

**AGENDA
TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION MEETING**

APRIL 22, 2019

**FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS**

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. CALL MEETING TO ORDER 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chairman and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

E. DIRECTOR'S REPORT

1. Ordinance amendment updates
2. Election impacts on Town Council agenda

F. REGULAR ITEMS

1. *Minutes of April 8, 2019*

Consider approval of the minutes of the April 8, 2019, Planning and Zoning Commission Regular Session.

2. *RP18-0022 – Lakeside Ranch Lots 4R4 & 4R5, Block A* *Public Hearing*
Public Hearing to consider a request for a Replat (RP18-0022 - Lakeside Ranch Business Park) to create a non-residential subdivision. The property is generally located east of Gerault Road and north of Old Gerault Road.

3. *SP18-0023 – Lakeside 2 at Lakeside Ranch Business Park*

Consider a request for a Site Plan (SP18-0023 - Lakeside 2 at Lakeside Ranch Business Park) to develop two warehouse buildings. The property is generally located east of Gerault Road and north of Old Gerault Road.

4. *ZPD19-0005 – Windhaven Assisted Living PD-173*

Public Hearing

Public Hearing to consider a request for rezoning (ZPD19-0005 - Windhaven Assisted Living) from Agricultural District (A) uses to Planned Development District-173 (PD-173) with Agricultural District (A) uses and a nursing or congregate care facility, with certain exceptions and modifications to the Code of Ordinances. The property is generally located south of Cross Timbers Road and west of Auburn Drive.

5. *ZPD17-0013 – Lakewood PD-163*

This item was noticed for consideration by the Planning & Zoning Commission. However, the applicant has requested to postpone consideration of this request to a future Planning & Zoning Commission regular meeting date.

G. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: April 18, 2019, at 3:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.
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PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

REGULAR ITEM

DATE: April 22, 2019

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the April 8, 2019, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on April 8, 2019.

II. ATTACHMENTS

- 1.** Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 8TH DAY OF APRIL, 2019, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Perfecto Solis	Chair
Laile Neal	Vice Chair
Brad Ruthrauff	Commissioner, Place 1
Robert Rawson	Commissioner, Place 3
David Johnson	Commissioner, Place 4
Albert Picardi	Commissioner, Place 5
Laura Dillon	Commissioner, Place 6
Robert Cox	Commissioner, Place 8
Thomas Pickering	Commissioner, Place 9

Constituting a quorum with the following members absent:

None

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Tommy Dalton	Assistant Town Manager
Tiffany Bruce	Executive Director of Public Works
Clay Riggs	Assistant Director of Public Works
Lexin Murphy	Director of Planning Services
Chuck Russell	Town Planner
Robert Pegg	Assistant Director of Engineering
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER (Council Chambers): 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. PUBLIC COMMENT

None

D. FUTURE AGENDA ITEMS

1. Commissioner Johnson asked about having periodic updates for large projects going on throughout Town and made a request to have them either twice a year or quarterly.

E. DIRECTOR'S REPORT

1. Plat presentations

F. REGULAR ITEMS

1. Consider approval of the minutes of the March 25, 2019, Planning and Zoning Commission Regular Session

Commission Deliberation

Commissioner Johnson moved to approve the March 25, 2019, minutes as written. Vice-Chair Neal seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Rawson, Johnson, Picardi, Neal, Dillon

NAYS: None

ABSTAIN: None

The motion to approve passed with a vote of 6-0-0.

2. Public Hearing to consider a request for a Replat (RP19-0002 – Franklin Hills Lots 36R-1, 36R-2, 37R-1, Block F-2) to create three residential lots. The property is generally located to the west of Sunnyview Lane.

Staff Presentation

Lexin Murphy, Town Planner

Applicant Presentation

None

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Commissioner Johnson moved to recommend approval of RP19-0002 – Franklin Hills Lots 36R-1, 36R-2, 37R-1, Block F-2 as presented. Vice-Chair Neal seconded the motion.

VOTE ON THE MOTION

AYES: Dillon, Neal, Picardi, Johnson, Rawson, Ruthrauff

NAYS: None

The motion to approve passed with a vote of 6-0-0.

3. Public Hearing to consider a request to amend the Land Development Regulations (LDR19-0002 – Drainage and Grading) by amending Chapter 32, entitled “Engineering Design Criteria and Construction Standards,” of the Town’s Code of Ordinances.

Staff Presentation

Robert Pegg, Assistant Director of Engineering
Clay Riggs, Assistant Director of Public Works

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Commissioner Johnson moved to recommend approval of LDR19-0002 – Drainage and Grading as presented. Vice-Chair Neal seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Rawson, Johnson, Picardi, Neal, Dillon

NAYS: None

The motion to recommend approval passed with a vote of 6-0-0.

4. Public Hearing to consider approval of an ordinance amending Chapter 90 of the Town’s Land Development Regulations (LDR19-0003 – Park Credit Option), adding minimum park land dedication requirements for multi-family and senior housing uses; clarifying park development fee requirements; providing options for privately maintained and publicly accessible parks and open space; clarifying park land dedication and park development fee requirements for the (MU) mixed use district and (PD) planned development district; and deleting existing provisions in conflict therewith.

Staff Presentation

Tommy Dalton, Assistant Town Manager

Spoke In Favor:

None

Spoke In Opposition:

None

Questions or Comments Only:

Paul Stone, 4100 Broadway Avenue
Bill Dahlstrom, 2323 Ross Avenue (Graham Tract Representative)
Jim Wills, 14160 Dallas Parkway

Commission Deliberation

Commissioner Johnson moved to recommend approval of LDR19-0003 – Park Credit Option as presented. Commissioner Dillon seconded the motion.

VOTE ON THE MOTION

AYES: Dillon, Neal, Picardi, Johnson, Rawson, Ruthrauff

NAYS: None

The motion to recommend approval passed with a vote of 6-0-0.

5. Public Hearing to consider a request for a Land Development Regulation Amendment (LDR19-0004 - Limited Residential Definition) to amend Chapter 98, Article III, Division 22, entitled "CC Campus Commercial District," of the Town's Code of Ordinances, to define the standards for Limited Residential development.

Staff Presentation

Lexin Murphy, Director of Planning Services

Spoke In Favor:

Spoke In Opposition:

None

Questions or Comments Only:

Bill Dahlstrom, 2323 Ross Avenue (Graham Tract Representative)
Paul Stone, 4100 Broadway Avenue
Kendra Stephenson, 3505 Yucca

Commission Deliberation

Vice Chair Neal moved to recommend approval of LDR19-0004 – Limited Residential Definition as presented. Commissioner Ruthrauff seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Rawson, Johnson, Picardi, Neal, Dillon

NAYS: None

The motion to recommend approval passed with a vote of 6-0-0.

G. ADJOURNMENT – REGULAR SESSION 8:53 P.M.

TOWN OF FLOWER MOUND, TEXAS

Chuck Russell, Town Planner

ATTEST:

LauriAnn Cash, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2 REGULAR ITEM

DATE: April 22, 2019

FROM: Richard Brown, Senior Planner

ITEM: **Public Hearing to consider a request for a Replat (RP18-0022 - Lakeside Ranch Business Park) to create a non-residential subdivision. The property is generally located east of Gerault Road and north of Old Gerault Road**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to replat Lot 4R3 of the Lakeside Ranch Business Park Addition into two lots to allow for construction of two warehouse buildings (see-SP18-0023 on this same agenda). The property is located within Planned Development 83 (PD-83) with Campus Industrial District (CI) uses, which permits the proposed use by right.

Access to the property will be from Gerault Road. Cross-access to the property to the north will be provided.

The attached replat provides for all required setbacks, buffers, and other easements.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

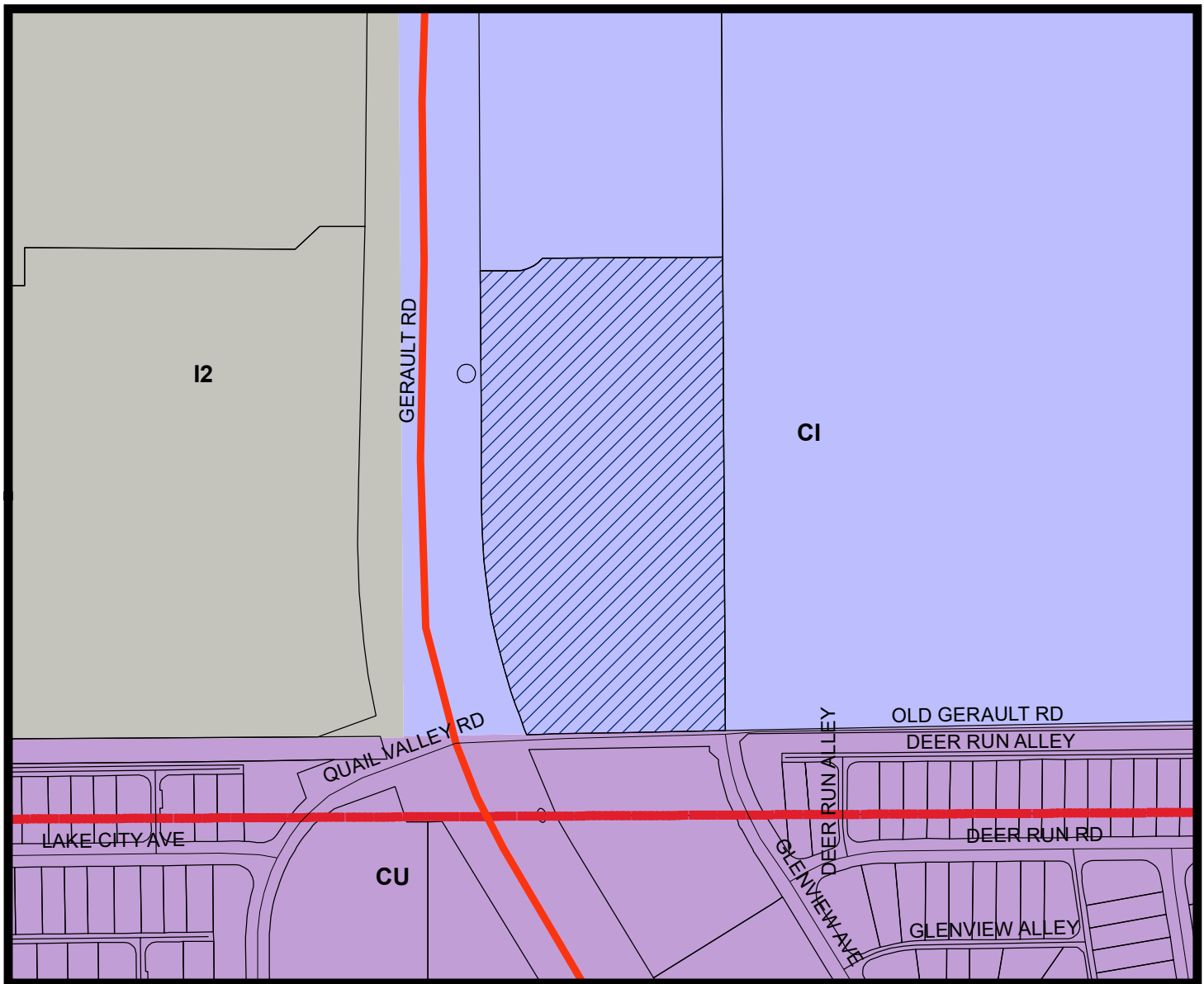
B. Application Details

1. Replat Package

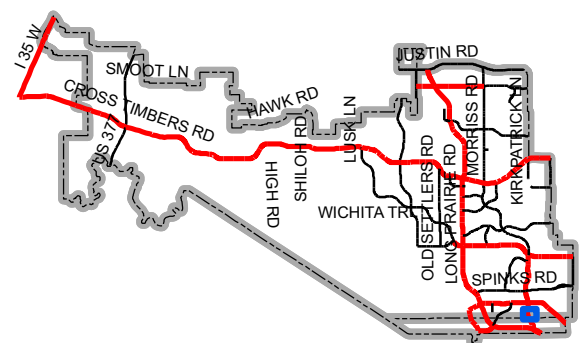
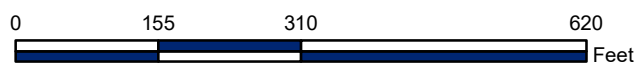
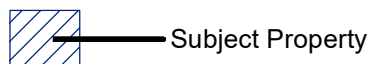


Vicinity Map

Reference Project: RP18-0022 & SP18-0023



LEGEND



Map Location

February 26, 2019
PK No.: 2283-18.309

TOWN OF FLOWER MOUND

ATTN: Planning Services
1001 Cross Timbers Rd.
Suite 2330
Flower Mound, Texas 75028

Re: **LETTER OF INTENT: Site Plan & Replat**
Lakeside Ranch Business Park Addition Lot 4R4 & Lot 4R5, Block A
Flower Mound, Texas

To Whom It May Concern:

As a manager of Gerault Office Warehouse 1, LP, I consent to the Site Plan and Replat Application being submitted for our property at the above referenced location.

Existing/Proposed Zoning: Campus Industrial (PD-83)

Gross Site Area: 4.593

Net Site Area:

Lot 4R4, Block A: 1.896 Acres

Lot 4R5, Block A: 2.642 Acres

Proposed Use: Office/Warehouse

Total Building Area:

Building 1: 24,480 Square Feet

Building 2: 24,480 Square Feet

Development Phases: One, Single Phase

Special Considerations: None requested

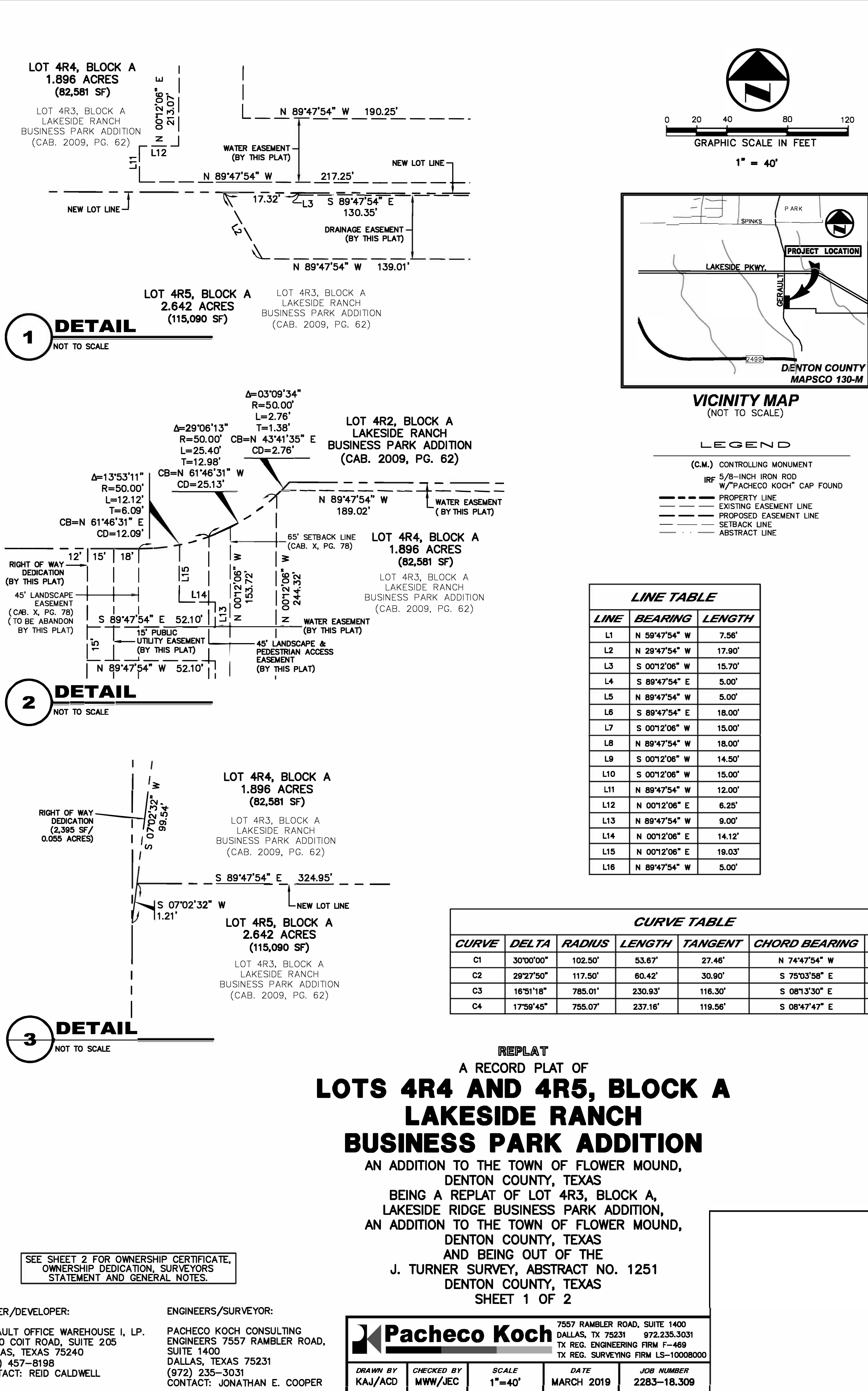
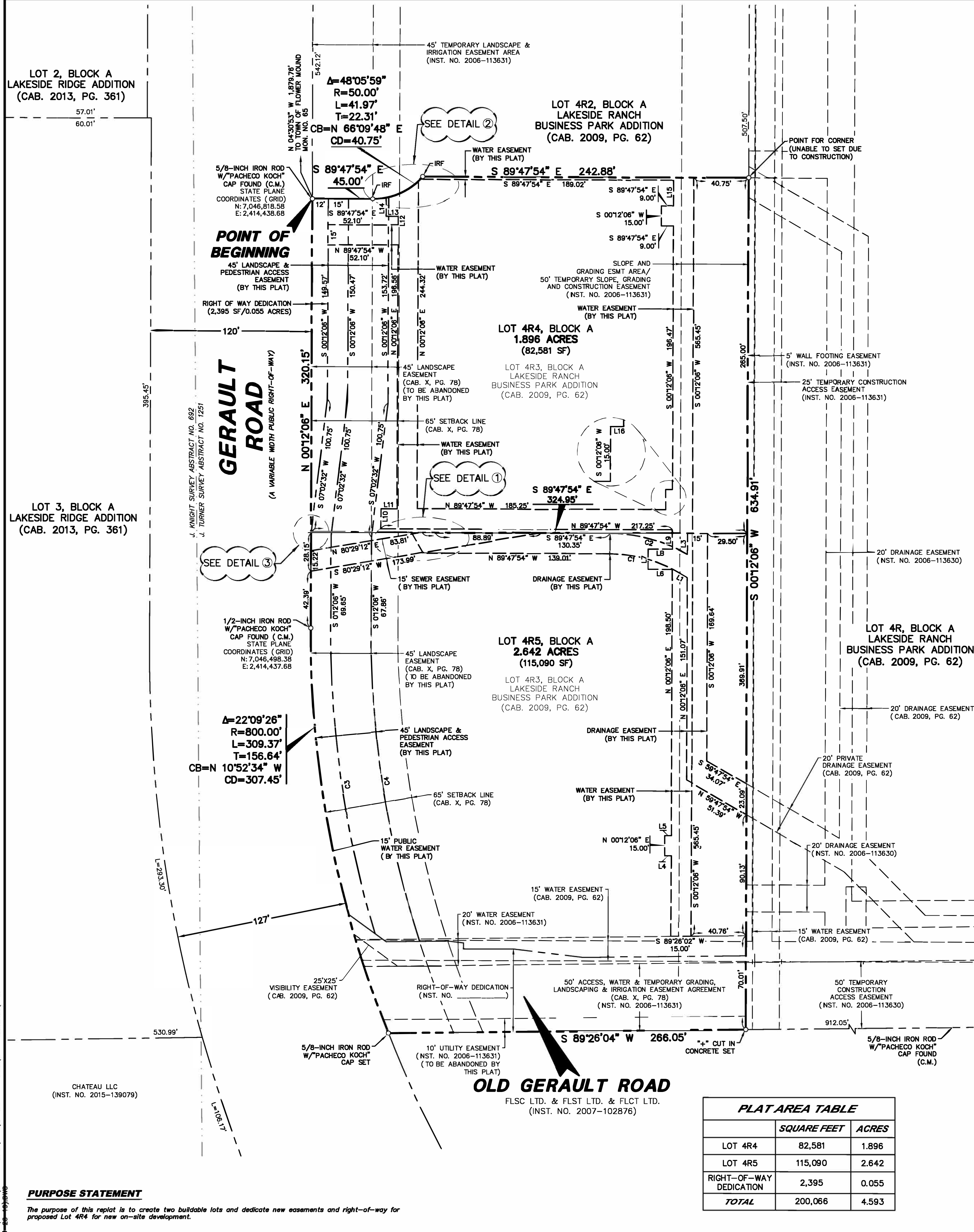
If you have any questions or need additional information, please call or email me at your convenience.

