

**AGENDA
TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION MEETING**

JANUARY 25, 2021

LOCATION: VIRTUAL MEETING (VIDEO CONFERENCE)

[CLICK HERE](#) FOR INSTRUCTIONS ON HOW TO PARTICIPATE IN THE MEETING

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Effective March 16, 2020, Texas Governor Abbott suspended certain Open Meeting rules to allow telephonic or videoconference meetings of government bodies that are accessible to the public to decrease large groups of people from assembling. The suspension temporarily removes the requirement that government officials and members of the public be physically present at a meeting location. The Town of Flower Mound Planning and Zoning Commission meetings will be temporarily held via video conference and will not be held at the Flower Mound Town Hall. A recording of the meeting will be available the following day at <https://www.flower-mound.com/fmtv> under "Planning and Zoning Archive" tab.

A. CALL MEETING TO ORDER 6:30 P.M.

B. INVOCATION

C. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

Please state your name and address when speaking. Speakers are limited to 3 minutes. A tone will sound when 30 seconds are left and when time has expired.

[CLICK HERE](#) to submit general comments regarding issues or agenda items not indicated as a public hearing.

D. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

E. DIRECTOR'S REPORT

1. Site Plan Amendments

F. CONSENT ITEMS

This part of the agenda consists of non-controversial or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of December 14, 2020: Consider approval of the minutes of the December 14, 2020, Planning and Zoning Commission Regular Session.

G. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town’s development standards. If a public hearing is required, it will be noted next to the item on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

2. *SUP20-0008 – Arbor Crossing SUP-464* *Public Hearing*

[CLICK HERE](#) to submit comments regarding this public hearing item.

Public Hearing to consider an ordinance granting Specific Use Permit No. 464 (SUP20-0008– Arbor Crossing) to permit a retail, general (indoors) use with a request for a deviation to computing parking and loading requirements pursuant to Section 82-73 of the Code of Ordinances. The property is generally located south of Dixon Road and east of Long Prairie Road.

3. *SUP20-0010 – 1308 Oak Drive Accessory Dwelling SUP-466* *Public Hearing*

[CLICK HERE](#) to submit comments regarding this public hearing item.

Public Hearing to consider an ordinance granting a Specific Use Permit No. 466 (SUP20-0010– 1308 Oak Drive Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Oak Drive and east of Fireside Drive.

4. *ZPD20-0009 – Lakeside Center PD-169* *Public Hearing*

[CLICK HERE](#) to submit comments regarding this public hearing item.

Public Hearing to consider an ordinance for rezoning (ZPD20-0009 – Lakeside Center) to amend Planned Development No. 169 (PD-169) with both residential and non-residential uses to modify approved development standards related to signage and to modify approved compatibility buffer exception along the southern property line. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

H. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: January 21, 2021, at 4:30 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: January 25, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the December 14, 2020, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on December 14, 2020.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 14TH DAY OF DECEMBER 2020, VIA VIRTUAL MEETING (VIDEO CONFERENCE), DUE TO THE COVID-19 PANDEMIC, IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session via video conference with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
Adam Schiestel	Commissioner, Place 2
David Johnson	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Tim Fink	Commissioner, Place 7
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

Robert Cox	Commissioner, Place 8
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(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Tommy Dalton	Assistant Town Manager
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Claire Barnes	Planner
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER (Council Chambers): 6:30 P.M.

B. INVOCATION

C. PUBLIC COMMENT

None

D. FUTURE AGENDA ITEMS

None

E. DIRECTOR'S REPORT

1. Development Updates
2. Town Council Work Session on Permitted Uses (<https://flowermoundtx.swagit.com/play/11192020-818>)

F. CONSENT ITEMS

- 1. Consider approval of the minutes of the November 9, 2020, Planning and Zoning Commission Regular Session.**

Commission Deliberation

Commissioner Schiestel moved to approve Consent Item 1 as presented. Commissioner Johnson seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Johnson, Del Vecchio, Rawson, Gilmore, Fink

NAYS: None

The motion to approve passed by a vote of 6 to 0.

G. REGULAR ITEMS

- 2. Consider a request for a Site Plan (SP20-0013 – Argyle ISD Administration Building) to develop a school administration building with an exception to Section IV, Storm Water Improvements, regarding use of an open channel storm sewer, contained in the Town's Engineering Design Criteria and Constructions Standards adopted through Chapter 32 of the Code of Ordinances. The property is generally located east of Canyon Falls Drive and north of Denton Creek Boulevard.**

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Jeff Koehn, Argyle ISD; present for questions, no presentation
Steve Hafer, Huckabee, Inc.; present for questions, no presentation
Joshua Cogburn, Huckabee, Inc.; present for questions, no presentation
Ron Ramirez, Pacheco Koch; present for questions, no presentation
Walter Sargent, Pacheco Koch; present for questions, no presentation

Commission Deliberation

Vice-Chair Rawson moved to recommend approval of SP20-0013 – Argyle ISD Administration Building, as presented, and with the condition that the open channel storm sewer be closed with any future development on the site. Commissioner Johnson seconded the motion.

VOTE ON THE MOTION

AYES: Fink, Gilmore, Rawson, Del Vecchio, Johnson, Schiestel

NAYS: None

The motion to approve passed by a vote of 6 to 0.

3. **Public Hearing to consider an ordinance amending the Town's Code of Ordinances (LDR20-0005 – Development Fees) by adding section 32-4 requiring permits and permit fees for site development construction, by amending various portions of Chapter 78, "Administration," to add a new section 78-2 regarding inactive projects, to repeal section 78-124 in its entirety, and to add a new article VII regarding amendments to approved plans; an by amending Appendix A entitled "fee schedule," to amend various fees related to land development within the town.**

Staff Presentation

Tommy Dalton, Assistant Town Manager

Spoke in Favor:

None

Spoke in Opposition:

None

Commission Deliberation

Commissioner Schiestel moved to recommend approval of LDR20-0005 – Development Fees, as presented. Commissioner Gilmore seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Del Vecchio, Rawson, Gilmore, Fink

NAYS: Johnson

The motion to approve passed by a vote of 5 to 1.

H. ADJOURNMENT – REGULAR SESSION 7:57 P.M.

TOWN OF FLOWER MOUND, TEXAS

Lexin Murphy, Director of Planning Services

ATTEST:

LauriAnn Cash, Executive Assistant



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

REGULAR ITEM

DATE: January 25, 2021

FROM: Claire Barnes, Planner

ITEM: **Public Hearing to consider an ordinance granting Specific Use Permit No. 464 (SUP20-0008 – Arbor Crossing) to permit a retail, general (indoors) use with a request for a deviation to computing parking and loading requirements pursuant to Section 82-73 of the Code of Ordinances. The property is generally located south of Dixon Road and east of Long Prairie Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

There is a deviation request to the Town's regulations which necessitates special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the application is to request approval of a Specific Use Permit (SUP 464) to permit an approximately 2,077-square-foot retail, general (indoor) use to occupy a tenant suite within an existing 20,251 square-foot multi-tenant retail building located on Lot 3, Block A of the Arbor Crossing subdivision.

The subject site is approximately 2.47 acres. The property is zoned Retail District-1 in compliance with the Retail land use designation.

A retail, general (indoors) use requires approval of a Specific Use Permit (SUP) in Retail District-1 zoning.

The ordinance for the SUP will include the following conditions for the retail use:

1. The Specific Use Permit is limited to the 2,077 square-foot lease space located in the retail building on Lot 3, Block A of the Arbor Crossing subdivision.
2. The hours of operation for the retail, general (indoors) facility are limited to 10am-9pm every day of the week.

On March 7, 2005, Town Council approved a site plan, SP09-04 Arbor Crossing and Guaranty Bank, which included an approximately 20,251 square-foot multi-tenant retail

building on the subject property, a 3,000 square-foot bank facility on Lot 1, and a 6,500 square-foot office on Lot 2. At this time, the entire property was under common ownership and the parking was reviewed comprehensively for all three lots and associated uses. Since that approval, portions of the property have changed hands, and parking is no longer shared across the entire site, which restricts the number of spaces available for the multi-tenant building and generates the need for the parking deviation request.

The applicant is requesting a deviation to required parking on the subject property in accordance with Section 82-73 of the Town's Code of Ordinances. Section 82-73, entitled "Computing parking and loading requirements," states in part:

- Deviation of required spaces. The amount of parking can be reduced or increased by 20 percent. **Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council.**

The Town Code requires one space per 250 square feet of retail/medical office floor area, one space per 300 square feet of office floor area, and one space per 75 square feet of restaurant floor area or 133 total parking spaces for this site based on the approved ratio.

The site plan attached depicts 85 parking spaces that have now been constructed, which is a 36 percent (or 48 space) reduction in the amount of required spaces, and outside of the 20 percent deviation allowed per code (see above). The attached parking study (Attachment B(2)) provided by the applicant concluded that 8,394 square feet of retail, 3,925 square feet of medical office, 2,089 square feet of office, and 5,843 square feet of restaurant uses at this location would only require 77 total parking spaces during December and 68 parking spaces during all other months. (This was based on site observations and parking rates and time-of-day percentages from the Institute of Transportation Engineers Parking Generation Manual, 5th Edition.) The parking analysis recommends considering a parking inefficiency factor (per the Urban Land Institute's Shared Parking, 3rd Edition) that would increase the parking demand to a minimum of 75 spaces during the non-December months and 84 parking spaces during the month of December to comfortably accommodate the peak parking demands. This would still indicate that the site is adequately parked as currently constructed.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. SUP20-0008 had a total of 17 Property Owner Notifications mailed. At the time this report was written, staff had not received any responses in support or opposition to this request. All written correspondence was sent directly to the Planning and Zoning Commission according to the new public communication process.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Approved Elevations
4. Existing Landscape

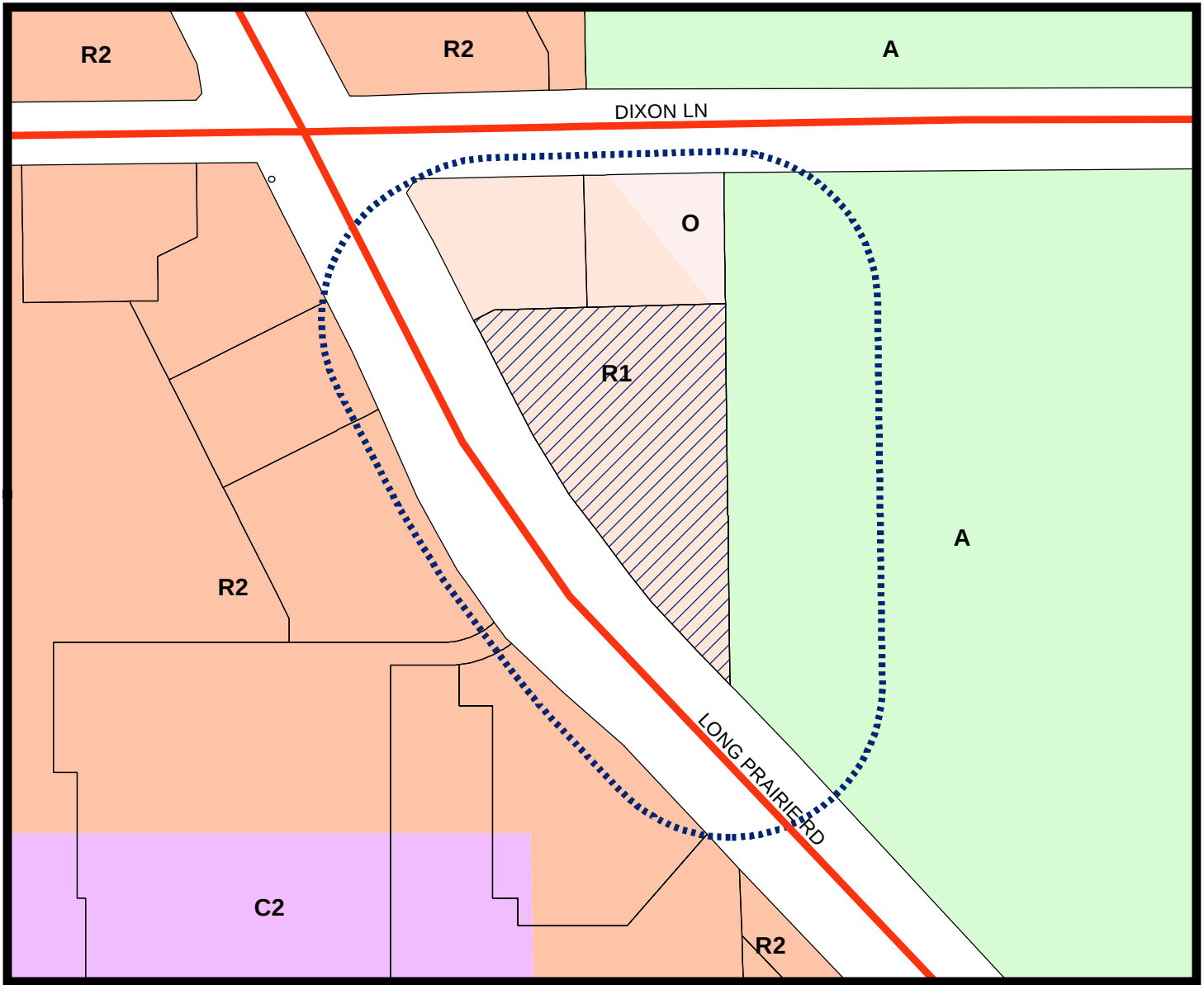
B. Application Details

1. Specific Use Permit Package
2. Parking Study

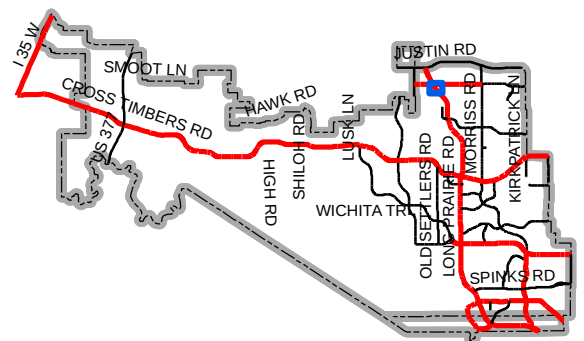
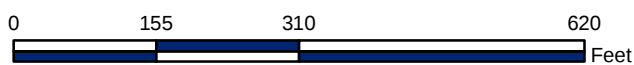
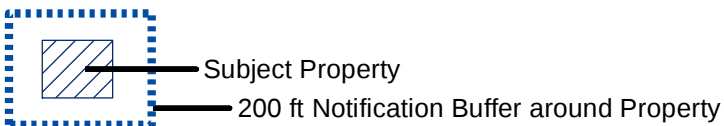


Vicinity Map

Reference Project: SUP20-0008



LEGEND



Map Location

Baldwin
Associates

January 20, 2021

Town of Flower Mound
Planning Services Department
2121 Cross Timbers Road
Flower Mound, Texas 75028

Re: 5810 Long Prairie Road

Dear Sir or Madam,

Please accept this letter as our official request to process a Specific Use Permit to allow for Retail, General Inside for the property known as 5810 Long Prairie Road. This SUP is to allow for a new Verizon retail store in a 2,077 square foot lease space inside the existing shopping center. The hours of operation for the Verizon store will be 10:00 AM to 9:00 PM seven days per week. In addition, we are seeking a variance the amount of off-street parking on this site of approximately 36%. There are currently 85 parking spaces on the site and the Town's development regulations will require a total of 133 parking spaces. Given the mix of uses in the center, we are confident that this variance request will not be detrimental to the existing and proposed tenants and have provided a parking study that reaches the same conclusion.

Please let me know if you have any questions or comments or if I can be of any assistance.

