

Street Yard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Min. 20% of street yard	11,250 s.f.	5625 s.f.	6,085 s.f.
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
10,000 to 100,000 s.f. = 1 per 2,500 s.f. plus 10 trees	11,250 s.f.	5 trees	5 existing trees provided
*Trees required to satisfy other provisions of landscaping requirements and lying within the street yard may be used to satisfy the requirements of other sections.			
Street Buffer Landscaping			
Required Buffer Width	Provided		
Broadmoor Lane	25 ft.	25 ft.	
Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 400 sf of buffer	Broadmoor Lane 447.5 lf	28 trees	28 existing trees provided
Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
90 s.f. per 12 spaces	132	990s.f.	1,464 s.f.
Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 per 10 parking spaces	132	13 trees	13 existing trees provided
All parking spaces are located within 50 ft. of a tree.			

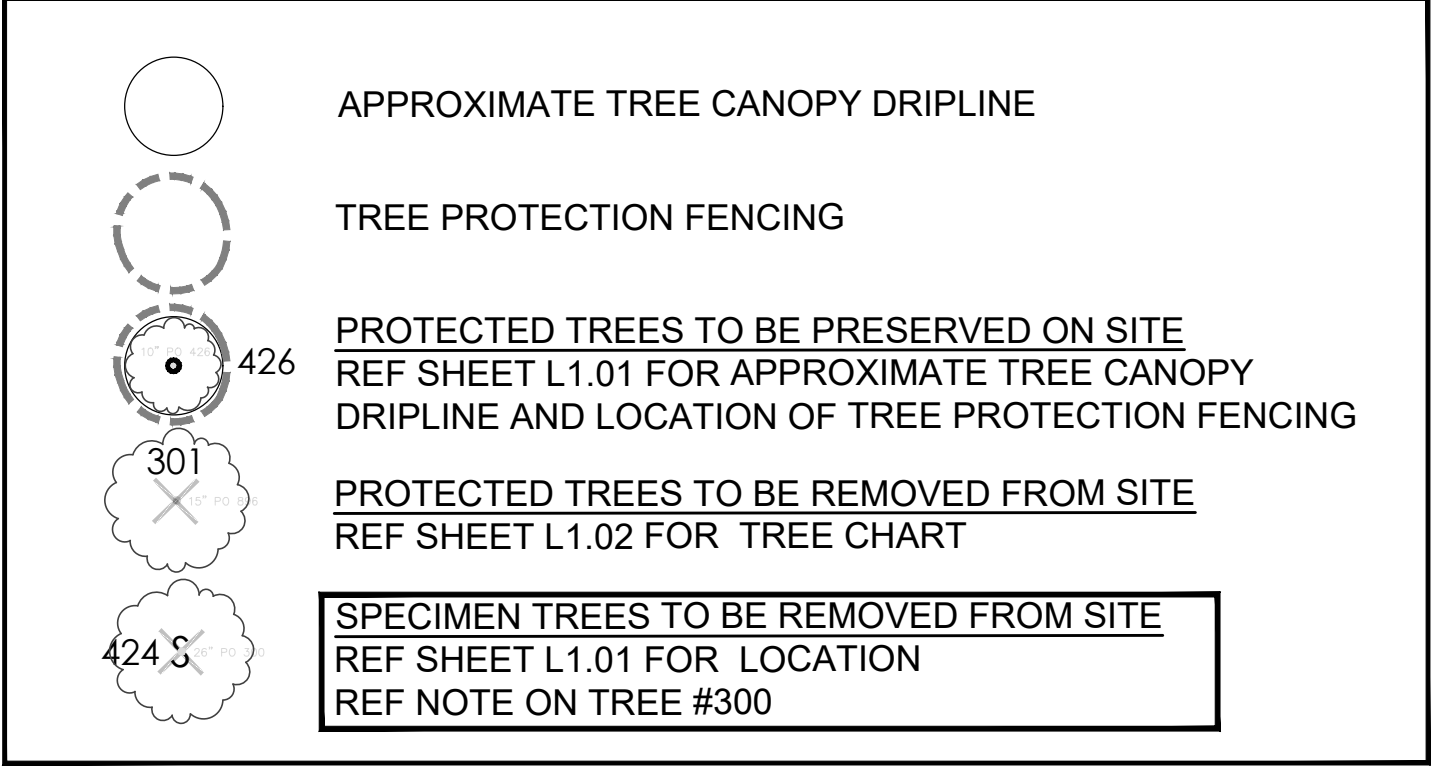


PLANTING DETAIL AT CURB
NOT TO SCALE



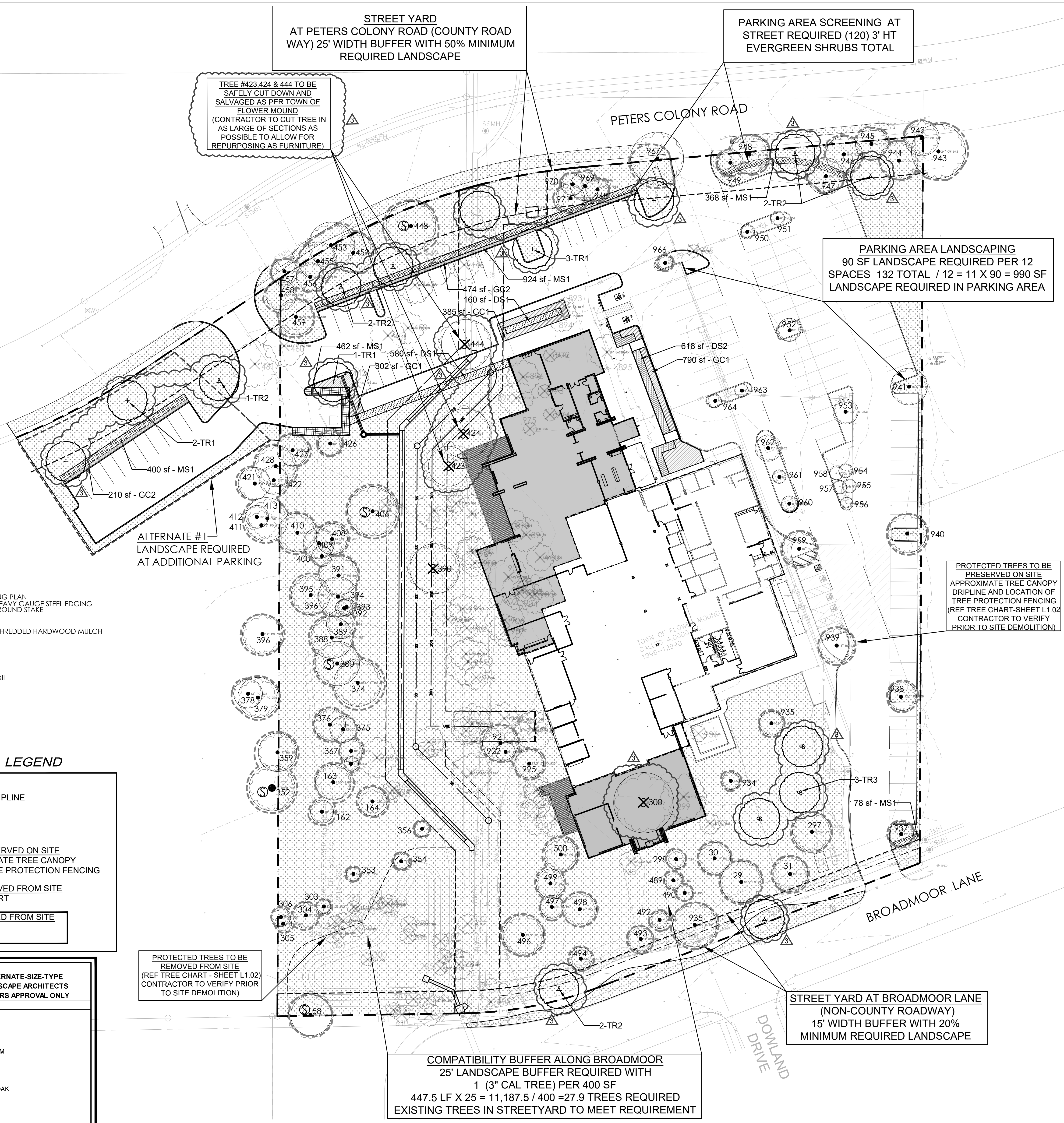
PLANTING BED SECTION (TYPICAL)
NOT TO SCALE

TREE PROTECTION - REMOVAL LEGEND

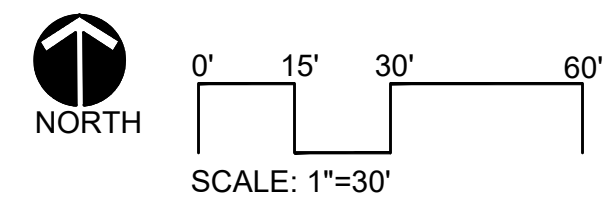
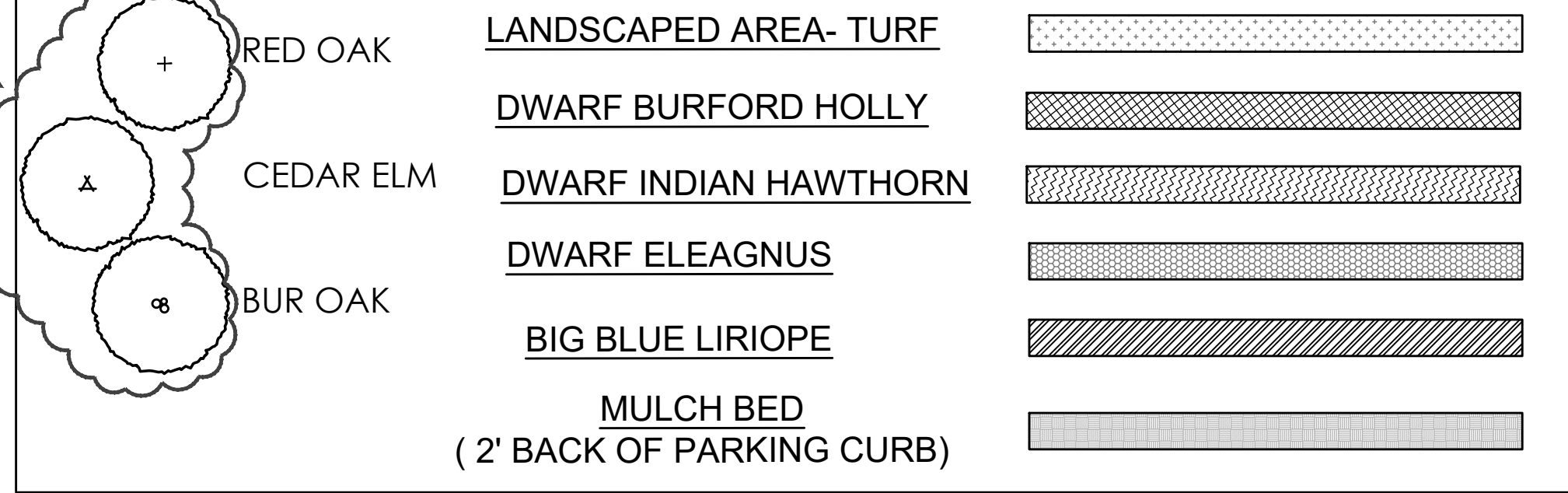


PLANT LIST

FLOWER MOUND LIBRARY 1/14/2019							
PLAN NAME	QUANTITY	SF	PLANT MATERIAL	BOTANICAL NAME	SIZE	SPACING	DESCRIPTION
Units	Square Feet	Common Name		MINIMUM	ON CENTER		
TR1	3		RED OAK	QUERCUS SHUMARDI	3.5\" CALIPER 65 GALLON 12\" HEIGHT 6\" SPREAD	AS PER PLAN	SINGLE TRUNK 5\" CLEAR TRUNK FULL-MATCHED
TR2	7		CEDAR ELM	ULMUS CRASSIFOLIA	3\" CALIPER 65 GALLON 12\" HEIGHT 6\" SPREAD	AS PER PLAN	SINGLE TRUNK 5\" CLEAR TRUNK FULL-MATCHED
TR3	3		BUR OAK	QUERCUS VIRGINIANA	3\" CALIPER 65 GALLON 12\" HEIGHT 6\" SPREAD	AS PER PLAN	SINGLE TRUNK 5\" CLEAR TRUNK FULL-MATCHED
MS1	413	2,232	DWARF BURFORD HOLLY	ILEX CORNUTA \"DWARF BURFORD\"	5 GALLON 30\" HEIGHT 24\" SPREAD	30\" OC (.185)	FULL TO BASE FULLY ROOTED
DS1	215	740	DWARF INDIAN HAWTHORN	RHAPHIOLEPIS INDICA \"PINKLE\"	5 GALLON 20\" HEIGHT 20\" SPREAD	24\" OC (.29)	FULL TO BASE FULLY ROOTED
DS2	180	618	DWARF YAUPOH HOLLY	ILEX VOMITORIA \"STOKES\"	5 GALLON 20\" HEIGHT 20\" SPREAD	24\" OC (.29)	FULL TO BASE FULLY ROOTED
GC1	766	1,495	BIG BLUE LIRIOPE	LIRIOPE MUSCARI \"BIG BLUE\"	1 GALLON 20\" HEIGHT 20\" SPREAD	18\" OC (.512)	FULL TO BASE FULLY ROOTED
GC2	288	684	HARDWOOD MULCH				AT 2' BACK OF PARKING CURB
TURF		117,066	SOLID SOD TURF LIN FT STEEL EDGER	BERMUDA SOD - CYNODON DACTYLON * CONTRACTOR TO VERIFY QUANTITY BROWN POWDER COATED 14 GAUGE COLMET STEEL EDGER TO SEPARATE ALL BEDS FROM GRASS AREAS SEPARATE ALL BEDS FROM GRASS AREAS-CONTRACTOR TO CALCULATE			ALT:SQ FT BUFFALO GRASS



PLANTING LEGEND



CDG
LANDSCAPE ARCHITECTS & PLANNERS
CRAIG DESIGN GROUP INC.
Environmental Planning
325 N. St Paul #1100
Dallas, Texas 75201
972.463.4251
www.cdglnd.com

Revised Dumpster Area		Revised Tree Symbols and Salvaged tree note		Description		Revisions	
No.	Date	No.	Date	Description		Revisions	
2	1-21-19	3	2-28-19				

ISSUE FOR CONSTRUCTION

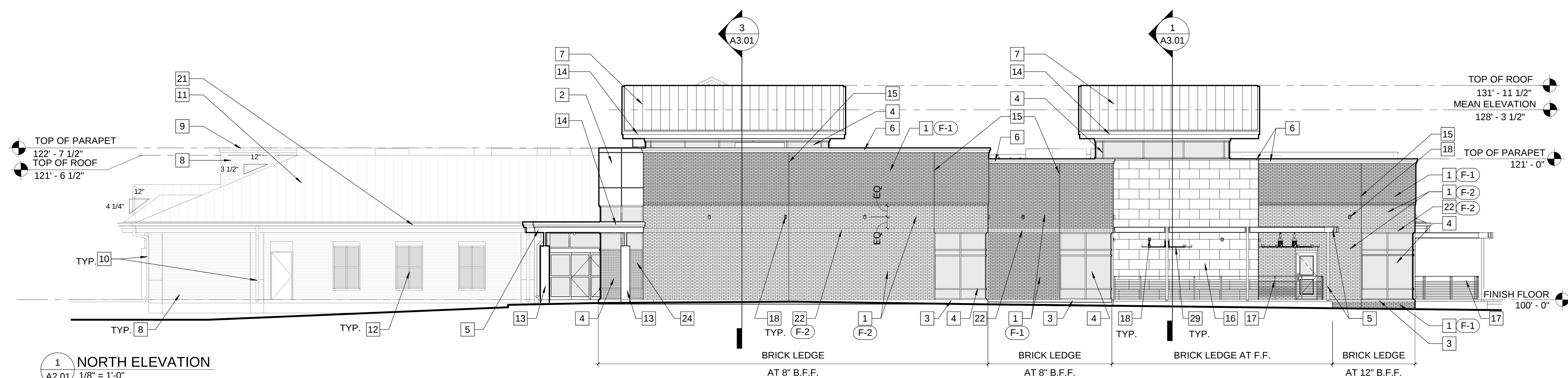
FLOWER MOUND PUBLIC LIBRARY
ADDITION
3030 BROADMOOR LANE
FLOWER MOUND, TEXAS 75022