Sincerely,



Reid Caldwell
Gerault Office Warehouse 1, LP

AJC/slr
2283-18.309_Letter of Intent





PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3 CONSENT ITEM

DATE: April 22, 2019

FROM: Richard Brown, Senior Planner

ITEM: **Consider a request for a Site Plan (SP18-0023 - Lakeside 2 at Lakeside Ranch Business Park) to develop two warehouse buildings. The property is generally located east of Gerault Road and north of Old Gerault Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop each proposed lot (see RP18-0022 on this same agenda) with two warehouse buildings, each comprising 24,480 square feet of floor area. Additional improvements will include surface parking areas, landscaping, and a truck court that is within the eastern portion of the property and buffered from Gerault Road by both buildings. The property is located within Planned Development 83 (PD-83) with Campus Industrial District (CI) uses, which permits the proposed use by right.

Access to the property will be from Gerault Road. Cross-access to the property to the north will be provided.

Various applications have been considered and approved that include the subject property:

- December 6, 2004-Town Council approved PD-83 (ZPD 08-04) with Campus Industrial District (CI) uses
- July 24, 2006-Planning and Zoning Commission approved a replat (RP03-08) for the property
- September 10, 2007-Planning and Zoning Commission approved a site plan (SP16-08) for the subject property that provides for two buildings: 1) one-story office encompassing 25,000 square feet of floor area, and 2) one-story office/warehouse building encompassing 50,000 square feet of floor area.

The attached site plan and landscape plan provide for required setbacks and street buffers, along with being in compliance with the landscape provisions in PD-83. Required off-street parking for the 28-foot-tall Building 1 (north lot) is 41 spaces, with 46 spaces being provided. Building 2, also developed to a peak height of 28 feet, requires 49 spaces with 54 being provided. It should be noted the difference in required parking is based on a larger percentage of office floor area within Building 2. The elevations are in compliance with the adopted design standards in the PD.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

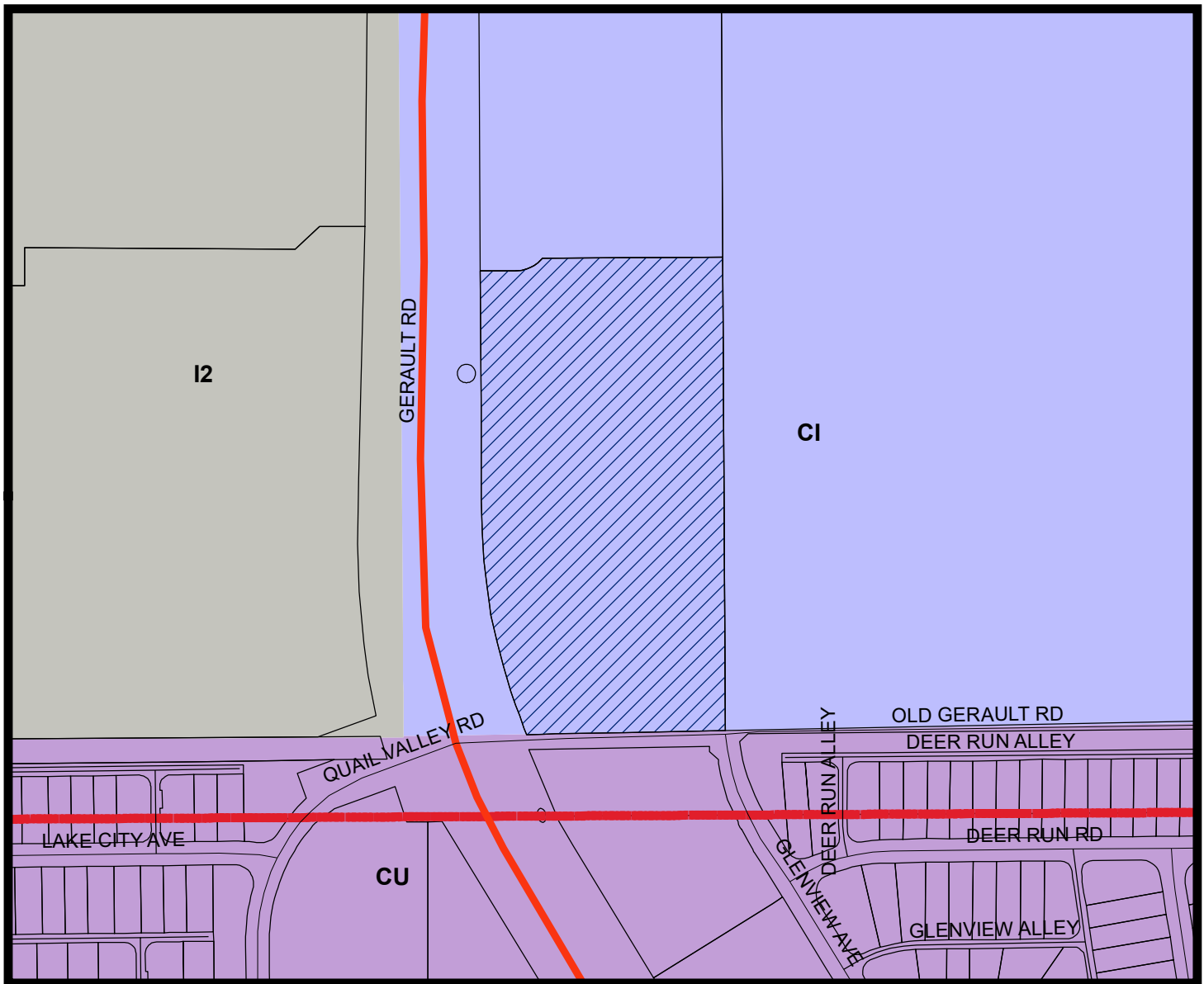
B. Application Details

1. Site Plan Package

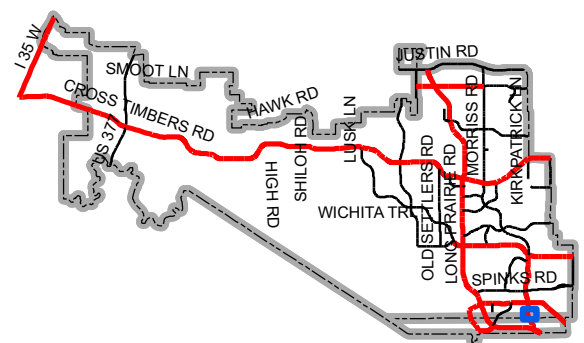
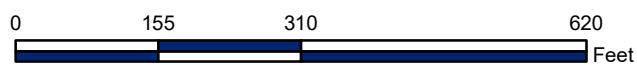
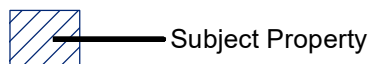


Vicinity Map

Reference Project: RP18-0022 & SP18-0023



LEGEND



Map Location

February 26, 2019
PK No.: 2283-18.309

TOWN OF FLOWER MOUND

ATTN: Planning Services
1001 Cross Timbers Rd.
Suite 2330
Flower Mound, Texas 75028

Re: **LETTER OF INTENT: Site Plan & Replat**
Lakeside Ranch Business Park Addition Lot 4R4 & Lot 4R5, Block A
Flower Mound, Texas

To Whom It May Concern:

As a manager of Gerault Office Warehouse 1, LP, I consent to the Site Plan and Replat Application being submitted for our property at the above referenced location.

Existing/Proposed Zoning: Campus Industrial (PD-83)

Gross Site Area: 4.593

Net Site Area:

Lot 4R4, Block A: 1.896 Acres

Lot 4R5, Block A: 2.642 Acres

Proposed Use: Office/Warehouse

Total Building Area:

Building 1: 24,480 Square Feet

Building 2: 24,480 Square Feet

Development Phases: One, Single Phase

Special Considerations: None requested

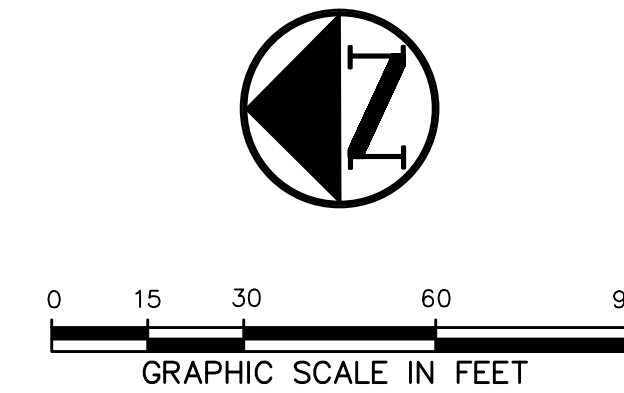
If you have any questions or need additional information, please call or email me at your convenience.

Sincerely,



Reid Caldwell
Gerault Office Warehouse 1, LP

AJC/slr
2283-18.309_Letter of Intent



- | LEGEND | |
|-------------------|--------------------------|
| B _L | BOLLARD |
| EM _{CD} | ELECTRIC METER |
| PP _● | POWER POLE |
| LS _● | LIGHT STANDARD |
| W _{MO} | WATER METER |
| WV _● | WATER VALVE |
| ICV _● | IRRIGATION CONTROL VALVE |
| ● | FIRE HYDRANT |
| ◎ | CLEANOUT |
| MH _◎ | MANHOLE |
| TSC _◎ | TRAFFIC SIGNAL CONTROL |
| TSP _● | TRAFFIC SIGNAL POLE |
| ● | TELEPHONE BOX |
| FL | FLOOD LIGHT |
| FP _● | FLAG POLE |
| SIGN _● | TRAFFIC SIGN |
| IRS | 1/2" - 1" IRON ROD |
| (C.M.) | "PACHICO KOCHI" CAP S |
| _____ | CONTROLLING MONUMENT |
| _____ | PROPERTY LINE |
| _____ | FENCE |
| _____ X _____ | PROPOSED FENCE |
| _____ | FIRE LANE |
| ===== | PROPOSED RETAINING WALL |
| ===== | PROPOSED CURB W/ WALL |

GENERAL FLOWER MOUND NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE TOWN OF FLOWER MOUND'S DESIGN CRITERIA AND CONSTRUCTION STANDARDS AND CONSTRUCTION DETAILS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION.
2. THE COLOR OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.
3. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING ANY REQUIRED TRENCH SAFETY PLAN OR TRAFFIC CONTROL PLAN.
6. CONTRACTOR TO PROVIDE RETAINING WALL PLANS DESIGNED AND SEAL APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
7. ALL RETAINING WALLS SHALL BE TURN DOWN CURBS. RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
8. ANY RETAINING WALLS 4' AND ABOVE (INCLUDING FOOTING) REQUIRES A BUILDING PERMIT.
9. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD OF THE SAME MATERIAL AS THE MAIN BUILDING.
10. ALL SCREENED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED WITH LIVE SCREENING.
11. DUMPSCREEN SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
12. DUMPSCREEN SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
13. SIGNAGE REPRESENTED ON THE PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND WILL REQUIRE A SEPARATE PERMIT.
14. ALL SIGNAGE TO BE PLACED ON THE SITE CONCRETE, INCLUDING PARKING LOTS, FIRE LANE AND SITE SIDEWALKS NOT LOCATED IN THE RIGHT-OF-WAY, A BUILDING PERMIT WHICH INCLUDES SITE PLUMBING, SITE ELECTRICAL, LIGHT POLE BASE DETAILS, LIGHT STANDARD HEIGHTS, AND PHOTOMETRIC DRAWING MUST BE ISSUED TO THE TOWN OF FLOWER MOUND BUILDING INSPECTION DIVISION.
15. ALL RETAINING WALLS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE FLOODING CODE AND NEW.
16. ALL OUTDOOR STORAGE AREAS FOR MATERIALS, TRASH, MECHANICAL EQUIPMENT, VEHICLES OR SIMILAR ITEMS SHALL BE SCREENED IN ACCORDANCE WITH THE TOWNS LAND DEVELOPMENT REGULATIONS AND PD 83.
17. NO NEW ABOVE GROUND UTILITIES WILL BE ALLOWED IN PD 83.
18. THE PROPOSED USE SHOWN ON THESE PLANS IS IN SUBSTANTIAL CONFORMANCE WITH THE USES IN PD 83.
19. ALL EXISTING ABOVE GROUND UTILITIES LESS THAN 25kv ARE TO BE RELOCATED UNDERGROUND PER PD 83.
20. ALL ELECTRICAL PANELS AND ASSOCIATED COMPONENTS SHALL BE PAINTED/TEXTURED TO MATCH THE COLOR OF THE BUILDING.

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE **NOT** BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION BY ANY USE OF THESE DOCUMENTS. THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION
		7557 RAMBLER ROAD, SUITE 1400
		DALLAS, TX 75231 972.235.3031
		TX REG. ENGINEERING FIRM F-469
		TX REG. SURVEYING FIRM LS-100080

SITE PLAN

LAKESIDE 2

LAKESIDE RANCH BUSINESS PARK
LOTS 4R4 AND 4R5, BLOCK A

TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

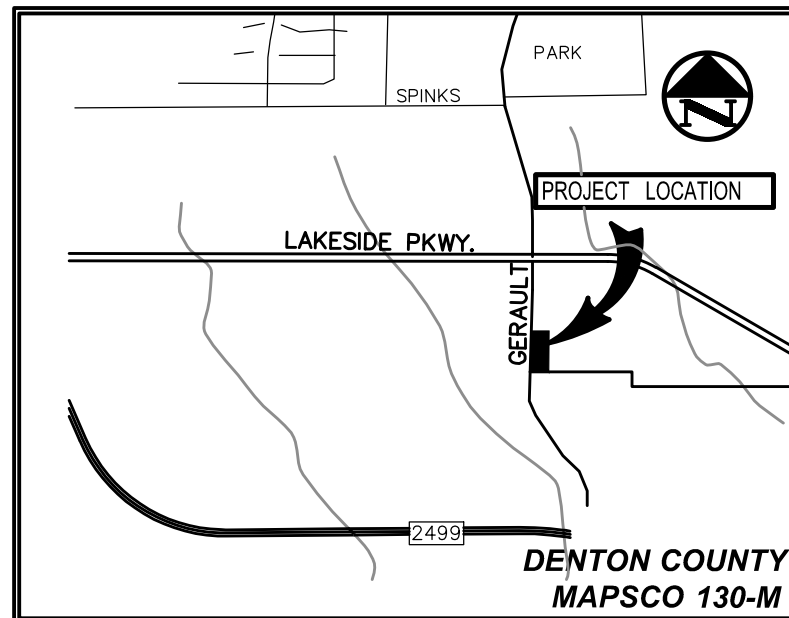
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
AJC	JQ	MAR 2019	1"=30'			C1.0

PK FILE: 2283-18.309

PK-2283-18.309-SITE.DWG

OWNER/DEVELOPER:
REID CALDWELL
GERAULT OFFICE WAREHOUSE I, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240
PHONE: (214) 457-8198

ENGINEER/SURVEYOR:
C. JACK EVANS, P.E.
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031



VICINITY MAP
(NOT TO SCALE)

PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT
SUPERVISION OF C. JACK EVANS, P.E.
TEXAS REGISTRATION NO. 93840
DATE: 03/25/2019

REVIEWED

TOWN OF FLOWER MOUND
RELEASED FOR CONSTRUCTION

DATE_____

TOWN OF FLOWER MOUND
ENGINEERING SERVICES DIVISION

THE TOWN OF FLOWER MOUND
CONSTRUCTION STANDARDS
APPLY WHETHER INDICATED
ON THESE PLANS OR NOT

<u>SITE DATA TABLE BUILDING 1</u>	
PHYSICAL ADDRESS	NE CORNER OF GERAULT ROAD AND OLD GERAULT ROAD
GROSS SITE AREA	4.593 AC/ 200,065 S.F.
NET SITE AREA	1.896 AC/ 82,581 S.F.
ZONING	CAMPUS INDUSTRIAL (PER PD-83)
CURRENT USE	UNDEVELOPED
PROPOSED USE	OFFICE/WAREHOUSE
<u>LOT COVERAGE AREA</u>	
- BUILDING COVERAGE	29.7%/24,480 S.F.
- IMPERVIOUS AREA	49.7%/41,051 S.F.
- PERVIOUS AREA	20.6%/17,050 S.F.
- OFFSITE IMPERVIOUS	1,010 S.F.
- OFFSITE PERVIOUS	2,121 S.F.
<u>PARKING SUMMARY</u>	
SURFACE PARKING	
- OFFICE (9,792 S.F.)	1: 300 = 33
- WAREHOUSE (14,688 S.F.)	1: 2,000 = 8
TOTAL REQUIRED	41
TOTAL PARKING PROVIDED	46
<u>BUILDING DATA</u>	
- BUILDING	1 STORY
- PEAK HEIGHT	28'-0"
- MEAN HEIGHT	25'-6"
- TOTAL SQUARE FOOTAGE	24,480 S.F.

PLANNED DEVELOPMENT DISTRICT 83 (PD-83) WITH CAMPUS INDUSTRIAL (C) USES	SUBDISTRICT A STANDARD	PROVIDED
MIN. LOT AREA	NONE	1,896 AC
MIN. LOT WIDTH	NONE	265.00 FT
MIN. FLOOR AREA	NONE	24,480 SF
MIN. FRONT YARD	65 FT	113 FT
MIN. SIDE YARD	25 FT	25 FT
MIN. REAR YARD	25 FT	92 FT
TOTAL S.F. GROUND AREA COVERAGE	NONE	95,336 SF
MAX HEIGHT	45'	28'-0"

<u>SITE DATA TABLE BUILDING 2</u>	
PHYSICAL ADDRESS	NE CORNER OF GERAULT ROAD AND OLD GERAULT ROAD
GROSS SITE AREA	4.593 AC/ 200,065 S.F.
NET SITE AREA	2.642 AC/ 115,090 S.F.
ZONING	CAMPUS INDUSTRIAL (PER PD-83)
CURRENT USE	UNDEVELOPED
PROPOSED USE	OFFICE/WAREHOUSE
<u>LOT COVERAGE AREA</u>	
- BUILDING COVERAGE	21.3%/24,480 S.F.
- IMPERVIOUS AREA	39.3%/45,175 S.F.
- PERVIOUS AREA	39.4%/45,435 S.F.
<u>PARKING SUMMARY</u>	
SURFACE PARKING	
- OFFICE (12,730 S.F.)	1:300 = 43
- WAREHOUSE (11,750 S.F.)	1:2,000 = 6
TOTAL REQUIRED	49
TOTAL PARKING PROVIDED	54
<u>BUILDING DATA</u>	
- BUILDING	1 STORY
- PEAK HEIGHT	28'-0"
- MEAN HEIGHT	25'-6"
- TOTAL SQUARE FOOTAGE	24,480 S.F.

PLANNED DEVELOPMENT DISTRICT 83 (PD-83) WITH CAMPUS INDUSTRIAL (C) USES	SUBDISRICT A STANDARD	PROVIDED
MIN. LOT AREA	NONE	2,642 AC
MIN. LOT WIDTH	NONE	315.00 FT
MIN. FLOOR AREA	NONE	24,480 SF
MIN. FRONT YARD	65 FT	63 FT
MIN. SIDE YARD	25 FT	25 FT
MIN. REAR YARD	25 FT	92 FT
TOTAL S.F. GROUND AREA COVERAGE	NONE	72,007 SF
MAX HEIGHT	45'	28'-0"

GERAULT ROAD

(A VARIABLE WIDTH RIGHT-OF-WAY)

J. TURNER SURVEY ABSTRACT NO. 1251
J. KNIGHT SURVEY ABSTRACT NO. 692

SITE DATA NOTES

1. BUILDING USE PERCENTAGES SHOWN FOR OFFICE AND INDUSTRIAL OCCUPANCY ARE ESTIMATED AND MAY NOT REPRESENT ULTIMATE CONDITIONS AT TIME OF OCCUPANCY. ULTIMATE CONDITIONS WILL BE DETERMINED ONCE BUILDINGS ARE LEASED BY TENANTS.