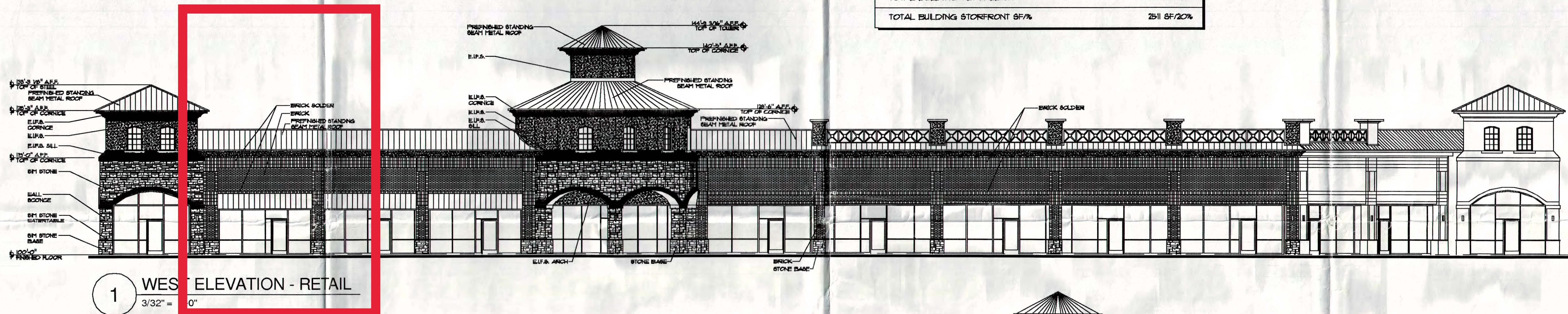
With kind regards,

A handwritten signature in blue ink, appearing to read 'Robert Baldwin', with a long horizontal flourish extending to the right.

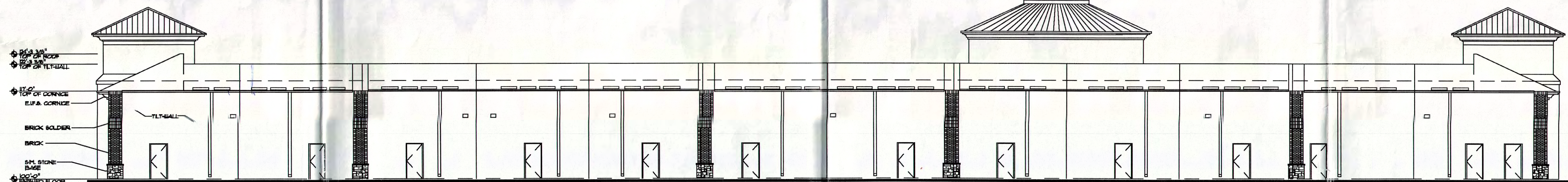
Robert Baldwin

*Previously approved elevations for suite 750 only. Other suites may have undergone amendment since this plan was approved.

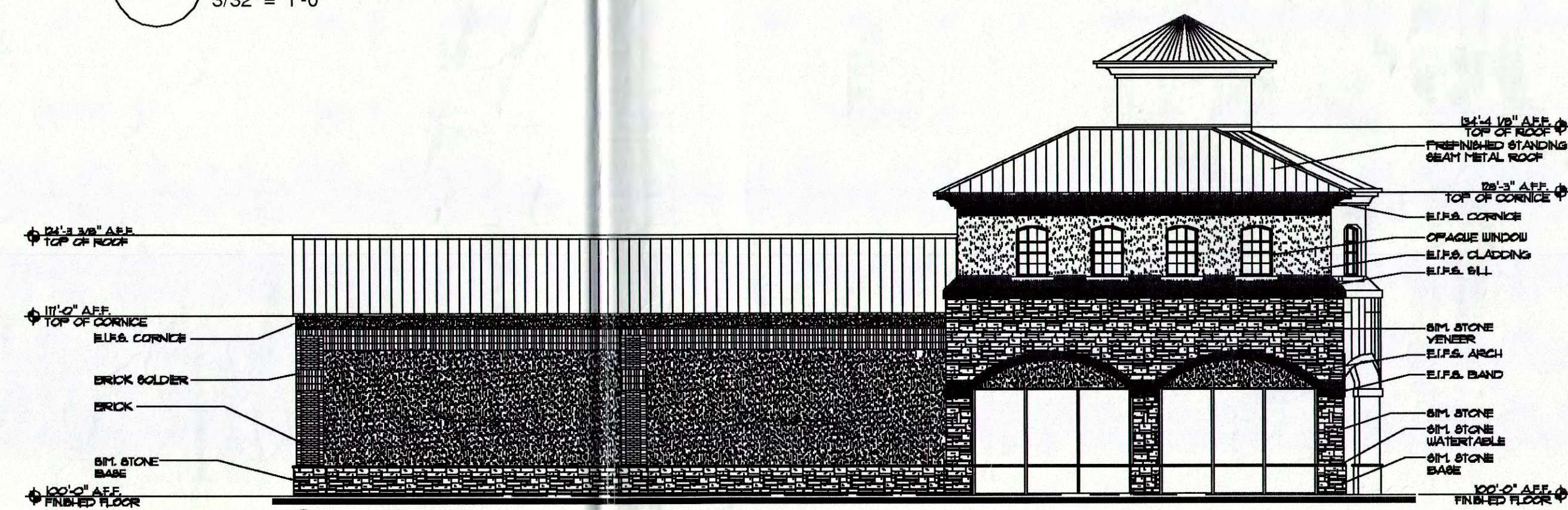
Project scope:



1 WEST ELEVATION - RETAIL
3/32" = 1'-0"



2 EAST ELEVATION - RETAIL
3/32" = 1'-0"



3 NORTH ELEVATION - RETAIL
3/32" = 1'-0"

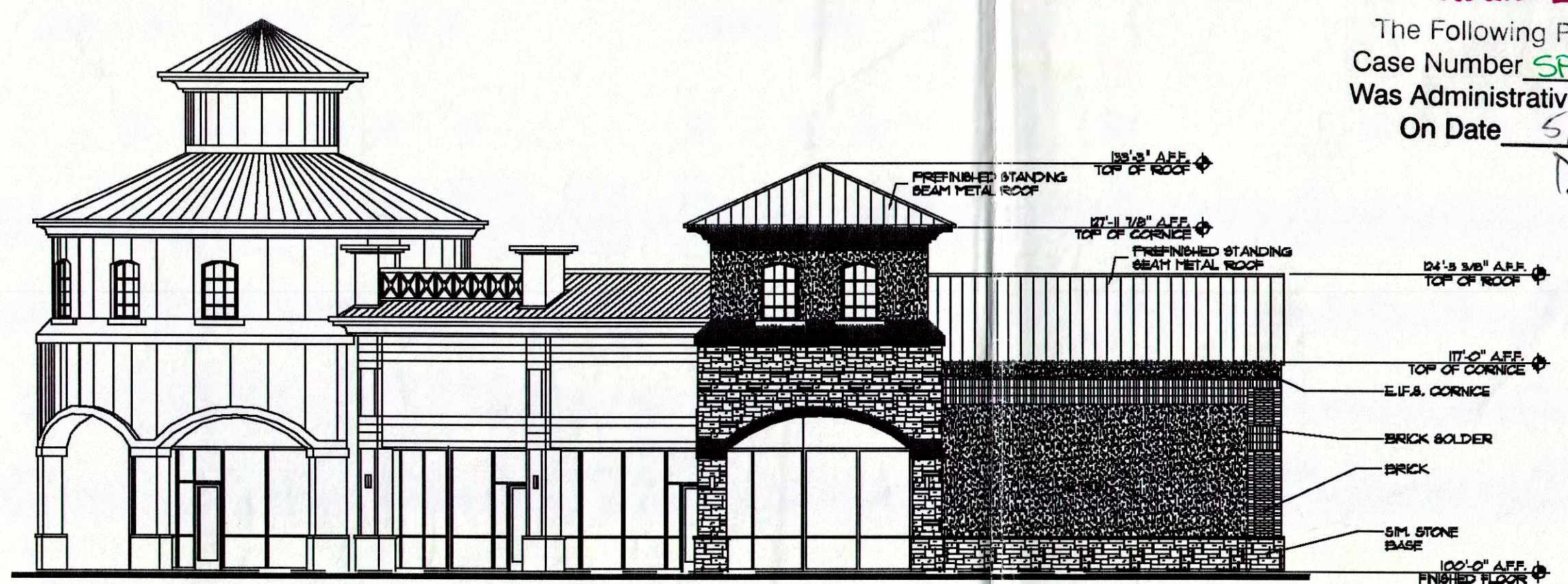
WEST ELEVATION BLDG. MATERIAL		
TOTAL ELEVATION SQUARE FOOTAGE	4979 SF	
MATERIAL	SQUARE FOOTAGE	% OF ELEVATION
STONE	849 SF	18%
MASONRY	1845 SF	37%
EIFS	340 SF	7%
STOREFRONT	1945 SF	39%

EAST ELEVATION BLDG. MATERIAL		
TOTAL ELEVATION SQUARE FOOTAGE	4288 SF	
MATERIAL	SQUARE FOOTAGE	% OF ELEVATION
STONE	51 SF	1%
MASONRY	723 SF	17%
TILT-WALL	3514 SF	82%
STOREFRONT	-	-

TOTAL BUILDING ELEVATION SF	12,537 SF
TOTAL BUILDING STONE SF/%	1905 SF/15%
TOTAL BUILDING MASONRY SF/%	2831 SF/23%
TOTAL BUILDING EIFS SF/%	1766 SF/14%
TOTAL BUILDING TILT-WALL SF/%	3514 SF/28%
TOTAL BUILDING STOREFRONT SF/%	2511 SF/20%

NORTH ELEVATION BLDG. MATERIAL		
TOTAL ELEVATION SQUARE FOOTAGE	1963 SF	
MATERIAL	SQUARE FOOTAGE	% OF ELEVATION
STONE	558	28%
MASONRY	125	10%
EIFS	937	48%
STOREFRONT	283	14%

SOUTH ELEVATION BLDG. MATERIAL		
TOTAL ELEVATION SQUARE FOOTAGE	1307 SF	
MATERIAL	SQUARE FOOTAGE	% OF ELEVATION
STONE	447 SF	34%
MASONRY	78 SF	6%
EIFS	499 SF	38%
STOREFRONT	283 SF	22%



4 SOUTH ELEVATION - RETAIL
3/32" = 1'-0"

Amend 2
The Following Plat/Graph...
Case Number SP 09-04
Was Administratively Approved
On Date 5/25/14
Dog Pull

ARCHITECT:
CROSS ARCHITECTS
1255 WEST 15th ST. - SUITE 125
PLANO, TEXAS 75075
PH: 972.398.6644
FAX: 972.312.8666
brumsey@crossarchitects.com

Cross
ARCHITECTS

ARBOR CROSSING
FM 2499 & DIXON LANE
FLOWER MOUND, TEXAS

ARBOR CROSSING
TLC, LTD.
C/O BRYTAR CO.
8235 DOUGLAS AVE
SUITE 950
DALLAS, TX 75225

PROJECT: 5152
DATE: 4-10-06
DRAWN BY: BDB
REVISIONS

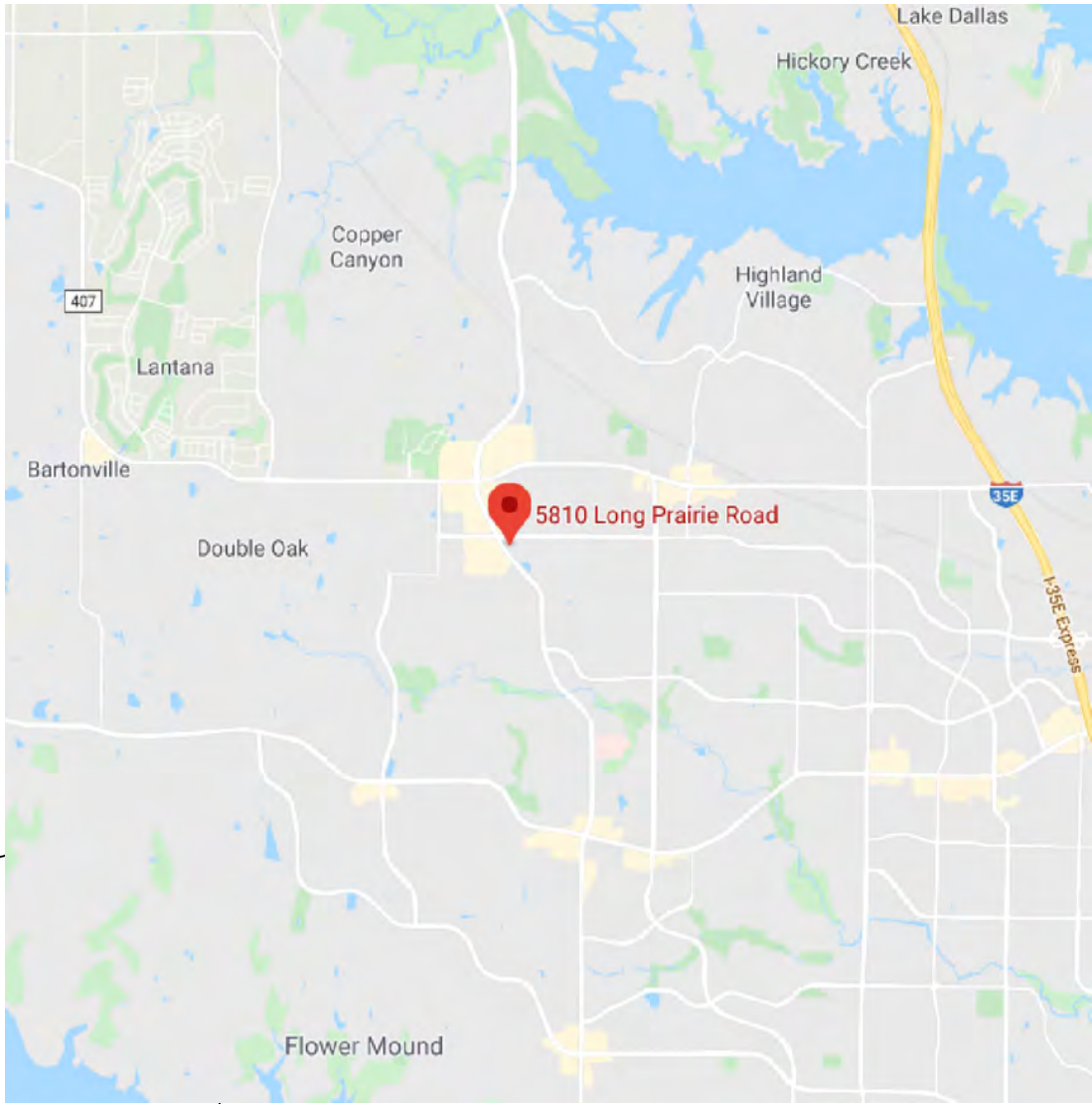
SHEET NO.
EXTERIOR
ELEVATIONS

Copyright © 2006

RECEIVED
APR 27 2006
TOWN OF FLOWER MOUND
PLANNING SERVICES

Suite	Tenant	SF	Use	Parking Required	
				Parking Rate (1 space per X SF)	Spaces Req'd
100	Fuzzy's Tacos	2,500	Restaurant	1 space/ 75	33
150	Weichert Realtors	2,089	Office	1 space/ 300	7
200	Prime Farm to Table	1,947	Restaurant	1 space/ 75	26
300	Flower Mound Chiropractic	1,925	Medical Office	1 space/ 250	8
400	Academy Foot & Ankle	2,000	Medical Office	1 space/ 250	8
500	Retail (Vacant)	1,105	Retail	1 space/ 250	4
550	Upscale Nails	1,865	Retail	1 space/ 250	7
600	Painting with a Twist	1,810	Retail	1 space/ 250	7
700	UPS	1,537	Retail	1 space/ 250	6
750	Verizon	2,077	Retail	1 space/ 250	8
800	Nekter Juice Bar	1,396	Restaurant	1 space/ 75	19
	Office		Office	1 space/ 300	0
	Bank		Bank	1 space/ 250	0
Total Required Parking:				133 Spaces	

This plan shows existing trees in parking area. The landscape buffer is not shown but will match previously approved plans . No changes to Landscape buffer/street buffer are proposed or approved with this submittal.