PLANTING PLAN

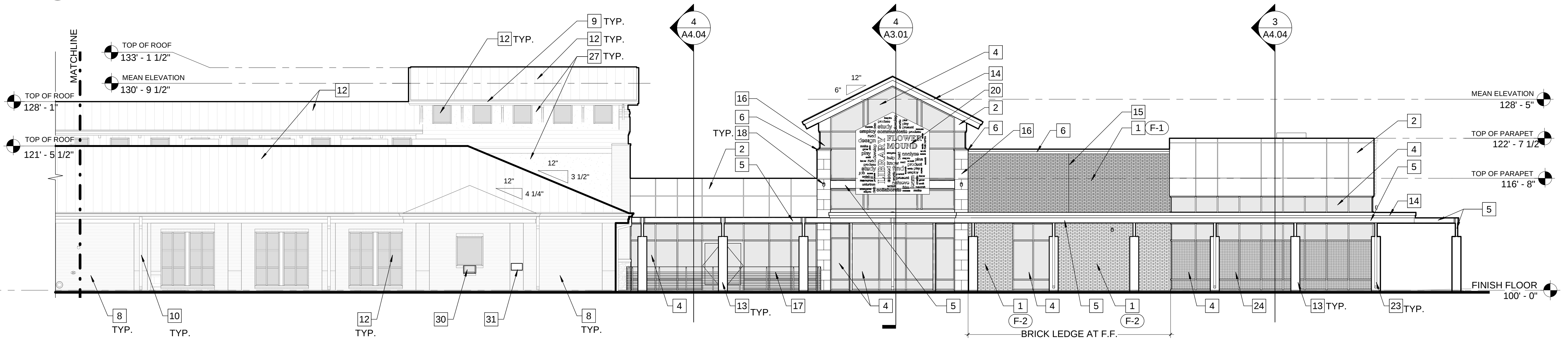
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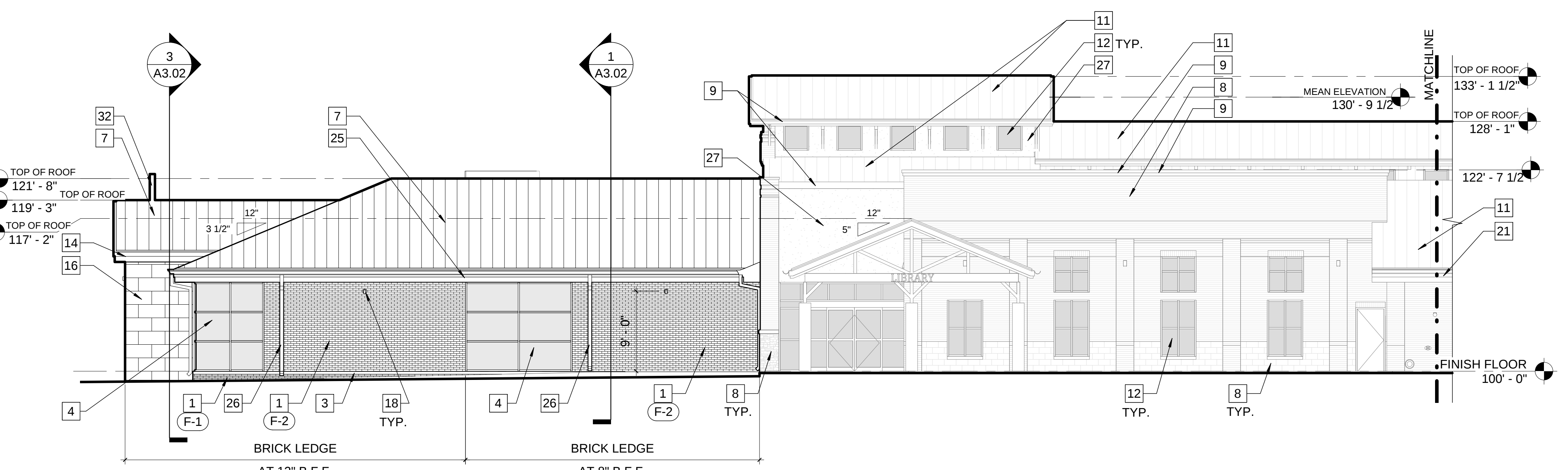
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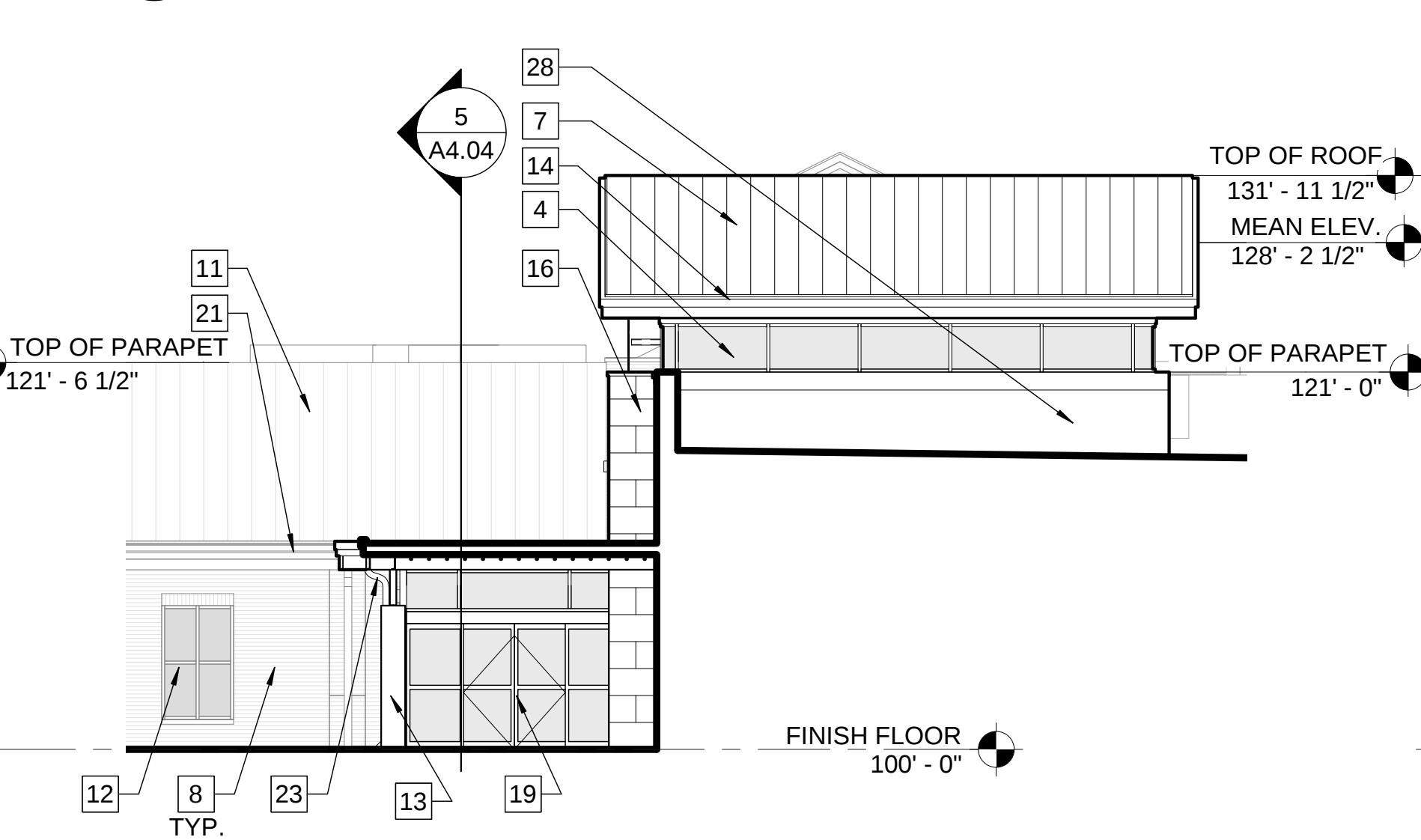
1 NORTH ELEVATION
A2.01 1/8" = 1'-0"



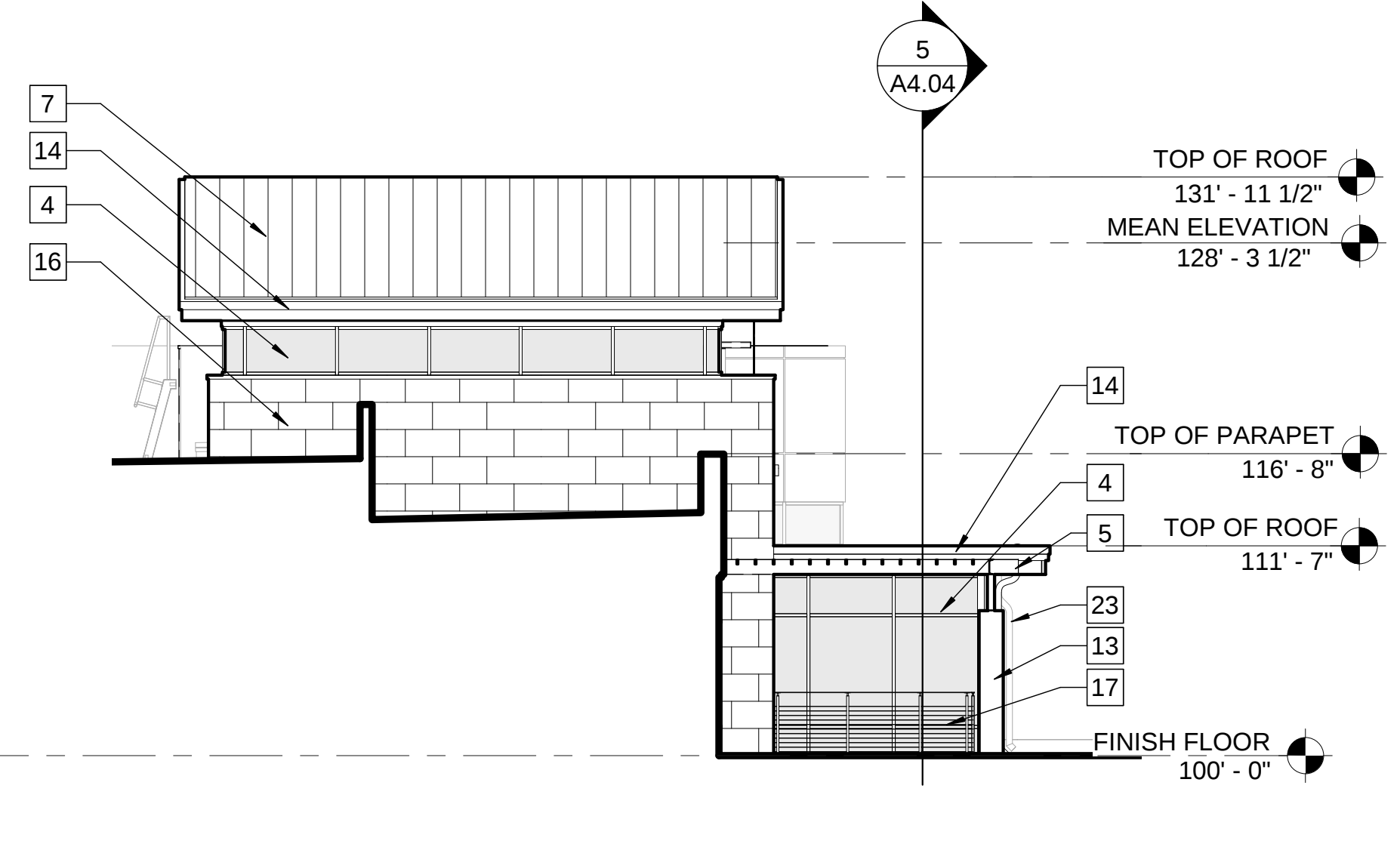
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A2.01 1/8" = 1'-0"



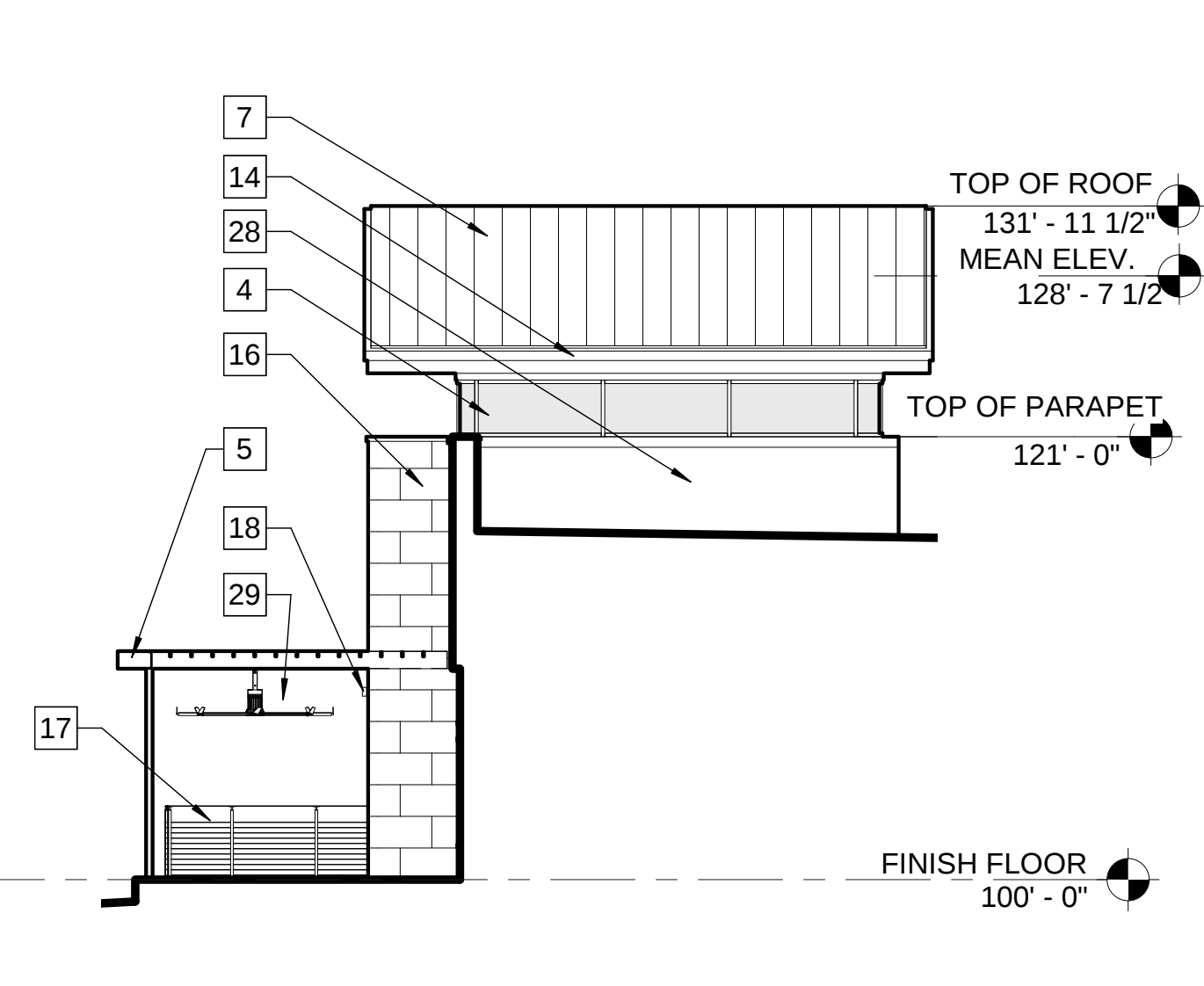
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A2.01 1/8" = 1'-0"