REVIEWED TOWN OF FLOWER MOUND RELEASED FOR CONSTRUCTION DATE _____ _____ TOWN OF FLOWER MOUND ENGINEERING SERVICES DIVISION
--

THE TOWN OF FLOWER MOUND
CONSTRUCTION STANDARDS
APPLY WHETHER INDICATED
ON THESE PLANS OR NOT

PLANTING GENERAL NOTES

1. ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
2. FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
3. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
4. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
5. IT IS PREFERABLE THAT NO TREE BE STAKED. HOWEVER, CONDITIONS AND PLANT MATERIAL SIZE MAY NECESSITATE STAKING. THE OWNERS REP SHALL DETERMINE IF SUPPORT IS NEEDED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.
6. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
7. ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
8. BALLED AND BURLAPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
9. QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES

CITY OF FLOWER MOUND - AIM ORD. STANDARDS (SEC. 82-247.2)

THE USE OF AIM SHALL COMPLY WITH THE FOLLOWING STANDARDS:

1. INSTALLATION SHALL MITIGATE MIGRATION OF MATERIAL OVER TIME.
2. MATERIAL MUST BE SIZED APPROPRIATELY TO PROVIDE FOR SLOPE STABILIZATION.
3. DEPTH MAY NOT EXCEED FOUR INCHES.
4. SIZE MUST BE GREATER THAN THE NO. 4 SIEVE (4.75 MM) AND SMALLER THAN THREE INCHES IN DIAMETER.
5. MATERIAL MUST BE WASHED OR SCREENED AND FREE OF "FINES" IN ORDER TO AID IN WATER INFILTRATION.
6. POLYPROPYLENE AND NON-POROUS BASED WEED BARRIER IS STRICTLY PROHIBITED.
7. IRRIGATION IN BED AREAS COVERED WITH AIM.
8. CONTACT JOSHUA BROWN, PARKS SUPERVISOR AT (972)874-6428 OR JOHN HABERN, PARKS, TRAILS AND LANDSCAPE SPECIALIST, AT (972)874-6343 PRIOR TO BEGINNING ANY WORK IN THE TOWNS R.O.W.
9. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PROTECTING ALL TOWN IRRIGATION SYSTEMS AND PLANT MATERIALS.
10. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING TOWN IRRIGATION SYSTEMS.
11. ANY EXISTING IRRIGATION (RAW WATER LINE/ PURPLE PIPE) IN PUBLIC R.O.W. SHALL BE RESTORED TO ITS ORIGINAL CONDITION.

PLANT SCHEDULE BUILDING

<u>REES</u> QM	BOTANICAL / COMMON NAME QUERCUS MUEHLENBERGII CHINKAPIN OAK	SIZE/COND. 65 GAL	REMARKS 3" CAL., SINGLE, STRAIGHT LEADER, MATCHING	
TD	TAXODIUM DISTICHUM BALD CYPRESS	45 GAL	SINGLE, STRAIGHT LEADER, MATCHING	
UC2	ULMUS CRASSIFOLIA CEDAR ELM	65 GAL	3" CAL., MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER	
<u>ORNAMENTAL TREES</u> LN	BOTANICAL / COMMON NAME LAGERSTROEMIA X 'NATCHIEZ' CRAPE MYRTLE	SIZE/COND. 30 GAL	REMARKS MULTI-TRUNK, FULL, MATCHING	
MYC	MYRICA CERIFERA WAX MYRTLE	30 GAL	MULTI-STEM, FULL, MATCHING	
<u>SHRUBS</u> LFG	BOTANICAL / COMMON NAME LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER	SIZE 5 GAL	<u>SPACING</u> 48" o.c.	REMARKS FULL, MATCHING
RI	RHAPHIOLEPIS INDICA INDIAN HAWTHORN	5 GAL	48" o.c.	FULL, MATCHING
<u>GROUND COVERS</u> NH	BOTANICAL / COMMON NAME LAKESIDE RANCH NATIVE SEED MIX LAKESIDE RANCH NATIVE SEED MIX	SIZE HYDROMULCH	<u>SPACING</u>	REMARKS REF. PD 83 FOR SEED MIX COMPOSITION SPECS. 5.4 LBS PER 1,000 SF APPLICATION RATE.
<u>HARDSCAPE</u> DG	BOTANICAL / COMMON NAME DECOMPOSED GRANITE DG	SIZE NONE	<u>SPACING</u>	REMARKS WASHED 1/4" SIZE (FINES REMOVED), TEXAS BUFF, A/B RUN, 4" DEPTH COMPACTED & WATERED IN 2" LIFTS TO FULL DEPTH
<u>ORNAMENTAL GRASS</u> MG2	BOTANICAL / COMMON NAME MUEHLENBERGIA CAPILLARIS 'GULF COAST' GULF COAST MUHLY	SIZE 1 GAL	<u>SPACING</u> 18" o.c.	REMARKS FULL, MATCHING
<u>SOD/SEED</u> CD	BOTANICAL / COMMON NAME CYNODON DACTYLON BERMUDA GRASS	SIZE SOD	<u>SPACING</u>	REMARKS SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

PLANT SCHEDULE BUILDING 2

REES QM	BOTANICAL / COMMON NAME QUERCUS MUEHLENBERGII CHINKAPIN OAK	SIZE/COND. 65 GAL	REMARKS 3" CAL., SINGLE, STRAIGHT LEADER, MATCHING	
TD	TAXODIUM DISTICHUM BALD CYPRESS	45 GAL	SINGLE, STRAIGHT LEADER, MATCHING	
UC2	ULMUS CRASSIFOLIA CEDAR ELM	65 GAL	3" CAL., MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER	
<u>ORNAMENTAL TREES</u> ILD	<u>BOTANICAL / COMMON NAME</u> ILEX DECIDUA POSSUMHAW HOLLY	<u>SIZE/COND.</u> 30 GAL	<u>REMARKS</u> MULTI-TRUNK, FULL, MATCHING	
LN	LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE	30 GAL	MULTI-TRUNK, FULL, MATCHING	
MYC	MYRICA CERIFERA WAX MYRTLE	30 GAL	MULTI-STEM, FULL, MATCHING	
<u>SHRUBS</u> ILN	<u>BOTANICAL / COMMON NAME</u> ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY	<u>SIZE</u> 15 GAL	<u>SPACING</u> 72" o.c.	<u>REMARKS</u> FULL, MATCHING, MIN. 6'-7' AT PLANTING
LFG	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER	5 GAL	48" o.c.	FULL, MATCHING
RJ	RHAPHIOLEPIS INDICA INDIAN HAWTHORN	5 GAL	48" o.c.	FULL, MATCHING
<u>GROUND COVERS</u> NH	<u>BOTANICAL / COMMON NAME</u> LAKESIDE RANCH NATIVE SEED MIX LAKESIDE RANCH NATIVE SEED MIX	<u>SIZE</u> HYDROMULCH	<u>SPACING</u>	<u>REMARKS</u> REF. PD 83 FOR SEED MIX COMPOSITION SPECS. 5.4 LBS PER 1,000 SF APPLICATION RATE.
<u>HARDSCAPE</u> DG	<u>BOTANICAL / COMMON NAME</u> DECOMPOSED GRANITE DG	<u>SIZE</u> NONE	<u>SPACING</u>	<u>REMARKS</u> WASHED 1/4" SIZE (FINES REMOVED), TEXAS BUFF, A/B RUN, 4" DEPTH COMPACTED & WATERED IN 2" LIFTS TO FULL DEPTH
<u>ORNAMENTAL GRASS</u> MG2	<u>BOTANICAL / COMMON NAME</u> MUEHLENBERGIA CAPILLARIS 'GULF COAST' GULF COAST MUHLY	<u>SIZE</u> 1 GAL	<u>SPACING</u> 18" o.c.	<u>REMARKS</u> FULL, MATCHING
<u>SOD/SEED</u> CD	<u>BOTANICAL / COMMON NAME</u> CYNODON DACTYLON BERMUDA GRASS	<u>SIZE</u> SOD	<u>SPACING</u>	<u>REMARKS</u> SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

LANDSCAPE TABULATIONS - PD 83 (FLOWER MOUND) - BUILDING 1

R.O.W. ZONE			
STANDARD	TOTAL STREET BUFFER ZONE	REQUIRED	PROVIDED
GERAULT ROAD	90 LF	R.O.W. ZONE	R.O.W. ZONE
1 TREE PER 60 LF @ GERAULT ROAD		90/60=1.5 2 TREES	2 TREES
NATIVE GRASS MIN. 20% SF OF AREA	670 SF	134 SF (20%)	177 SF (26%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
STREET BUFFER ZONE			
STANDARD	TOTAL STREET BUFFER ZONE	REQUIRED	PROVIDED
GERAULT ROAD	248 LF	25 LF WIDTH STREET BUFFER	25 LF WIDTH STREET BUFFER
1 TREE PER 70 LF @ GERAULT ROAD		248/70=3.5	6 TREES
		4 TREES	
1 UNDERSTORY TREE PER 20 LF OF CANOPY DRIFT PERIMTER (IN THE STREET BUFFER ZONE THAT IS NOT CONTIGUOUS OR CONNECTED WITH THE TREE DRIFT LOCATED IN THE ROW ZONE	0	0	7 TREES
NATIVE GRASS MIN. 40% SF OF AREA	4,782 SF	1,913 SF (40%)	3,107 SF (65%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
LANDSCAPE BUFFER ZONE			
STANDARD		REQUIRED	PROVIDED
GERAULT ROAD	0	25 LF	25 LF LANDSCAPE BUFFER
TREES AND UNDERSTORY MIXTURES		0	4 TREES
1 TREE PER 20 LF OF CANOPY DRIFT PERIMETER			
NATIVE GRASS MIN. 40% SF OF AREA	4,967 SF	1,987 SF (40%)	2,727 SF (55%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
STREET YARD			
STANDARD	STREET YARD SF	REQUIRED	PROVIDED
MIN. 20% SHALL BE LANDSCAPED	28,800 SF	28,800*20%=5,760 5,760 SF (20%)	15,224 SF (53%)
FOR STREET YARD BETWEEN 10,000 AND 100,000 SF, 10 TREES SHALL BE REQUIRED FOR THE FIRST 10,000 SF PLUS 1 ADDITIONAL TREE SHALL BE REQUIRED FOR EACH 2,500 SF		10 + ((28,800-10,000)/2,500) = 17.52 18 TREES	24 TREES
NOTE: TREES REQUIRED TO SATISFY OTHER PROVISIONS OF LANDSCAPING REQUIREMENTS AND LYING WITHIN THE STREET YARD MAY BE USED TO SATISFY THE REQUIREMENTS OF OTHER SECTIONS			
PARKING AREA LANDSCAPING			
STANDARD	NUMBER OF PARKING SPACES	REQUIRED	PROVIDED
90 SF PER 12 SPACES	48	(48/12)*90=360 360 SF TOTAL	1,084 SF TOTAL
PARKING AREA TREES			
STANDARD	NUMBER OF PARKING SPACES	REQUIRED	PROVIDED
1 PER 10 PARKING SPACES	48	48/10=4.8 5 TREES	8 TREES
NOTE: ALL PARKING SPACES ARE LOCATED WITHIN 50 FT OF A TREE			
PARKING LOT SCREENING			
STANDARD	PARKING LOT LF	REQUIRED	PROVIDED
PARKING SCREENING SHRUBS IN CURVILINEAR FORM	253 LF	190 LF (75% PARKING FRTG)	253 LF (97% PARKING FRTG)
NOTE: PLANT HEIGHT MAY BE REDUCED TO EXTENT THAT EARTHEN BEAM FORMS ARE USED TO ACCOMPLISH SCREENING			

LANDSCAPE TABULATIONS - PD 83 (FLOWER MOUND) - BUILDING 2

R.O.W. ZONE			
STANDARD	TOTAL STREET BUFFER ZONE	REQUIRED	PROVIDED
GERAULT ROAD		R.O.W. ZONE	R.O.W. ZONE
1 TREE PER 60 LF @ GERAULT ROAD	322 LF	322/60=5.4 6 TREES	6 TREES
NATIVE GRASS MIN. 20% SF OF AREA	3,606 SF	721 SF (20%)	1,111 SF (31%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
STREET BUFFER ZONE			
STANDARD	TOTAL STREET BUFFER ZONE	REQUIRED	PROVIDED
GERAULT ROAD		25 LF WIDTH STREET BUFFER	25 LF WIDTH STREET BUFFER
1 TREE PER 70 LF @ GERAULT ROAD	381 LF	381/70=5.4 5 TREES	4 EXISTING TREES 1 PROPOSED TREE 5 TREES TOTAL
1 UNDERSTORY TREE PER 20 LF OF CANOPY DRIFT PERIMETER (IN THE STREET BUFFER ZONE THAT IS NOT CONTIGUOUS OR CONNECTED WITH THE TREE DRIFT LOCATED IN THE ROW ZONE	306 LF	306/20=15.3 15 TREES	15 TREES
NATIVE GRASS MIN. 40% SF OF AREA	6,602 SF	2,641 SF (40%)	6,147 SF (93%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
LANDSCAPE BUFFER ZONE			
STANDARD		REQUIRED	PROVIDED
GERAULT ROAD		25 LF	25 LF LANDSCAPE BUFFER
TREES AND UNDERSTORY MIXTURES	304 LF	304/20=15.2 15 TREES	15 TREES
1 TREE PER 20 LF OF CANOPY DRIFT PERIMETER			
NATIVE GRASS MIN. 40% SF OF AREA	6,444 SF	2,578 SF (40%)	3,505 SF (54%)
NOTE: BERMUDA GRASS SHALL BE PLANTED IN THE REMAINING AREA			
STREET YARD			
STANDARD	STREET YARD SF	REQUIRED	PROVIDED
MIN. 20% SHALL BE LANDSCAPED		49,355x20%=9,871 9,871 SF (20%)	25,156 SF (51%)
FOR STREET YARD BETWEEN 10,000 AND 100,000 SF, 10 TREES SHALL BE REQUIRED FOR THE FIRST 10,000 SF PLUS 1 ADDITIONAL TREE SHALL BE REQUIRED FOR EACH 2,500 SF	49,355 SF	10+(49,355-10,000)/2,500=25.7 26 TREES	7 EXISTING TREES 45 PROPOSED TREES 52 TREES
NOTE: TREES REQUIRED TO SATISFY OTHER PROVISIONS OF LANDSCAPING REQUIREMENTS AND LYING WITHIN THE STREET YARD MAY BE USED TO SATISFY THE REQUIREMENTS OF OTHER SECTIONS			
PARKING AREA LANDSCAPING			
STANDARD	NUMBER OF PARKING SPACES	REQUIRED	PROVIDED
90 SF PER 12 SPACES	57	57/12*90=427.5 428 SF	1,738 SF
PARKING AREA TREES			
STANDARD	NUMBER OF PARKING SPACES	REQUIRED	PROVIDED
1 PER 10 PARKING SPACES	57	57/10=5.7 6 TREES	11 TREES
NOTE: ALL PARKING SPACES ARE LOCATED WITHIN 50 FT OF A TREE			
PARKING LOT SCREENING			
STANDARD	PARKING LOT LF	REQUIRED	PROVIDED
PARKING SCREENING SHRUBS IN CURVILINEAR FORM	356 LF	267 LF (75% PARKING FRITG)	356 LF (100% PARKING FRITG)
NOTE: PLANTS HEIGHT MAY BE REDUCED TO EXTENT THAT BERM GROUND FORMS ARE USED TO ACCOMPLISH SCREENING			

PLANTING GENERAL NOTES

LAKE SIDE 2

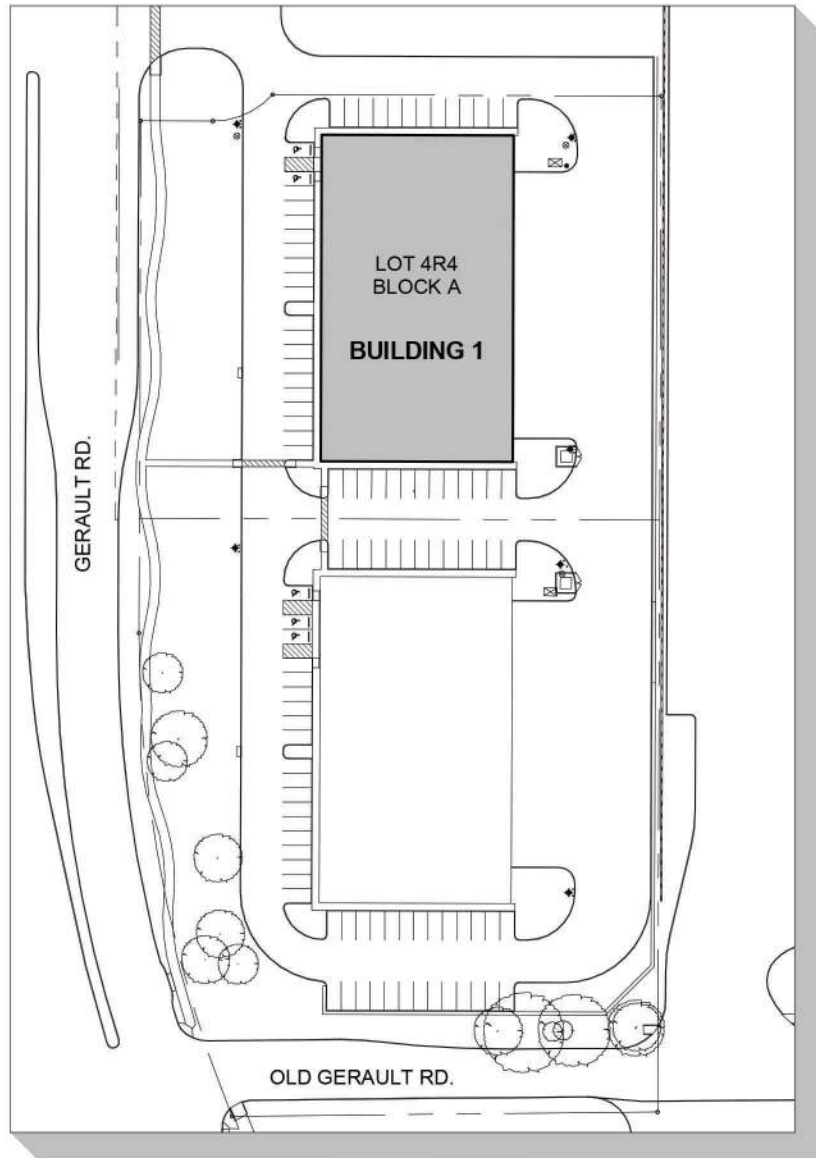
LAKESIDE RANCH BUSINESS PARK

LOT 4R3, BLOCK A; 4.593 ACRES

TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

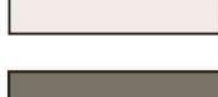
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GBH	CM/KJH	FEB 2019	A5 SHOWN			L2.1





VICINITY MAP

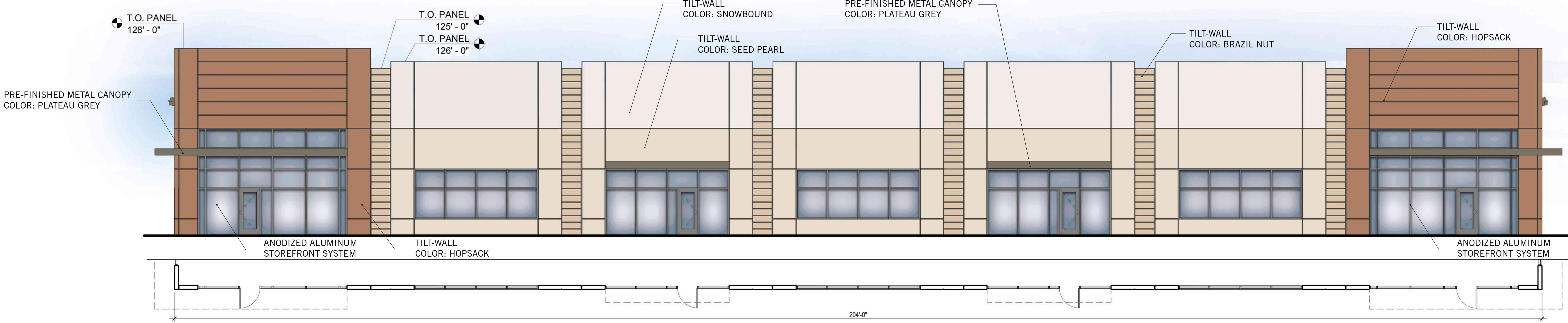
PAINT COLOR KEY:

	SW 6109: HOPSACK 158, 129, 99
	BRAZIL NUT 554 20YY 63/149 222, 199, 171
	SEED PEARL 2009 40YY 75/084 231, 220, 201
	SW 7004: SNOWBOUND 237, 234, 229
	PLATEAU GREY 684 40YY 20/081 121, 113, 100

MATERIAL CALCULATIONS:

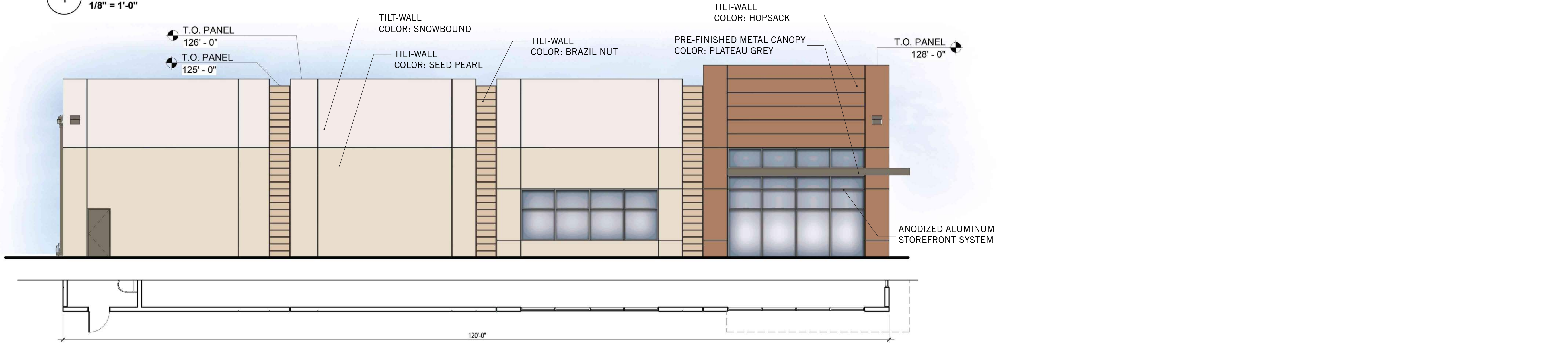
		NORTH	SOUTH	EAST	WEST
1.	TOTAL FAÇADE S.F.	3,168 s.f.	3,168 s.f.	5,821 s.f.	5,410 s.f.
2.	FAÇADE S.F. (EXCLUSIVE OF DOORS & WINDOWS)	2,718 s.f.	2,694 s.f.	4,614 s.f.	3,960 s.f.
3.	DOORS & WINDOWS* S.F.	450 s.f.	474 s.f.	672 s.f.	1,450 s.f.
4.	PRIMARY MASONRY TOTALS: PAINTED CONCRETE TILT-WALL	2692 s.f.	2668 s.f.	5,149 s.f.	3903 s.f.