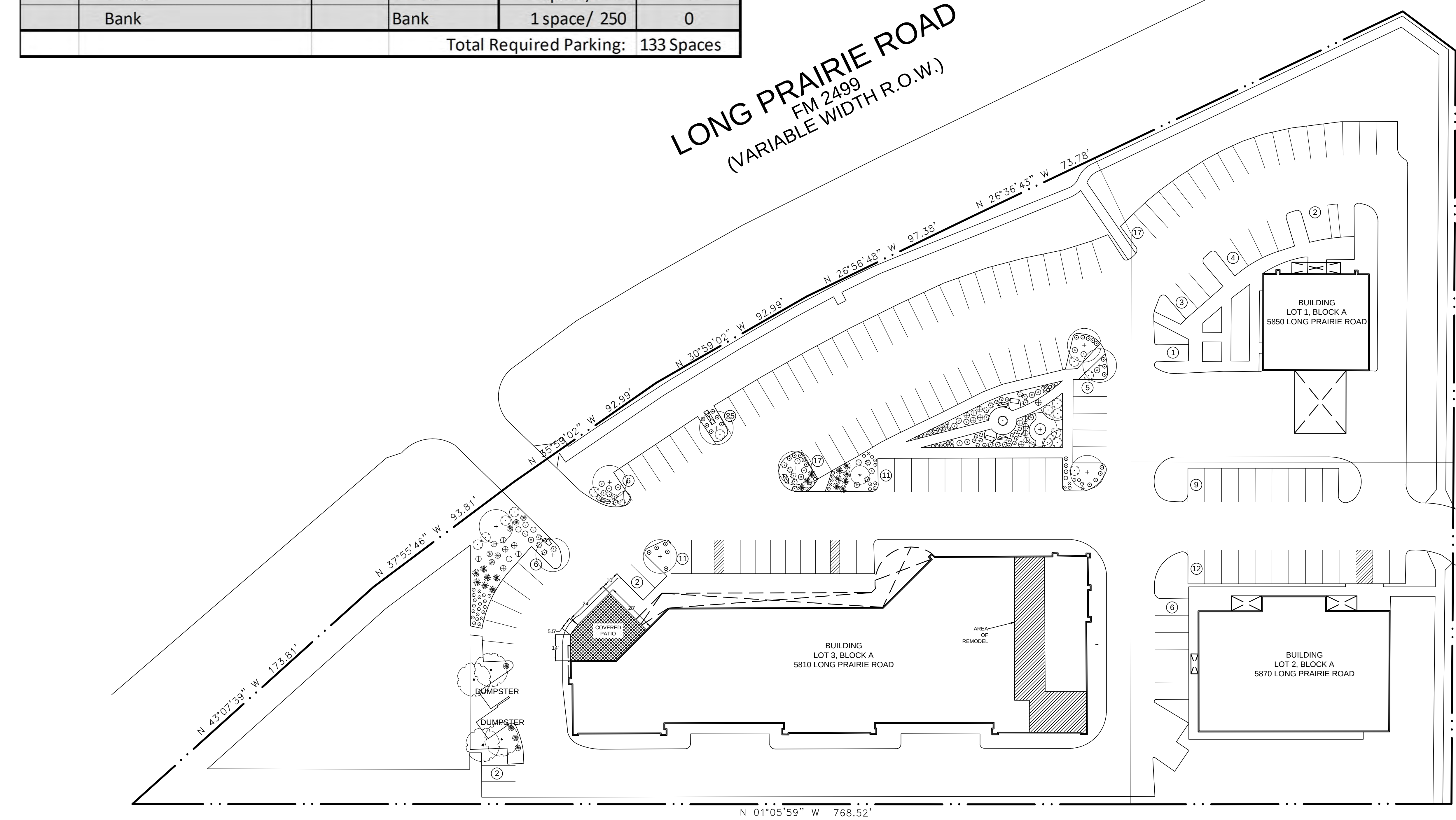
VICINITY MAP
NTS



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ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com

Baldwin
Associates

5810 LONG PRAIRIE ROAD
TOWN OF FLOWER MOUND, TEXAS



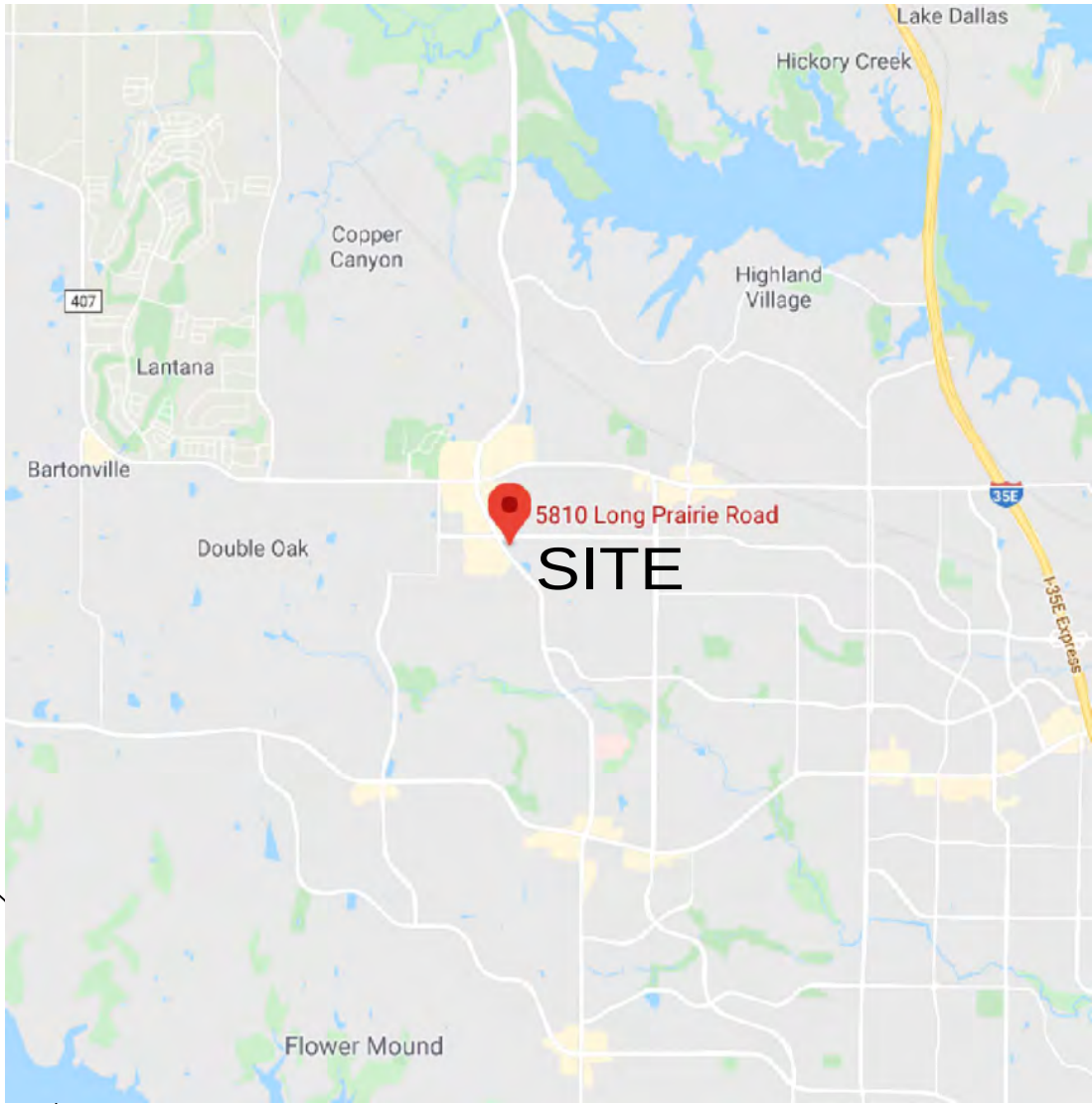
1

LANDSCAPE PLAN

SCALE: 1" = 30'-0"



Suite	Tenant	SF	Use	Parking Required	
				Parking Rate (1 space per X SF)	Spaces Req'd
100	Fuzzy's Tacos	2,500	Restaurant	1 space/ 75	33
150	Weichert Realtors	2,089	Office	1 space/ 300	7
200	Prime Farm to Table	1,947	Restaurant	1 space/ 75	26
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800	Nekter Juice Bar	1,396	Restaurant	1 space/ 75	19
	Office		Office	1 space/ 300	0
	Bank		Bank	1 space/ 250	0
Total Required Parking:				133 Spaces	



VICINITY MAP
NTS



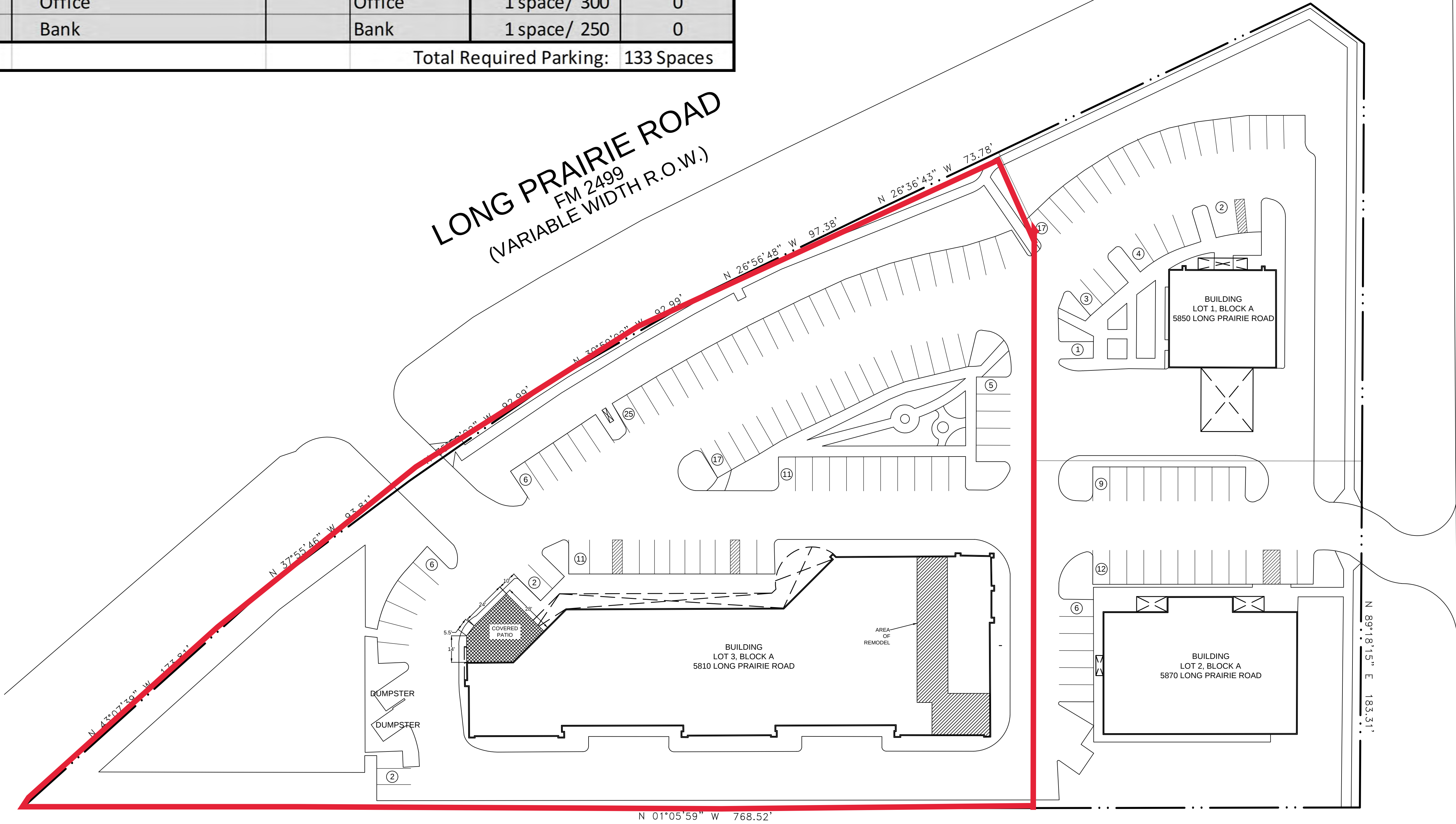
01/19/2020

BALDWIN
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OFFICE: 214.824.7949
rob@baldwinplanning.com

Baldwin
Associates

5810 LONG PRAIRIE ROAD
TOWN OF FLOWER MOUND, TEXAS



1

SITE PLAN

SCALE: 1" = 30'-0"



Parking Analysis

Arbor Crossing Shopping Center Flower Mound, Texas

January 18, 2021

Prepared for:
WF/TX INVESTMENTS, LLC
C/O Mr. Rob Baldwin
Baldwin Associates
3904 Elm Street
Flower Mound, TX 75212

Prepared By:
Christy Lambeth, P.E., PTOE
Lambeth Engineering Associates, PLLC
8637 CR 148, Kaufman, TX 75142 | 972.989.3256
Texas Registered Engineering Firm# F-19508
Project #001FLO





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Introduction

The services of Lambeth Engineering Associates, PLLC, (herein Lambeth Engineering) were retained to conduct a parking analysis for the Arbor Crossing Shopping Center located southeast of the Long Prairie Road (FM 2499)/Dixon Lane intersection in the Town of Flower Mound, Texas.

A SUP is being requested which will allow for a new Verizon retail store, proposed in a 2,077 square feet suite in the existing shopping center. The property is zoned Retail 1.

Arbor Crossing is an existing shopping center with a mix of retail, restaurant, medical office, office, and bank—uses that serve the surrounding community. There are no shared parking agreements between the strip center building, bank building, and office building. Therefore, this study evaluates the shopping strip center as stand-alone, without the bank and office buildings.

The purpose of this study is to project the parking demand needs for the existing and planned uses and determine whether enough parking is provided to satisfy the actual parking demand, to accommodate the requested parking reduction in the proposed SUP. The proposed SUP requests a 48-space (36%) parking reduction from the code requirements, to accommodate the Verizon retail store.

As shown in this analysis, this site provides sufficient parking for existing and planned uses. Under fully occupied conditions, Lambeth projects a peak period demand of 77 parking spaces in December and 68 spaces in other months.

The property currently has 85 parking spaces. Therefore, Lambeth recommends approval of the SUP based upon the parking.

Development Program

The Arbor Crossing Shopping Center contains 20,251 SF. The detailed building program—including existing and proposed uses—is provided in **Table 1**.

Table 1. Building Program

Suite	Tenant	SF
100	Fuzzy's Tacos	2,500
150	Weichert Realtors	2,089
200	Prime Farm to Table	1,947
300	Flower Mound Chiropractic	1,925
400	Academy Foot & Ankle	2,000
500	Retail (Vacant)	1,105
550	Upscale Nails	1,865
600	Three Dog Bakery	1,810
700	UPS	1,537
750	Verizon (Currently Vacant)	2,077
800	Nekter Juice Bar	1,396
Total SF:		20,251



Parking Supply

The on-site parking supply for the shopping center is 85 spaces. When considering the office and bank buildings, the total parking supply is 139 spaces.

Code Parking Requirement

The Town of Flower Mound's current parking standards are provided in Section 82-74 of the *Code of Ordinances*. As shown in **Table 2**, the site requires 133 parking spaces.

The parking code requirement does not account for a patron visiting more than one site at a time. When that is taken into consideration, the actual parking demand is oftentimes less than required.

Section 82-73 allows for reduction from the required parking supply; any approved parking reduction more than 20 percent must be approved by the town council and mitigation provided. The proposed SUP requests a 48-space, 36% reduction, to provide 85 spaces.

Table 2. Required Parking

Suite	Tenant	SF	Use	Parking Required	
				Parking Rate (1 space per X SF)	Spaces Req'd
100	Fuzzy's Tacos	2,500	Restaurant	1 space/ 75	33
150	Weichert Realtors	2,089	Office	1 space/ 300	7
200	Prime Farm to Table	1,947	Restaurant	1 space/ 75	26
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700	UPS	1,537	Retail	1 space/ 250	6
750	Verizon (Currently Vacant)	2,077	Retail	1 space/ 250	8
800	Nekter Juice Bar	1,396	Restaurant	1 space/ 75	19
		20,251	Total Required Parking: 133 Spaces		

Projected Parking Demand

Observations

To determine the parking demand for the existing tenants considering their complementary time-of-day parking demands, Lambeth Engineering conducted parking observations over four days at Arbor Crossing Shopping Center in October and January. The peak parking demand was observed in October.

- Friday, October 23, 2020, and Saturday, October 24, 2020
- Friday, January 15, 2020 and Saturday, January 16, 2020

An updated site plan, provided in the **Appendix**, was provided to account for the parking spaces in the back of the shopping center. Illustrated on the site plan is the breakdown of areas used for parking observations. A detailed summary of the parking observations is provided in the **Appendix**.



COVID Adjustment

Due to COVID-19, social distancing recommendations are in place and have impacted the number of customers that may be visiting the shopping center. Based on conversation with tenants, the following have less business than typical: Prime Farm to Table, Upscale Nails, and Three Dog Bakery. The realtor's business has increased, and the other tenants were the same as during pre-COVID observations.