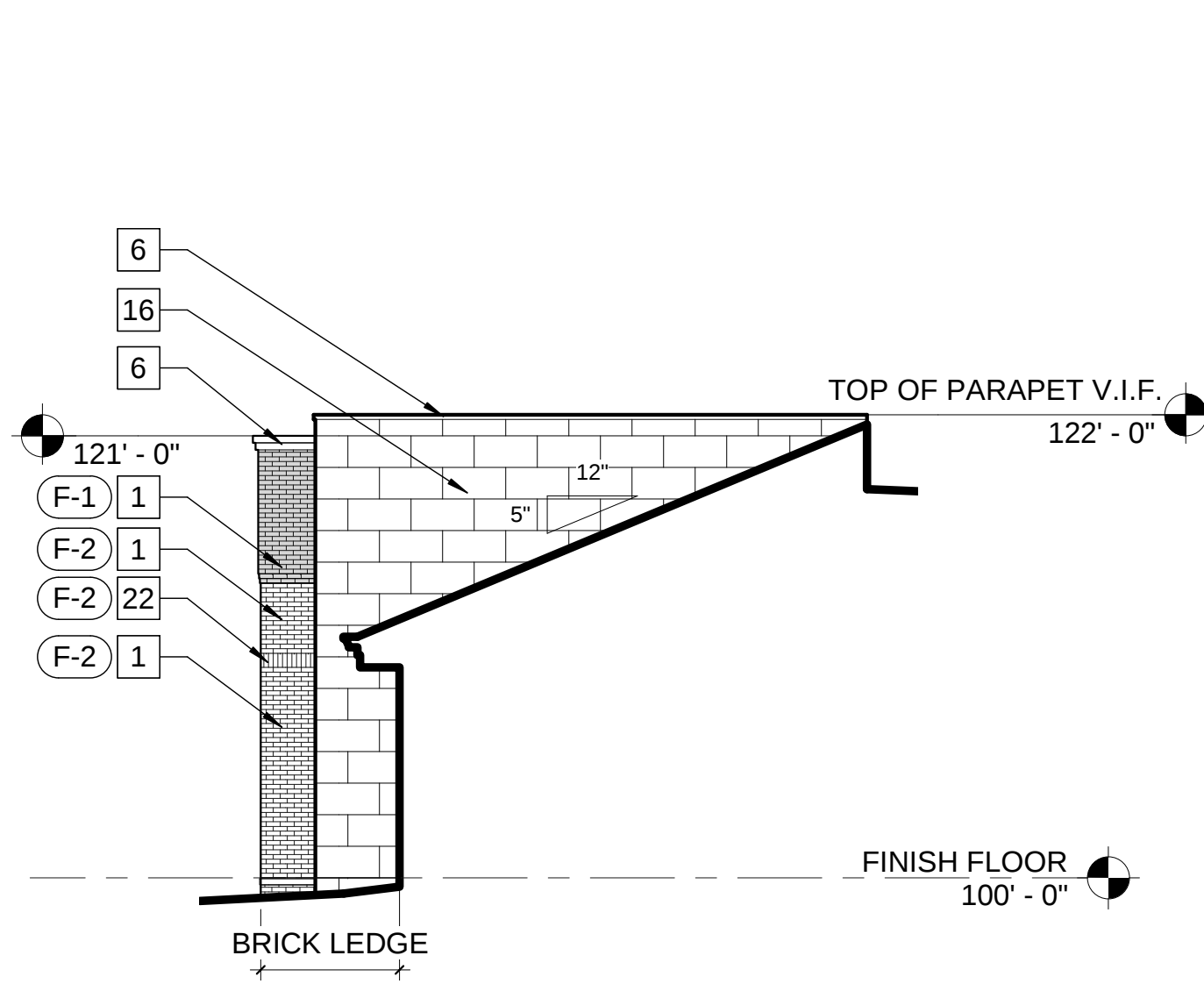
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A2.01 1/8" = 1'-0"



5 PARTIAL SOUTH ELEVATION-A
A2.01 1/8" = 1'-0"



6 PARTIAL SOUTH ELEVATION-A1
A2.01 1/8" = 1'-0"



7 PART. SOUTH ELEVATION -C
A2.01 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

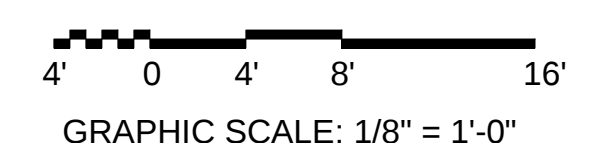
- (F-1) MODULAR FACE BRICK - MATCH EXISTING; ST. JOE 'OLD ORLEANS'
- (F-2) MODULAR FACE BRICK - MATCH EXISTING; ST. JOE 'DARK RANGE'
- (F-3) LEUDERS LIMESTONE VENEER NOM. 36"W X 18"H
- (F-4) CAST STONE; MATCH EXISTING CAST STONE COLOR AND TEXTURE
- (F-5) ANODIZED ALUMINUM; MATCH EXISTING; CLEAR
- (F-6) COATED METAL; COLOR; MATCH BENJAMIN MOORE 1477
- (F-7) PRE-FINISHED METAL (ROOF AND FASCIA) - MBCI: SIGNATURE 'SLATE GRAY'
- (F-8) PRE-FINISHED METAL (SOFFIT) - MBCI: SIGNATURE 'LIGHT STONE'
- (F-8) PERFORATED ALUMINUM WITH POWDER COAT - QUALITY POWDER COATING COLOR DS707U RUST

NOTES BY NUMBER

- MODULAR FACE BRICK VENEER (F-1) (F-2)
- ALUMINUM COMPOSITE PANEL (F-5)
- CAST STONE MASONRY (F-4)
- ALUMINUM STOREFRONT SYSTEM, REF. STOREFRONT TYPES (F-5)
- EXPOSED STEEL FRAMING, COAT (F-6)
- PREFINISHED METAL FASCIA AND COPING (F-7)
- PREFINISHED STANDING SEAM METAL ROOF, MATCH EXISTING (F-7)
- EXISTING MASONRY VENEER, CLEAN, REPOINT IF NEEDED
- EXISTING METAL FASCIA, CLEAN AND REPAIR IF NEEDED
- EXISTING DOWNSPOUT, CLEAN AND REPAIR IF NEEDED
- EXISTING STANDING SEAM METAL ROOF, CLEAN
- EXISTING ALUMINUM STOREFRONT, CLEAN AND SEAL IF NEEDED
- RIENFORCED CONCRETE COLUMN, MATCH EXISTING FINISH REF. STRUCTURAL
- PREFINISHED METAL FASCIA (F-7)
- BRICK EXPANSION JOINT, SEALANT TO MATCH GROUT COLOR
- 18 X 36 SMOOTH LIMESTONE VENEER (F-3)
- STAINLESS STEEL CABLE RAILING
- EXTERIOR WALL LIGHT FIXTURE
- DOUBLE AUTOMATIC GLASS SLIDING DOORS, REF. DOOR SCHEDULE (F-5)
- PERFORATED ALUMINUM WITH POWDERED COAT (F-8)
- EXISTING METAL FASCIA AND GUTTER, CLEAN AND REPAIR IF NEEDED
- MODULAR FACE BRICK VENEER, SOLDIER COURSE
- PRE-FINISHED METAL ROUND DOWNSPOUT (F-7)
- SILK SCREEN CERAMIC FRIT, DOTS 40% COVERAGE, REFERENCE STOREFRONT TYPES
- PRE-FINISHED METAL FASCIA AND GUTTER (F-7)
- PREFINISHED METAL DOWNSPOUT (F-7)
- EXISTING CEMENT STUCCO, CLEAN AND REPAIR IF NEEDED
- ROOFING MEMBRANE
- CEILING FANS
- NEW TRANSACTION DRAWER
- NEW BOOK DROP
- STEEL PIPE, FALSE FLUE, PAINT TO MATCH ROOF FINISH, CAP WITH PREFINISHED METAL COPING (F-6)

GENERAL NOTES

- REFER TO SHEET G0.01 FOR SYMBOLS LEGEND AND LIST OF ABBREVIATIONS.
- NOTES BY SYMBOL ARE SHEET SPECIFIC.
- THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
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- ALL EXISTING STOREFRONTS TO REMAIN SHALL BE INSPECTED, CLEANED AND RE-SEALED IF NEEDED
- ALL EXISTING MASONRY TO REMAIN SHALL BE INSPECTED, CLEANED AND REPOINTED IF NEEDED. ALL CONTROL JOINTS SHALL BE INSPECTED AND RE-SEALED IF NEEDED.



Issued by

Date

REVISIONS

Description

No.

KOMATSU
ARCHITECTURE

CONTRACT SET

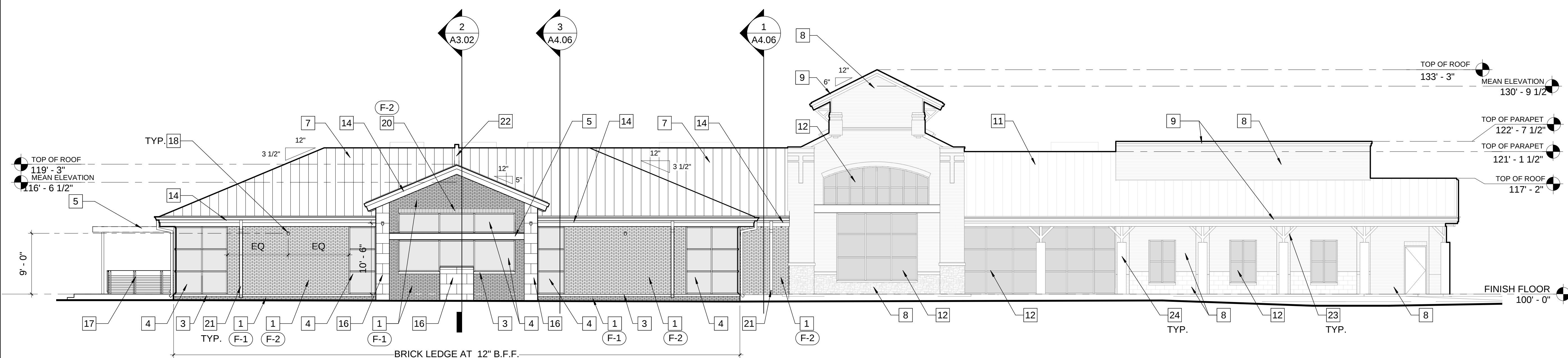
FLOWER MOUND PUBLIC LIBRARY ADDITION
3030 BROADMOOR LANE
FLOWER MOUND, TEXAS 75022
EXTERIOR ELEVATIONS

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DATE: 12.14.2018
DRAWN BY: Author
CHECKED BY: Check

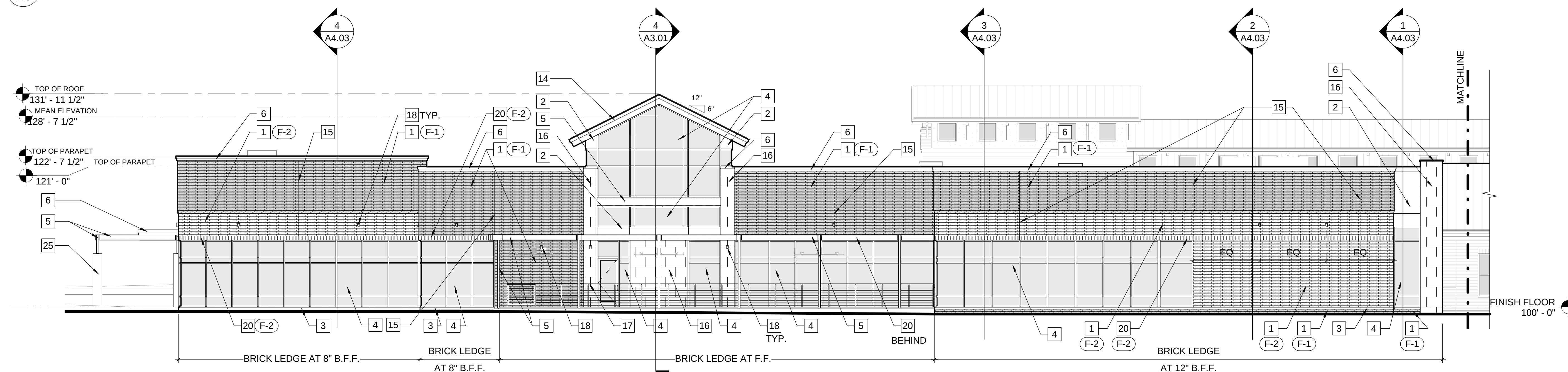
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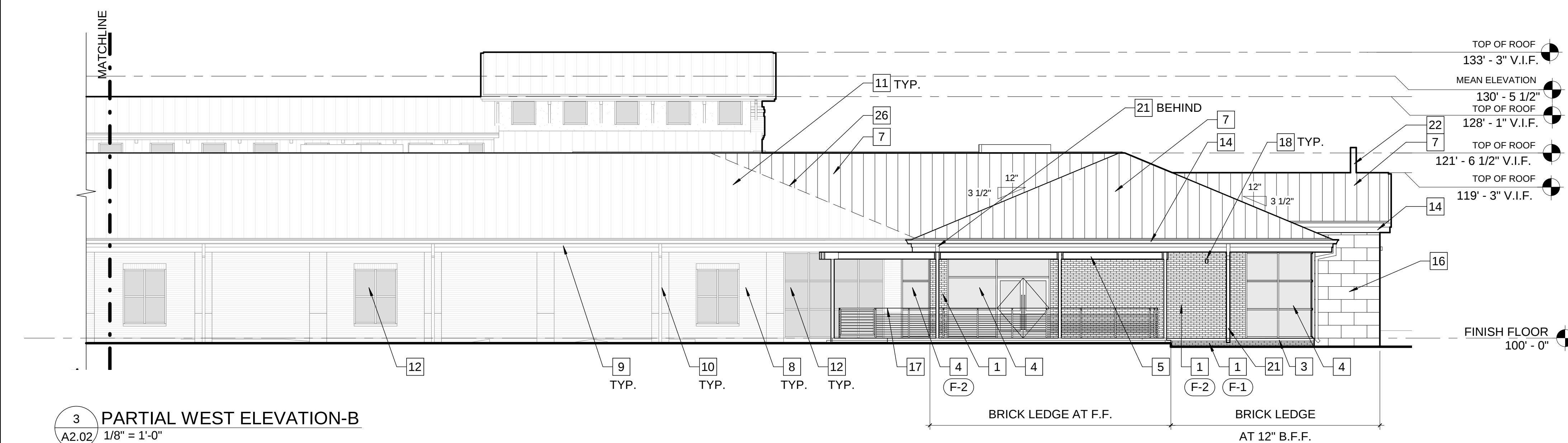
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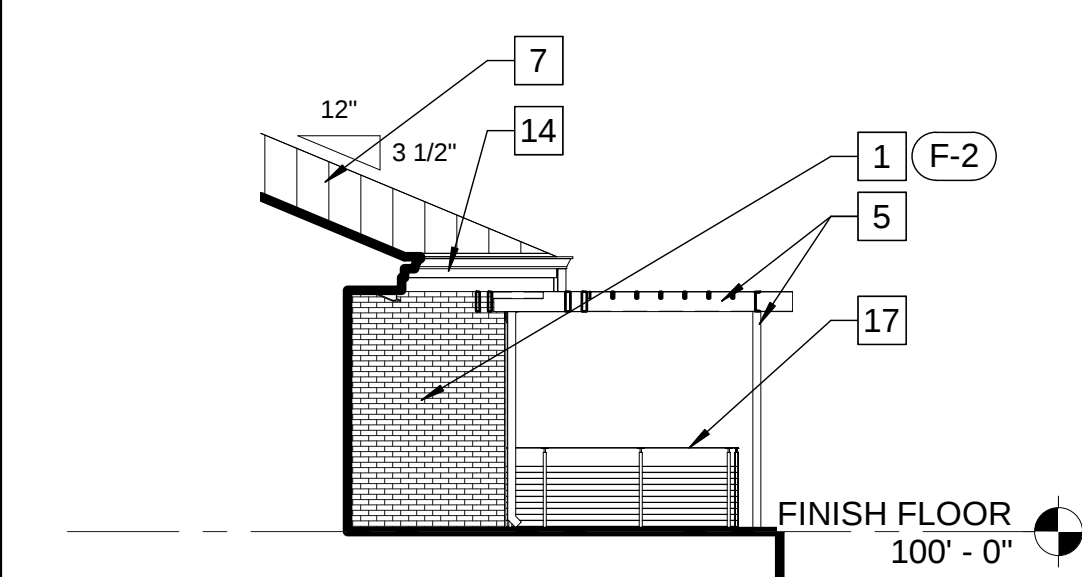
1 SOUTH ELEVATION
A2.02 1/8" = 1'-0"



2 PARTIAL WEST ELEVATION-A
A2.02 $1/8" = 1'-0"$



3 PARTIAL WEST ELEVATION-B
A2.02 $1/8" = 1'-0"$



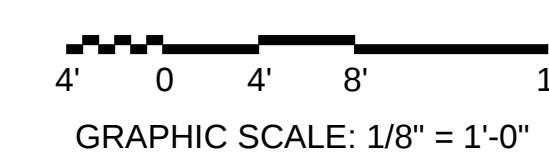
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A2.02 1/8" = 1'-0"