- * Vitro Architectural Glass - Optigray - 10% Outdoor Visible Light Reflectance
- All retaining/detaining walls, turn-down curbs, tree retaining walls shall be clad in a material to match the materials on the main building.
- All ground based HVAC shall be screened with live screening or masonry enclosure. Masonry enclosure shall be clad in the same material as the main building.
- All electrical panels and associated components shall be painted/textured to match the color of the building.
- Dumpster screening wall requires a separate building permit.
- Signs require a separate building permit. Any signs depicted on the subject site plan/elevations are not approved as a part of this review and must comply with all applicable town regulations.



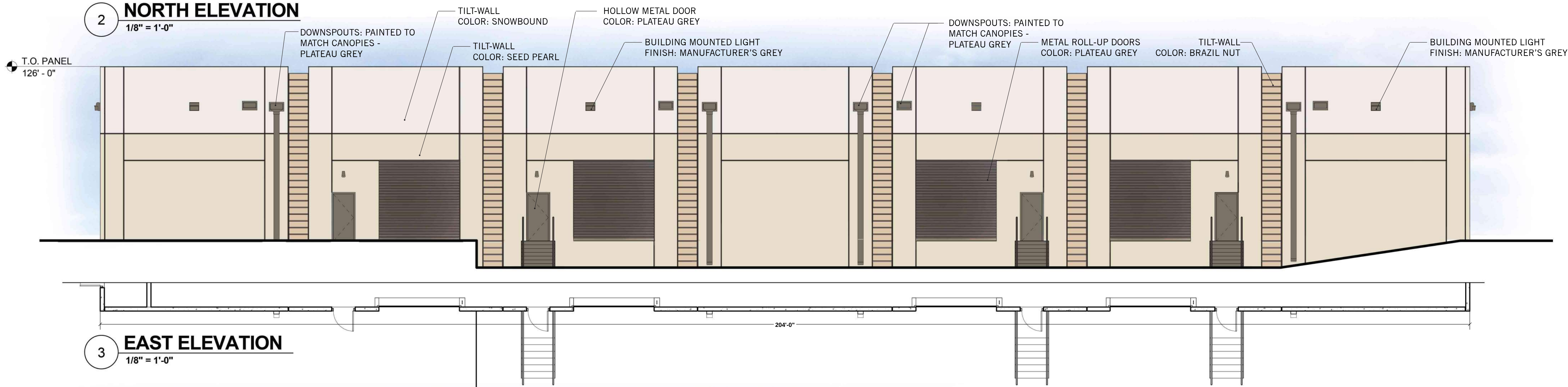
WEST ELEVATION

1/8" = 1'-0"



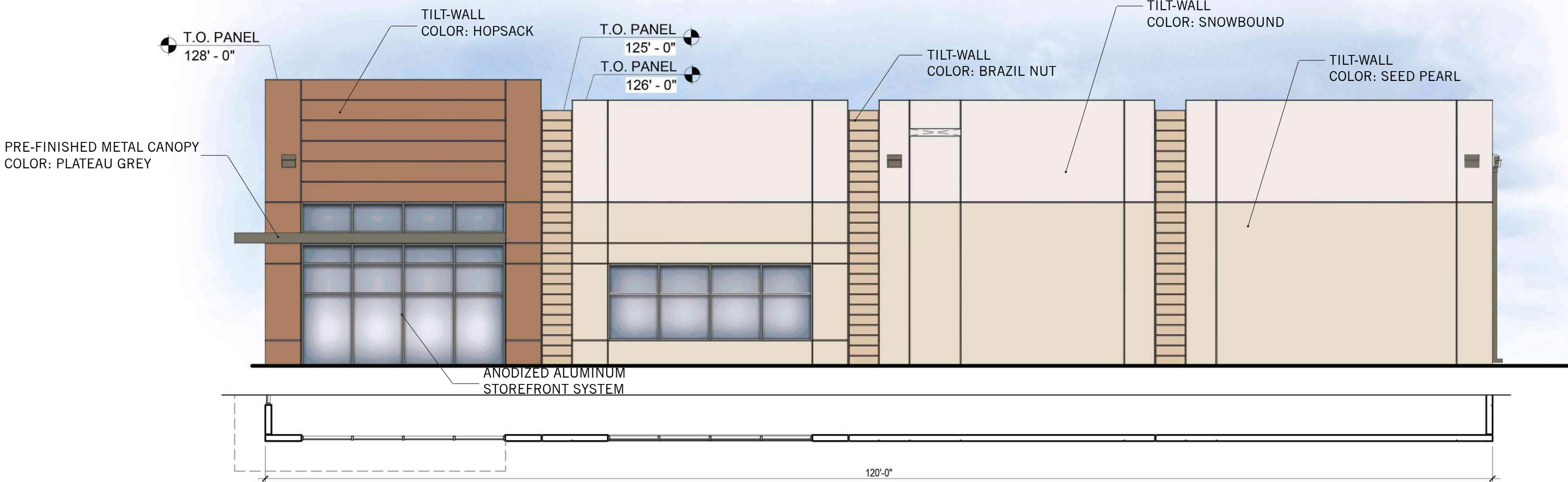
NORTH ELEVATION

1/8" = 1'-0"



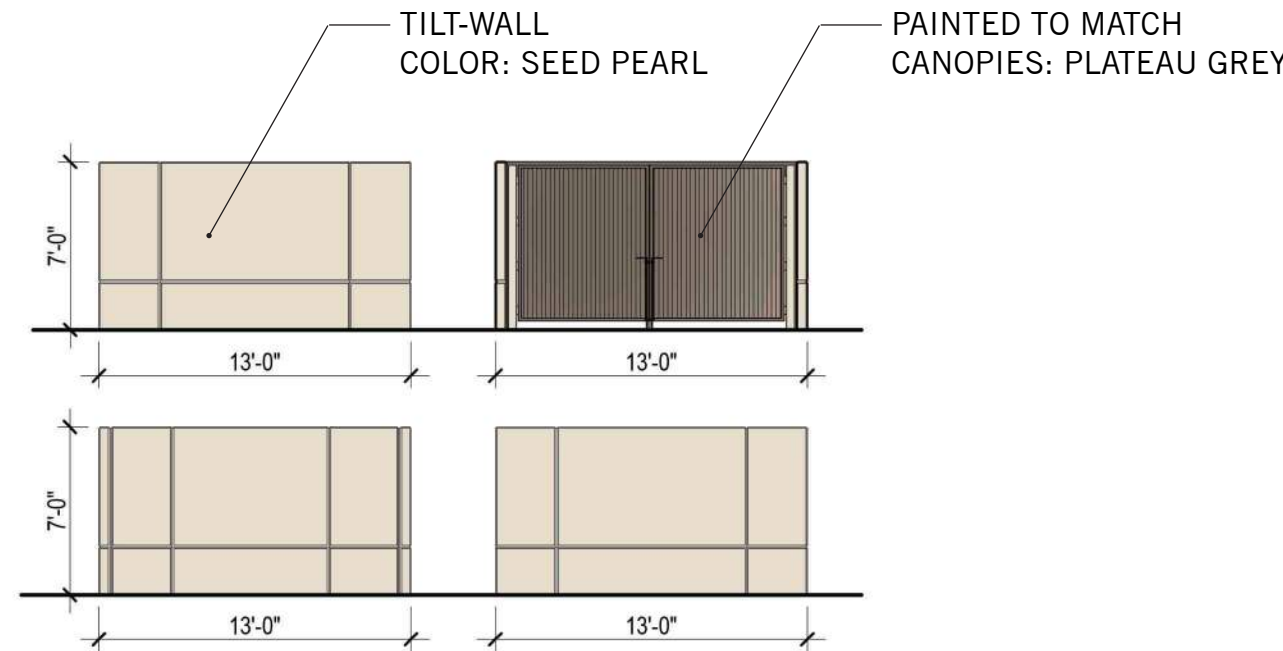
EAST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



DUMPSTER ENCLOSURE ELEVATIONS

1/8" = 1'-0"

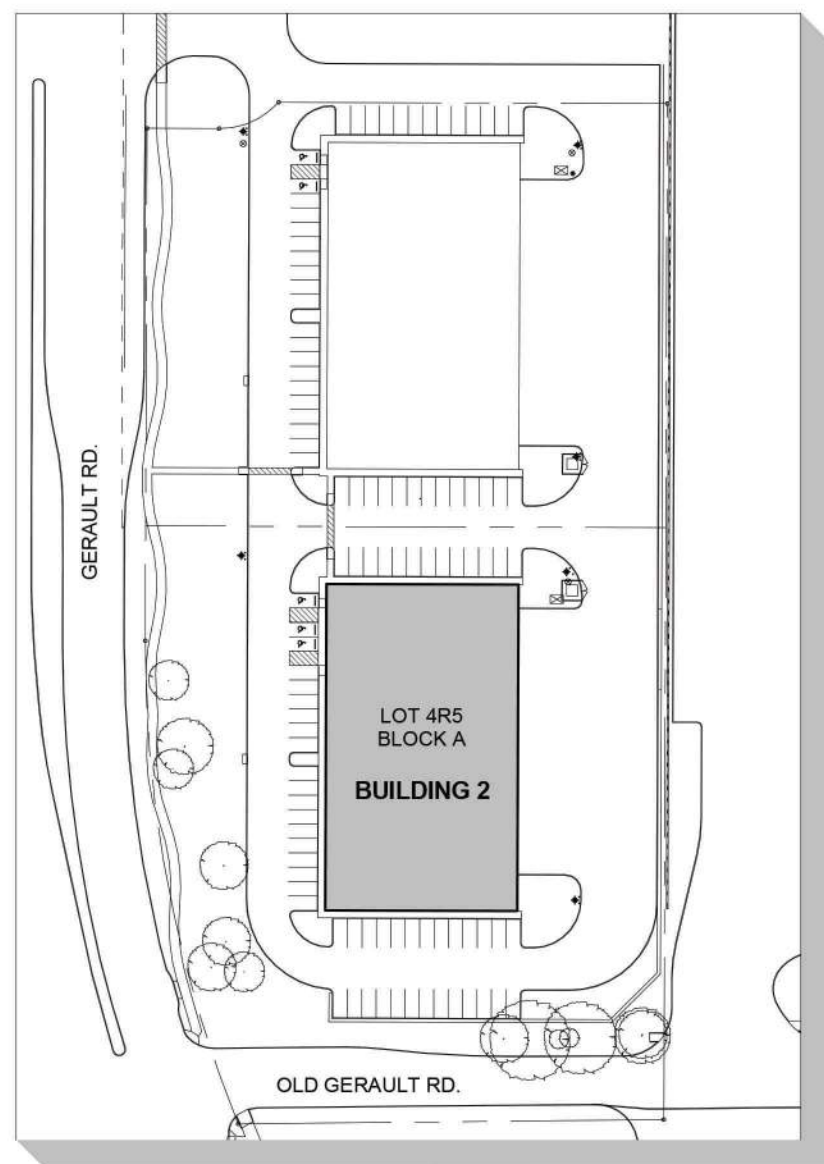
BUILDING ELEVATIONS - Lot 4R4

FLOWER MOUND, TX

03.05.2019

1

O'BRIEN
ARCHITECTS



VICINITY MAP

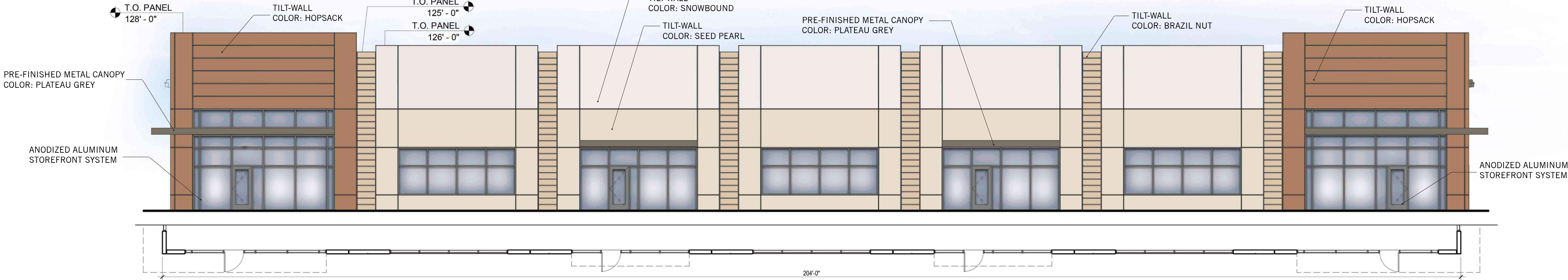
PAINT COLOR KEY:

	SW 6109: HOPSACK 158, 129, 99
	BRAZIL NUT 554 20YY 63/149 222, 199, 171
	SEED PEARL 2009 40YY 75/084 231, 220, 201
	SW 7004: SNOWBOUND 237, 234, 229
	PLATEAU GREY 684 40YY 20/081 121, 113, 100

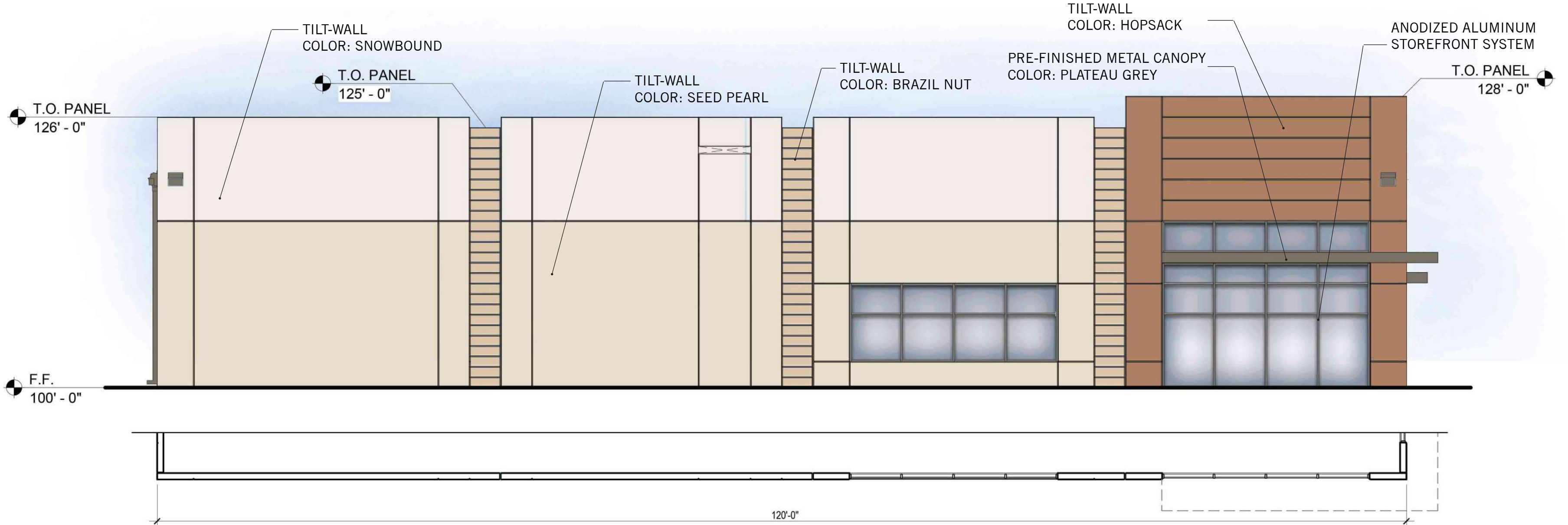
MATERIAL CALCULATIONS:

		NORTH	SOUTH	EAST	WEST
1.	TOTAL FAÇADE S.F.	3,168 s.f.	3,168 s.f.	5,821 s.f.	5,410 s.f.
2.	FAÇADE S.F. (EXCLUSIVE OF DOORS & WINDOWS)	2,718 s.f.	2,694 s.f.	4,614 s.f.	3,960 s.f.
3.	DOORS & WINDOWS* S.F.	450 s.f.	474 s.f.	672 s.f.	1,450 s.f.
4.	PRIMARY MASONRY TOTALS: PAINTED CONCRETE TILT-WALL	2692 s.f.	2668 s.f.	5,149 s.f.	3903 s.f.

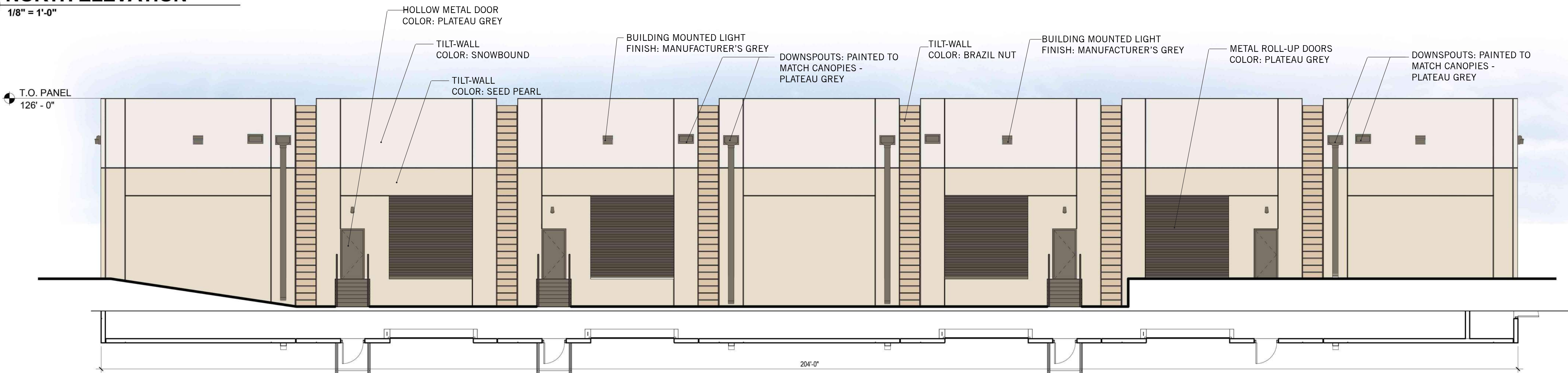
- * Vitro Architectural Glass - Optigray - 10% Outdoor Visible Light Reflectance
- All retaining/detaining walls, turn-down curbs, tree retaining walls shall be clad in a material to match the materials on the main building.
- All ground based HVAC shall be screened with live screening or masonry enclosure. Masonry enclosure shall be clad in the same material as the main building.
- All electrical panels and associated components shall be painted/textured to match the color of the building.
- Dumpster screening wall requires a separate building permit.
- Signs require a separate building permit. Any signs depicted on the subject site plan/elevations are not approved as a part of this review and must comply with all applicable town regulations.