The parking spaces required by three tenants that had COVID-based reduction is 40 spaces, as shown in **Table 2**, which is 30 percent of the total parking spaces required. Assuming the parking demand was reduced by 50 percent in comparison to a typical-day demand, a COVID factor of 15% is determined and was applied to account for fewer vehicles present than during typical, non-COVID time periods.

Monthly Adjustment Factor

December is typically the peak month for shopping centers with retail. *Shared Parking*, 3rd Edition, by Urban Land Institute, provides monthly adjustment factors. The monthly factors were compared between October and December for each use in the strip center then pro-rated based on the square footage of each use. A monthly adjustment factor of 8% was applied to the October counts to project the peak parking demand occurring in December.

The parking adjustment factor was also calculated based on the required parking demand for each use. The resulting monthly adjustment was 6%; therefore, the 8% adjustment factor was applied. The monthly factor calculation is shown in the **Appendix**.

The projected parking demand for the vacant suites are based on ITE rates for non-December and December months; therefore, the monthly variations are considered with the projected parking demand.

Vacancies

The vacant suites in the shopping center are accounted for as retail uses. In order to project the parking demand for the fully occupied shopping center, the parking demand for the two vacant suites was projected using parking ratios and time-of-day percentages from the *Parking Generation Manual*, 5th Edition, by the Institute of Transportation Engineers, which are based upon observed sites throughout the US. For example, these time-of-day percentages take into account that an office use does not have a peak parking demand during lunch, when a restaurant has a higher parking demand. Therefore, a parking space may be shared by two users—office and restaurant.

For retail uses, the *Parking Generation Manual* provides average peak period parking demand rates and time-of-day percentages for both Non-December and December months. These parking ratios and time-of-day percentages were applied to the vacant retail suites to project parking demand. The retail projected parking demand was then added to the monthly adjusted parking observations to evaluate the site parking demand when fully occupied.

The ITE retail parking ratios, time-of-day percentages, and resulting retail parking demand are provided in the **Appendix**.

Synergy between the current uses and the vacant suites was not taken into consideration. Some patrons who may be visiting one of the existing tenants may also visit the future retail tenant. To be conservative, this was not taken into consideration.



Projected Parking Demand

The parking observation was adjusted for COVID; it was also adjusted to estimate parking demand in December, and a parking inefficiency factor was applied. The parking demand for the two vacant retail suites was projected using parking rates and time-of-day percentages from the ITE *Parking Generation Manual*.

The resulting peak projected parking non-December parking demand occurs on weekday evenings and is 68 spaces. The project December parking demand occurs on Saturday afternoons as is 77 parking spaces. The projected parking demands throughout the day for weekday and Saturday, during non-December months and December, are summarized in **Figure 1** through **Figure 4**.

Parking Inefficiency Factor

A parking inefficiency factor was applied to account for not using all parking spaces—if a patron is visiting a store on one end of the shopping center they do not want to search out and park in the last parking space if it is located at the opposite end of the strip center. Similarly, patrons are unlikely to park in parking spaces behind the shopping center.

Shared Parking, 3rd Edition, by Urban Land Institute¹ identifies an effective parking supply as the number of spaces occupied when a site is operating at its optimum efficiency and that a parking facility is generally perceived as full at 85-95% occupancy. Therefore, a small cushion of spaces is recommended over the expected peak hour accumulation of vehicles. This cushion is to reduce patron frustration over the need to search the entire parking facility for the last few spaces during the peak hours.

Therefore, a 10% parking inefficiency factor was applied to both non-December and December months. It should be noted that during December motorists are aware there are higher parking demands, and a smaller parking inefficiency factor could be applied.

When considering a parking inefficiency factor in non-December months, a minimum parking supply of 75 parking spaces is recommended to comfortably accommodate the peak parking demand during non-December months. When considering a parking inefficiency factor in December months, the recommended parking supply would be 84 spaces; although this is not as critical during December months as motorists are accustomed to higher parking demands during holiday shopping.

¹ Smith, Mary S. *Shared Parking*. 3rd ed. Washington DC: Urban Land Institute, ICSC, and National Parking Association, 2020, pg. 15.

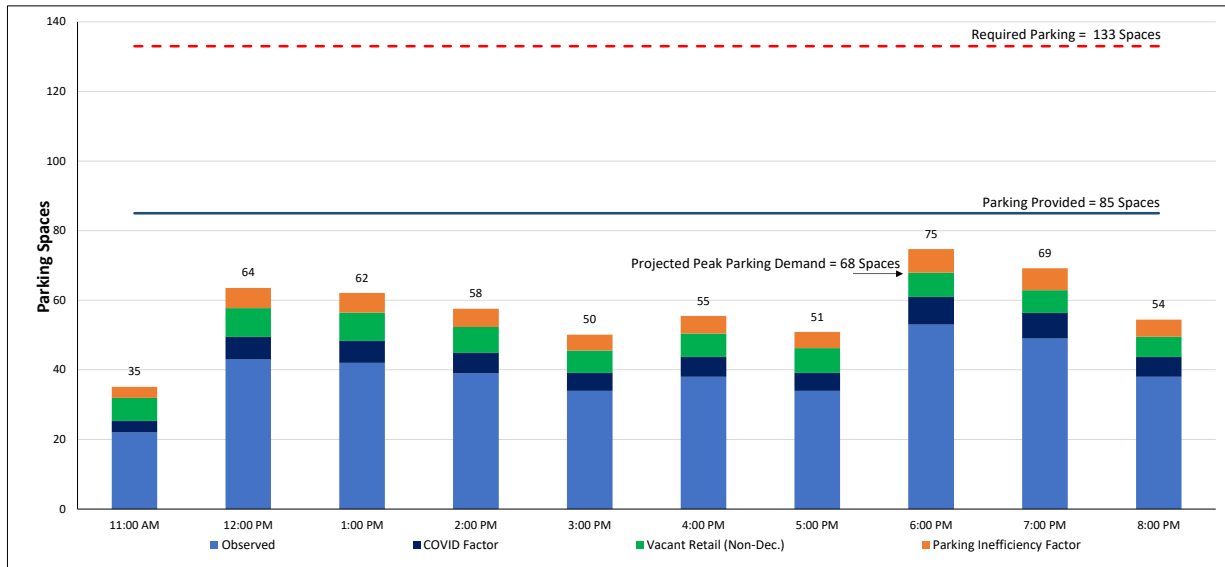


Figure 1. Weekday (Friday) Projected Parking Demand for Non-December

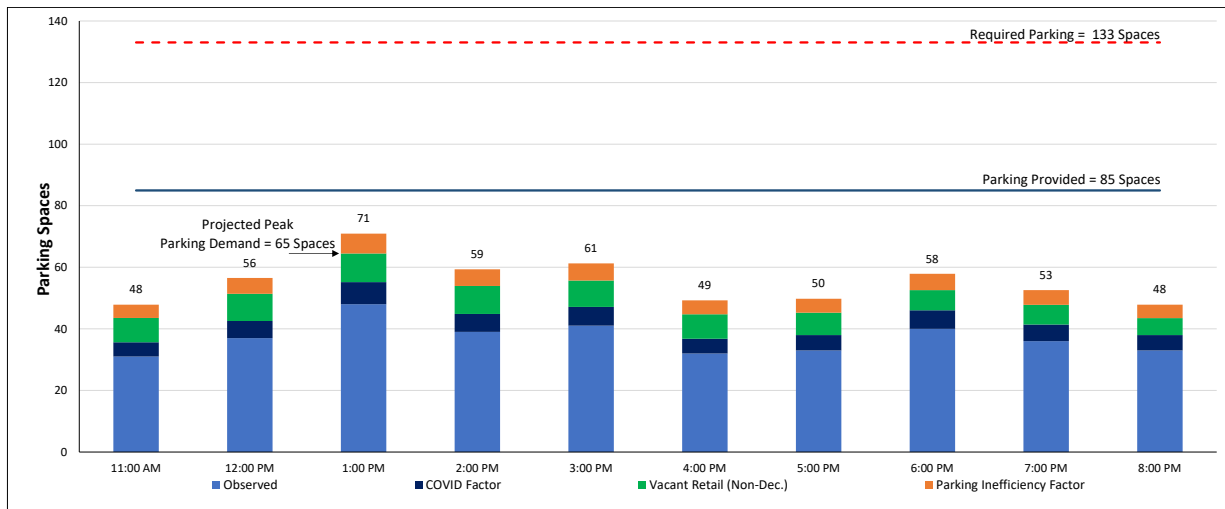


Figure 2. Saturday Projected Parking Demand for Non-December

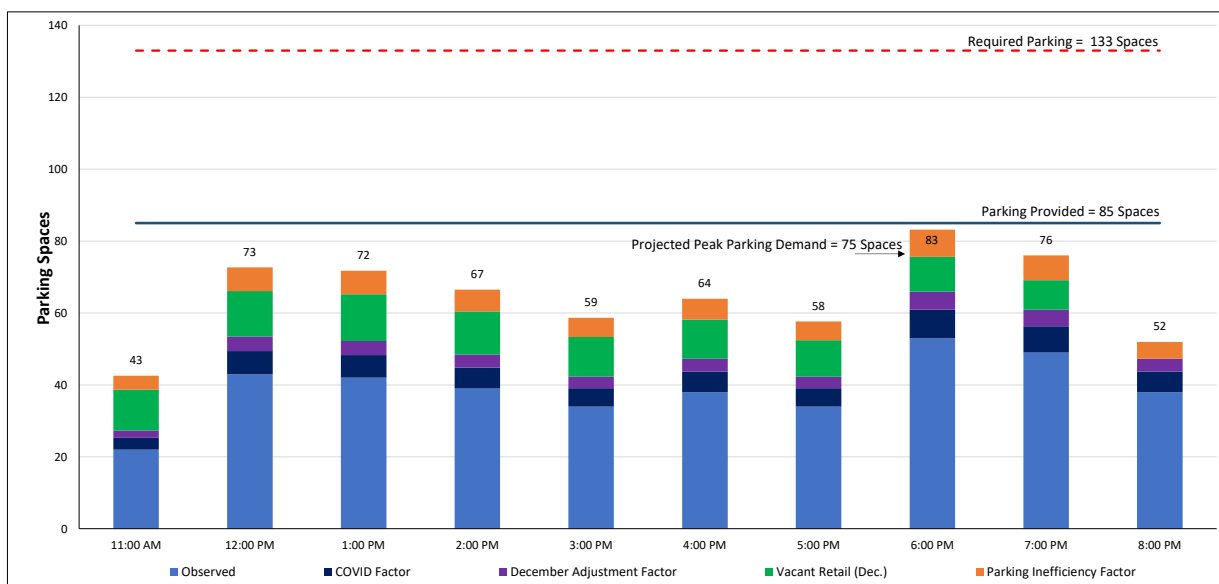


Figure 3. Weekday (Friday) Projected Parking Demand for December

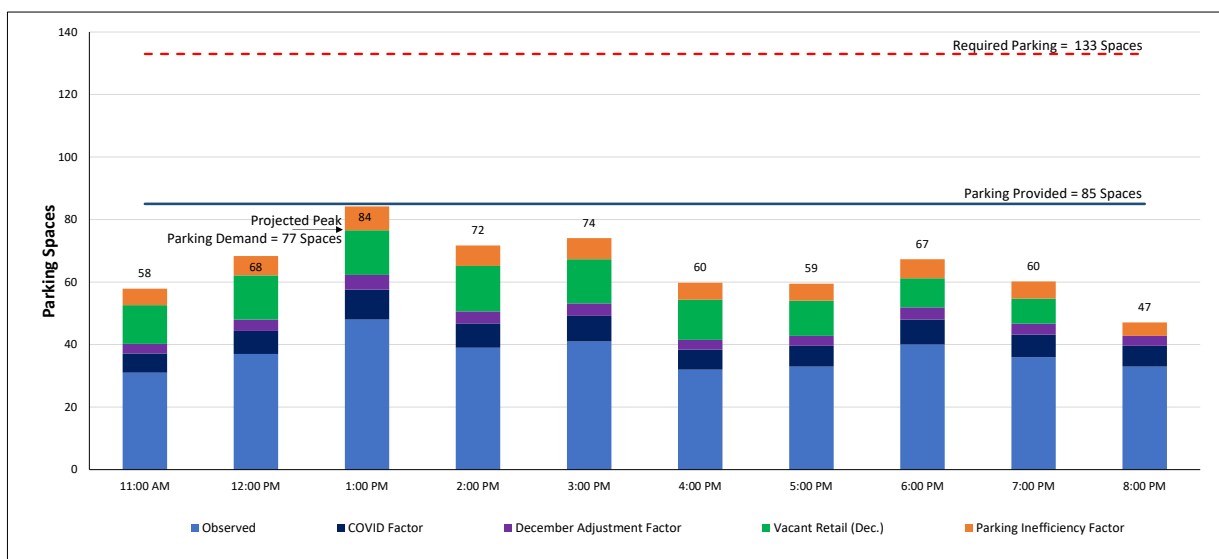


Figure 4. Saturday Projected Parking Demand for December



Summary

Lambeth Engineering conducted a parking analysis for the Arbor Crossing Shopping Center located southeast of the Long Prairie Road (FM 2499)/Dixon Lane intersection in the Town of Flower Mound, Texas. This study evaluates the strip center portion of the shopping center and not the office building or bank building.

The Town of Flower Mound's Code of Ordinance requires 133 parking spaces for the strip center's proposed development program. Based upon observations, adjustments for COVID, monthly adjustments, and adjustments for vacancies, the site is projected to generate a peak parking demand of 68 parking spaces in non-December months and 77 parking spaces in December.

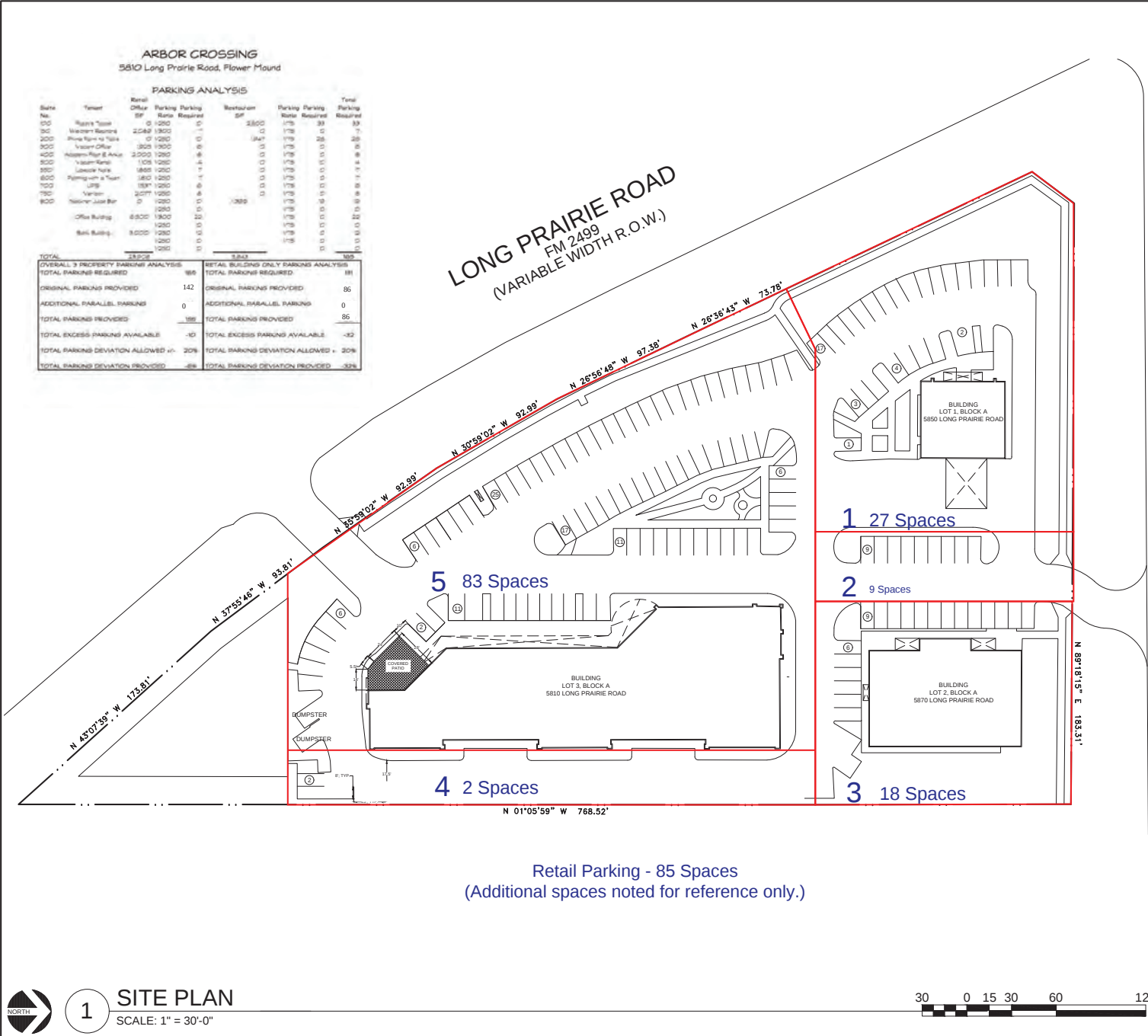
To account for a parking inefficiency factor so that motorist do not have to find the last parking space, a minimum parking supply of 75 parking spaces is recommended to comfortably accommodate the peak parking demand during non-December months. When considering a parking inefficiency factor in December months, the recommended parking supply would be 84 spaces; although this is not as critical during December months as motorists are accustomed to higher parking demands during holiday shopping.