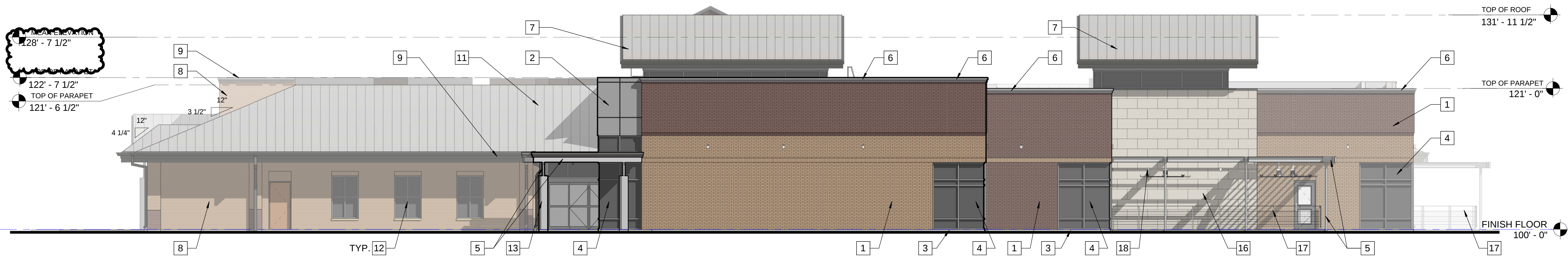
NOTES BY NUMBER

1. MODULAR FACE BRICK VENEER (F-1) (F-2)
2. ALUMINUM COMPOSITE PANEL (F-5)
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7. STANDING SEAM METAL ROOF, MATCH EXISTING (F-7)
8. EXISTING MASONRY VENEER, CLEAN. REPOINT IF NEEDED
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13. REINFORCED CONCRETE COLUMN, REF. STRUCTURAL
14. PREFINISHED METAL FASCIA (F-7)
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20. MODULAR FACE BRICK VENEER, SOLDIER COURSE
21. PREFINISHED METAL DOWNSPOUT (F-7)
22. STEEL PIPE, FLASH FLUE, COAT TO MATCH ROOF FINISH, CAP WITH PREFINISHED METAL COPING WITH DRIP EDGE (F-6)
23. EXISTING COATED STEEL
24. EXISTING CONCRETE COLUMN, CLEAN
25. REINFORCED CONCRETE COLUMN, MATCH EXISTING FINISH REF. STRUCTURAL
26. LINE OF NEW ROOF

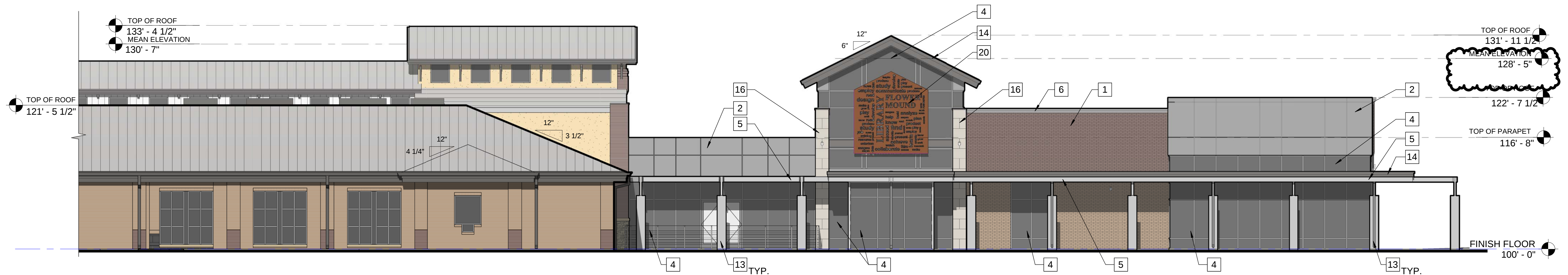
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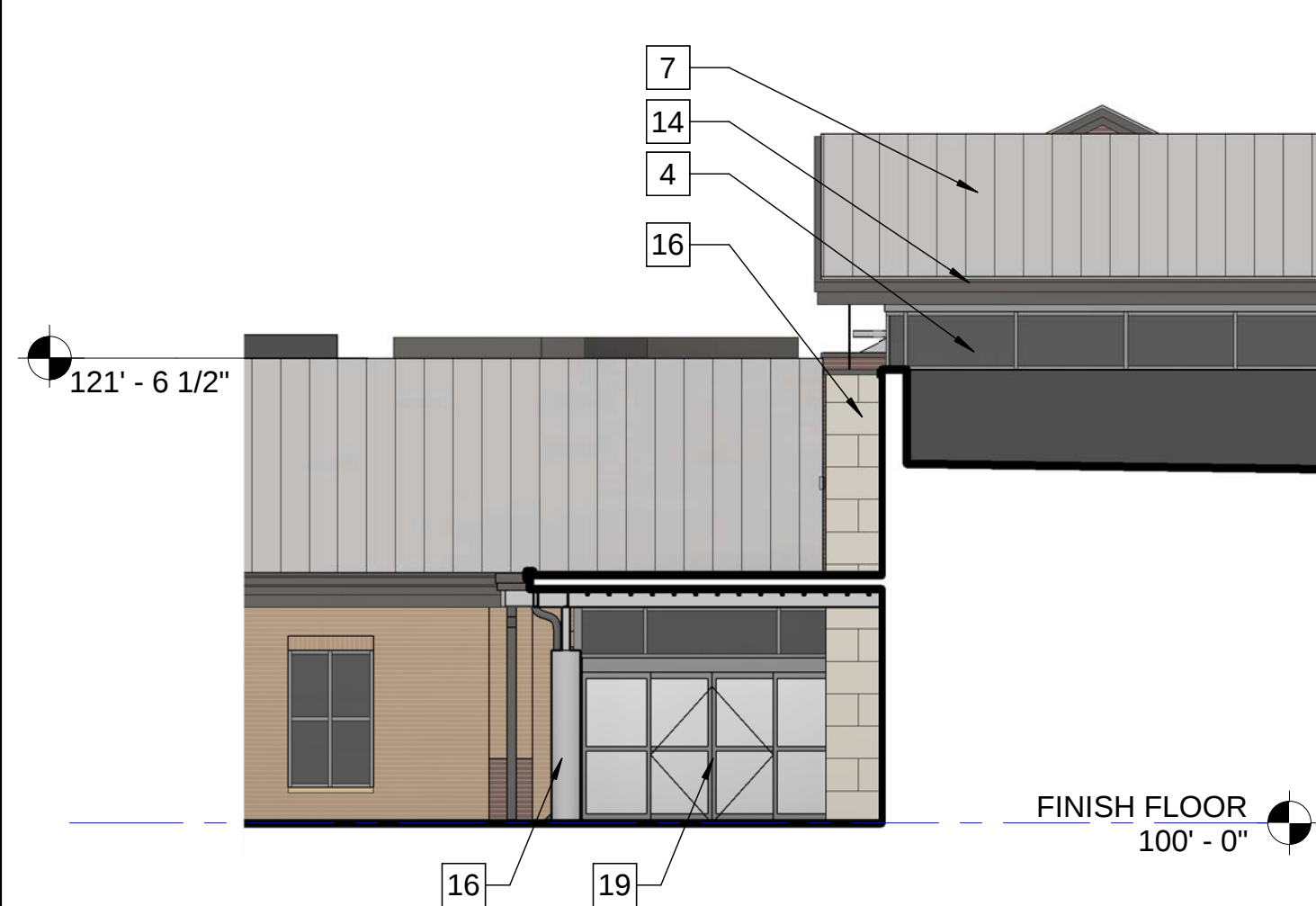
1 NORTH ELEVATION (COLORED)
A2.03 1/8" = 1'-0"



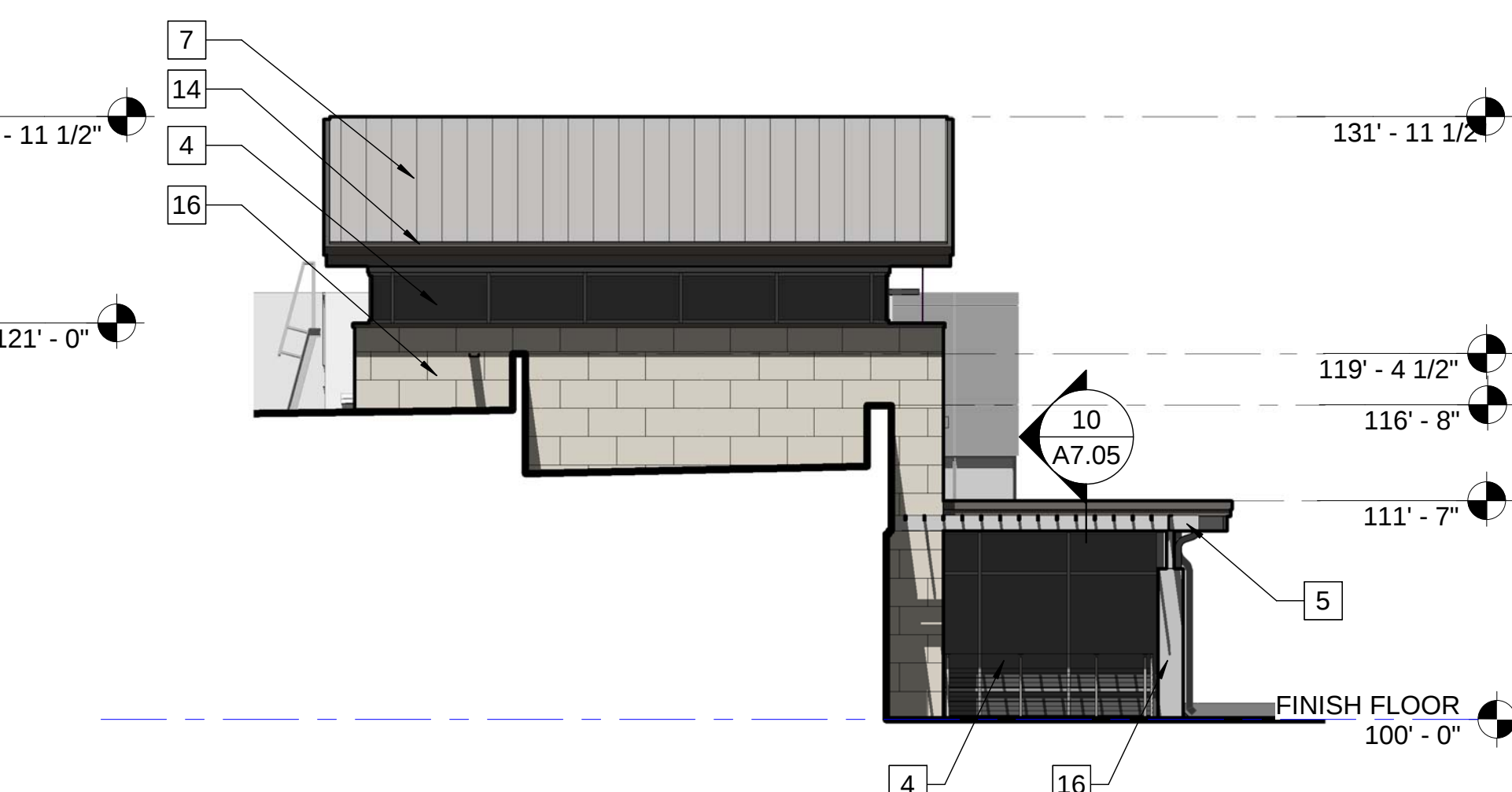
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A2.03 1/8" = 1'-0"



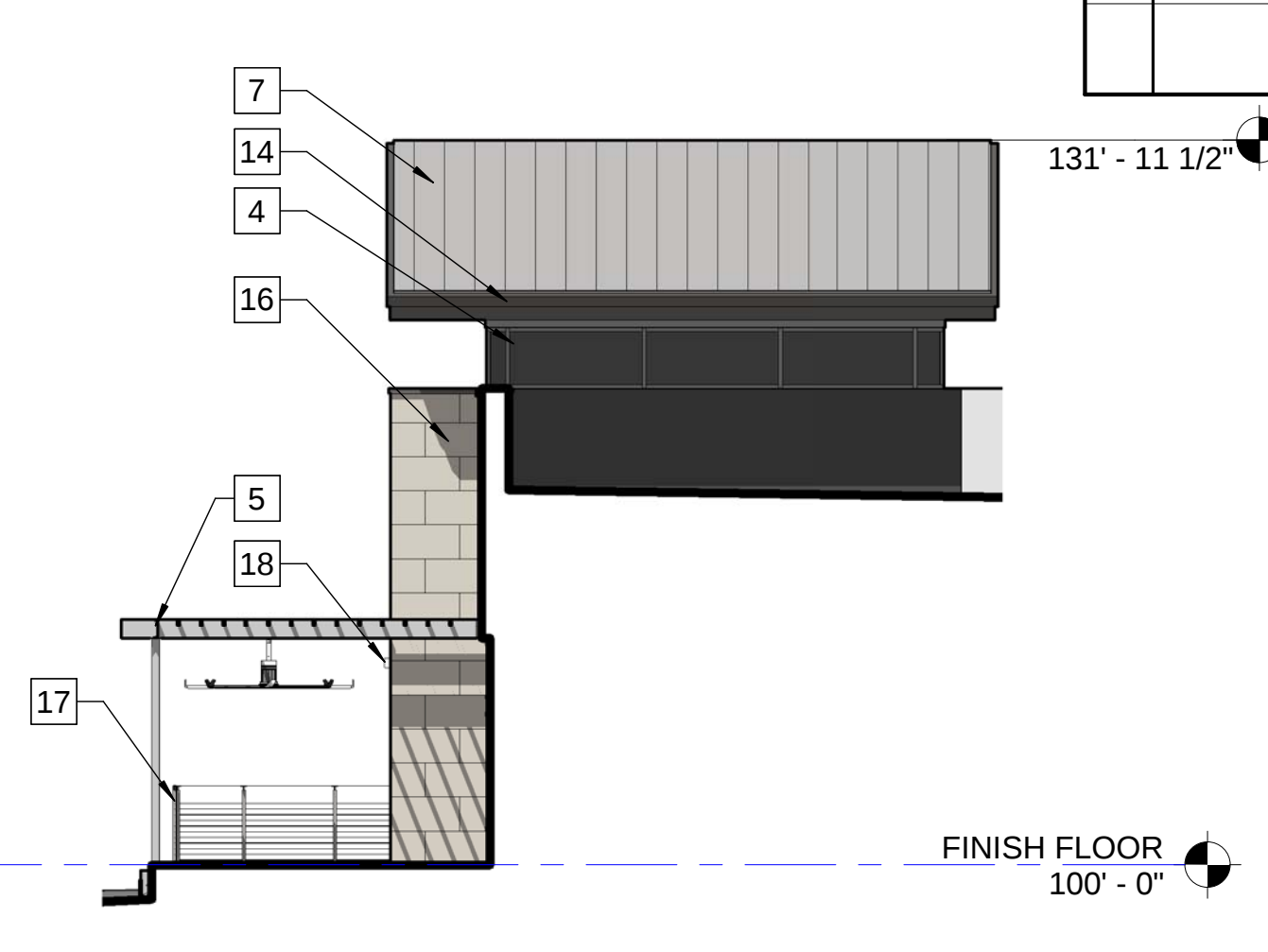
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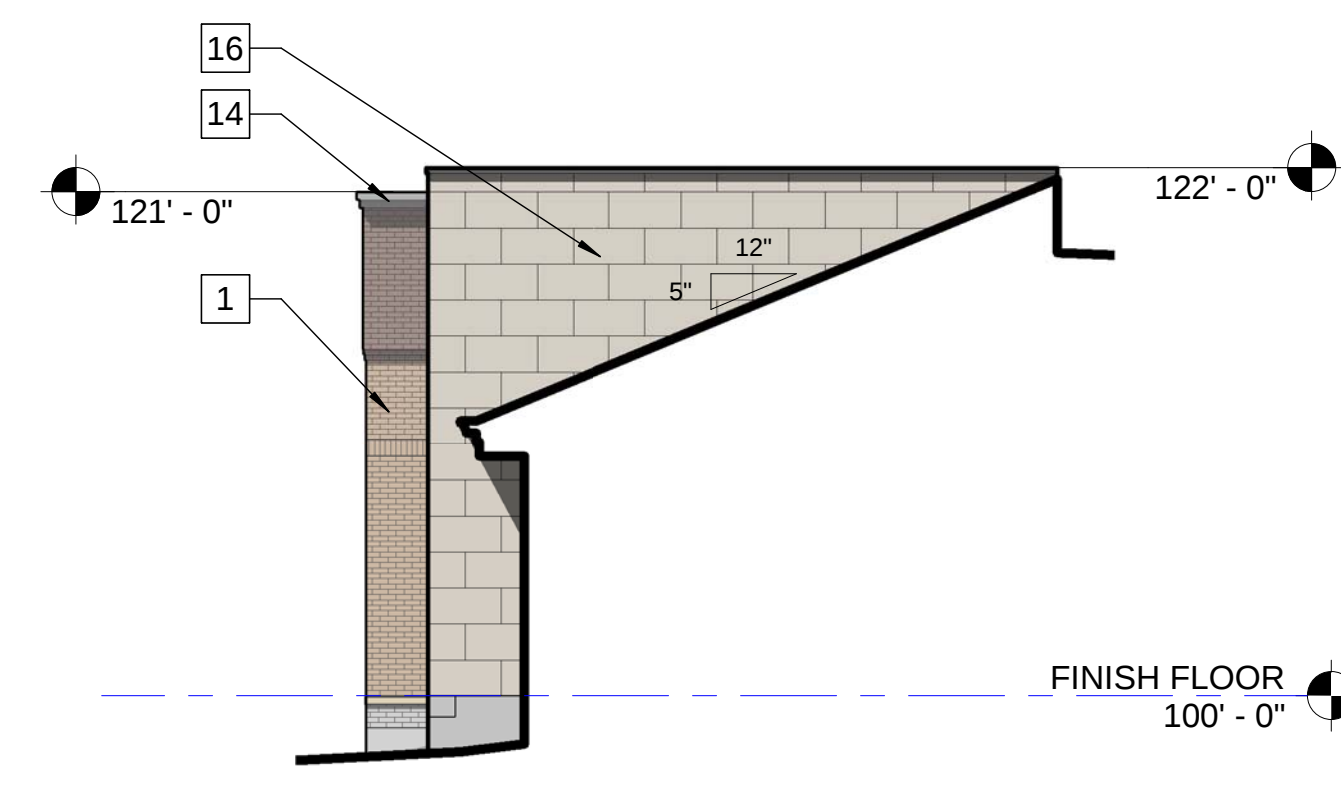
4 PARTIAL NORTH ELEVATION-A (COLORED)
A2.03 1/8" = 1'-0"