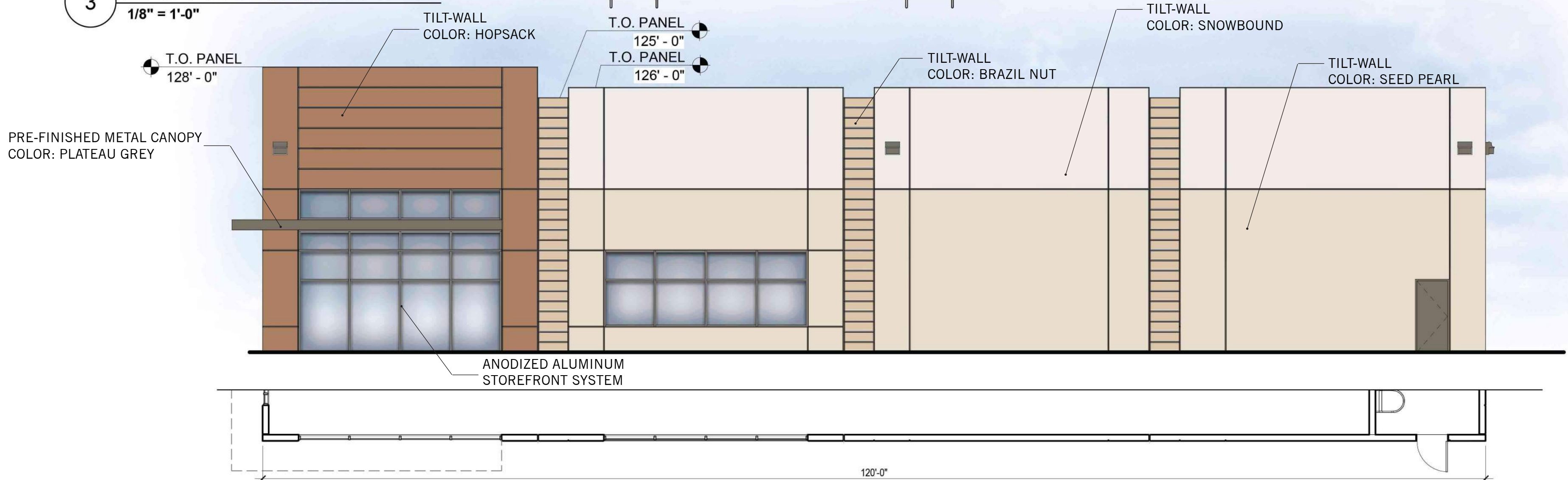
1 WEST ELEVATION
1/8" = 1'-0"



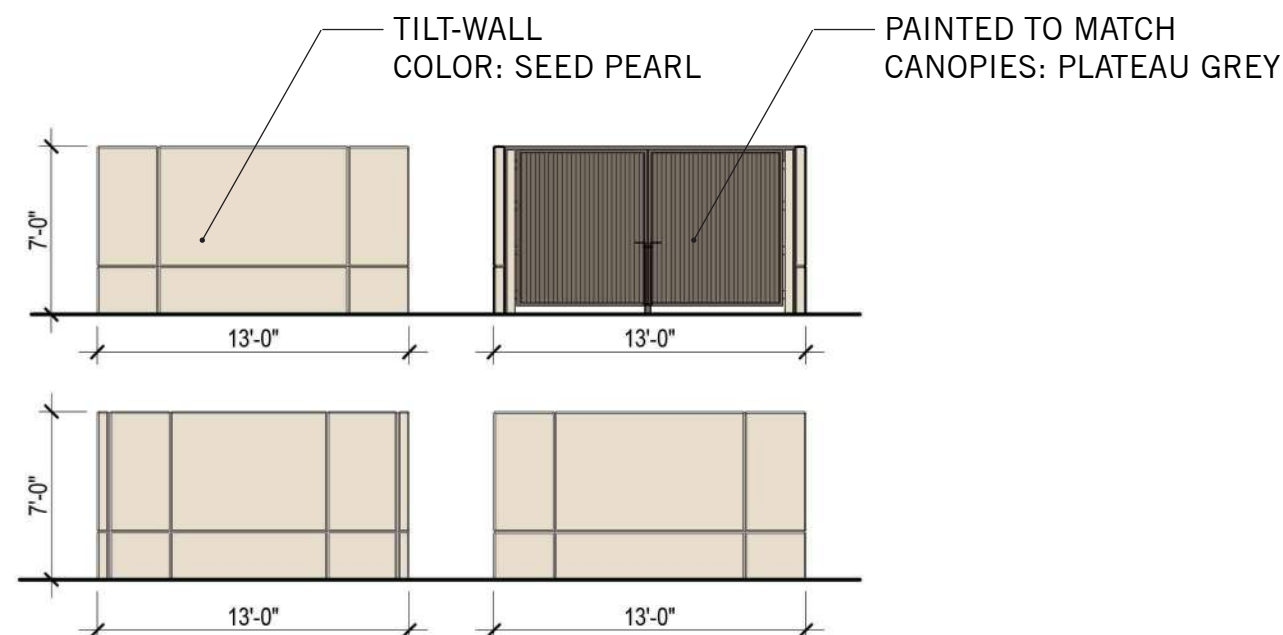
2 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



5 DUMPSTER ENCLOSURE ELEVATIONS
1/8" = 1'-0"



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: April 22, 2019

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for rezoning (ZPD19-0005 - Windhaven Assisted Living) from Agricultural District (A) uses to Planned Development District-173 (PD-173) with Agricultural District (A) uses and a nursing or congregate care facility, with certain exceptions and modifications to the Code of Ordinances. The property is generally located south of Cross Timbers Road and west of Auburn Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are exceptions and modifications to the Town's regulations which necessitate special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Planned Development to provide for a nursing or congregate care facility on a 4.364 acre parcel currently zoned Agricultural District (A). The applicant will retain the existing Agricultural District (A) zoning in the PD. The land use for the property is Low Density Residential within the Cross Timbers Protection Area. With respect to the latter, the Master Plan states, *An area in which the Eastern Cross Timbers environmental quality has been compromised and where development may occur at indicated land use categories and densities, but with additional development standards to protect the remaining Cross Timbers environmental character.*

As part of the request, the applicant has requested certain exceptions and modifications to the Code of Ordinances. In summary (see Section III, below, for detail):

Exception:

- Access Management Policy and Criteria for required driveway spacing
- Section 82-302, Compatibility Buffer
- Section 82-302, Compatibility Setback

Modification:

- Side yard
- Maximum fence height within a front yard

The proposed use is defined in Chapter 98 of the Town Code as a “Nursing or congregate care facility,” which is allowed subject to approval of a Specific Use Permit (SUP) within the Agricultural District zoning. The requested PD will allow this use by right.

The conceptual site plan provides for four buildings that will accommodate 64 assisted living units (16 units per building). Additionally, a 1,050 square foot office is sited within the northeast quadrant of the property. The property will also provide for courtyard areas for the residents, surface parking, and retention pond areas. Excluding the office building and its parking area, the balance of improvements will be secured by fencing and gates with Knox box access for emergency services.

Surrounding land use consists of the Carriage Glen at Bridlewood residential subdivision to the north, across Cross Timbers Road, an undeveloped parcel zoned as Planned Development District No. 72 (PD-72) for limited Office District (O) uses to the east, the Flower Mound Woods residential subdivision to the south, and a single-family use on property zoned an Agricultural District (A) to the west.

Exclusive of the requested exceptions and modifications, the conceptual plans [see Attachment B(1)] provide for proposed development that provides for compliance with the development standards in the Agricultural District (A) as well as required landscaping and buffering. The proposed conceptual elevations are in compliance with the Urban Design Plan.

III. REQUESTED EXCEPTIONS AND MODIFICATIONS

A. Exception to Access Management Policy and Criteria

The Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances requires driveway spacing along Cross Timbers Road (Major Arterial) a minimum 360 feet between drive approaches.

The proposed conceptual site plan provides for one point of ingress/egress. As located, spacing from the closest existing drive approaches is as follows:

- Residential drive approach to the west - 222 feet
- Auburn Drive to the east – 363 feet

B. Exception to Section 82-302, Compatibility Buffer

A landscape buffer shall be located on the site of the nonresidential use along all property lines adjacent to an existing residential use or zoning, or designated for residential use on the comprehensive master plan. The property requires a compatibility buffer along both the western and southern property lines.

A brick wall or masonry wall with stucco or mortar wash finish, both exterior finishes being the same, shall be constructed along the property line. Such walls shall have no vehicular access point into or from an alley and shall be a minimum of six feet in height, except that the first 25 feet in from the street line may be stepped down to a minimum height of four feet. For nonresidential and multi-family development (except for churches or schools), the landscaped setback shall consist of a minimum 25-foot landscaped buffer. Understory plants shall be provided in order to achieve a continuous dense six-foot screen. Native shade trees, a minimum of three-inch caliper each, shall be provided at a ratio of one tree per 400 square feet of buffer area.

While the applicant is complying with this requirement along the southern property line, they are requesting an exception along a portion of the western property line:

- Required/Proposed compatibility setback from the west – 25 feet/8 feet and 17 feet sections along the southernmost 332 feet (approximate) of the site's western property line.

C. Exception to Section 82-303, Compatibility Setback

One story nonresidential or multifamily buildings, main or accessory, shall be set back from the property line adjacent to an existing or proposed residential use a minimum of 60 feet. As noted above (Compatibility Buffer exception) the zoning on properties to the west and south each require a compatibility setback.

While the applicant is complying with this requirement along the western property line, they are requesting an exception along the southern property line:

- Required/Proposed compatibility setback from the south – 60 feet/50 feet

D. Modification to the side yard

The Agricultural District (A) requires a 25-foot side yard building setback. The property is located mid-block, thus the zoning requires a 25-foot-wide side yard setback from both the western and eastern property lines.

While the applicant is complying with this requirement along the entire western property line and the majority of the eastern property line, they are requesting an exception along the northernmost 125 feet of the western property line to provide for a fifteen-foot side yard in the general area of the proposed office building. For reference purposes, the immediate adjacency to the east is the above-referenced PD-72 for limited Office District (O) uses.

E. Modification to the maximum fence height in the front yard

In the Agricultural District (A), no solid fence or wall within a required front yard shall exceed four feet in height above the adjacent grade; however, notwithstanding the foregoing, barbed wire or metal/wire livestock fencing not exceeding five feet in height above the adjacent grade shall be permitted within a required front yard.

The applicant is proposing a six-foot tall wrought iron and stone pilaster fence within the majority of the required front yard setback (40 feet) that ties into the six-foot-tall perimeter masonry wall that secures the property, some of which is also located within the front yard setback.

This modification is requested so as to allow for a more secure living environment for the residents.

F. Summary

With respect to the above exceptions and modifications, refer to the applicant's Letter of Intent [Attachment A(2)] for a detailed explanation for each. It should be noted that the attached development standards [see Attachment B(2)] limit these exceptions and modifications to the nursing or congregate care facility. In summary, staff has no concerns with this portion of the request.

Environmental Conservation Commission

On [March 5, 2019](#), the Environmental Conservation Commission (ECC) recommended approval of a permit to remove nine specimen trees on the site. The item will be forwarded to the Town Council for consideration at the same time as the subject project.

IV. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Specific Use Permit requests. At the time this report was written, the Town had received two correspondences in support (one by voice mail) and no items of correspondence in opposition to the request. All written correspondence was sent directly to the Planning and Zoning Commission according to the new public communication process.

V. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

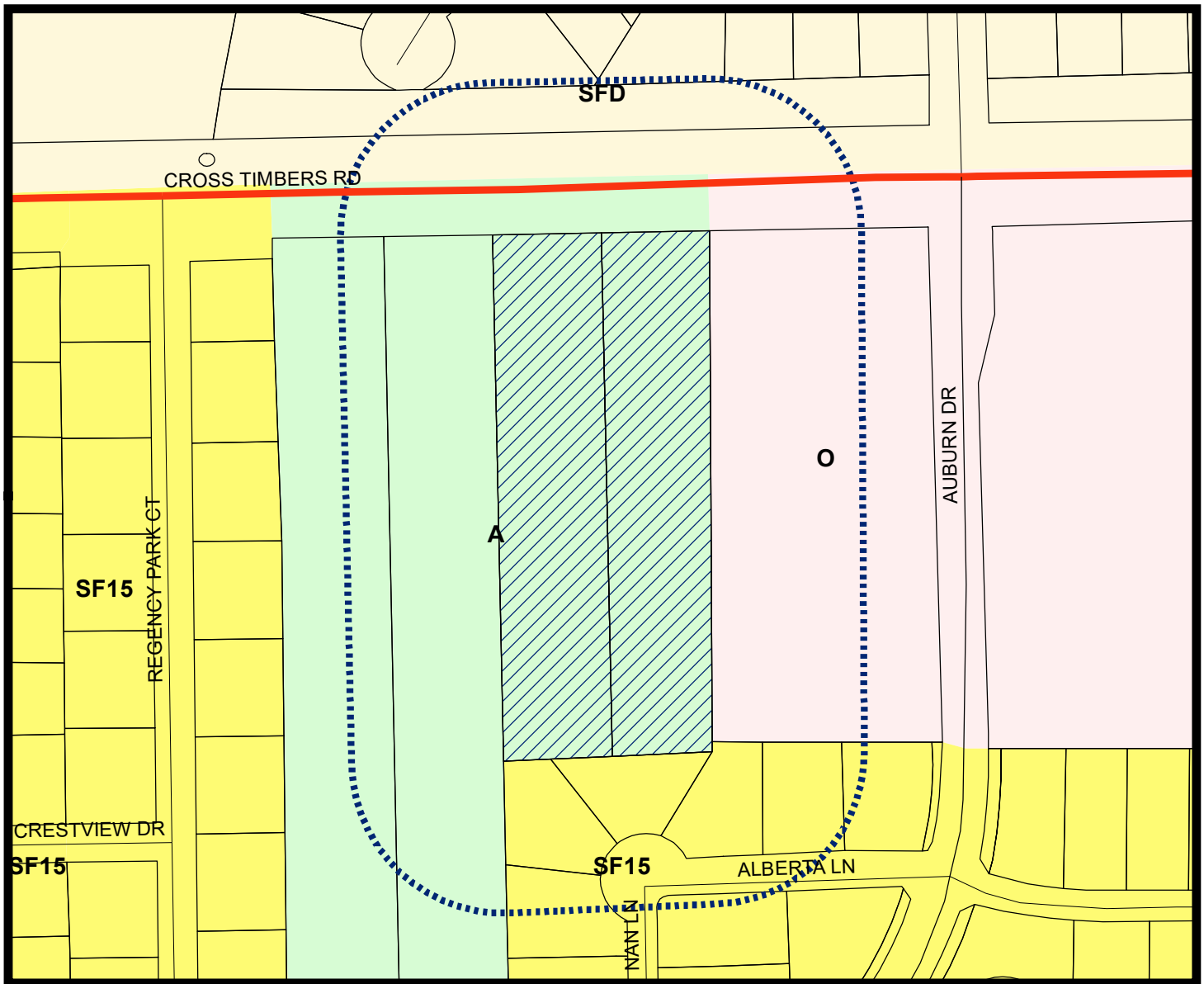
B. Application Details

1. Planned Development Zoning Package
2. Draft Planned Development (PD) Standards

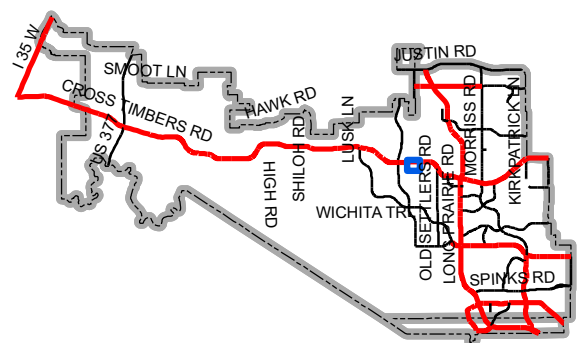
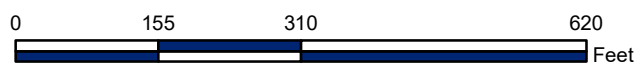
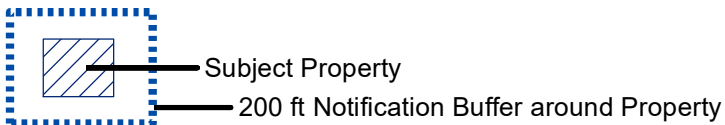


Vicinity Map

Reference Project: ZPD19-0005



LEGEND



Map Location

February 12, 2019

Town of Flower Mound
Planning Department

RE: Letter of Intent for 3801 Cross Timbers Road – Assisted Living Development

To whom it may concern:

On behalf of the client, 1519 LLC, is submitting the required documents for the submission for a Planned Development for Agricultural District (A) uses and a Nursing or congregate care facility. The property is currently zoned for Agricultural District (A) uses. The Nursing or congregate care facility is allowed by specific use permit within the current zoning and will be requested as a Permitted Use within the PD.

Windhaven Senior Living is currently seeking the requested Planned Development in order to allow WSL Flower Mound, LLC (“WSL”) to construct a cottage style assisted living community, to house up to sixty-four senior care residents, on the subject 4.36-acre property. WSL is seeking to place five independent Tuscan designed structures on the property; a small 1,800 square foot administrative office and four 12,000 square foot, 16-bedroom residences. WSL would seek to license the four residences under the Class B Small License with the Texas Department of Health and Human Services, which would allow placement of a maximum of 16 residents in each Resident Home.

The Tuscan style exterior will provide for a beautiful landscape to the neighborhood. Each interior will be constructed with the highest of quality amenities. Each house will possess a full commercial kitchen and will be fully handicap compliant. Each resident room will have an ensuite bathroom with granite countertops and WSL will operate at an impressive one staff member for every 4 residents.

The nearly 15-year-old WSL cottage style assisted living model is focused on providing the highest level of care to each of its residents, supplying the best possible dietary needs and to always seek the fullest level of communication.

Requested Modification:

Windhaven Senior Living is requesting the following modifications to the existing and requested Agricultural District, limited to the proposed nursing or congregate care facility:

- Side yard setback of 15 feet (in lieu of required 25 feet) for the office component of the development. With the properties unique slender shape, a modification is required to accommodate the width of the buildings and the fire lanes necessary for this development.
- Permit fence height of six feet (in lieu of required four feet in the required front yard. The ornate wrought-iron is used not only for decorative purposes for this development, its main objective is security. A fence of only four feet would not demonstrate sufficient security for those who would potentially seek the services at Windhaven.

Requested Exceptions:

Exception to Section 82-302, Compatibility Buffer

- Modification to the Compatibility Buffer-requires a six-foot-tall masonry wall and 25 foot landscape buffer with specific planting requirements. Along the western property line, required buffer scales in compliance parallel to the two northern buildings, while a split is provided for the balance (8' and 17')

Exception to Section 82-303, Compatibility Setback

- Modification to the Compatibility Setback-requires a 60-foot setback; we are requesting a modification along the southern property line (60'>50'). Required setback is being provided along the western property line.

Exception to Access Management Policy and Criteria to capture detail related to driveway Spacing

- A driveway exception is being requested as the entrance will need to be closer than 360 feet to another existing driveway. Because Auburn Dr. is a more significant intersection, the proposed entrance will be further from it (363'). The separation distance from the proposed drive to the neighboring existing drive to the west is being improved and increased to 222'.