The 85 spaces provided by the shopping center are adequate to satisfy the demand. Therefore, Lambeth Engineering recommends approval of the SUP based upon the parking.

END



Appendix





Parking Adjustment Factor Based on Required Parking Spaces
(Applied to Observed Parking Demand)

Suite	Tenant	Retail	Office	Medical Office	Restaurant (Fast Casual/ Fast Food)	Restaurant (High-Turnover/ Sit Down)	Total
100	Fuzzy's Tacos				2,500		2,500
150	Weichert Realtors		2,089				2,089
200	Prime Farm to Table					1,947	1,947
300	Flower Mound Chiropractic			1,925			1,925
400	Academy Foot & Ankle			2,000			2,000
500	Retail (Vacant)	Projected parking demand is based on ITE rates for non-December and December months.					
550	Upscale Nails	1,865					1,865
600	Three Dog Bakery	1,810					1,810
700	UPS	1,537					1,537
750	Verizon (Vacant)	Projected parking demand is based on ITE rates for non-December and December months.					
800	Nekter Juice Bar				1,396		1,396
Total Occupied SF		5,212	2,089	3,925	3,896	1,947	17,069 SF
City Required Parking Rate (1 space per X SF)		250	300	250	75	75	--
Required Parking for Occupied Suites (Spaces)		21	7	16	52	26	122 Spaces
Percentage of Total Parking Required for Occupied Suites		17%	6%	13%	43%	21%	100%
ULI Monthly Adjustment Factor (October)		76%	100%	100%	96%	93%	
ULI Monthly Adjustment Factor (December)		100%	100%	100%	96%	100%	
Difference in ULI Monthly Adjustment Factor		24%	0%	0%	0%	7%	
Weighted ULI Monthly Adjustment Factor		4%	0%	0%	0%	1%	6%

Parking Adjustment Factor Based on Occupied SF per Use
(Applied to Observed Parking Demand)

Suite	Tenant	Retail	Office	Medical Office	Restaurant (Fast Casual/ Fast Food)	Restaurant (High-Turnover/ Sit Down)	Total
100	Fuzzy's Tacos				2,500		
150	Weichert Realtors		2,089				
200	Prime Farm to Table					1,947	
300	Flower Mound Chiropractic			1,925			
400	Academy Foot & Ankle			2,000			
500	Retail (Vacant)	Projected parking demand is based on ITE rates for non-December and December months.					
550	Upscale Nails	1,865					
600	Three Dog Bakery	1,810					
700	UPS	1,537					
750	Verizon (Vacant)	Projected parking demand is based on ITE rates for non-December and December months.					
800	Nekter Juice Bar				1,396		
Total Occupied SF		5,212	2,089	3,925	3,896	1,947	17,069 SF
Percentage of Occupied Suites SF		31%	12%	23%	23%	11%	100%
ULI Monthly Adjustment Factor (October)		76%	100%	100%	96%	93%	--
ULI Monthly Adjustment Factor (December)		100%	100%	100%	96%	100%	--
Difference in ULI Monthly Adjustment Factor		24%	0%	0%	0%	7%	--
Weighted ULI Monthly Adjustment Factor		7%	0%	0%	0%	1%	8%

Vacant Suites
Projected Parking Demand Percent of Peak Parking Demand by Time of Day,
From ITE Parking Generation Manual, 5th Edition

	ITE 820 Shopping Center		Vacant Retail (Non-December)	Vacant Retail (December)
	Time-of-Day Percentages		3,182 SF Vacant Retail	3,182 SF Vacant Retail
	Non-December	December		
Weekday (Friday)				
ITE Avg Rate (1 Space/X SF)	383	244	383	244
Peak Parking Demand:			8	13
11:00 AM	80%	87%	7	11
12:00 PM	100%	97%	8	13
1:00 PM	98%	100%	8	13
2:00 PM	90%	92%	7	12
3:00 PM	78%	85%	6	11
4:00 PM	81%	84%	7	11
5:00 PM	86%	78%	7	10
6:00 PM	84%	75%	7	10
7:00 PM	79%	63%	7	8
8:00 PM	70%		6	0
Saturday				
ITE Avg Rate (1 Space/X SF)	344	218	344	218
Peak Parking Demand:			9	15
11:00 AM	85%	85%	8	12
12:00 PM	95%	97%	9	14
1:00 PM	100%	98%	9	14
2:00 PM	98%	100%	9	15
3:00 PM	92%	97%	9	14
4:00 PM	86%	88%	8	13
5:00 PM	79%	77%	7	11
6:00 PM	71%	64%	7	9
7:00 PM	69%	55%	6	8
8:00 PM	60%		6	0

Projected Parking Demand for Arbor Crossing (Non-December)						
Projected Parking Demand Based Upon Observations and ITE Parking Generation Manual, 5th Edition						
	Observed Parking Spaces	COVID Factor	Vacant Retail (Non-Dec.) (ITE 820)	Projected Parking Demand	Parking Inefficiency Factor	Recommended Parking Supply
	17,069 SF Occupied Suites	15%	3,182 SF Vacant Retail		10%	--
Weekday (Friday)						
Parking Ratio:	--	--	383		--	--
Peak Parking Demand:	--	--	8		--	--
11:00 AM	22	3	7	32	3	35
12:00 PM	43	6	8	58	6	64
1:00 PM	42	6	8	56	6	62
2:00 PM	39	6	7	52	5	58
3:00 PM	34	5	6	46	5	50
4:00 PM	38	6	7	50	5	55
5:00 PM	34	5	7	46	5	51
6:00 PM	53	8	7	68	7	75
7:00 PM	49	7	7	63	6	69
8:00 PM	38	6	6	50	5	54
Peak Parking Demand (Friday):				68 Spaces		
Saturday						
Parking Ratio:	--	--	344		--	--
Peak Parking Demand:	--	--	9		--	--
11:00 AM	31	5	8	44	4	48
12:00 PM	37	6	9	51	5	56
1:00 PM	48	7	9	64	6	71
2:00 PM	39	6	9	54	5	59
3:00 PM	41	6	9	56	6	61
4:00 PM	32	5	8	45	4	49
5:00 PM	33	5	7	45	5	50
6:00 PM	40	6	7	53	5	58
7:00 PM	36	5	6	48	5	53
8:00 PM	33	5	6	44	4	48
Peak Parking Demand (Saturday):				64 Spaces		
Overall Peak Parking Demand:				75 Spaces		

Projected Parking Demand for Arbor Crossing (December)							
Projected Parking Demand Based Upon Observations and ITE Parking Generation Manual, 5th Edition							
	Observed Parking Spaces	COVID Factor	December Adjustment Factor	Vacant Retail (Dec.) (ITE 820)	Projected Parking Demand	Parking Inefficiency Factor	Recommended Parking Supply
	17,069 SF Occupied Suites	15%	8%	3,182 SF Vacant Retail		10%	--
Weekday (Friday)							
Parking Ratio:	--	--	--	244		--	--
Peak Parking Demand:	--	--	--	13		--	--
11:00 AM	22	3	2	11	39	4	43
12:00 PM	43	6	4	13	66	7	73
1:00 PM	42	6	4	13	65	7	72
2:00 PM	39	6	4	12	60	6	67
3:00 PM	34	5	3	11	53	5	59
4:00 PM	38	6	4	11	58	6	64
5:00 PM	34	5	3	10	52	5	58
6:00 PM	53	8	5	10	76	8	83
7:00 PM	49	7	5	8	69	7	76
8:00 PM	38	6	4	0	47	5	52
Peak Parking Demand (Friday):					76 Spaces		
Saturday							
Parking Ratio:	--	--	--	218		--	--
Peak Parking Demand:	--	--	--	15		--	--
11:00 AM	31	6	3	12	53	5	58
12:00 PM	37	7	4	14	62	6	68
1:00 PM	48	10	5	14	77	8	84
2:00 PM	39	8	4	15	65	7	72
3:00 PM	41	8	4	14	67	7	74
4:00 PM	32	6	3	13	54	5	60
5:00 PM	33	7	3	11	54	5	59
6:00 PM	40	8	4	9	61	6	67
7:00 PM	36	7	4	8	55	5	60
8:00 PM	33	7	3	0	43	4	47
Peak Parking Demand (Saturday):					77 Spaces		
Overall Peak Parking Demand:					84 Spaces		

Arbor Crossing Shopping Center Parking Observations

Date: Friday, October 23, 2020

Location: Arbor Crossing Shopping Center: Southeast of the Long Prairie Road (FM 249) at Dixon Lane

Description: Shopping center with a mix of retail, restaurant, office, medical office, bank, and other uses.

Observed by: Clark Terry, Lambeth Engineering

Project: Parking Analysis for WF/TX Investments, LLC, Flower Mound TX 75212

Weather: 11:00 AM - 3:30 PM: Cloudy but No Rain; 3:30 PM - 8:00 PM: Nice All Clear

Time	Retail Front	Retail Back	Retail Subtotal	Bank Front	Bank Back	Office	Total
Parking Supply	83	2	85	27	9	18	139
11:00 AM	17	5	22	0	7	7	36
11:30 AM	21	7	28	0	7	9	44
12:00 PM	34	9	43	0	6	9	58
12:30 PM	34	10	44	0	5	8	57
1:00 PM	32	10	42	0	5	8	55
1:30 PM	31	11	42	0	7	9	58
2:00 PM	28	11	39	0	8	7	54
3:00 PM	23	11	34	0	7	5	46
4:00 PM	25	13	38	0	6	4	48
4:30 PM	20	13	33	0	5	4	42
5:00 PM	19	15	34	0	4	2	40
5:30 PM	27	15	42	0	4	1	47
6:00 PM	36	17	53	0	4	2	59
6:30 PM	26	16	42	0	2	2	46
7:00 PM	33	16	49	0	1	0	50
7:30 PM	23	15	38	0	0	0	38
8:00 PM	24	14	38	0	0	0	38
Max:	36	17	53	0	8	9	59



Arbor Crossing Shopping Center Parking Observations

Date: Saturday, October 24, 2020

Location: Arbor Crossing Shopping Center: Southeast of the Long Prairie Road (FM 249) at Dixon Lane

Description: Shopping center with a mix of retail, restaurant, office, medical office, bank, and other uses.

Observed by: Clark Terry, Lambeth Engineering

Project: Parking Analysis for WF/TX Investments, LLC, Flower Mound TX 75212

Weather: Nice, Clear all Day

Time	Retail Front	Retail Back	Retail Subtotal	Bank Front	Bank Back	Office	Total
Parking Supply	83	2	85	27	9	18	139
11:00 AM	17	7	24	0	0	3	27
11:30 AM	23	8	31	0	1	4	36
12:00 PM	19	8	27	0	1	3	31
12:30 PM	28	9	37	0	0	6	43
1:00 PM	35	8	43	0	1	3	47
1:30 PM	40	8	48	0	1	4	53
2:00 PM	30	9	39	1	2	0	42
2:30 PM	32	9	41	1	2	1	45
3:30 PM	20	12	32	0	2	2	36
4:30 PM	17	16	33	0	3	2	38
5:00 PM	15	13	28	0	3	2	33
5:30 PM	20	13	33	0	4	3	40
6:00 PM	16	12	28	0	2	2	32
6:30 PM	28	12	40	0	2	2	44
7:00 PM	24	12	36	0	2	2	40
7:30 PM	18	11	29	0	0	1	30
8:00 PM	22	11	33	0	0	1	34
Max:	40	16	48	1	4	6	53



Arbor Crossing Shopping Center Parking Observations

Date: Friday, January 15, 2021

Location: Arbor Crossing Shopping Center: Southeast of the Long Prairie Road (FM 249) at Dixon Lane

Description: Shopping center with a mix of retail, restaurant, office, medical office, bank, and other uses.

Observed by: Christy Lambeth, Lambeth Engineering

Project: Parking Analysis for WF/TX Investments, LLC, Flower Mound TX 75212

Weather: Cold and Sunny, Nice All Clear

Time	Retail Front	Retail Back	Retail Subtotal	Bank Front	Bank Back	Office	Total
Parking Supply	83	2	85	27	9	18	139
4:00 PM	27	9	36	0	3	5	44
4:30 PM	17	12	29	0	0	1	30
5:00 PM	14	14	28	0	0	0	28
5:30 PM	18	14	32	0	0	1	33
6:00 PM	18	13	31	0	0	0	31
6:30 PM	21	13	34	0	0	1	35
7:00 PM	30	12	42	0	0	1	43
7:30 PM	27	11	38	0	0	0	38
Max:	30	14	42	0	3	5	44



Arbor Crossing Shopping Center Parking Observations

Date: Saturday, January 16, 2021

Location: Arbor Crossing Shopping Center: Southeast of the Long Prairie Road (FM 249) at Dixon Lane

Description: Shopping center with a mix of retail, restaurant, office, medical office, bank, and other uses.

Observed by: Elisa Vaquera , Lambeth Engineering

Project: Parking Analysis for WF/TX Investments, LLC, Flower Mound TX 75212

Weather: Nice, Clear all Day

Time	Retail Front	Retail Back	Retail Subtotal	Bank Front	Bank Back	Office	Total
Parking Supply	83	2	85	27	9	18	139
11:00 AM	12	8	20	1	0	1	22
11:30 AM	31	8	39	0	1	1	41
12:00 PM	26	8	34	0	0	2	36
12:30 PM	24	8	32	0	0	1	33
1:00 PM	30	9	39	0	0	1	40
1:30 PM	29	9	38	0	0	2	40
2:00 PM	23	10	33	0	0	1	34
2:30 PM	26	9	35	0	0	1	36
3:00 PM	25	8	33	0	0	0	33
Max:	31	10	39	1	1	2	41





PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 3

REGULAR ITEM

DATE: January 25, 2021

FROM: Claire Barnes, Planner

ITEM: Public Hearing to consider an ordinance granting a Specific Use Permit No. 466 (SUP20-0010 – 1308 Oak Drive Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Oak Drive and east of Fireside Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Specific Use Permit (SUP-466) to allow for an accessory dwelling on an approximately 2.5-acre lot currently zoned Single-Family Estate District (SF-E). Section 98-273 of the Land Development Regulations requires Town Council approval of a Specific Use Permit for an accessory dwelling within the SF-E zoning district. The existing lot is currently developed with a 2,276-square-foot main dwelling. The accessory dwelling will be roughly 1,135 square feet of habitable floor area, which is approximately 49.9 percent of the main structure, and the lot coverage for the property is approximately 5 percent. Colors used will match and/or complement the main dwelling. In addition, the accessory dwelling will be located at least 20 feet from all property lines and at least 10 feet back from the rear wall of the main dwelling, in compliance with setback requirements. Overall, the proposed site plan meets the minimum requirements of the existing zoning district.

Section 98-983 of the Code of Ordinances contains additional provisions for the construction and occupancy of accessory dwellings (see below). Seven of the nine regulations are addressed with this proposal. The remaining two provisions prohibit the accessory dwelling from being used as a rental property and require the accessory building to be served by the same utility meters as the existing primary dwelling; these will be addressed during the building permit review phase.

Sec. 98-983. - Accessory dwelling.