5 PARTIAL SOUTH ELEVATION-A (COLORED)
A2.03 1/8" = 1'-0"



6 PARTIAL NORTH ELEVATION-A1 (COLORED)
A2.03 1/8" = 1'-0"



7 PART. NORTH ELEVATION -C (COLORED)
A2.03 1/8" = 1'-0"

NOTES BY NUMBER

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- EXTERIOR WALL LIGHT FIXTURE
- DOUBLE AUTOMATIC GLASS SLIDING DOORS, REF. DOOR SCHEDULE (F-5)
- PERFORATED ALUMINUM WITH POWDERED COAT (F-8)
- EXISTING METAL FASCIA AND GUTTER, CLEAN AND REPAIR IF NEEDED
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- EXISTING CEMENT STUCCO, CLEAN AND REPAIR IF NEEDED
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- CEILING FANS
- NEW TRANSACTION DRAWER
- NEW BOOK DROP
- STEEL PIPE, FALSE FLUE, PAINT TO MATCH ROOF FINISH, CAP WITH PREFINISHED METAL COPING (F-6)

EXTERIOR FINISH LEGEND

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- (F-4) CAST STONE; MATCH EXISTING CAST STONE COLOR AND TEXTURE
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- (F-6) COATED METAL; COLOR; MATCH BENJAMIN MOORE 1477
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- (F-8) PERFORATED ALUMINUM WITH POWDER COAT - QUALITY POWDER COATING COLOR DS707U RUST

-	-	NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	4,287 s.f.	3,632 s.f.	5,705 s.f.	5,830 s.f.
2.	FACADE S.F. (exclusive of doors and windows)	3,422 s.f.	2,295 s.f.	3,721 s.f.	3,722 s.f.
3.	DOORS AND WINDOWS S.F.	865 s.f.	1,337 s.f.	1,984 s.f.	2,108 s.f.
4.	PRIMARY MASONRY TOTALS (Min. 80%)	3,251 s.f. and 95% of 2	2,163 s.f. and 94% of 2	3,166 s.f. and 85% of 2	3,651 s.f. and 98% of 2
	BRICK	2,711 s.f. and 79% of 2	1,623 s.f. and 71% of 2	2,576 s.f. and 69% of 2	3,128 s.f. and 84% of 2
	STONE	540 s.f. and 16% of 2	540 s.f. and 24% of 2	227 s.f. and 7% of 2	387 s.f. and 10% of 2
	STUCCO	0 s.f. and 0% of 2	0 s.f. and 0% of 2	363 s.f. and 9% of 2	136 s.f. and 4% of 2
5.	SECONDARY MASONRY TOTALS (Max. 20%)	171 s.f. and 5% of 2	132 s.f. and 5% of 2	555 s.f. and 15% of 2	71 s.f. and 2% of 2
	METAL	171 s.f. and 5% of 2	57 s.f. and 2% of 2	454 s.f. and 12% of 2	71 s.f. and 2% of 2
	CMU (BURNISHED)	0 s.f. and 0% of 2	75 s.f. and 3% of 2	101 s.f. and 3% of 2	0 s.f. and 0% of 2

GRAPHIC SCALE: 1/8" = 1'-0"

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ARCHITECTURE

CONTRACT SET



FLOWER MOUND PUBLIC LIBRARY ADDITION

3030 BROADMOOR LANE
FLOWER MOUND, TEXAS 75022

EXTERIOR ELEVATIONS COLORED

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DATE: 12.14.2018
DRAWN BY: Author
CHECKED BY: Check

A2.03

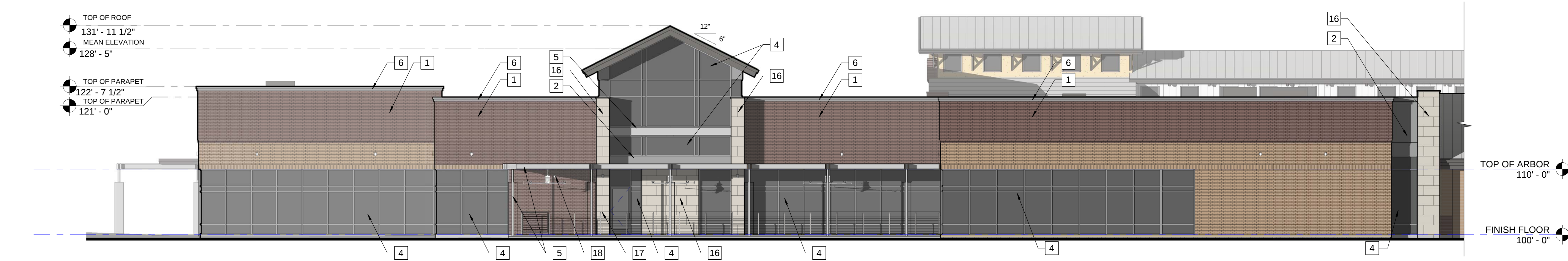
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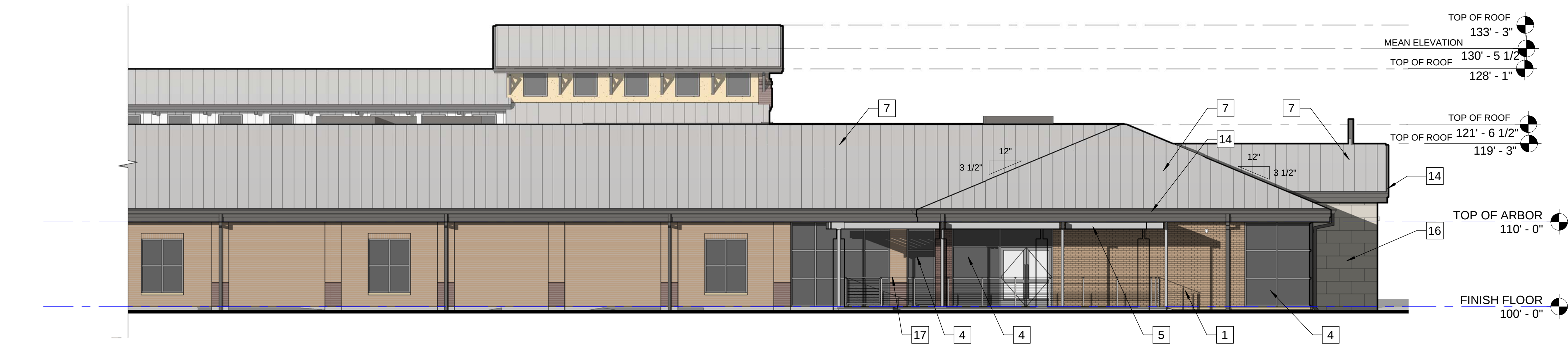
1. MODULAR FACE BRICK VENEER (F-1) (F-2)
2. ALUMINUM COMPOSITE PANEL (F-5)
3. CAST STONE MASONRY (F-4)
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18. EXTERIOR WALL LIGHT FIXTURE
19. DOUBLE AUTOMATIC GLASS SLIDING DOORS, REF. DOOR SCHEDULE
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24. EXISTING CONCRETE COLUMN, CLEAN
25. REINFORCED CONCRETE COLUMN, MATCH EXISTING FINISH REF. STRUCTURAL
26. LINE OF NEW ROOF



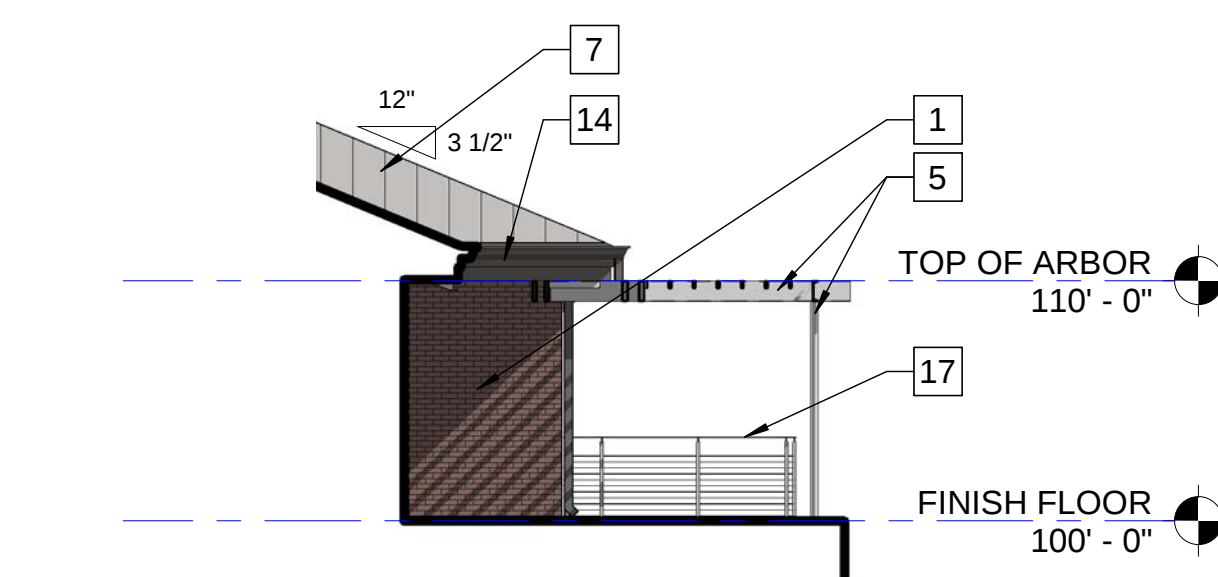
1 SOUTH ELEVATION (COLORED)
A2.04 1/8" = 1'-0"



2 PARTIAL WEST ELEVATION-A (COLORED)
A2.04 1/8" = 1'-0"

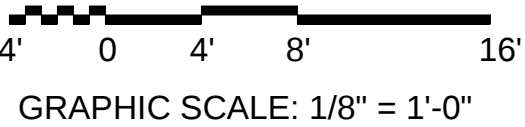


3 PARTIAL WEST ELEVATION-B (COLORED)
A2.04 1/8" = 1'-0"



4 PARTIAL NORTH ELEVATION-B (COLORED)
A2.04 1/8" = 1'-0"

-	-	NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	4,287 s.f.	3,632 s.f.	5,705 s.f.	5,830 s.f.
2.	FACADE S.F. (exclusive of doors and windows)	3,422 s.f.	2,295 s.f.	3,721 s.f.	3,722 s.f.
3.	DOORS AND WINDOWS S.F.	865 s.f.	1,337 s.f.	1,984 s.f.	2,108 s.f.
4.	PRIMARY MASONRY TOTALS (Min. 80%)	3,251 s.f. and 95% of 2	2,163 s.f. and 94% of 2	3,166 s.f. and 85% of 2	3,651 s.f. and 98% of 2
	BRICK	2,711 s.f. and 79% of 2	1,623 s.f. and 71% of 2	2,576 s.f. and 69% of 2	3,128 s.f. and 84% of 2
	STONE	540 s.f. and 16% of 2	540 s.f. and 24% of 2	227 s.f. and 7% of 2	387 s.f. and 10% of 2
	STUCCO	0 s.f. and 0% of 2	0 s.f. and 0% of 2	363 s.f. and 9% of 2	136 s.f. and 4% of 2
5.	SECONDARY MASONRY TOTALS (Max. 20%)	171 s.f. and 5% of 2	132 s.f. and 5% of 2	555 s.f. and 15% of 2	71 s.f. and 2% of 2
	METAL	171 s.f. and 5% of 2	57 s.f. and 2% of 2	454 s.f. and 12% of 2	71 s.f. and 2% of 2
	CMU (BURNISHED)	0 s.f. and 0% of 2	75 s.f. and 3% of 2	101 s.f. and 3% of 2	0 s.f. and 0% of 2