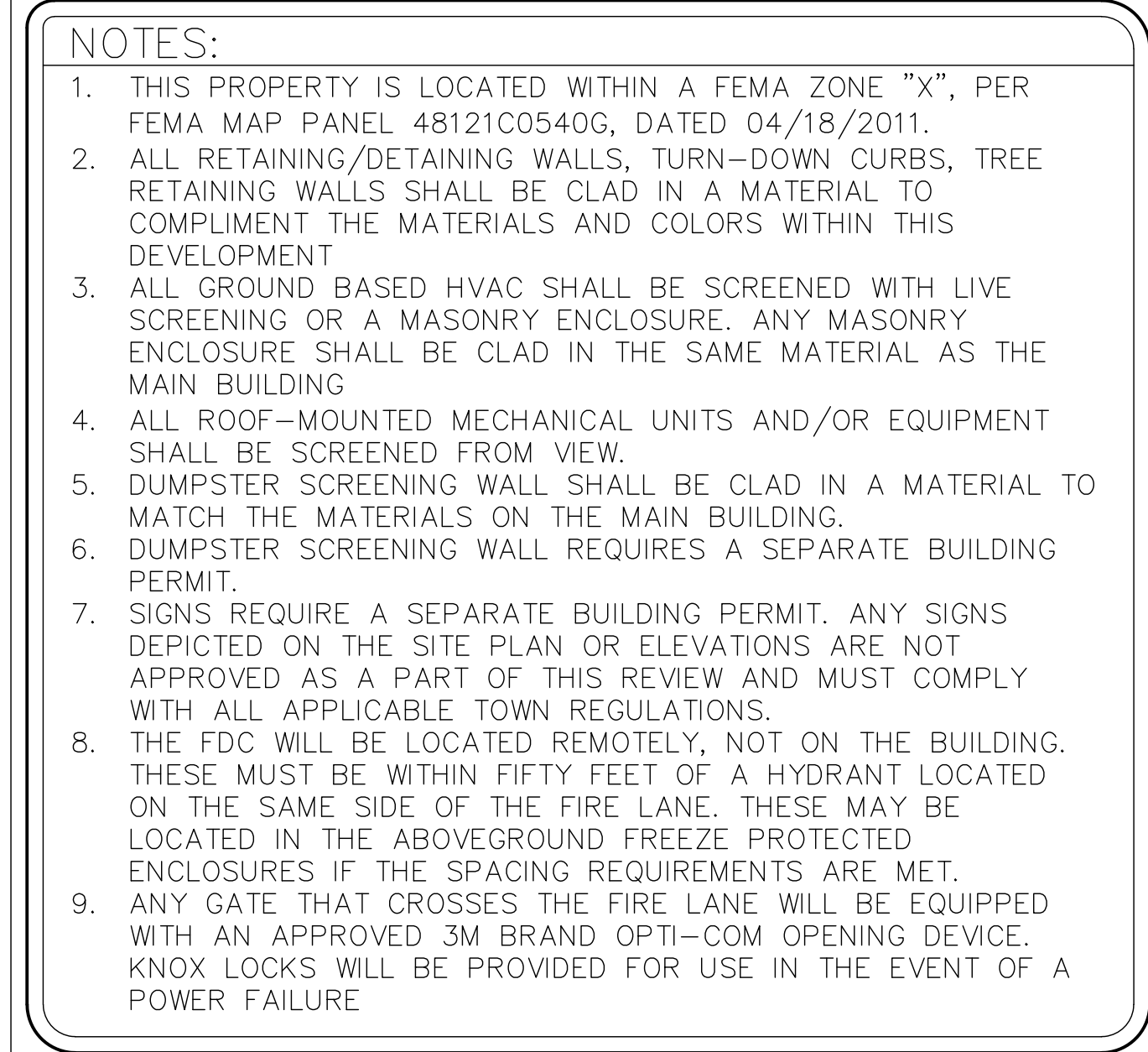
Sincerely,

1519 LLC
TBPE Firm Registration No. F-17299

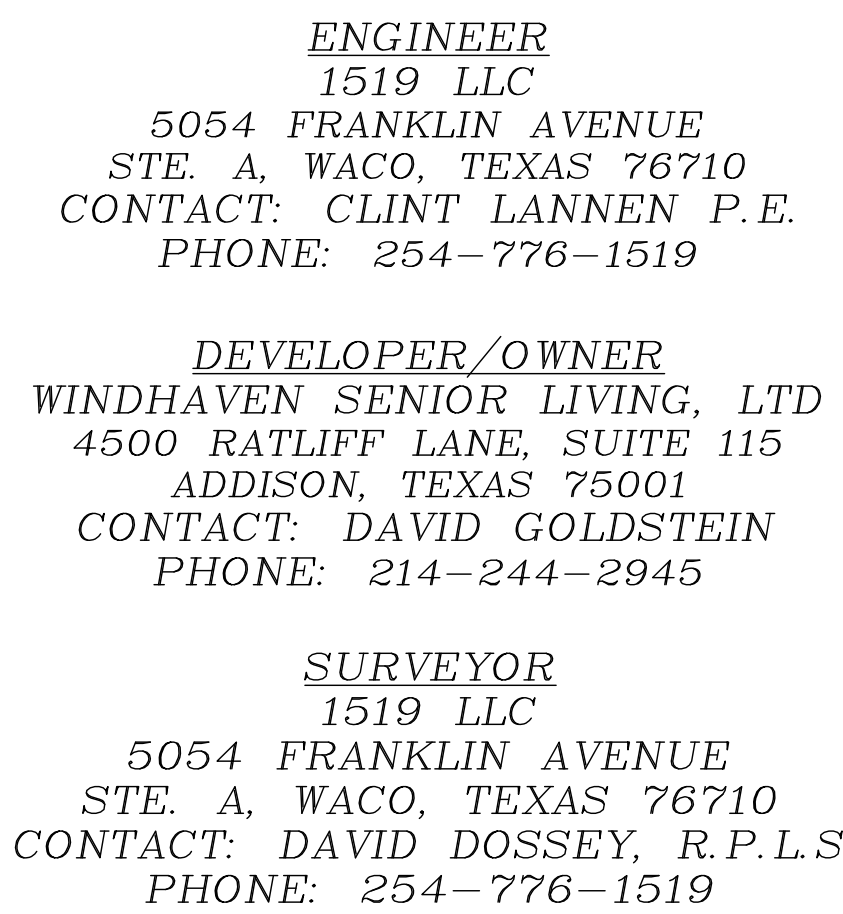
Clint Lannen, P.E.



xc: Project File

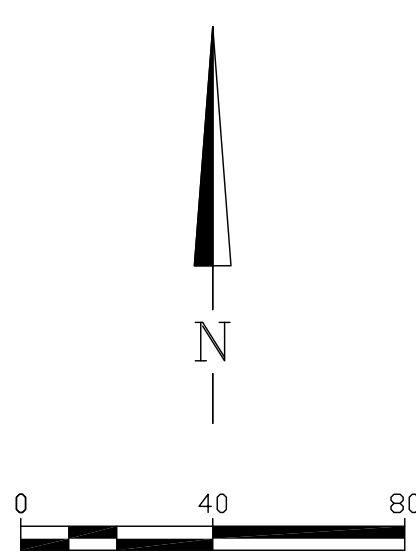


BUILDING DATA								
BUILDING		RESIDENT UNITS	OFFICE UNITS	TOTAL UNITS	TOTAL FLOOR AREA (SF)	STORIES	PEAK HEIGHT	MEAN HEIGHT
A	NURSING /CONGREGATE CARE	16	NONE	16	11,200	1	34'	23'
B	NURSING /CONGREGATE CARE	16	NONE	16	11,200	1	34'	23'
C	NURSING /CONGREGATE CARE	16	NONE	16	11,200	1	34'	23'
D	NURSING /CONGREGATE CARE	16	NONE	16	11,200	1	34'	23'
E	OFFICE	NONE	1	1	1,050	1	19'	14'
TOTALS:		48	1	49	45,850			



PRELIMINARY PLANS

THIS DOCUMENT IS PROVISIONAL
AND FOR REVIEW ONLY. IT IS NOT
INTENDED FOR CONSTRUCTION,
BIDDING OR PERMIT PURPOSES.
CLINT D. LANNEN, PE # 107845
DATE: 01/09/2019

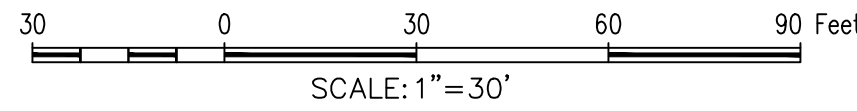


1519
SURVEYING & ENGINEERING

WINDHAVEN ASSISTED LIVING
4.367 ACRES
3801 CROSS TIMBERS RD.
FLOWER MOUND, DENTON COUNTY, TEXAS

CONCEPTUAL SITE PLAN

DRAWN: TDC
DATE:02/05/2018
1519 JOB#: 41669
SHEET NO
EXHIBIT



5054 Franklin Avenue
Suite A
Waco, TX 76710
Ph: 254-776-1519
www.1519LLC.com
TBPLS # 10193968
TBPE # F-17299



SURVEYING & ENGINEERING

WINDHAVEN ASSISTED LIVING
4.36 ACRES
3801 CROSS TIMBERS RD.
FLOWER MOUND, DENTON COUNTY, TEXAS

CONCEPT LANDSCAPE PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
RON STEWART LANDSCAPE ARCHITECT
DATED 2/12/2019



DRAWN: VC

DATE: 2/11/2019

1519 JOB#: 41669

SHEET NO:

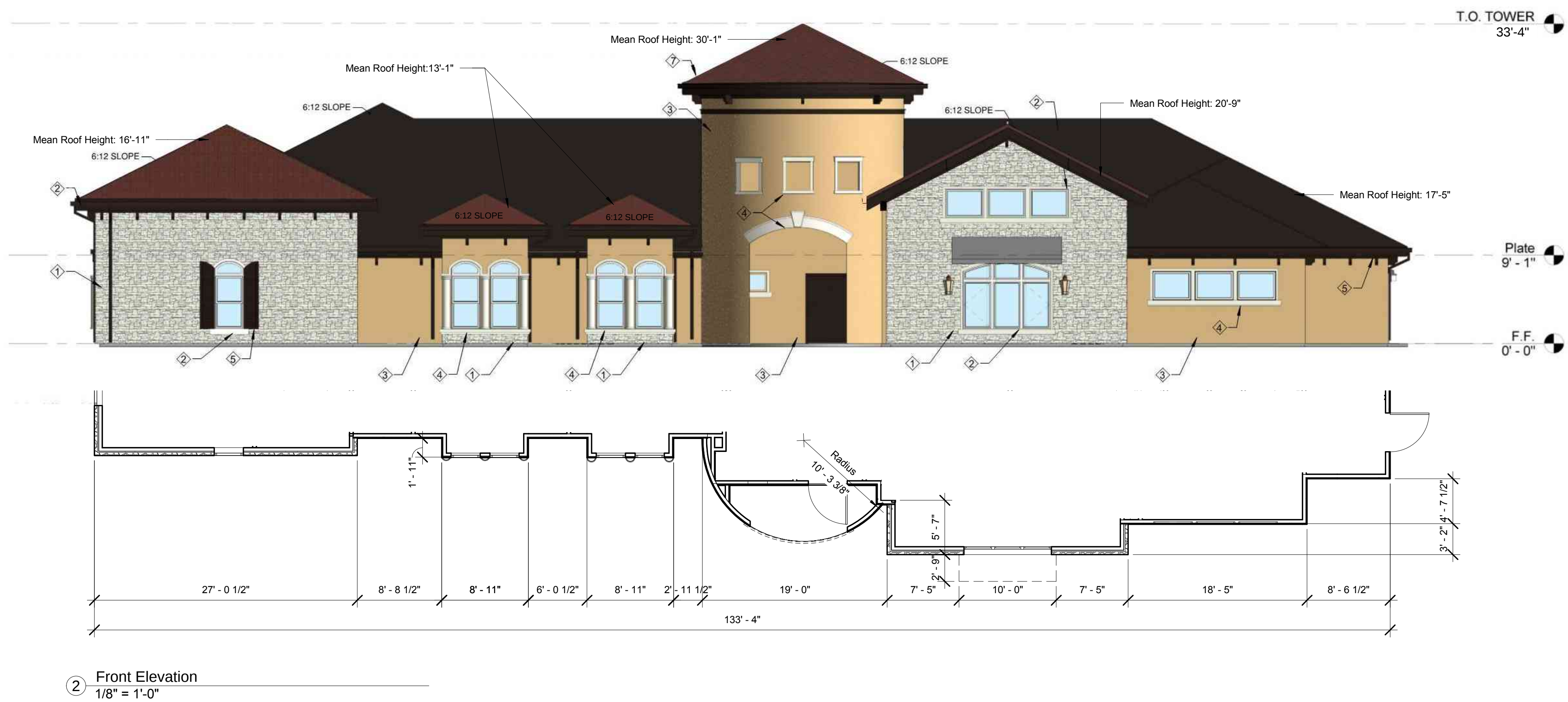
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MATERIAL LEGEND	
①	STONE- SALADO QUARRY, "SONOMA CAVE".
②	CAST STONE- STONE LEGENDS, "WHITE".
③	STUCCO- SHERWIN WILLIAMS EXT. PAINT, "GOLDEN FLEECE" (SW 6388)
④	STUCCO TRIM- BENJAMIN MOORE EXT. PAINT, "MUSLIN" (1037).
⑤	WOOD TRIMSHUDDERS- SHERWIN WILLIAM EXT. PAINT, "BLACK BEAN".
⑥	SHINGLE ROOF- CERTAIN TEED, "CLASSIC WEATHERED WOOD".
⑦	TERRA COTTA ROOF- BORAL ROOFING, "TEJAS ESPANA".
⑧	CORRUGATED METAL- SHERWIN WILLIAMS EXT. PAINT, "BLACK BEAN".
⑨	FENCE- METAL, PAINT BLACK.
⑩	PRECAST CONCRETE PANEL WITH STONE MOLD, PAINTED TO MATCH SALADO QUARRY STONE, "SONOMA CAVE".

Material Tabulation Chart				
	North Elevation	East Side Elevation	South Elevation	West Side Elevation
Total Façade SF	1958	1471	1268	1217
Façade SF (Exclusive of Doors and Windows)	1685	1273	966	986
Doors and Windows SF	273	198	302	231
Primary Masonry Materials (Min 80%)				
Stucco	837 SF and 49.7% of 2	847 SF and 66.5% of 2	868 SF and 89.9% of 2	842 SF and 85.5% of 2
Stone	763 SF and 45.3% of 2	376 SF and 29.5% of 2	31 SF and 3.2% of 2	104 SF and 10.5% of 2
Cast Stone	31 SF and 1.8% of 2	20 SF and 1.6% of 2	0 SF and 0% of 2	0 SF and 0% of 2
Secondary Masonry Materials (Max 20%)				
Wood Trim	54 SF and 3.2% of 2	30 SF and 2.4% of 2	67 SF and 6.9% of 2	40 SF and 4% of 2
Other Materials	54 SF and 3.2% of 2	30 SF and 2.4% of 2	67 SF and 6.9% of 2	40 SF and 4% of 2

- NOTE:
1. All retaining/ detaining walls, turn- down curbs, tree retaining walls shall be clad in a material to match the material of the building.
 2. All ground based HVAC shall be screened with live screening or masonry enclosure. Masonry enclosure shall be clad in the same material as the main building.
 3. All electrical panels and associated components shall be painted/textured to match the color of the building.
 4. Dumpster screening wall requires a separate building permit.
 5. Signs require a separate building permit. Any signs depicted on the subject site plan/ elevations are not approved as part of this review and must comply with all applicable town regulations.
 6. Reference to directional orientation for each façade for all buildings will be clarified at site plan application.
 7. The Conceptual Site Plan provides for four residential buildings. The architecture, design, colors, and construction of all subsequent buildings will substantially conform to the elevations depicted on this plan.



Windhaven Senior Living Center

Windhaven Management, LLC
3801 Cross Timbers Rd.
Flower Mound, TX 75028

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Project Number
1830.001
Drawn By
Author
Issue Date
02/07/2019
Revised:

Sheet Title
CONCEPTUAL ELEVATIONS-
CONGREGATE CARE
Sheet Number

A 2.1



MATERIAL LEGEND	
①	STONE- SALADO QUARRY. "SONOMA CAVE".
②	CAST STONE- STONE LEGENDS. "WHITE".
③	STUCCO- SHERWIN WILLIAMS EXT. PAINT. "GOLDEN FLEECE" (SW 6388)
④	STUCCO TRIM- BENJAMIN MOORE EXT. PAINT. "MUSLIN" (1037).
⑤	WOOD TRIMSHUDDERS- SHERWIN WILLIAM EXT. PAINT. "BLACK BEAN".
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Primary Masonry Materials (Min 80%)	1631 SF and 96.8 % of 2	1243 SF and 97.6% of 2	899 SF and 93.1% of 2	946 SF and 96% of 2
Stucco	837 SF and 49.7% of 2	847 SF and 66.5% of 2	868 SF and 89.9% of 2	842 SF and 85.5% of 2
Stone	763 SF and 45.3% of 2	376 SF and 29.5% of 2	31 SF and 3.2% of 2	104 SF and 10.5% of 2
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Secondary Masonry Materials (Max 20%)	-	-	-	-
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Note:

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① Rear Elevation
1/8" = 1'-0"

Windhaven Senior Living Center

Windhaven Management, LLC
3801 Cross Timbers Rd.
Flower Mound, TX 75028

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Drawn By
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Sheet Title
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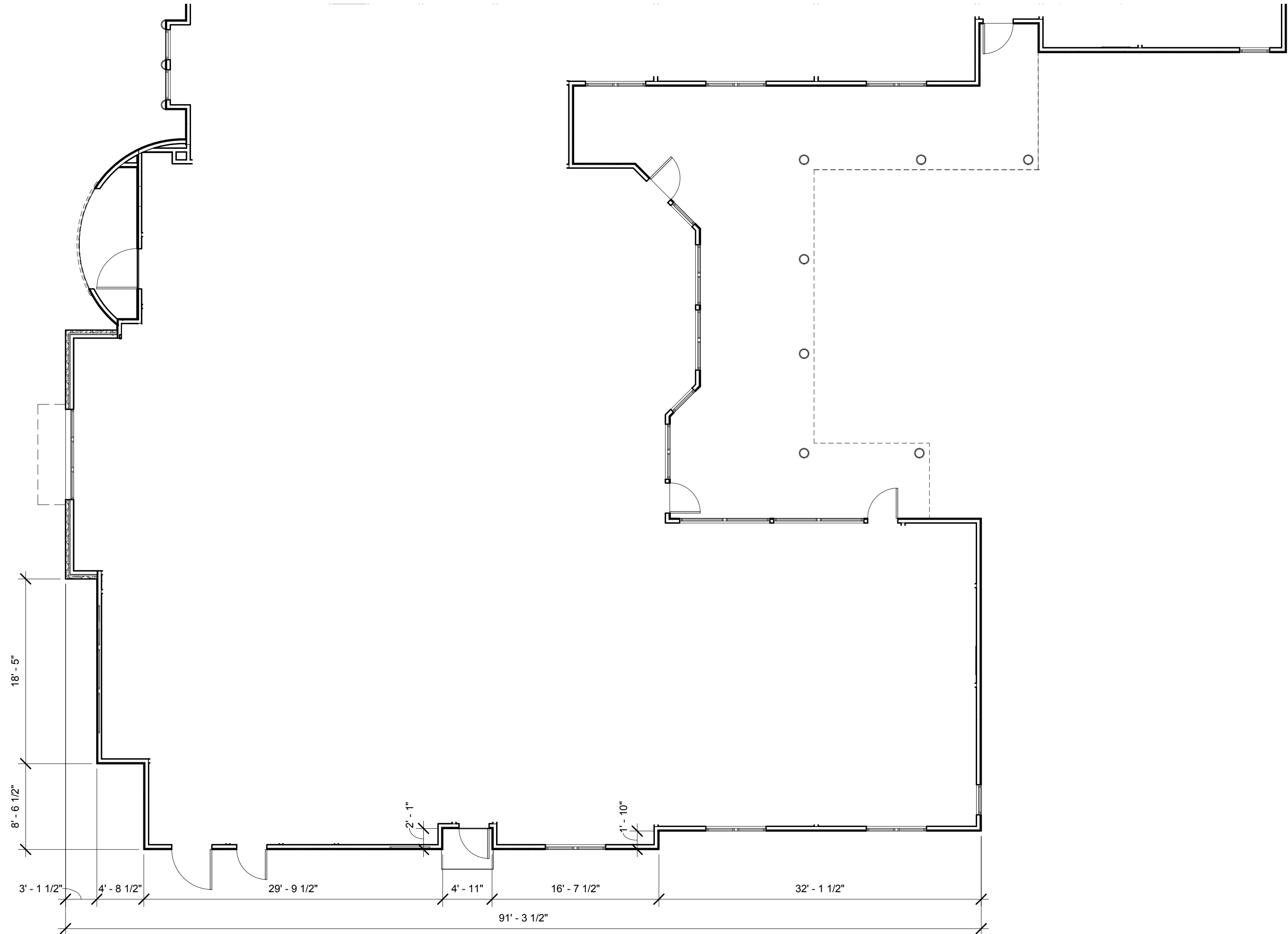
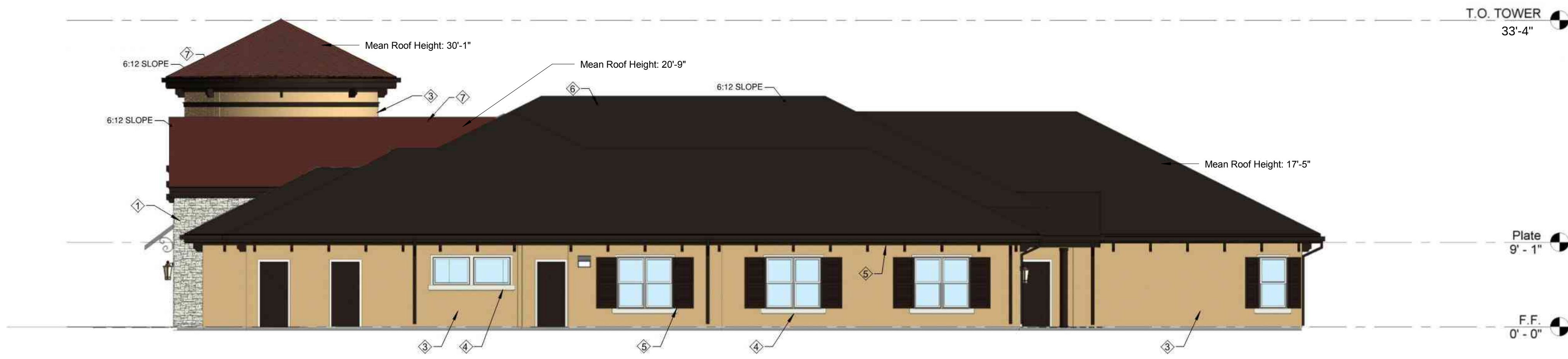
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MATERIAL LEGEND	
①	STONE- SALADO QUARRY. "SONOMA CAVE".
②	CAST STONE- STONE LEGENDS. "WHITE".
③	STUCCO- SHERWIN WILLIAMS EXT. PAINT. "GOLDEN FLEECE" (SW 6388)
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① Right Side Elevation
1/8" = 1'-0"