The issuance of permits for construction and occupancy of an accessory dwelling shall be subject to compliance with the following conditions:

- (1) The accessory dwelling shall be located on the same lot/tract as the existing primary dwelling and located in a separate structure.
- (2) An accessory dwelling shall not be located on any lot/tract of less than two acres.
- (3) No more than one accessory dwelling per tract or lot shall be allowed.
- (4) Accessory dwellings shall not be used as rental units.
- (5) The accessory dwelling shall be serviced by the same utility meter as the primary dwelling, and the building materials and architecture will be similar to or in concert with the primary dwelling.
- (6) The habitable floor area of the accessory dwelling shall not exceed 50 percent of the habitable floor area of the primary dwelling. The maximum habitable floor area shall not exceed 2,000 square feet.
- (7) An accessory dwelling shall conform to the same side and rear yard setbacks as provided for the primary dwelling in the zoning district in which it is located.
- (8) The front building line for an accessory dwelling shall be behind the primary structure at a point not closer than ten feet from the rear wall line of the primary dwelling.
- (9) In no case shall the combined area of the primary dwelling, accessory dwelling and/or other accessory buildings exceed the maximum percentage of lot coverage allowed for the zoning district in which the structures are located.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. SUP20-0010 had a total of 16 Property Owner Notifications mailed. At the time this report was written, staff had not received any responses in support or opposition to the request. All written correspondence was sent directly to the Planning and Zoning Commission according to the new public communication process.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

B. Application Details

1. Specific Use Permit Package

January 6, 2021

Town of Flower Mound
Planning Services Division
2121 Cross Timbers Road
Flower Mound, TX 75028

Re: *Specific Use Permit Application (Accessory Dwelling)*

Please be advised that we (Russ and Lisa Cobb) own 1308 Oak Drive (legal description OAK HEIGHTS SUBD LOT 17(W PT). We are requesting an application for a Specific Use Permit (SUP) to build an accessory dwelling on the property.

Our daughter, Casey Cobb, currently resides at the property with her daughter. She is a single mother. The main house is modest in size, and the purpose of the accessory dwelling would be to use as a part time residence for us to visit and spend time with them and to help her as needed. Our long-term vision would be for us to live there and be close as we get older and begin to need her assistance, if needed.

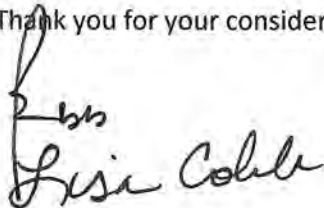
The dwelling would be behind the main house on the east side of the property. We also own the adjacent lot (OAK HEIGHTS SUBD LOT 17(E PT)) on the east side; it has no improvements currently. Each lot is 2.5 acres, so 5 acres total. Our hope for the east lot is to have our son build a house there.

The dwelling will meet all of the guidelines for the town of Flower Mound. The architecture and building materials will be in concert with the primary dwelling. This dwelling would not be used for rental and abide by the town's regulation and code requirements. The dwelling will be serviced by the same utility meter as primary dwelling.

We are long term Flower Mound residents, raised our family here, and recently sold our house as we became empty nesters. We purchased these two lots to enable our children and grandchildren to be able to continue to live here, it is such a great family community with wonderful teachers and schools. It would mean a lot to us to be able to spend more time there and to help with our granddaughter. Also, to be able to have our family close to us.

The zoning for this property is SFE. As the lot sizes are large, there are many accessory buildings and dwellings in the neighborhood. The adjacent lot on the west side has a detached living area which we assume to be an accessory dwelling.

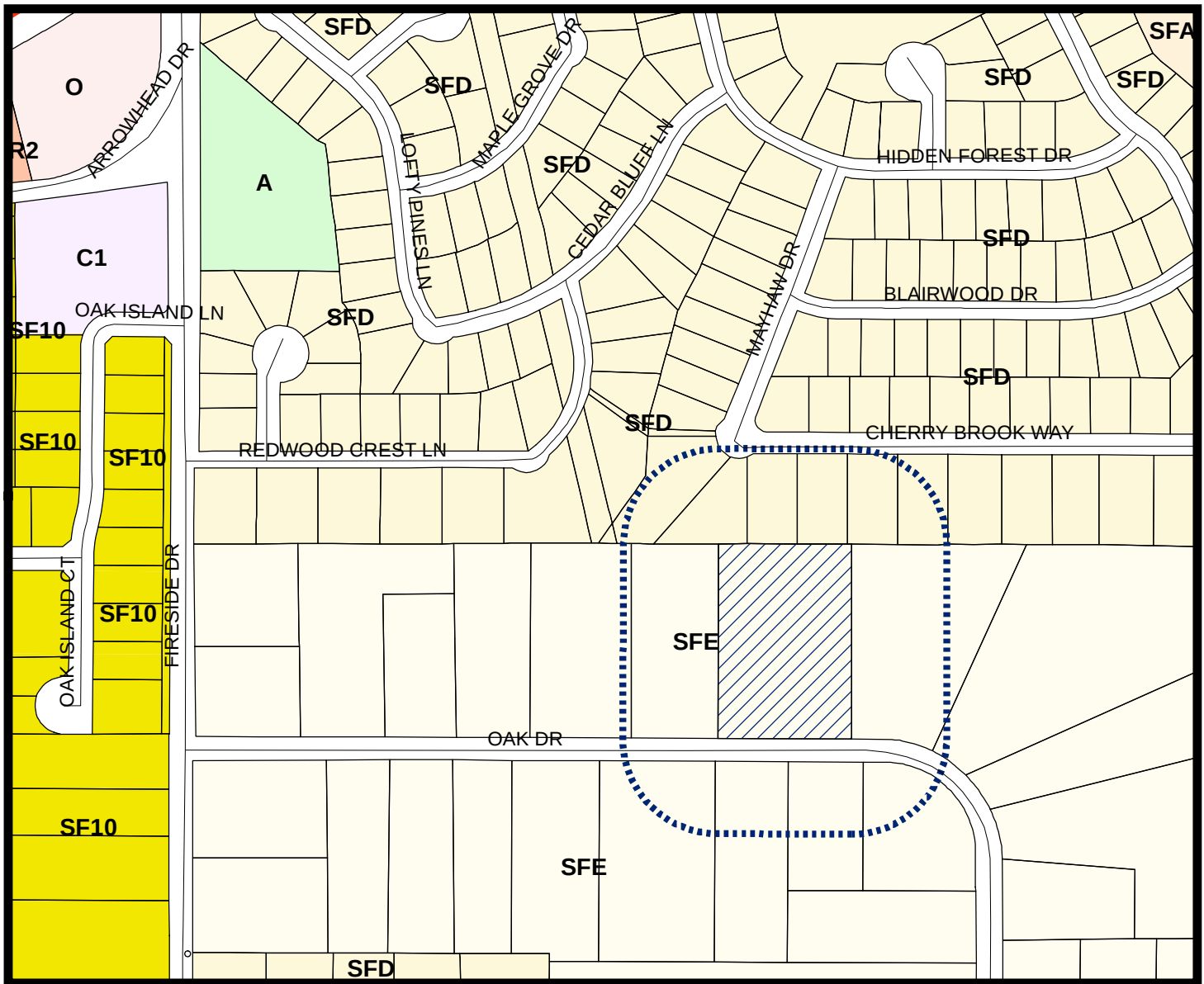
Thank you for your consideration in this matter.


Lisa Cobb

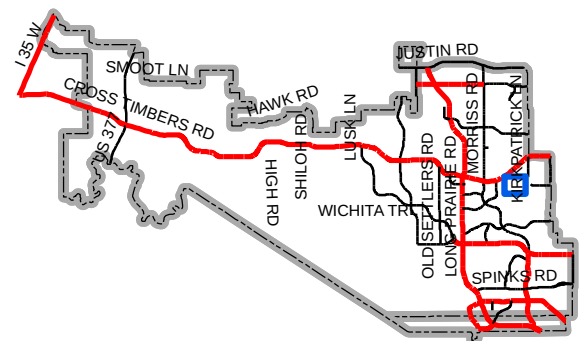
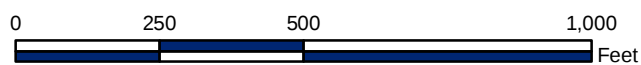
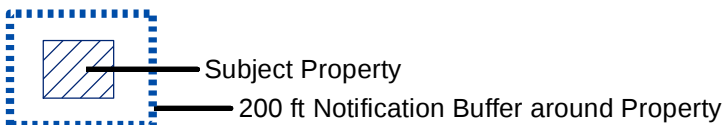
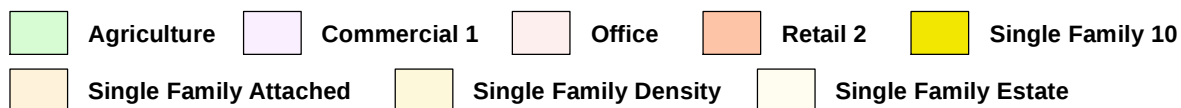


Vicinity Map

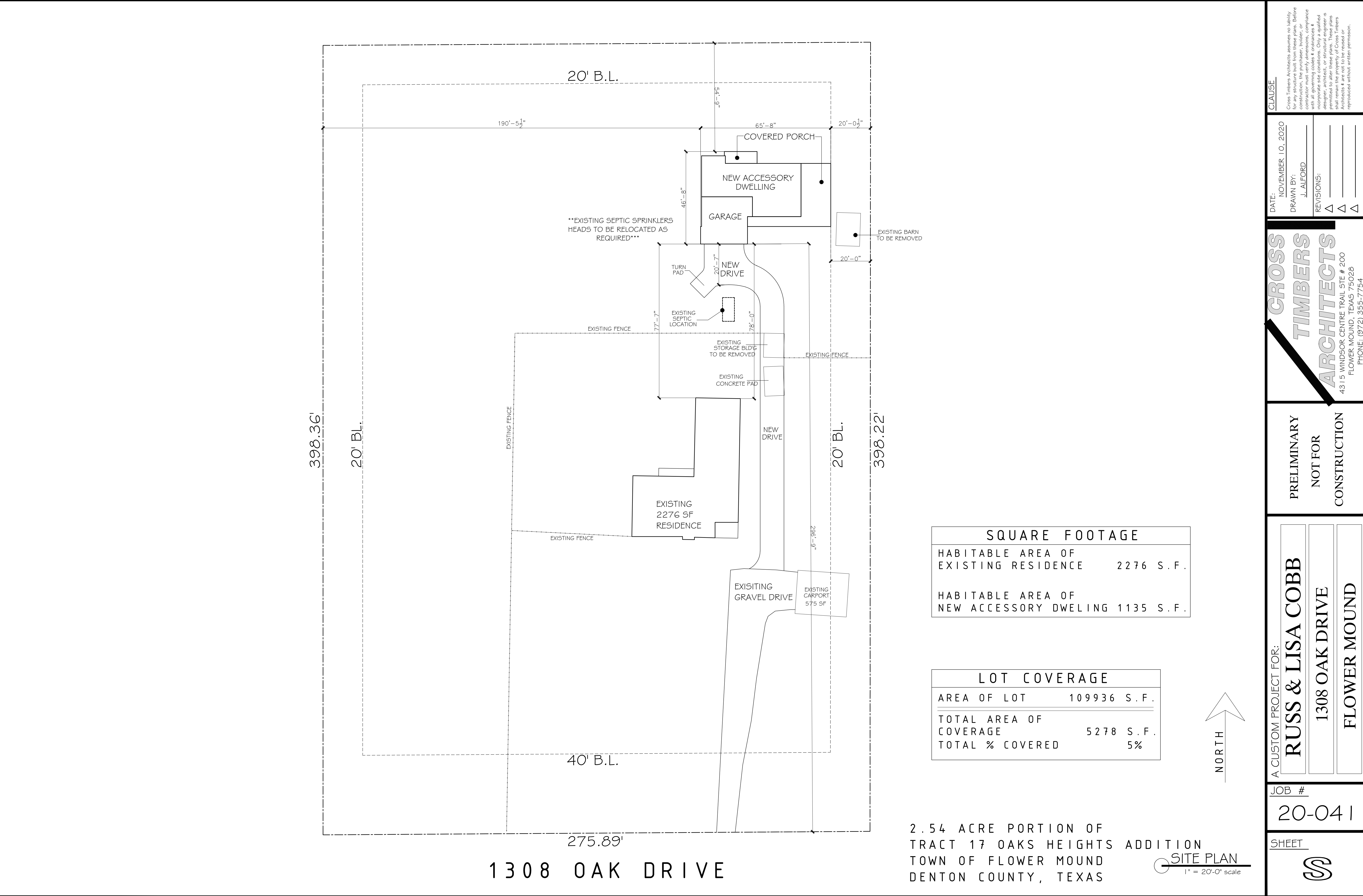
Reference Project: SUP20-0010



LEGEND



Map Location



CLAUSE

Cross Timbers Architects assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify dimensions, compliance with zoning code, and other applicable regulations. Only a qualified designer, architect, or structural engineer is permitted to alter these plans. These plans shall remain the property of Cross Timbers Architects and shall be used only as reproduced without written permission.

DATE: NOVEMBER 10, 2020

DRAWN BY: J. ALFORD

REVISIONS:
Δ
Δ
Δ

**CROSS
TIMBERS
ARCHITECTS**

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754

PRELIMINARY
NOT FOR
CONSTRUCTION

A CUSTOM PROJECT FOR:

RUSS & LISA COBB

1308 OAK DRIVE

FLOWER MOUND

JOB #

20-041

SHEET



EXTERIOR MATERIALS LEGEND	
	BRICK TO MATCH EXST'G
	HARDI SIDING TO MATCH EXST'G
	COMPOSITE SHINGLE TO MATCH EXST'G

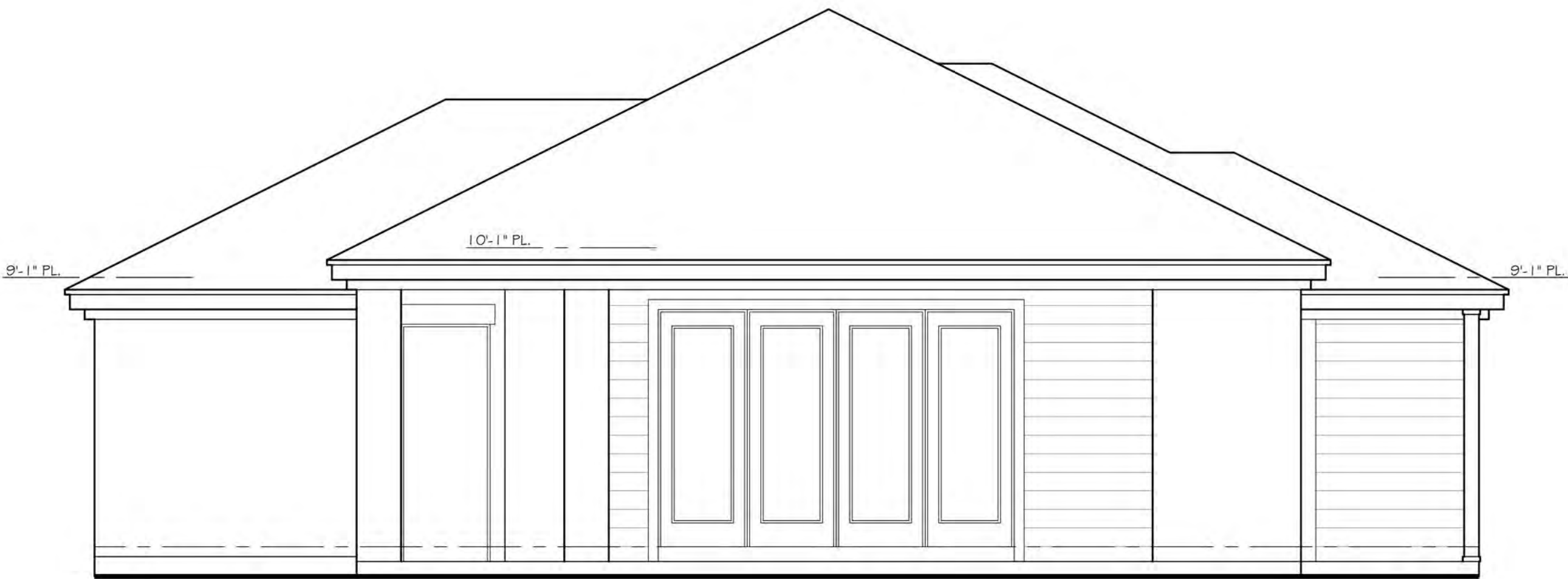
- NOTES:
- Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
 - Refer to all local codes for plumbing, mechanical, & electrical requirements.
 - Builder to verify all notes & dimensions prior to construction.