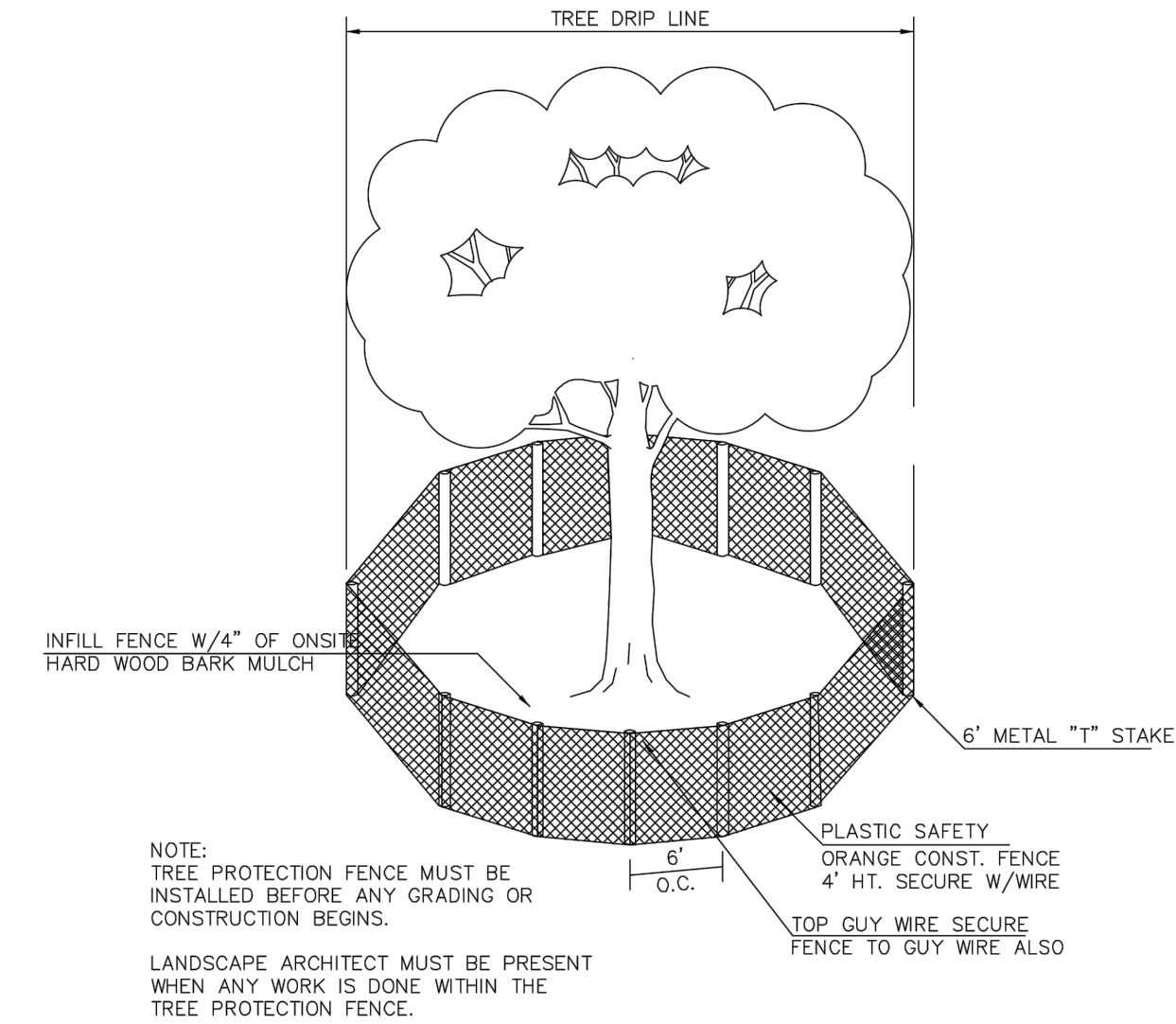
TREE PROTECTION - REMOVAL NOTES

- TREE PRUNING, REMOVAL AND PROTECTION MEASURES
- A. QUALITY ASSURANCE
- 1) Comply with applicable Federal, state, county and local regulations governing landscape work.
 - 2) employ only experienced personnel. Provide adequate supervision by qualified foreman.
- B. JOB CONDITIONS
- 1) Coordination: Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.
 - 2) In order to minimize conflict, secure from the Construction Manager copies of layout drawings showing the location of all underground utility lines and other structures
- C. PRODUCTS
- 1) MULCH: Double shredded hardwood mulch free of sticks, dirt and other debris and derived from the site clearing.
- D. DEFINITIONS
- 1) CRZ: Critical Root Zone: The area of undisturbed natural soil around a tree defined by a concentric circle with a radius in feet equal to the number of inches of trunk diameter.
 - 2) TPF: Tree Protection Fence: The orange safety barrier netting that shall extend around the entire circumference of the tree at the CRZ or as shown on approved plans.
- E. PRE-CONSTRUCTION TREE PRUNING
- 1) Personnel Qualifications: All pruning shall be performed under the supervision of an international Society of Arboriculture (ISA) Certified Arborist.
 - 2) All trees within the project area shall be pruned to:
 - (i) Clear the crown of diseased, crossing, weak and dead wood to a minimum of 1 1/2 inches in diameter
 - (ii) Provide 14 feet of vertical clearance over streets and 8 feet over sidewalks.
 - (iii) Remove stubs, cutting outside the woundwood tissue that has formed around the branch.
 - (iv) Reduce end weight on heavy, horizontal branches by selectively removing small diameter branches, no greater than 2 to 3 inches, near the ends of the scaffolds.
 - 3) Pruning cuts shall be made in accordance with ANSI 300 Pruning Standard and work shall be performed in accordance with ANSI Z133.1 Safety Standards. Pruning shall be in accordance with ISA's Best Management Practices: Tree Pruning
 - 4) No more than 20 percent of live foliage shall be removed from any tree.
 - 5) Brush shall be chipped and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 4 inches, leaving the trunk clear of mulch.
- F. TREE REMOVAL
- 1) Tree preservation requires a commitment to preserving and maintaining retained trees, as well as removal of any unsuited trees within the Project Area.
 - 2) All wood debris from all tree removals at the Project Site is to be chipped and stored on site for use in the tree preservation efforts at the discretion of the Landscape Architect.
 - 3) The limits of all tree protection zones shall be staked in the field and observed by all contractors.
 - 4) Any brush clearing required within the tree protection zone shall be accomplished with hand operated equipment.
 - 5) Trees to be removed from within the tree protection zone shall be removed under the supervision of a Certified Arborist. The trees shall be cut near ground level and the stump ground out.
- G. TREE PROTECTION
- 1) Before beginning work, the Project Manager, Landscape Architect and/or Owner of their agents are required to meet at the site to review all work procedures, access routes, storage areas, and tree protection measures. Any intended construction activities inside the TPF shall be clearly outlined.
 - 2) Fences shall be erected to protect trees to be preserved prior to construction equipment arriving on the Project Site. Fences will define the specific protection zone for each tree or group trees.
 - 3) Fences are to be maintained and remain until all site work has been completed and final landscape operations begin. Fences may not be relocated or removed without written permission from the Landscape Architect. Fences may be constructed from 6 "T" stakes and orange web fence material.
 - 4) All trees to be preserved shall have 4 inches of hardwood mulch applied inside the tree protection zone. This hardwood mulch shall be replenished as necessary to maintain a 4 inch depth.
 - 5) Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
 - 6) Tree roots extend out in a straight, radial direction from the tree much like spokes on a wheel (to a depth generally not exceeding 24"). All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree. Trenches "drilled" with Air Spade (registered trademark) or similar technology are the exceptions. Irrigation line may be routed in any direction outside the dripline of retained trees. Irrigation lines inside the dripline must be in a straight, radial direction towards the tree trunk and terminate in a dead end sprinkler head no greater than 7 feet from a tree trunk (irrigation lines shall not in any way bisect and therefore damage the "spoke-like" root system).
 - 7) No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone.
 - 8) If unintentional injury should occur to any tree during construction, it shall be reported to the Landscape Architect within six hours so that remedial action can be taken. Timeliness is critical to tree health. The cost of any remedial treatments will become the burden of the offending contracting company.
 - 9) Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Architect. Specific locations or tree tag numbers should be identified

TREE PROTECTION NOTES

Prior to any and all construction or land development activity, the developer or property owner shall install four-foot-high plastic (or equivalent) safety fencing around the drip line of protected trees and six-foot-high chain-link fencing around the drip line of specimen and historic trees. Prior to any and all construction or land development activity, the developer or property owner shall establish designated parking areas for the parking and maintenance of all vehicles, trailers, construction equipment and related items, designated stockpile areas for the storage of construction supplies and materials during construction of the subdivision and designated drive areas for vehicles and equipment. The location and dimensions of such designated areas shall be clearly identified on both subdivision construction and site plans and shall be approved by the tree preservation and enforcement officer or authorized designee prior to any construction or land development activity in, on or about the subdivision. Such designated areas shall be completely fenced with chain-link fencing and gates for safety purposes and to separate protected, specimen, or historic trees from the construction area and related construction activity. With the approval of the tree preservation and enforcement officer or authorized designee, the designated parking and stockpile areas may be combined into one fenced area, provided that the preservation of protected trees is not adversely affected or jeopardized. Supplies and pipe and other items that are customarily unloaded where installed shall not be required to be stored within the designated stockpile areas. Sites approved for temporary batching plant permits shall be fenced and gated in the same manner as designated parking and stockpile areas. Temporary batching plant permits shall also be required for the operation of all batching plants, pursuant to the regulations of this chapter. During construction, the developer or property owner shall prohibit the cleaning of equipment or materials and/or the disposal of any waste material, including, but not limited to, paint, oil, solvents, asphalt, concrete, mortar, etc., under the canopy or drip line of any protected, specimen, or historic tree or group of such trees. No attachments or wires of any kind, other than those of a protective nature, shall be attached to any protected tree(s). With major grade changes of six inches or greater, a retaining wall or tree well of rock, brick, landscape timbers or other approved materials shall be constructed around the tree no closer than the drip line of the tree. The top of the retaining wall or tree well shall be constructed at the new grade. Unless otherwise approved by the town, no construction or construction-related activity shall occur under the canopy or drip line of any protected, specimen, or historic tree or group of such trees. Any tree(s) removed during land development, construction or construction-related activities shall be chipped or hauled off site. Burning of removed trees is prohibited unless prior approval is given by the town's fire marshal. The tree preservation and enforcement officer or authorized designee may require additional protection measures or best management practices as needed on a case by case basis to adequately protect protected, specimen, historic trees, or trees required as part of an approved landscape plan.

TREE PROTECTION DETAIL-NTS



TREE PROTECTION - REMOVAL LEGEND

- APPROXIMATE TREE CANOPY DRIPLINE
- TREE PROTECTION FENCING
- PROTECTED TREES TO BE PRESERVED ON SITE
REF SHEET L1.01 FOR APPROXIMATE TREE CANOPY DRIPLINE AND LOCATION OF TREE PROTECTION FENCING
- PROTECTED TREES TO BE REMOVED FROM SITE
REF SHEET L1.02 FOR TREE CHART
- SPECIMEN TREES TO BE REMOVED FROM SITE
REF SHEET L1.01 FOR LOCATION
REF NOTE ON TREE #300

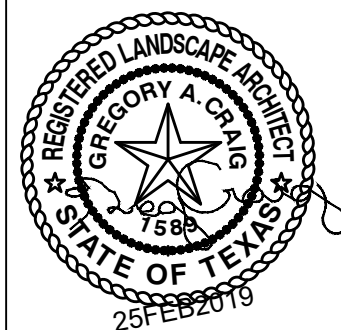


0' 15' 30' 60'
SCALE: 1"=30'



Revised Dumper Area	Revised Tree Symbols and Salvaged tree note	Description	No.	Date	Issued by
2	3				

KOMATSU
ISSUE FOR CONSTRUCTION



FLOWER MOUND PUBLIC LIBRARY
ADDITION
3030 BROADMOOR LANE
FLOWER MOUND, TEXAS 75022
TREE PROTECTION-REMOVAL PLAN

SHEET SIZE:	30 x 42
FOR NUMBER:	2017-109
DATE:	2.25.2019
DRAWN BY:	KDC
CHECKED BY:	GAC

L1.01

TREE CHART

P	PROTECTED TREES TO BE PRESERVED ON SITE REF SHEET L1.01 FOR APPROXIMATE TREE CANOPY DRIPLINE AND LOCATION OF TREE PROTECTION FENCING
X	PROTECTED TREES TO BE REMOVED FROM SITE REF SHEET L1.01 FOR LOCATION
X	SPECIMEN TREES TO BE REMOVED FROM SITE REF SHEET L1.01 FOR LOCATION- REF NOTE ON TREE #300
⊙	SPECIMEN TREES TO BE PRESERVED ON SITE REF SHEET L1.01 FOR LOCATION- REF NOTE ON TREE #300
X	DAMAGED/DISEASED TREES TO BE REMOVED FROM SITE REF SHEET L1.01 FOR LOCATION



TOWN OF FLOWER MOUND PUBLIC LIBRARY

3030 BROADMOOR LANE, FLOWER MOUND, TEXAS 75022

LIBRARY EXPANSION – PARKING STUDY

DECEMBER 14TH, 2018

PREPARED BY:

JQ ENGINEERING, LLP

100 GLASS STREET

DALLAS, TEXAS 75207



TOWN OF FLOWER MOUND PUBLIC LIBRARY

TABLE OF CONTENTS

LIBRARY DESCRIPTION AND USE:	1
VICINITY MAPS:	2
PARKING REQUIREMENTS & TOWN CODE:	3
EXISTING CONDITIONS:	3
PROPOSED CONDITIONS:	4
RELOCATED PARKING & FUTURE CONDITIONS:	4
SUMMARY:	5

The purpose of this study is to provide the Town of Flower Mound with partial background site information and data to validate the increase of parking that is being proposed along with the Flower Mound Public Library Addition (Proposal Package SP18-0018).

This study is provided for compliance with Article III section 82-73, Flower Mound Town Code.

LIBRARY DESCRIPTION AND USE:

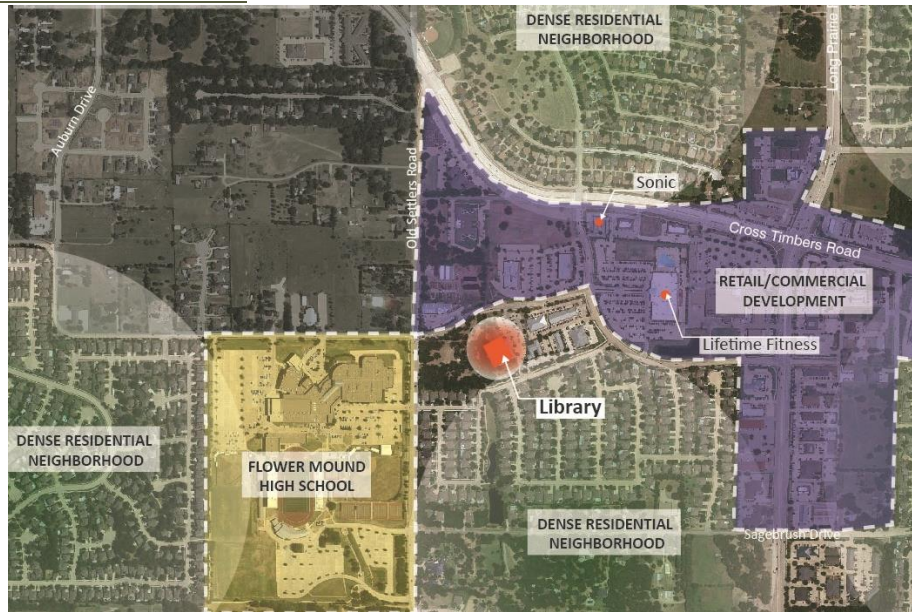
The library is located adjacent to residential neighborhoods, and between a high school and a major retail/commercial development. The public library is in a fairly central location on site, between Peters Colony Road & Broadmoor Lane in the Town of Flower Mound. With the address sited on Broadmoor Lane, the one (1) story tall library, presently sits on a four (4) acre lot and covers a 25,000 SF area with 114 provided parking spaces. In addition to zoning setbacks offset from the property lines, there is a 25' utility easement on the west side of the property. Majority of all utilities that service the library are located in or parallel to the utility easement. On the opposite side of the utility easement, west of the library is a mildly dense forested area in a vacant property. This is planned to be purchased by the Town of Flower Mound and potentially become a local park in the future.

Special events are often held at the library throughout the year, varying on average from 10-20 events, some taking place in the library parking lot. Occasionally parking is noted as an issue during these events, but during normal day to day business hours the 114 available parking spaces adequately fulfill the public's needs.

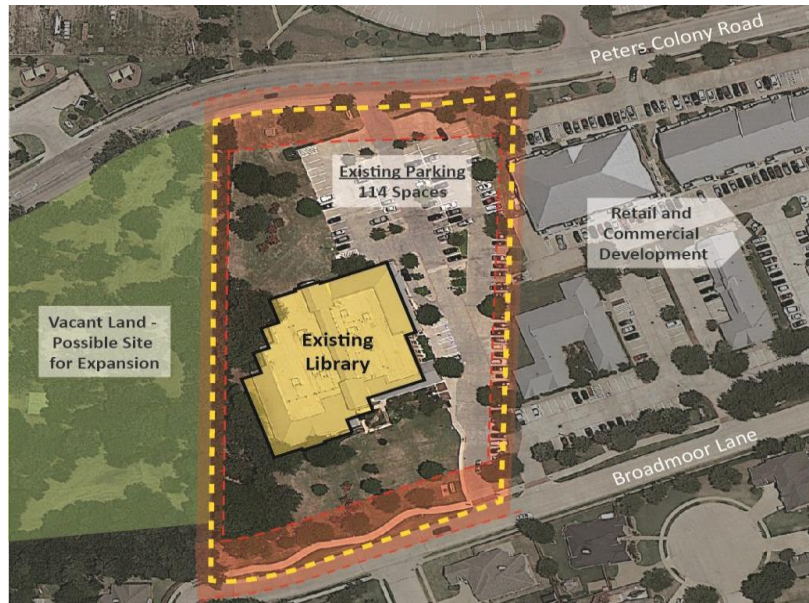


VICINITY MAPS:

LOCATION AND NEARBY AMENITIES:



EXISTING SITE:





PARKING REQUIREMENTS:

TOWN CODE – ARTICLE III, SEC. 82-73 to 82-76

OFF-STREET PARKING AND LOADING SPACE REQUIREMENT:

When constructing, improving or making building additions to a proposed site; Town guidelines and codes must be adhered to. For Library parking, Provide 10 spaces (minimum) plus 1 additional space per every 500 square feet

SCHEDULE OF PARKING AND LOADING REQUIREMENTS

Use Type	Parking
Museum, library or art gallery (public)	10 plus 1 space per 500 square feet

Accessible Spaces (see 82-76 for full chart):

Total Required Spaces	Minimum Spaces for Disabled
10—25	1
26—50	2
51—75	3
76—100	4
101—150	5
151—200	6
201—300	7

Deviation of required spaces:

The amount of parking can be reduced or increased by 20 percent. Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation can be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.