Windhaven Senior Living Center

Windhaven Management, LLC
3801 Cross Timbers Rd.
Flower Mound, TX 75028

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Project Number
1630.001
Drawn By
Author
Issue Date
02/07/2019
Revised:

Sheet Title
CONCEPTUAL ELEVATIONS-
CONGREGATE CARE
Sheet Number

A 2.3



Windhaven Senior Living Center

Windhaven Management, LLC
3801 Cross Timbers Rd.
Flower Mound, TX 75028

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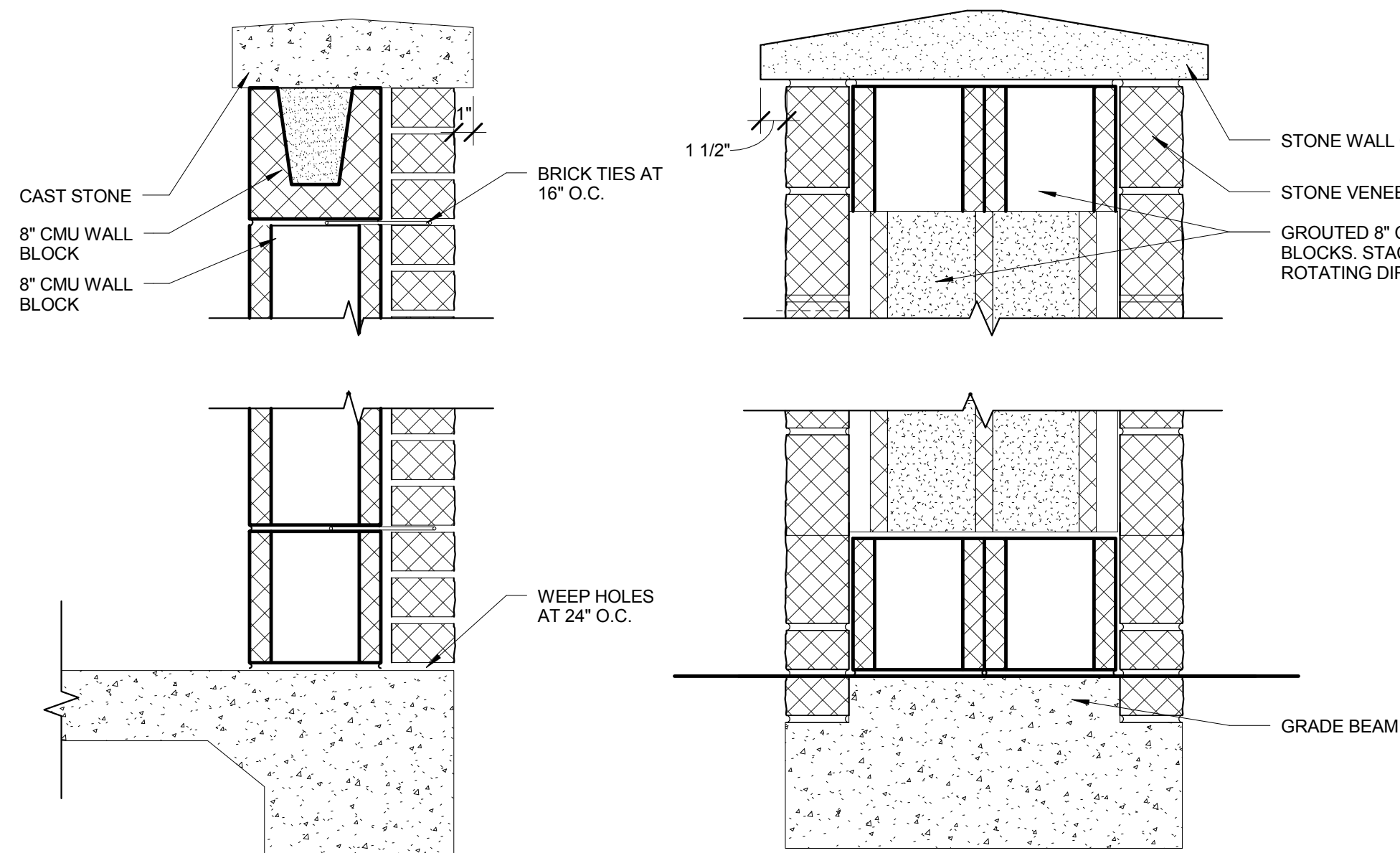
Project Number
1470.001
Drawn By
Author
Issue Date
02/07/2019
Revised:

Sheet Title
CONCEPTUAL OFFICE
ELEVATIONS
Sheet Number

A 3.0

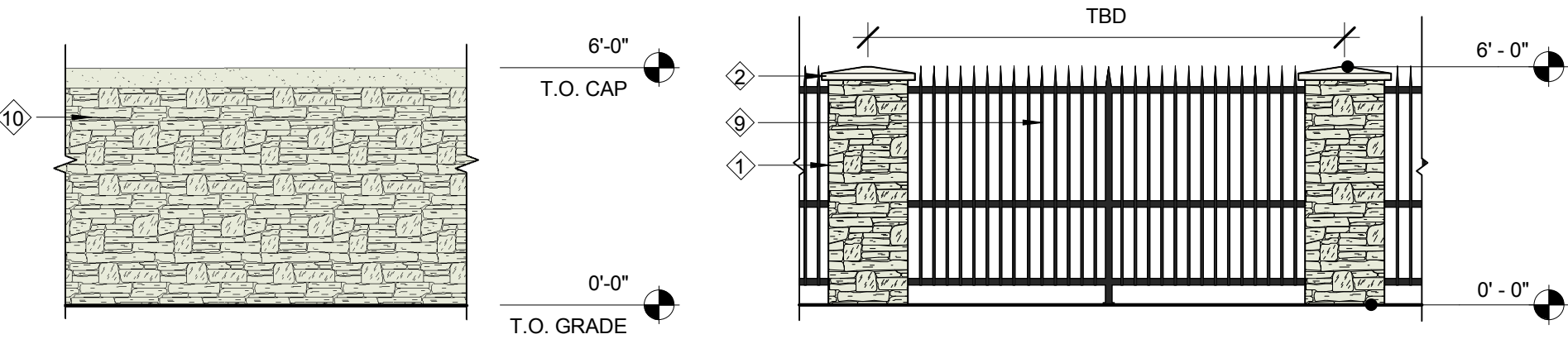
MATERIAL LEGEND	
①	STONE- SALADO QUARRY, "SONOMA CAVE".
②	CAST STONE- STONE LEGENDS, "WHITE".
③	STUCCO- SHERWIN WILLIAMS EXT. PAINT, "GOLDEN FLEECE" (SW 6388)
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⑨	FENCE- METAL, PAINT BLACK.
⑩	PRECAST CONCRETE PANEL WITH STONE MOLD, PAINTED TO MATCH SALADO QUARRY STONE, "SONOMA CAVE".

Office Material Tabulation Chart				
	North Side Elevation	East Side Elevation	South Elevation	West Elevation
Total Facade SF	459	412	459	412
Facade SF (Exclusive of Doors and Windows)	439	235	419	235
Doors and Windows SF	20	177	40	177
Primary Masonry Materials (Min 80%)				
Stucco	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
Stone	372 SF and 84.7% of 2	193 SF and 82.1% of 2	324 SF and 77.3% of 2	193 SF and 82.1% of 2
Cast Stone	6 SF and 1.4% of 2	28 SF and 11.9% of 2	12 SF and 2.9% of 2	28 SF and 11.9% of 2
Secondary Masonry Materials (Max 20%)	-	-	-	-
Other Materials	61 SF and 13.9% of 2	14 SF and 6% of 2	83 SF and 19.8% of 2	14 SF and 6% of 2
Wood Trim	61 SF and 13.9% of 2	14 SF and 6% of 2	83 SF and 19.8% of 2	14 SF and 6% of 2



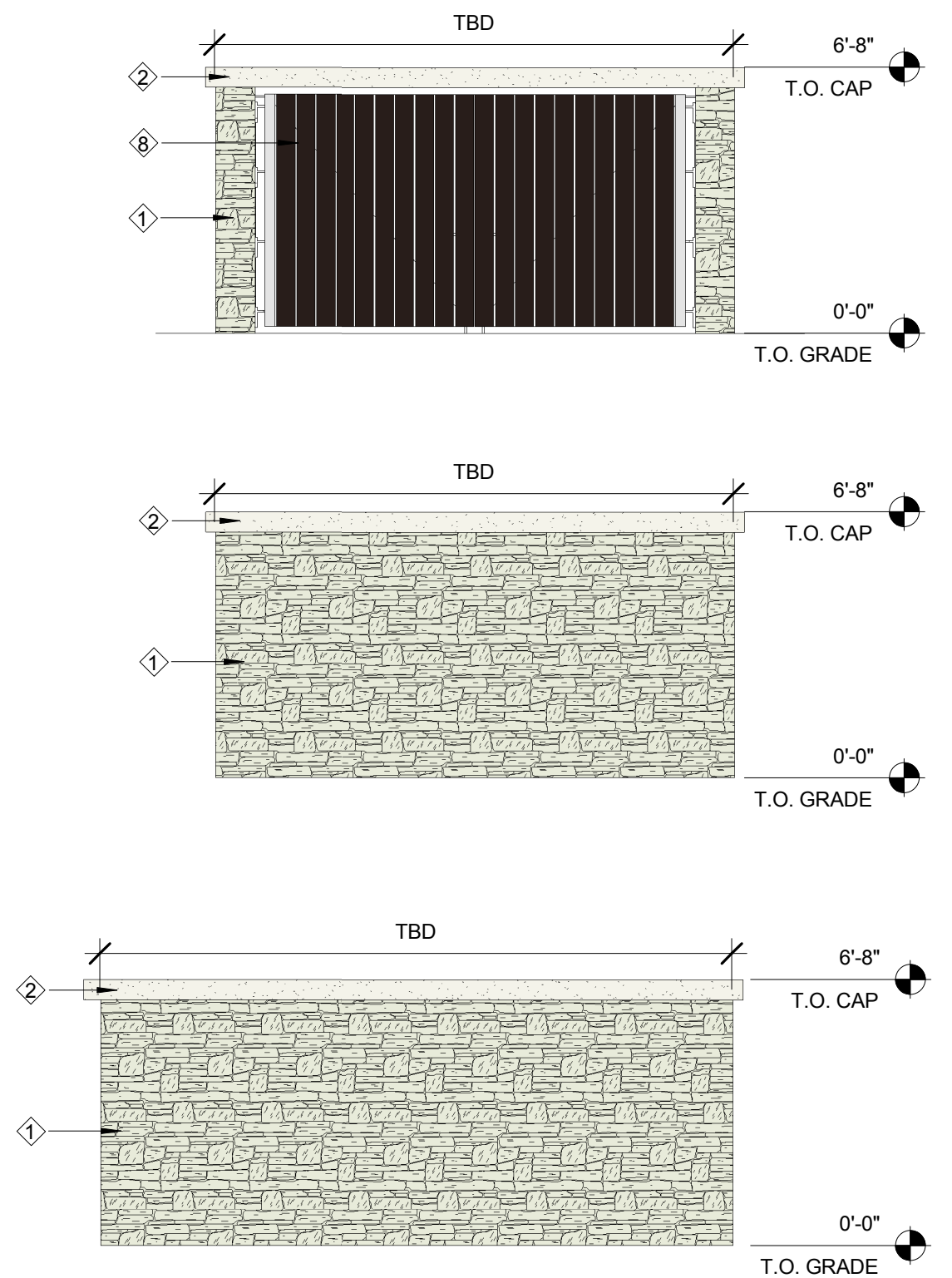
⑨ Dumpster Wall Section
1 1/2" = 1'-0"

⑧ Perimeter Wall Section
1/4" = 1'-0"

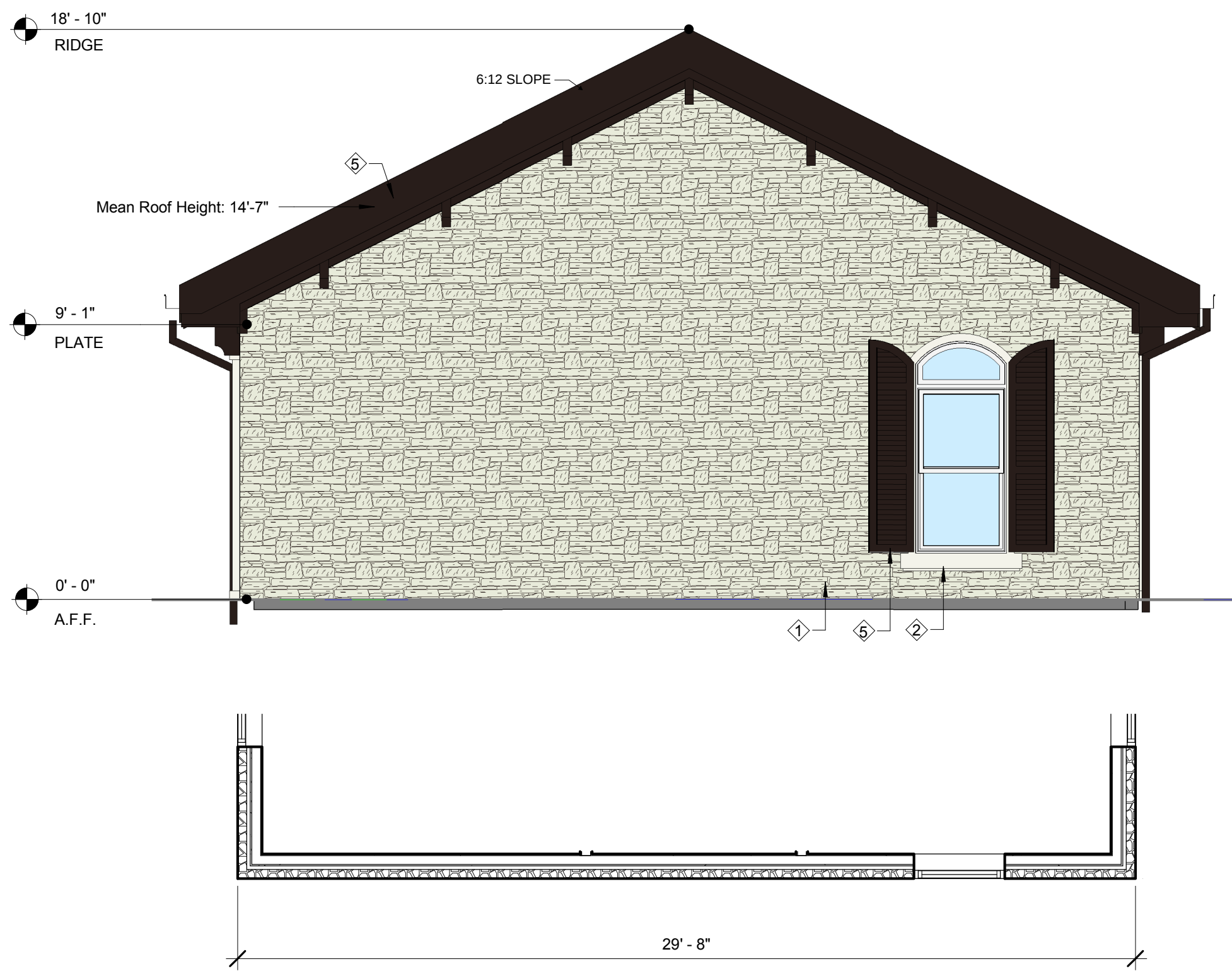


⑦ Perimeter Side Fence Elevation
1/4" = 1'-0"

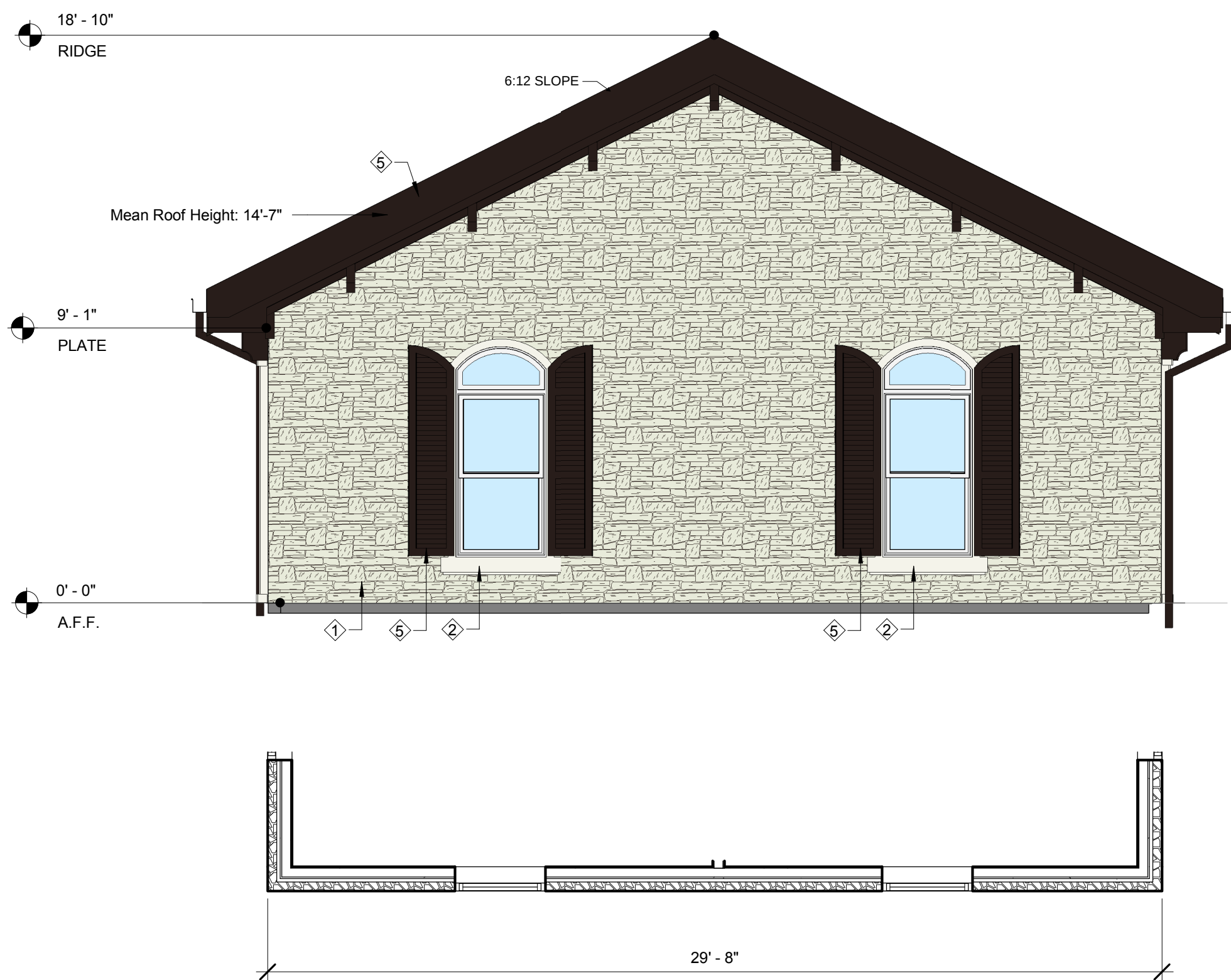
⑥ Perimeter Fence Elevation
1/4" = 1'-0"