WEST (LEFT) ELEVATION
1/4" = 1' - 0" scale



NORTH (REAR) ELEVATION
1/4" = 1' - 0" scale



EAST (RIGHT) ELEVATION
1/4" = 1' - 0" scale

- BRICK- ACME SOUTHSIDE CHICAGO (OR BEST MATCH, EXISTING RESIDENCE BRICK IS DISCONTINUED)
- ALL PAINT- SHERWIN WILLIAMS 7511 BUNGALOW BEIGE (INCLUDES SOFFIT, FACIA, SHUTTERS, GARAGE DOOR, & SIDING)
- SHINGLES- TAMKO WEATHERED WOOD



NOTE: ALL TRIM AND HARDI-BOARD SIDING IS PAINTED TO MATCH EXISTING HOUSE

SOUTH (FRONT) ELEVATION
1/4" = 1' - 0" scale

CLAUSE

DATE: SEPTEMBER 2, 2020
DRAWN BY: J. ALFORD
REVISIONS:
Δ
Δ
Δ

CROSS
TIMBERS
ARCHITECTS
4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754

A CUSTOM PROJECT FOR:

COBB GUEST HOUSE
1308 OAK DRIVE

JOB #
20-041

SHEET
1 OF 5

EXTERIOR MATERIALS LEGEND

BRICK TO MATCH EXST'G

HARDI SIDING TO MATCH EXST'G

COMPOSITE SHINGLE TO MATCH EXST'G

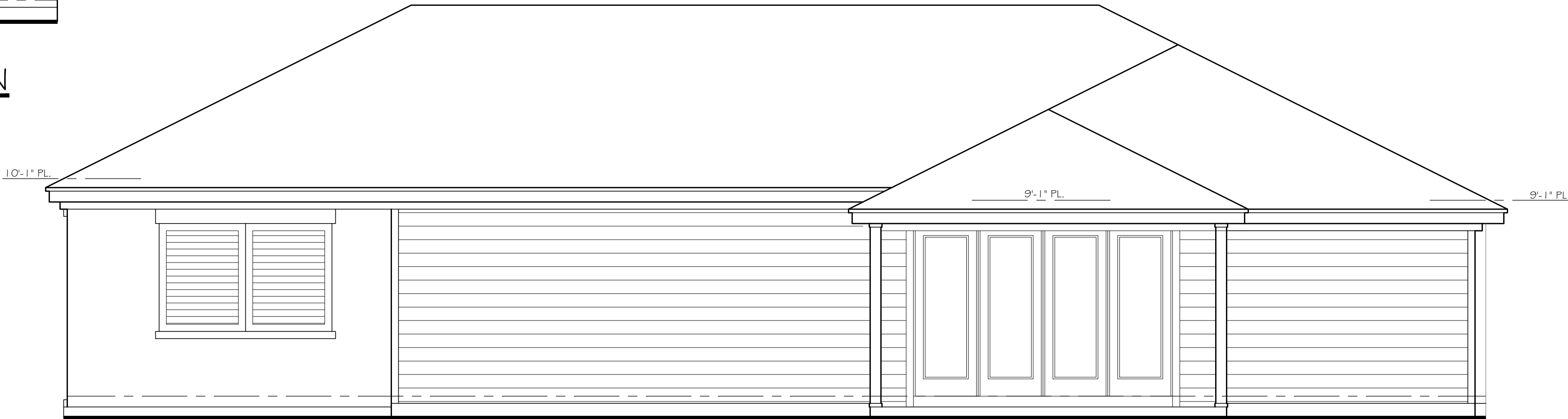
- NOTES:
1. Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.

2. Refer to all local codes for plumbing, mechanical, & electrical requirements.

3. Builder to verify all notes & dimensions prior to construction.



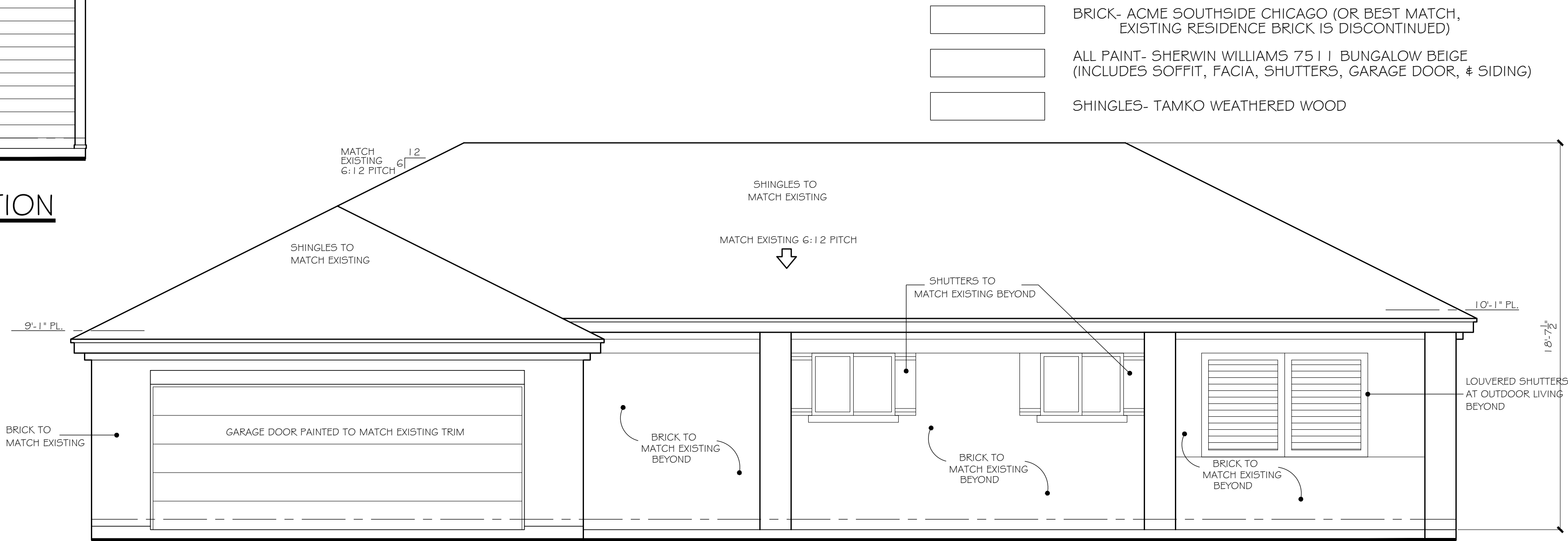
WEST (LEFT) ELEVATION
1/4" = 1' -0" scale



NORTH (REAR) ELEVATION
1/4" = 1' -0" scale



EAST (RIGHT) ELEVATION
1/4" = 1' -0" scale



SOUTH (FRONT) ELEVATION
1/4" = 1' -0" scale

CLAUSE

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DATE: NOVEMBER 10, 2020
DRAWN BY: J. ALFORD
REVISIONS:
Δ
Δ
Δ

**CROSS
TIMBERS
ARCHITECTS**
4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754

PRELIMINARY
NOT FOR
CONSTRUCTION

A CUSTOM PROJECT FOR:
COBB GUEST HOUSE
1308 OAK DRIVE

JOB #
20-041

SHEET
1 OF 5

1308 Oak Drive

This document is to show the existing home and site conditions at 1308 Oak Drive. The new proposed structure will be in concert with the existing architecture and landscape and will be constructed of materials and color palette to match. Please see photos and descriptions below for explanation. The new Accessory Dwelling will be home to the current residences' family members and the habitable area is less than 50% of the existing homes current living space square footage as required.



All colors and materials to match existing



Front facing windows & shutters to match existing as shown

All trim colors and brick to match existing



Transition from Brick to Hardi-Board around side and rear to match existing



Hardi Board Siding to match existing on rear



Concrete Pad to Remain. Storage Barns to be Removed



Existing Carport to Remain



Existing Septic Tank to Remain. Storage Barns to be removed. Location of New Structure is approximately 30' from the Septic Tank and 70' from the rear of the existing house in open area with no trees to be removed.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: January 25, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Public Hearing to consider an ordinance for rezoning (ZPD20-0009 – Lakeside Center) to amend Planned Development No. 169 (PD-169) with both residential and non-residential uses to modify approved development standards related to signage and to modify approved compatibility buffer exception along the southern property line. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the application is to request modifications to certain standards related to signage and the compatibility buffer exception outlined in Ordinance No. 03-19 for Planned Development No. 169 (PD-169).

On February 4, 2019, Town Council approved a rezoning request (ZPD18-0009 – Lakeside Center) to create PD-169 with residential and non-residential uses. The area of the entire PD is approximately 10 acres containing 5.309 acres of non-residential development, 0.621 acres of residential development and approximately 4.135 acres of open space area. The current zoning amendment request is to modify certain development standards within the non-residential component of the PD.

Comprehensive Sign Package:

The Lakeside Center development had a Comprehensive Sign Package approved as a part of the PD that includes specialized standards for wall, ground, and temporary leasing signs. There are two office buildings and a parking garage constructed on the non-residential lot. The developer is requesting to amend wall signage standards for Building No. 2 (smaller office building) in terms of numbers of signs allowed on the north and south building facades. The sign dimensions remain unchanged. The table below summarizes the applicant's request.

Building 2	Approved Sign Standards	Proposed Sign Standards
East facade	Maximum of four (4) signs; maximum of two (2) signs on 1 st floor sign band and maximum of two (2) signs on the 2 nd floor sign band.	No change
North facade	Maximum of one (1) sign permitted on the 2 nd floor sign band.	Maximum of two (2) signs; Maximum of one (1) sign on the 1 st floor sign band and maximum of one (1) sign on the 2 nd floor sign band.
South Facade	Maximum of one (1) sign permitted on the 2 nd floor sign band.	Maximum of two (2) signs; Maximum of one (1) sign on the 1 st floor sign band and maximum of one (1) sign on the 2 nd floor sign band.

Compatibility Buffer exception:

The residential compatibility standards apply when a non-residential development is proposed adjacent to an existing residential use or zoning, or vacant land designated for residential use on the comprehensive master plan. The proposed development shares a majority of the southern boundary with an existing Mobile Home Park. An exception to not provide the compatibility buffer consisting of a 25-foot landscape buffer and six-foot masonry wall along the southern property line was approved with the PD. The developer is now requesting to install two sections of six-foot tall wood fence along the southern property line. The western wood fence section measures approximately 86 linear feet and the eastern wood fence section measures approximately 61 linear feet. A compatibility wall constructed of any material other than masonry would require approval of an exception to the compatibility buffer requirement through the Town Council. Hence the applicant's request to use wood fence as a screening device along residential adjacency requires modification to the approved exception.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. ZPD20-0009 had a total of 27 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

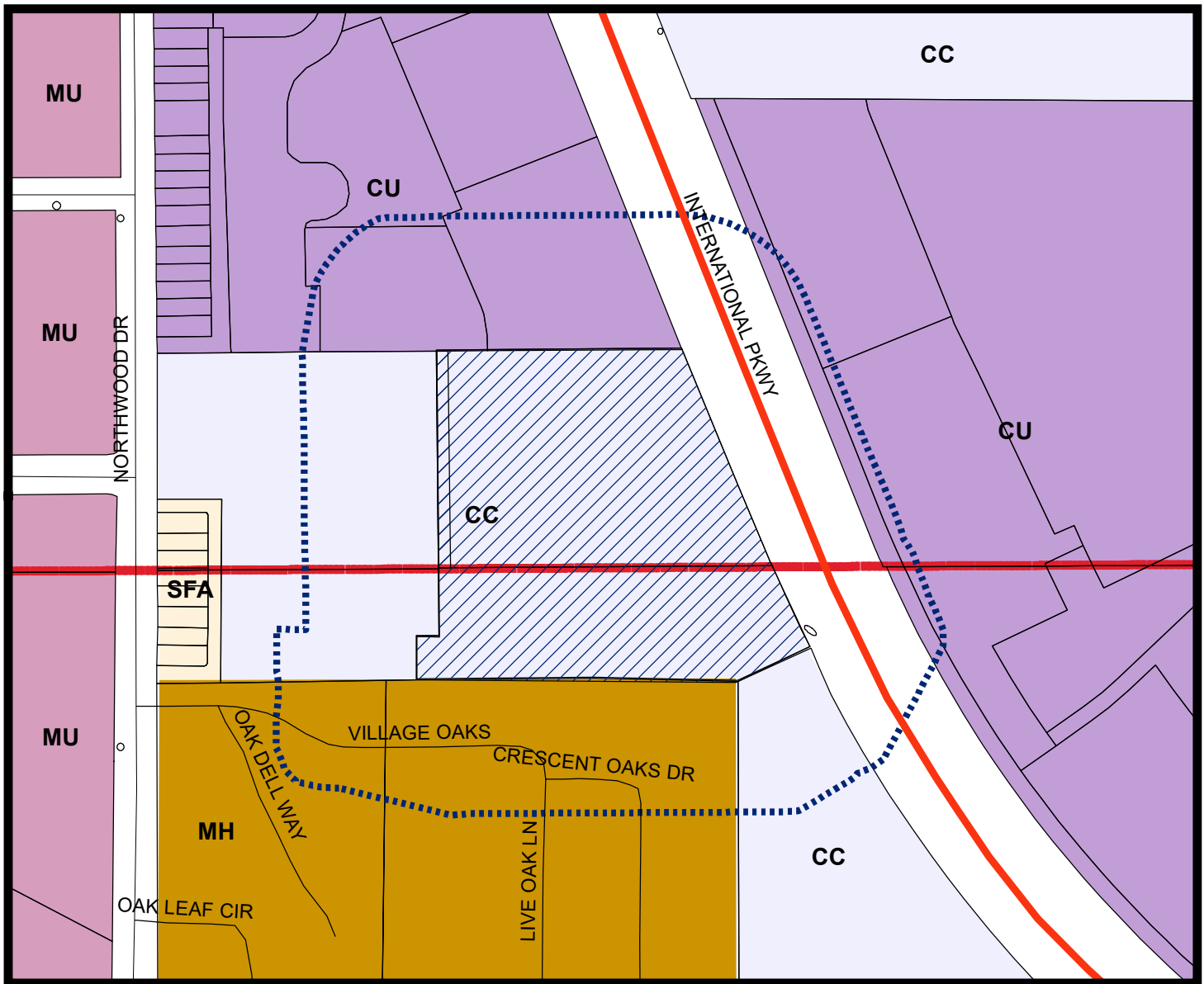
B. Application Details

1. Comprehensive Sign Package
2. Conceptual Hardscape Plan
3. Example of Proposed Ordinance Language

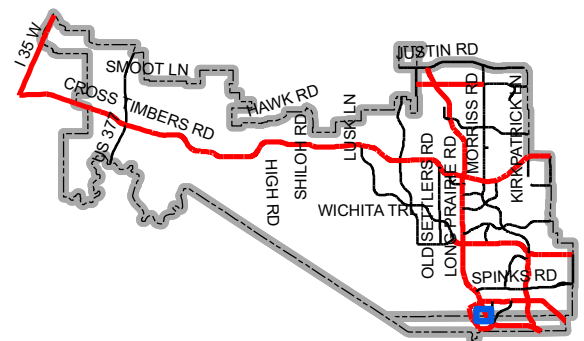
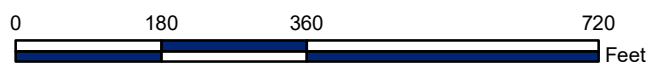
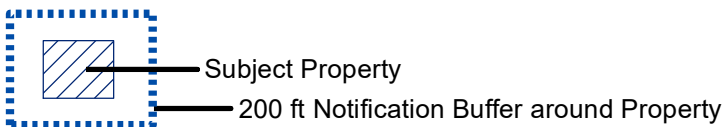


Vicinity Map

Reference Project: ZPD20-0009



LEGEND



Map Location



December 11, 2020

Poornima Kashyap, AICP
Principal Planner, Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road

RE: Revised Letter of Intent for Proposed Zoning Amendment ZPD20-0009

Flower Mound Planning Department:

FM 2499 Office Venture, LP, owner of the subject property, is requesting an amendment to the signage regulations set by Ordinance No. 03-19 (ZPD18-0009) – Lakeside Center PD169 to allow for a maximum of two signs on the north and south elevations of building two, with a maximum of one allowed per floor. The current Comprehensive Sign Package for PD-169 allows just one sign on the north and south elevations on the second floor. Allowing a second sign would allow for signage for the ground floor tenant.