EXISTING CONDITIONS:

Library existing conditions consist of a 25,000 SF one-story building surrounded by approximately 33.1% impervious pavement and/or structures, and 66.9% pervious landscape including various types of foliage.



Based on the criteria noted in the Town code, the library requires a minimum of 60 parking spaces with 3 of those spaces being handicap accessible. (One designated as VAN loading.)

$$25,000 \text{ SF} / 500 \text{ SF} + 10 = \mathbf{60} \text{ required spaces}$$

$$[51-75] \text{ total parking} = \mathbf{3} \text{ accessible spots required}$$

Presently the library provides 114 parking spaces (5 spots designated accessible) on site. This excessive amount can allow for partial development and library expansion in the future without having to increasing the overall parking count.

Special events held at the library utilize the excess parking during specific times of the year, allowing for increased public involvement during these events.

PROPOSED CONDITIONS:

The Library addition include a 12,035 SF north wing building, and 4,126 SF south wing building adjacent to the 25,000 SF one-story building. This is an increase of 16,161 SF building space that requires an additional 33 parking spaces (per sec. 82-74) be added to the site.

$$16,161 \text{ SF} / 500 \text{ SF} = 32.32 \text{ or } \mathbf{33} \text{ additional spaces}$$

$$60 + 33 = \mathbf{93} \text{ required spaces}$$

$$[76-100] \text{ NEW total parking} = \mathbf{4} \text{ accessible spots required}$$

With the current existing 114 parking spaces provided on site exceeding the 93 minimum requirement, there is should be no need to add more parking to the site.

RELOCATED PARKING & FUTURE CONDITIONS:

The addition of the library wings necessitates building setbacks and public accessway which creates an overlap with some existing parking spaces on site. Removal & relocation of these existing spaces is required to enhance public access to the library while not negatively affecting the total required parking count. With the relocation of existing parking, additional parking was included to the overall total parking count. The purpose of this increase is based on the following:

1. It is preferred for main parking to be centralized around the library's new main entrance.
2. Growing town population will require addition parking for future library visitation.
3. Town's special request to include 11 parking spaces for a future town park in the adjacent lot. *[Noted as alternate #1 in project proposal SP18-0018]*



To satisfy the above conditions, 36 new parking spaces are proposed along with 11 alternate #1 spaces. The combined parking count brings the parking total count to 145 spaces. This total surpasses the minimum 93 parking spaces required; however, exceeds 20% of the original parking count.

$$114 \text{ (existing)} + 36 \text{ (new)} - 16 \text{ (relocated)} + 11 \text{ (alternate)} = \mathbf{145 \text{ total parking}}$$

$$(47 / 114) * 100\% = \mathbf{41.23\% \text{ increase}}$$

Code 82-73 dictates any parking in excess of 20 percent must be mitigated. To fulfill that requirement as well as the increase in drainage runoff occurring the site, an 8,140 cubic foot storage detention pond is proposed along with landscape improvements.

The detention pond is overdeveloped by approximately 4,500 cubic feet to help mitigate the additional 45% increase in parking, the library addition storm runoff and partial future development to occur in the west lot.

SUMMARY:

The existing library presently meets and exceeds all parking requirements relating to the Town code. The proposed library additions do not require any additional site parking at this time. Within the SP18-0018 building additions proposal is a 42% parking increase on site that will require mitigation. This requirement is satisfied by the installation of a detention pond to the southwest and landscape improvements around the site. The pond is oversized by the engineer to encompass both the proposed additions and partial development related to the west lot future improvements.

This study is based largely on the data provided in Proposal Package SP18-0018 and the supplemental information found from Town of Flower Mound online database.

REFERENCE SITES:

Town of Flower Mound Database:

- https://library.municode.com/tx/flower_mound/codes/code_of_ordinances
- <https://www.flower-mound.com/QuickLinks.aspx> & GIS mapping
- "Approved Library Master Plan" by Dewberry Architects Inc., June 25th 2012



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: March 11, 2019

FROM: Chuck Russell, Town Planner

ITEM: Public Hearing to consider a request for rezoning (ZPD18-0013 - Home Depot Silveron Addition) to amend Planned Development District-31 (PD-31) with Campus Commercial uses that is subject to Specific Use Permit 245 (SUP-245) to amend Specific Use Permit 245 (SUP-245) to allow for truck rental, trailer rental, and rental/sales of propane containers outdoors on site. The property is generally located east of Long Prairie Road and south of Lakeside Parkway.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

On January 28, 2019, the Planning and Zoning Commission (P&Z) recommended approval of a request to amend the subject PD to allow for limited truck rentals. After the P&Z meeting, the applicant withdrew the request in order to add two amendments to their application. The current request now includes rental/sales of propane containers and rental of one trailer outdoors as shown on the amended conceptual site plan (Attachment (B)-1).

PD-31 currently prohibits the storage of vehicles, propane tanks and trailers outside. The site is located within the Lakeside Business District Area Plan of the Town's Master Plan, with the designation for Campus Commercial development. The subject site is currently developed with a Home Depot store.

According to the applicant's updated letter of intent, the request is to allow four existing parking spaces to be designated as "Truck Rental Stalls". The trucks will be rented out to Home Depot customers and will be permanently stored on site. The request now also includes one trailer to be stored outside for rental by customers as well as propane storage cages with containers for rent/sale.

The proposed spaces are well screened from Long Prairie Road by existing landscaping. The applicant has also agreed to plant evergreen shrubs along the three parking islands closest to the subject parking stalls to provide an additional layer of screening.

The draft development standards limit the type of vehicles for rent to box trucks, cargo vans and pick-up trucks. No more than four vehicles will be allowed to be located on the site. The vehicles must be located in the spaces designated on the proposed conceptual site plan. The revised standards also limit the location and number of trailers for rent to one as shown on the conceptual plan. Propane storage containers will now be allowed outside the store as shown on the revised conceptual plan.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all rezoning requests. At the time this report was written, the Town had not received any correspondence regarding the request.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

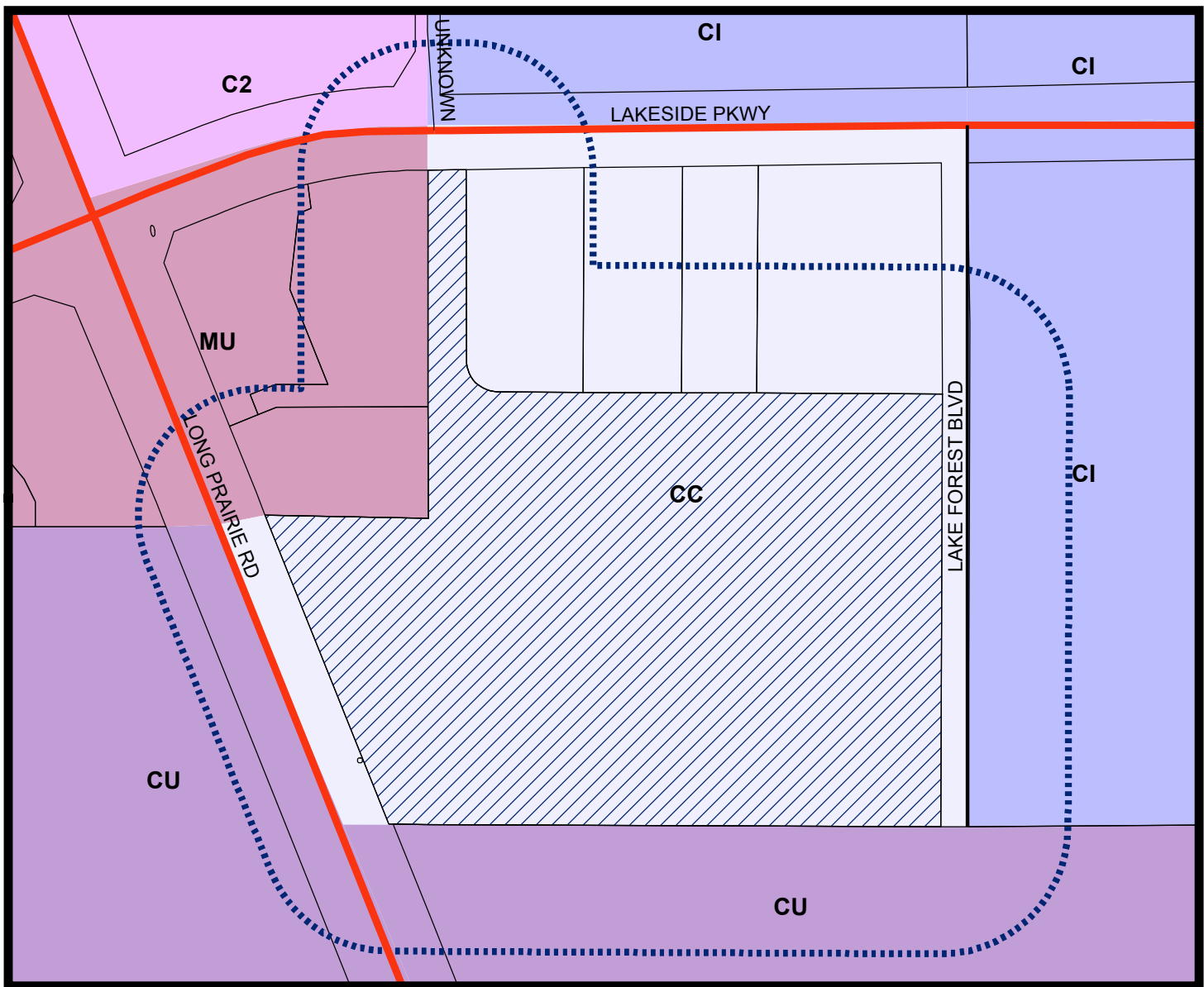
B. Application Details

1. Zoning Planned Development Package
2. Draft Development Standards

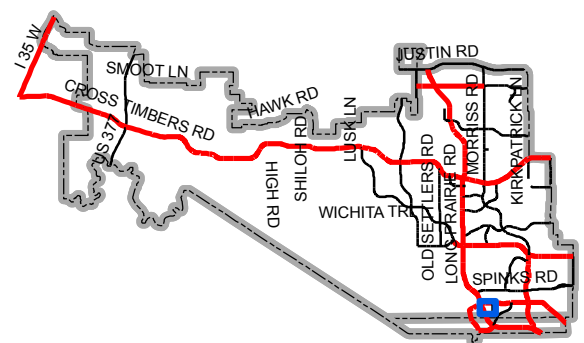
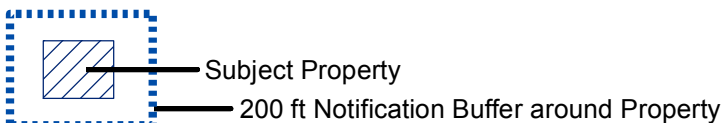


Vicinity Map

Reference Project: ZPD19-0003



LEGEND



Map Location



LARS ANDERSEN & ASSOCIATES, INC.

CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS
ADA COMPLIANCE • LEED ACCREDITED • STORM WATER QUALITY
4694 W JACQUELYN AVENUE
FRESNO, CA 93722
PH (559) 276-2790 FX (559) 276-0850
TEXAS REGISTERED ENGINEERING FIRM F-18450

SCOTT A. MOMMER, PE, QSD
PRESIDENT

DANIEL J. ZOLDAK, PE, PLS
CASp, LEED AP, QSD/P
VICE PRESIDENT

February 5, 2019

Chuck Russell
Town Planner
Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

Re: Home Depot Flower Mound, TX #6572 Letter of Intent – Truck Rental Application

Dear Mr. Russell,

The Home Depot is requesting to amend Specific Use Permit No. 245 to allow for Truck Rentals to be allowed at the existing Home Depot located at 852 Long Prairie Road. The Application is requesting for four (4) parking stalls to be designated as Truck Rental Stalls. The purpose of this Use is to provide an additional service to customers. The trucks would be permanently stored on-site, and rental transaction would occur through the Home Depot Store. In addition, Home Depot is proposing for one (1) trailer to be allowed to be rented by customers. Please see the Conceptual Site Plan for the location of the one (1) trailer.

Home Depot is also proposing an amendment to allow propane storage cages along the front canopy of the store. Please see the Conceptual Site Plan for the location.

The site is presently zoned Planned Development 31 (PD-31) with Campus Commercial uses that is subject to Specific Use Permit 245 (SUP 245). The Home Depot site area is +/-15.01 acres.

The Home Depot looks forward in working with the Town of Flower Mound on an approval for the proposed Truck Rental Use, Trailer Rental, and propane cages.

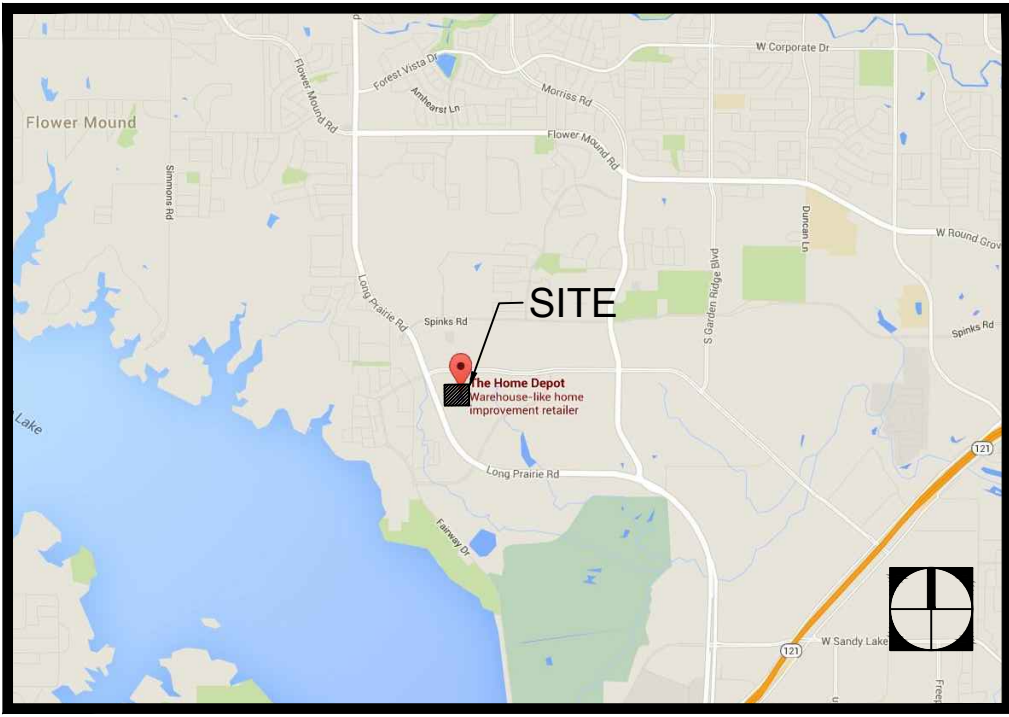
Sincerely,
LARS ANDERSEN & ASSOCIATES, INC.

Scott A. Mommer

Scott A. Mommer, PE
President



LARS ANDERSEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS
4694 WEST JACQUELYN AVENUE - FRESNO CALIFORNIA 93722
TEL: 559 276-2790 FAX: 559 276-0850 WWW.LARSANDERSEN.COM



PROJECT INFORMATION

SITE AREA
THE HOME DEPOT ±15.01 ACRES
CURRENT USE PD 31 WITH CC USES

SUP (SPECIAL USE PERMIT) #245

BUILDING AREA
THE HOME DEPOT 95,064 SF
GARDEN CENTER 24,240 SF
TOTAL 119,304 SF

PARKING SUMMARY				
USER	RATIO REQUIRED	SPACES REQ'D	SPACES PROV'D	
THE HOME DEPOT	1 SP/250 SF	380		
GARDEN CENTER	1 SP/250 SF	97		
TOTAL		477	505	

HOME DEPOT FRONT FIELD PROVIDED 505 SPACES

NOT INCLUDED IN PARKING PROVIDED
TRUCK RENTAL PARKING 4 SPACES
SEASONAL SALES TENT AREA 8 SPACES

NEW PROVIDED TOTAL STALLS 493 SPACES

*ADD NEW EVERGREEN LANDSCAPING (SHRUBS)

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY; SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING, LANDSCAPE REQUIREMENTS MUST BE VERIFIED.