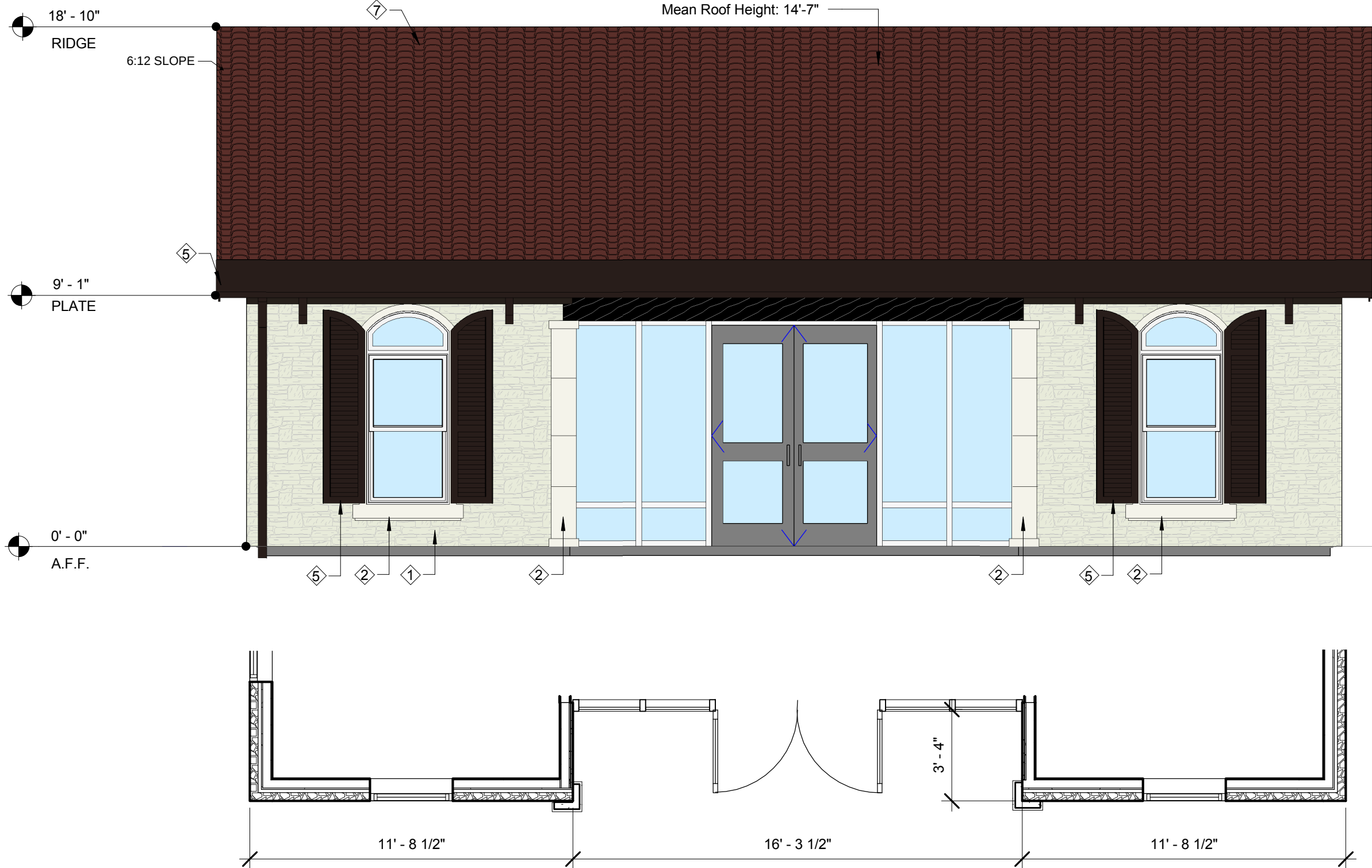
⑤ Dumpster Elevations
1/4" = 1'-0"



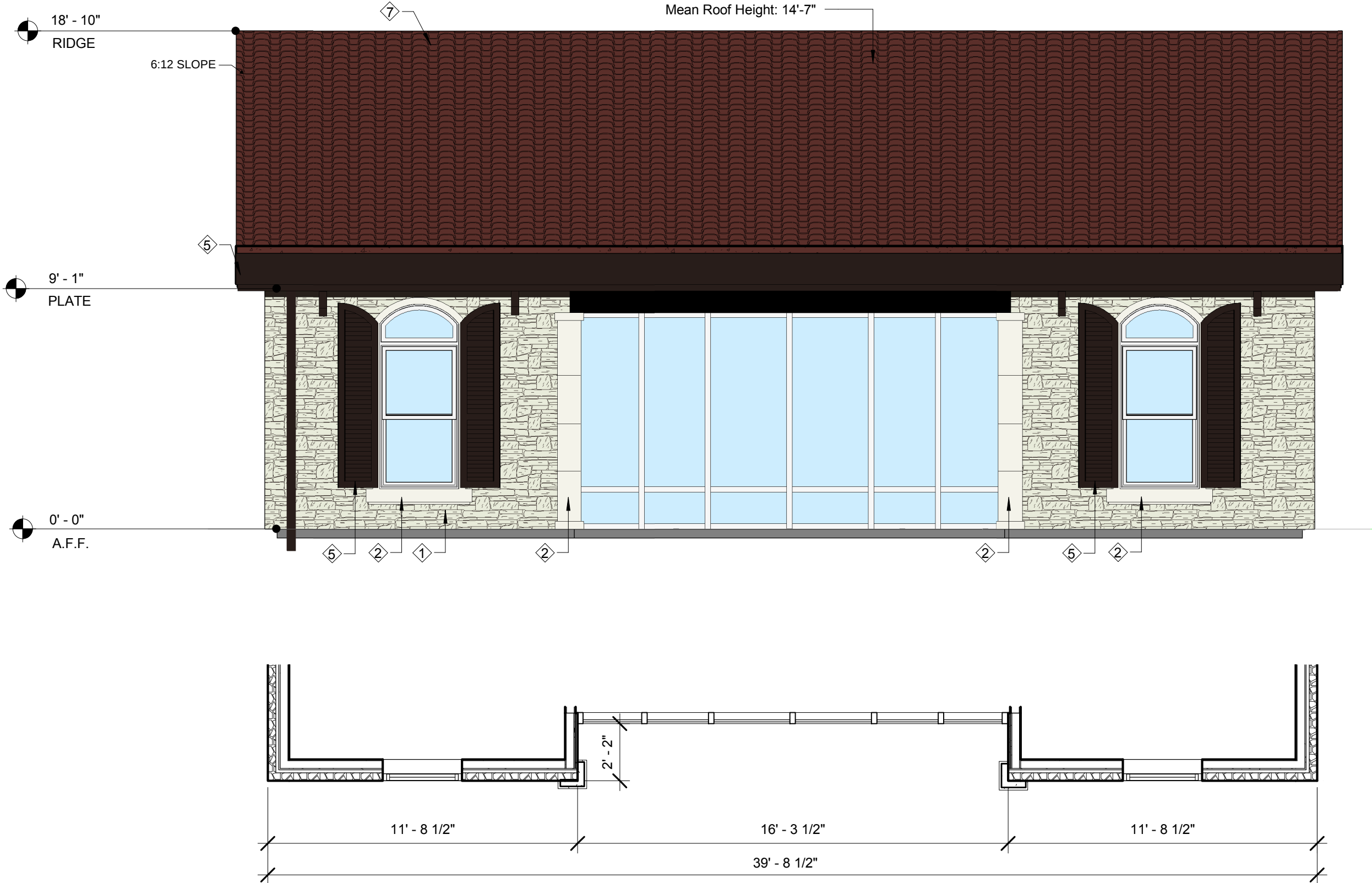
④ Office North Elevation
1/4" = 1'-0"



③ Office South Elevation
1/4" = 1'-0"

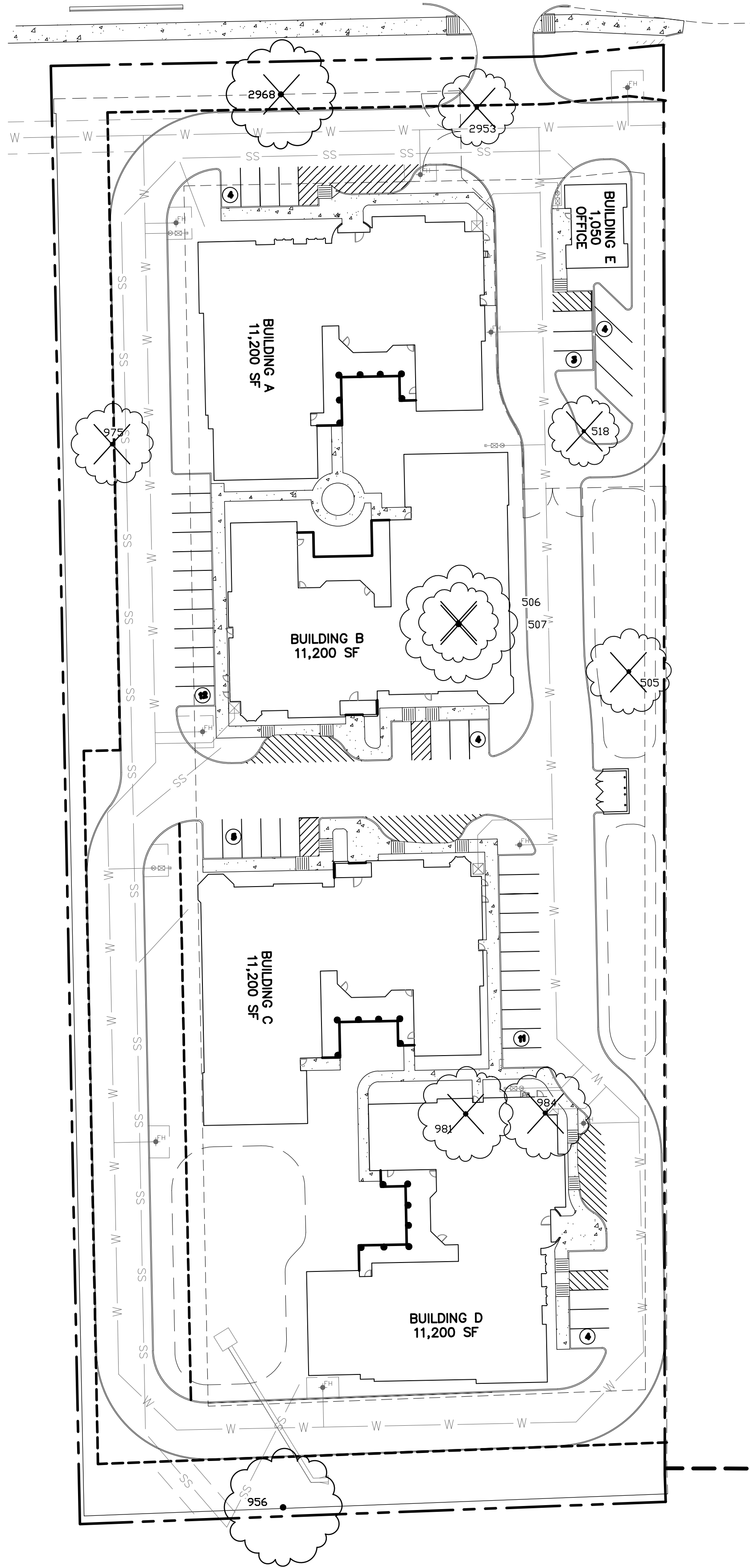


② Office West Elevation
1/4" = 1'-0"

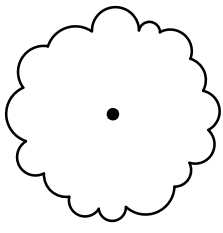


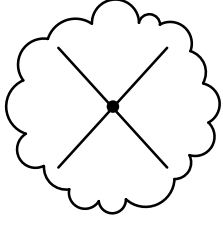
① Office East Elevation
1/4" = 1'-0"

File: A:\2018\1519\Drawings\VP & Civil\Plan\SPV\TREE TREE SURVEY
Plotted: 2/7/2019 11:10 AM, by: werry.doc, Scale: 2/7/2019 3:54 PM, by: werry



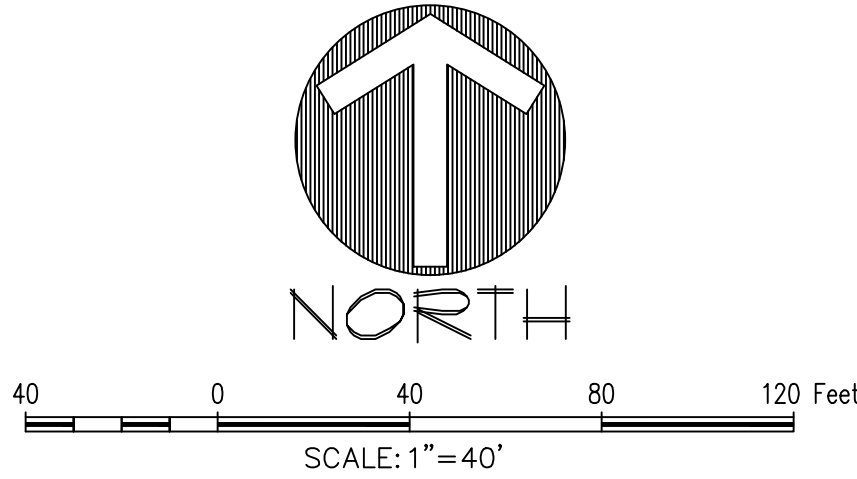
LEGEND

 SPECIMEN TREE
TO REMAIN

 SPECIMEN TREE
TO BE REMOVED

TREE CHART

TREE #	CALIPER (")	COMMON NAME	BOTANICAL NAME	PROTECTED	REMARKS	REMOVED	MITIGATION
505	26	Pine	<i>Pinus taeda</i>	Yes	Specimen, BA, measured 3' above grade	Yes	52
506	25	American Elm	<i>Ulmus americana</i>	Yes	Specimen, BA	Yes	50
507	31	American Elm	<i>Ulmus americana</i>	Yes	Stressed, in Decline	Yes	62
518	22	Blackjack Oak	<i>Quercus marilandica</i>	Yes	Specimen, BA	Yes	44
956	31	Pine	<i>Pinus taeda</i>	Yes	Specimen, OBA	No	
975	25	American Elm	<i>Ulmus americana</i>	Yes	Specimen, BA	Yes	50
981	30	Pine	<i>Pinus taeda</i>	Yes	Specimen, BA	Yes	60
984	29	Pine	<i>Pinus taeda</i>	Yes	Specimen, BA	Yes	58
2953	24	Post Oak	<i>Quercus stellata</i>	Yes	Specimen, OBA	Yes	48
2968	33	Post Oak	<i>Quercus stellata</i>	Yes	Specimen, OBA	Yes	66
TOTAL SPECIMEN TREES ON SITE							10
TOTAL SPECIMENS REMOVED							9
TOTAL INCHES TO MITIGATE							490

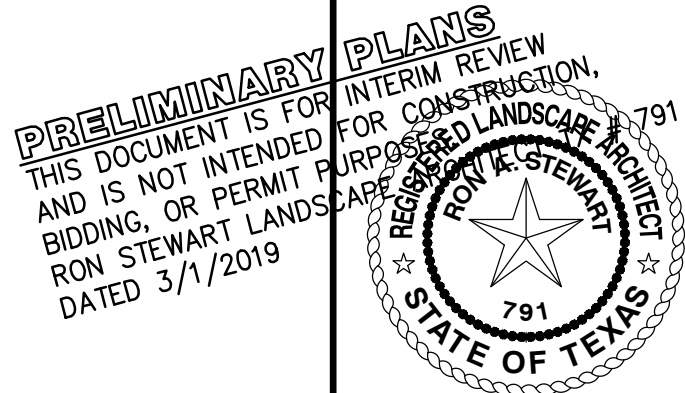


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TBPLS # 10193968
TBPE # F-17299



WINDHAVEN ASSSISTED LIVING
4.36 ACRES
3801 GROSS TIMBERS RD.
FLOWER MOUND, DENTON COUNTY, TEXAS

SPECIMEN TREE SURVEY



DRAWN: VC
DATE: 03/01/2019
1519 JOB#: 41669
SHEET NO:
T1.0

Exhibit “B”

Development Standards

Planned Development District - 173 (PD-173) Windhaven Assisted Living

The development on the property comprising approximately 4.364 acres of land within the corporate limits of the Town of Flower Mound (“Town”) shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements:

A. PERMITTED USES.

1. Except as provided in this section, the uses listed as Permitted Uses in Agricultural District (A) in the Town’s Zoning Ordinance may be permitted in the area designated on Exhibit “C”.
2. Nursing or congregate care facility.

B. SPECIFIC USES.

1. Except as provided in this section, the uses listed as Specific Uses in Agricultural District (A) in the Town’s Zoning Ordinance may be permitted in the area designated on Exhibit “C” with a Specific Use Permit (SUP) approved by the Town Council.
2. Nursing or congregate care facility does not require a Specific Use Permit.

C. TEMPORARY USES. The uses listed as Temporary Uses in the Agricultural District (A) in the Town’s Zoning Ordinance may be permitted in the area designated on Exhibit “C” as only upon approval of a temporary use permit in accordance with the procedures and standards of 78-87 of the Land Development Code, “Temporary Use Permits”.

D. DIMENSIONAL REGULATIONS. Except as provided in this section, the dimensional regulations listed for Agricultural District (A) in the Town’s Zoning Ordinance shall be required for this Planned Development.

1. Nursing or congregate care facility.
 - a. Front yard. A maximum fence height of six feet is permitted in the front yard as designated on Exhibit “C”.
 - b. Side yard. A minimum setback of 15 feet from the eastern property line shall be provided for any portion of Building E as designated on Exhibit “C”.

F. EXCEPTIONS. The following exceptions to the Town’s Ordinances shall apply to this Planned Development.

1. Driveway Spacing. An exception to the access management policy and criteria regarding driveway spacing contained in the Town’s Engineering Design Criteria

and Construction Standards adopted through Chapter 32 of the Code of Ordinances.

2. Compatibility Buffer-Section 82-302.

- a. Except as provided in this section, the compatibility buffer applies to this Planned Development.
- b. Nursing or congregate care facility.
 - i. A 25-foot-wide compatibility buffer, consisting of seven-foot-wide and 18-foot-wide sections along the western property line shall be provided as designated on Exhibit D.

3. Compatibility Setback-Section 82-303.

- a. Except as provided in this section, the compatibility setback applies to this Planned Development.
- b. Nursing or congregate care facility.
 - i. A minimum setback of 50 feet from the southern property line shall be provided.