DRAWING ISSUE/REVISION RECORD

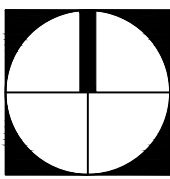
DATE: 12/12/18
REVISION DATE: 2/5/19

SITE PLANNER DEREK FINNEGAN
SITE DEV. COORDINATOR SCOTT MOMMER
REAL ESTATE MARKET
R. E. AGENDA NAME



FLOWER MOUND TX
852 LONG PRAIRIE RD

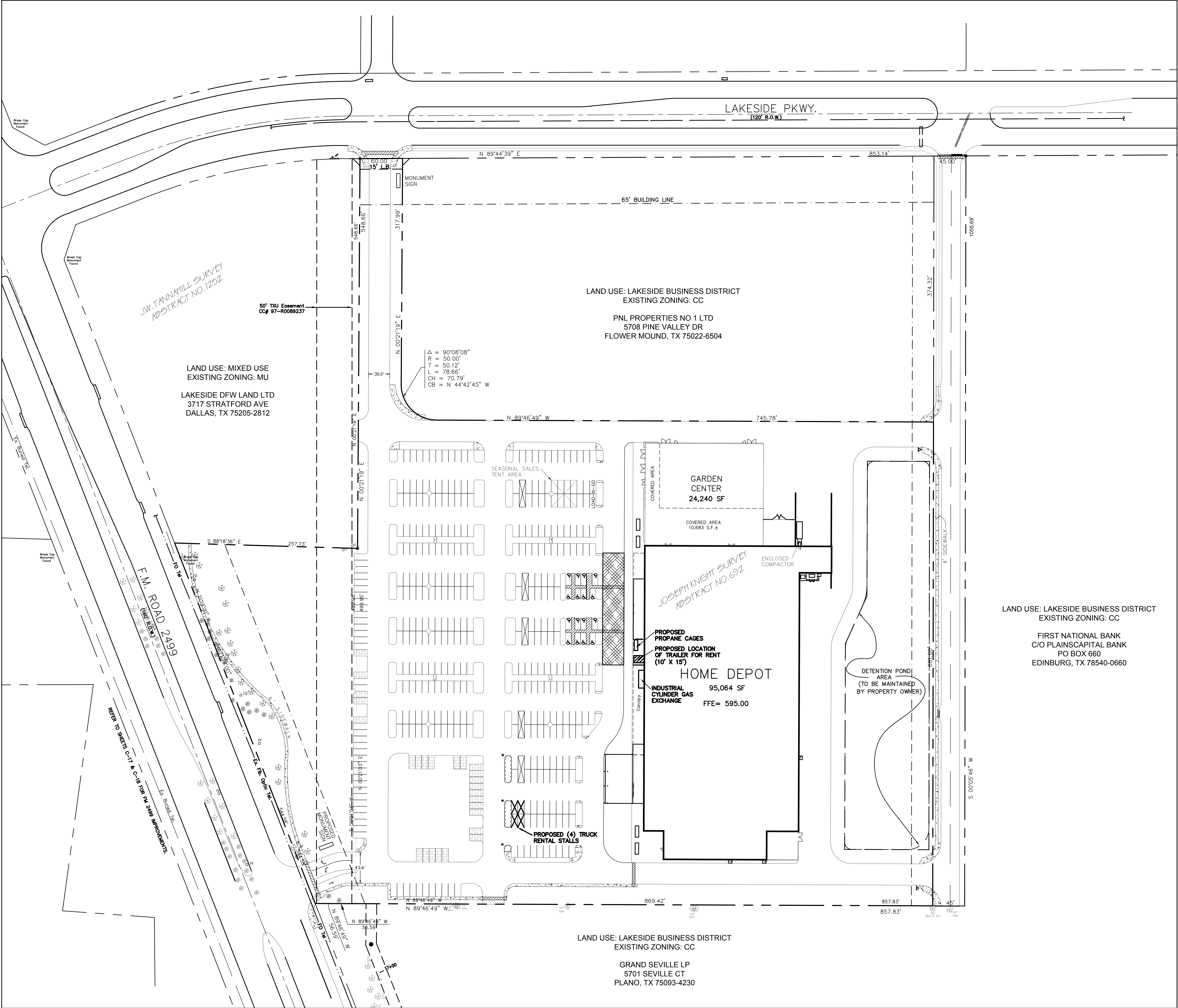
LA PROJECT NO. 18129.00



SCALE: 1"=50'-0"



CONCEPTUAL SITE PLAN



Draft Development Standards

The Land Development Regulations of the Town of Flower Mound, Texas, as amended, are hereby amended on the hereinafter described property as shown below:

Lot 2, Block A, of the Home Depot Silveron Addition, Denton County, Texas.

Exhibit "B," entitled "Development Standards," of Ordinance No. 22-02, as amended by Ordinance No. 33-04 and by Ordinance No. 15-16 is hereby amended in part by amending the "Miscellaneous Standards" for Specific Use Permit No. 245 within Planned Development District No. 31 to allow for limited rental and outside storage of trucks, limited rental of a vehicular trailer and rental/sales of propane containers, as more fully described below and as shown on the conceptual site plan attached as Exhibit "A" hereto and incorporated herein.

1. No more than four vehicles are allowed to be stored and rented on the property.
2. Vehicles must be stored in the four parking spaces designated on Exhibit "A" as "Truck Rental Stalls".
3. The only vehicles allowed to be stored in the "Truck Rental Stalls" are flat bed pick-ups, cargo vans and box trucks as shown on Exhibit "A".
4. The "Truck Rental Stalls" must be clearly identified by Town approved sign(s).
5. Rows of evergreen shrubs must be installed and approved by the Town staff within six months of the date of passage of this ordinance within the areas shown on Exhibit "A".
6. No more than one vehicular trailer is allowed to be stored and rented on the property as shown on the attached conceptual site plan.
7. Rental/Sales of propane containers are allowed as shown on the attached conceptual site plan



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 5

REGULAR ITEM

DATE: March 11, 2019

FROM: John Habern, Parks, Trails & Landscape Specialist

ITEM: Public Hearing to consider a request to amend the Land Development Regulations (LDR19-0001 – Landscaping) by amending Chapter 82, Article V, Division 2, entitled “Landscaping,” of the Town’s Code of Ordinances, to allow for the use of Synthetic Turf.

I. ITEM SUMMARY

There are no outstanding issues associated with this request.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

On [March 20th, 2017](#), staff brought forward an amendment (LDR17-0001 – Landscaping) to amend the Town’s Land Development Regulation to allow for the use of Artificial and Inorganic Materials (AIM). The amendment was approved by a vote of 5 to 0. This ordinance restricted synthetic turf to outdoor recreation and play areas only.

On [March 5th, 2018](#), by the request of the Town Council, staff delivered a presentation to the Council during the Town Manager’s report on synthetic turf. The presentation covered best practices, pros and cons, and benchmark city survey results. Staff was given direction to come back with an amendment to the Land Development Regulations to allow synthetic turf use within commercial land uses that exceed the minimums, while leaving final approval to Town Council.

The proposed amendment allows the Town Council to approve additional locations and coverage amounts for properties located in areas master planned for Campus Industrial uses within the Lakeside Business District.

III. ATTACHMENTS

A. Background Information

1. Ord. No. 09-17 - Artificial and Inorganic Material (AIM) Ordinance

B. Application Details

1. Draft Redline Ordinance
2. Criteria for Synthetic Turf Installation

TOWN OF FLOWER MOUND, TEXAS

ORDINANCE NO. 09-17

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, AMENDING CHAPTER 82, ARTICLE V, DIVISION 2, OF THE CODE OF ORDINANCES BY ADDING A NEW SECTION 82-247 TO ADD STANDARDS RELATED TO THE ALLOWED USE OF AGGREGATE OR INORGANIC MATERIALS IN LANDSCAPED AREAS; PROVIDING THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATION; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Flower Mound is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the Town Council of the Town of Flower Mound previously adopted Chapter 82, Article V, Division 2, of Subpart B, Land Development Regulations, of the Town of Flower Mound Code of Ordinances, as amended, which regulates Landscaping throughout the Town; and,

WHEREAS, the Town Council finds and determines that the regulations related to the materials permitted to be used in landscaped areas should be amended to allow the use of aggregate or inorganic materials; and,

WHEREAS, the Planning and Zoning Commission of the Town of Flower Mound, Texas, held a public hearing on March 13, 2017, and the Town Council of the Town of Flower Mound, Texas, held a public hearing on March 20, 2017, with respect to the Land Development Regulations Amendment described herein; and,

WHEREAS, the Town has complied with all requirements of Chapter 211 of the Texas Local Government Code, Chapter 78 of the Town's Land Development Regulations, and all other laws dealing with notice, publication and procedural requirements for the approval of a Land Development Regulations Amendment;

WHEREAS, the Town Council finds that the amendment to Chapter 82 as outlined herein is in the best interest of the Town of Flower Mound and will promote the health, safety, and general welfare of the citizens of the Town of Flower Mound and the general public.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, THAT:

SECTION 1

A new Section 82-247, entitled "Aggregate or Inorganic Materials," is hereby added to Chapter 82, Article V, Division 2, of the Code of Ordinances, Town of Flower Mound, Texas, to read as follows:

"Sec. 82-247. - Aggregate or Inorganic Materials

Aggregate or inorganic materials (AIM) may be used to satisfy the landscape requirements of this Article if such materials do not predominate over plant material. For the purposes of this requirement, the following more particularly describes the criteria applicable for use of AIM as a soil cover:

- 1) The use of AIM shall be restricted by the following requirements:
 - a. Coverage cannot exceed 20% of the total open green space on a site, excluding decomposed granite pathways and patios.
 - b. Substitution for soil as a planting medium is not allowed.
 - c. Placement over an entire island or landscape planting bed is not allowed.
 - d. Synthetic turf is restricted only to outdoor recreation and play areas.
- 2) The use of AIM shall comply with the following standards:
 - a. Installation shall mitigate migration of material over time.
 - b. Material must be sized appropriately to provide for slope stabilization.
 - c. Depth may not exceed 4 inches.
 - d. Size must be greater than the No. 4 Sieve (4.75 mm) and smaller than 3 inches in diameter.
 - e. Material must be washed or screened and free of "fines" in order to aid in water infiltration.
 - f. Polypropylene and non-porous based weed barrier is strictly prohibited.
 - g. Subsurface drip irrigation is the only allowed type of irrigation in bed areas covered with AIM.
- 3) Notwithstanding the foregoing, the Town may approve alternate plans, designs, and materials that comply with the intent of this section and that are in accordance with generally accepted industry standards."

SECTION 2

The aggregate or inorganic material (AIM) standards described herein apply only to the landscape standards set forth within the Land Development Regulations of the Town of Flower Mound, Texas. Notwithstanding anything to the contrary herein, all engineering codes, guidelines, and construction details shall remain in effect and applicable pursuant to the Code of Ordinances of the Town of Flower Mound, Texas, as amended.

SECTION 3

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the Town of Flower Mound, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 4

It is hereby declared to be the intention of the Town Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the Town Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.

SECTION 5

All rights and remedies of the Town of Flower Mound are expressly saved as to any and all violations of the provisions of the Code of Ordinances as amended or revised herein, or any other ordinances affecting the matters regulated herein which have accrued at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 6

Any person, firm, or corporation who violates any provision of this Ordinance as adopted by the Town Council of the Town of Flower Mound shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine as provided in Section 1-13 of the Code of Ordinances of the Town of Flower Mound. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 7

The Town Secretary of the Town of Flower Mound is hereby directed to publish the caption in the official newspaper of the Town of Flower Mound as required by Section 3.07 of the Charter of the Town of Flower Mound.

SECTION 8

This Ordinance shall be in full force and effect from and after the date of its passage.

**DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF
FLOWER MOUND, TEXAS, BY A VOTE OF 5 TO 0, ON THIS THE 20TH DAY OF MARCH,
2017.**

APPROVED:

Thomas E Hayden

Thomas E Hayden (Mar 21, 2017)

Thomas E. Hayden, MAYOR

ATTEST:

Theresa Scott

Theresa Scott (Mar 21, 2017)

Theresa Scott, TOWN SECRETARY

Sec. 82-247. - Aggregate or Inorganic Materials

Aggregate or inorganic materials (AIM) may be used to satisfy the landscape requirements of this Article if such materials do not predominate over plant material. For the purposes of this requirement, the following more particularly describes the criteria applicable for use of AIM as a soil cover:

- 1) The use of AIM shall be restricted by the following requirements:
 - a. Coverage cannot exceed 20% of the total open green space on a site, excluding decomposed granite pathways and patios.
 - b. Substitution for soil as a planting medium is not allowed.
 - c. Placement over an entire island or landscape planting bed is not allowed.
- 2) Synthetic turf is restricted to outdoor recreation and play areas. **Town Council may approve additional locations and coverage amounts for properties located in areas master planned for Campus Industrial uses within the Lakeside Business District. All synthetic turf applications must meet the Criteria for Synthetic Turf Installation as maintained by the Town Manager or his designee.**
- 3) The use of AIM shall comply with the following standards:
 - a. Installation shall mitigate migration of material over time.
 - b. Material must be sized appropriately to provide for slope stabilization.
 - c. Depth may not exceed 4 inches.
 - d. Size must be greater than the No. 4 Sieve (4.75 mm) and smaller than 3 inches in diameter.
 - e. Material must be washed or screened and free of "fines" in order to aid in water infiltration.
 - f. Polypropylene and non-porous based weed barrier is strictly prohibited.
 - g. Subsurface drip irrigation is the only allowed type of irrigation in bed areas covered with AIM.
- 4) Notwithstanding the foregoing, the Town may approve alternate plans, designs, and materials that comply with the intent of this section and that are in accordance with generally accepted industry standards.

Secs. 82-247—82-270. - Reserved.

Criteria for Synthetic Turf Installations:

Location and Coverage

Synthetic turf installation must comply with the following:

- synthetic turf is limited to 20% of the total open green space on a site. Town Council approval required for coverage greater than 20%.
- synthetic turf must generally not be visible from the public right-of-way.
- synthetic turf may not be installed within the dripline of any existing tree to be preserved or within a 5' radius of any newly installed landscape tree.
- if use of synthetic turf is recreational in nature, coverage percentage and public right-of-way visibility shall not apply.

Material

Synthetic turf must:

- be of a type known as cut-pile infill.
- consist of parallel-long slit blades that are manufactured from polyethylene or polypropylene.
- have a blade length between 1-3/4 and 2-1/2 inches.
- contain a thatch layer that is beige or tan.
- comply with all federal and state standards related to lead and heavy metal content.
- be resistant to staining, weather, insects, rot, mildew and fungus growth.
- contain an infill material of clean silica sand, zeolite or approved equal.
- be affixed to a permeable backing with a tuft bind strength a minimum of 8 pounds.
- have a drain rate a minimum of 30 inches per hour.
- have a manufacturer's warranty lasting a minimum of 8 years.
- have a spacing between tufting rows of less than or equal to 3/8 inch.
- have a tear grab strength a minimum of 200 pounds.
- pass the pill burn test for flammability.
- synthetic turf and its substrate must be permeable.

Installation

Synthetic turf must be installed pursuant to the manufacturer's requirements by a licensed professional who is trained in the installation of synthetic turf. In addition:

- the turf shall be installed over 3 inches of a compacted aggregate base that provides adequate drainage
- seams shall not be visible
- the synthetic turf shall be anchored over the entire coverage area per the manufacturer's recommendation.
- existing irrigation infrastructure, in proposed synthetic turf areas, must be removed or capped and shall not be visible. Required irrigation for trees shall remain.

Maintenance

- synthetic turf shall be maintained in an attractive and clean condition and shall not contain holes, tears, stains, discoloration, seam separations, uplifted surfaces, heat degradation, or excessive wear.