In addition, an amendment to Compatibility Buffer – Section 82-302 and Compatibility Setback – Section 82-303 is being requested. Instead of constructing a 6' masonry wall, a wood fence constructed of cedar with black powder coated metal posts is desired to address the openings that exist between the southernmost fire lane at Lakeside International Office Center and the neighboring property to the south. A cedar fence will match the aesthetics of the deck that was constructed as part of the development, and it will also provide a softer visual buffer than a masonry wall which we believe is more appropriate for the project. The fence will be built in two separate sections and will be mounted on top of the retaining walls which have already been constructed on the south side of the fire lane. The eastern section of the fence will be ~61' long and 6' tall, and the western section of the fence will be ~86' long and 6' tall. The location of the two fences will match the locations shown on the site plan that was uploaded as part of amended site plan application ASP20-0093. In addition, we intend to plant ivy/vine at the base of the wall to grow up and cover the fence and become a "green" screen.

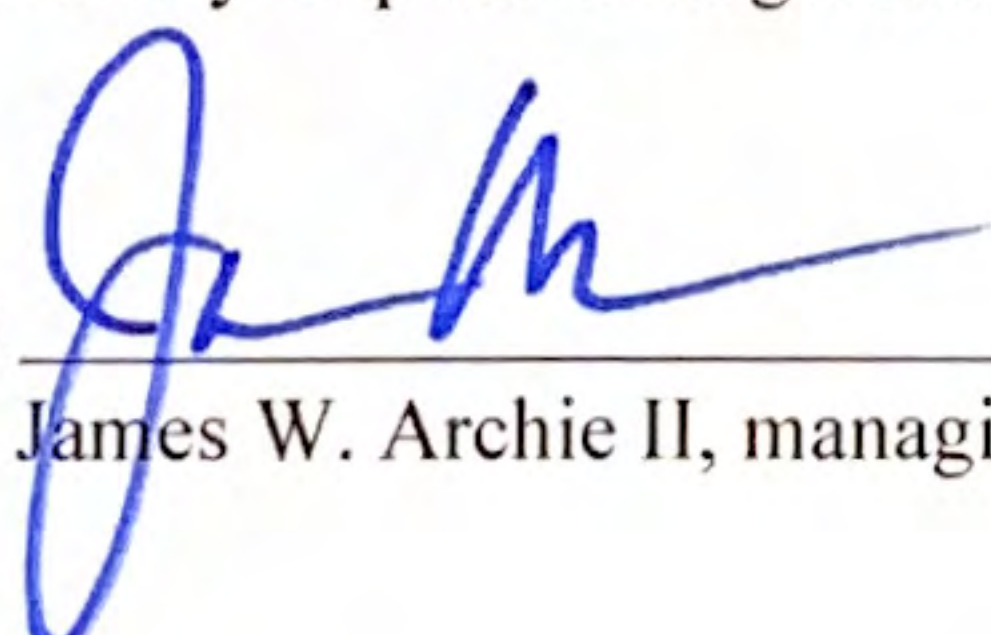
Thank you for considering this amended site plan request.

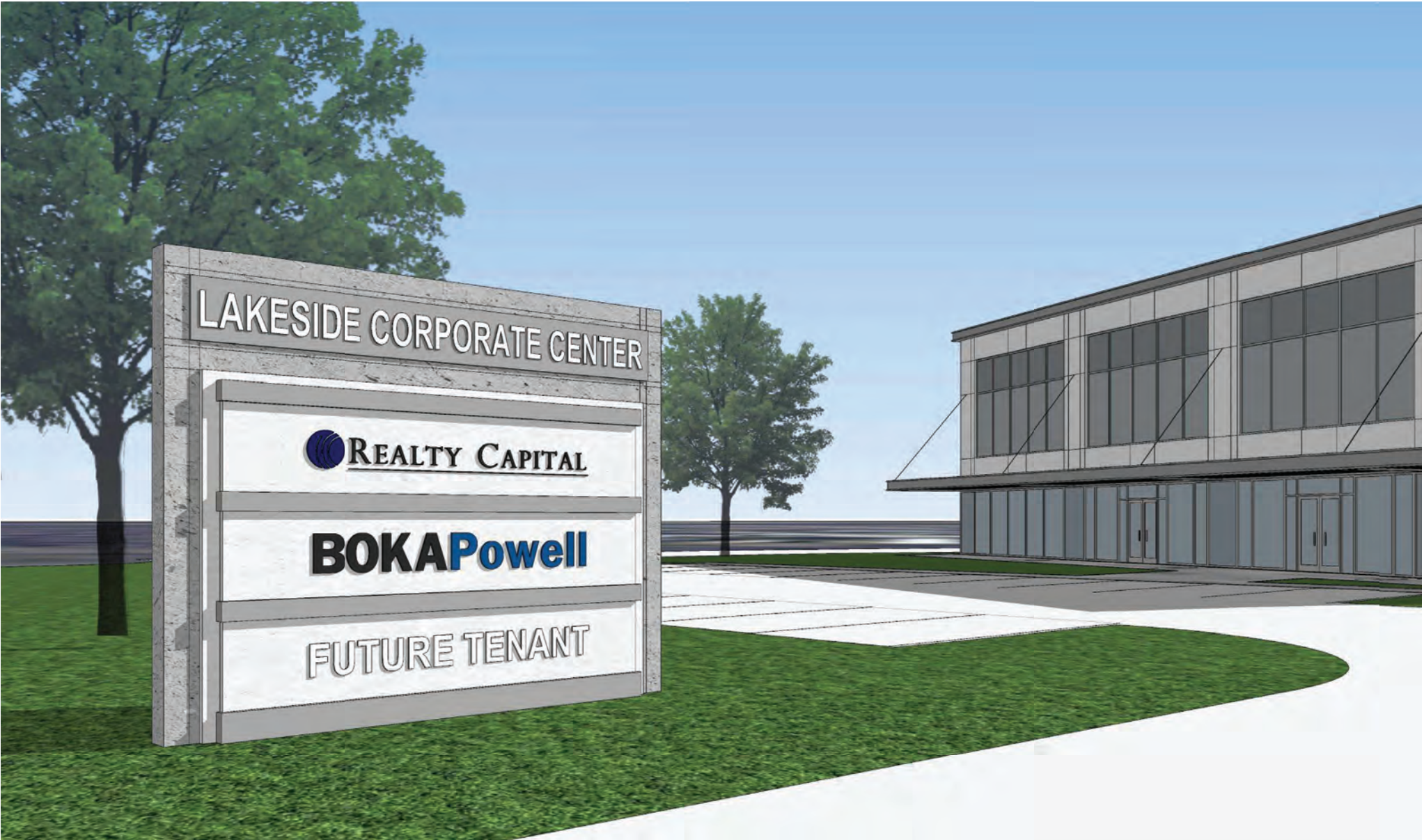
Signed,

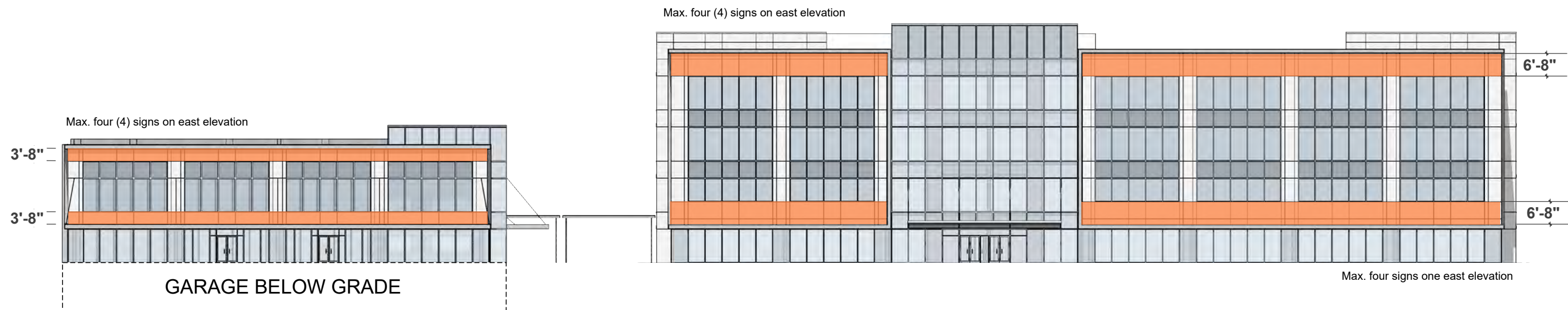
FM 2499 OFFICE VENTURE, LP

By: RCM Genpar 2015, LLC, its general partner

By: Realty Capital Management, LLC, its sole member

By: 
James W. Archie II, managing director

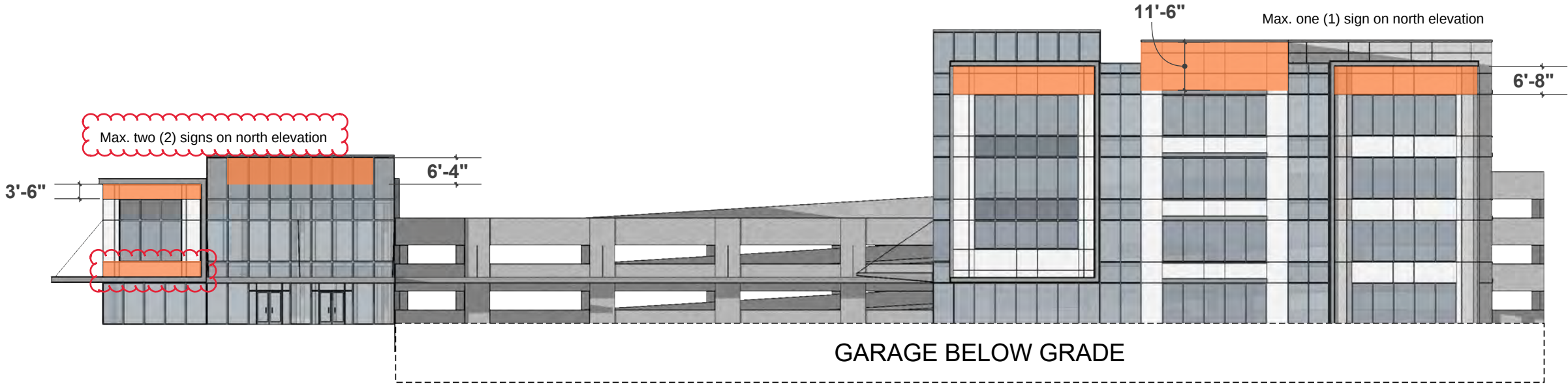




01 :: EAST FAÇADE
ELEV scale: 1"=30'

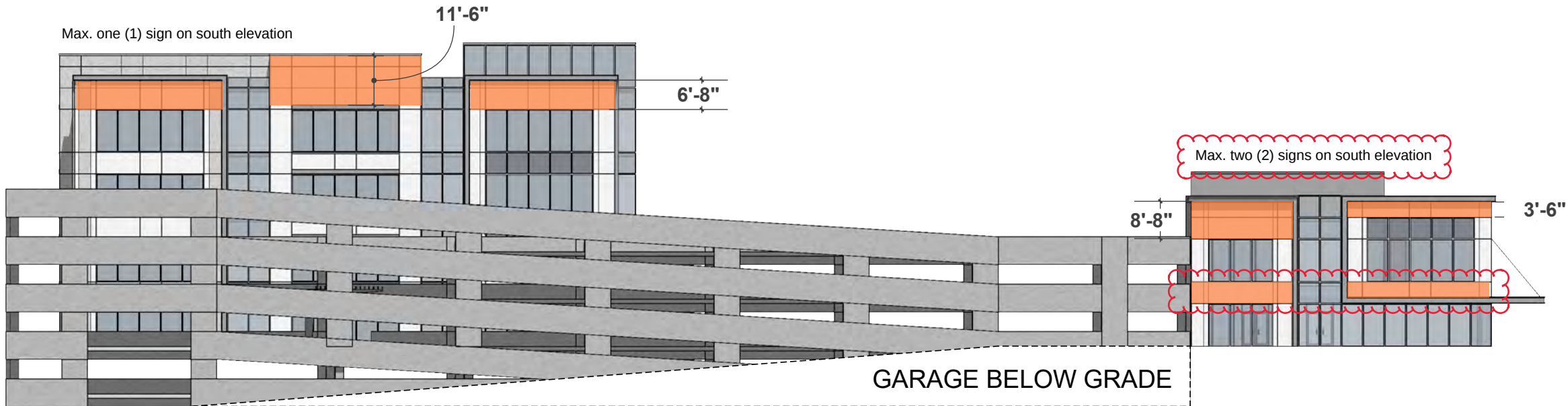


02 :: WEST FAÇADE
ELEV scale: 1"=30'



01 :: NORTH FAÇADE

ELEV scale: 1"=30'



02 :: SOUTH FAÇADE

ELEV scale: 1"=30'

16'

 **REALTY CAPITAL**

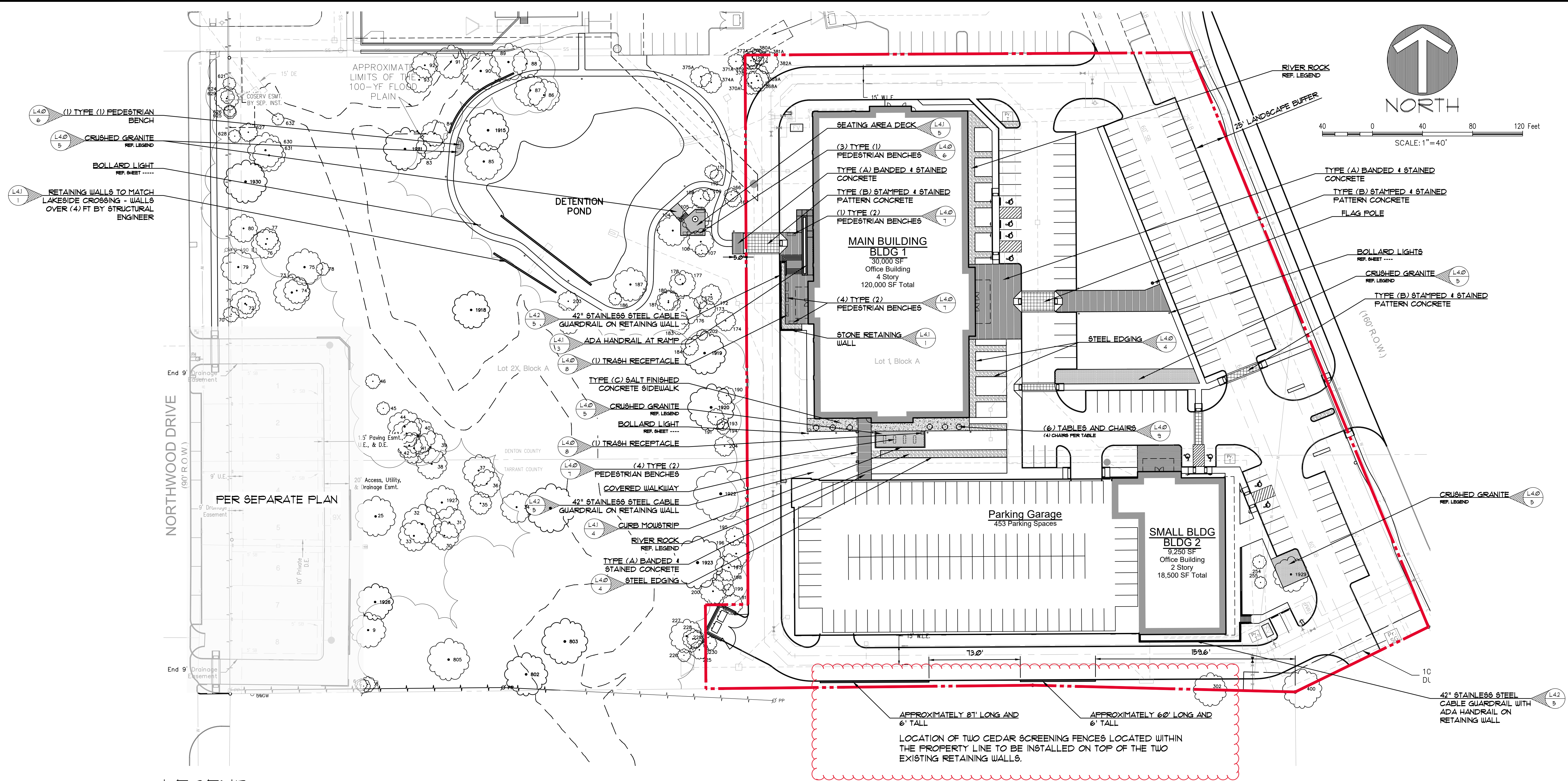
NOW LEASING!

Lakeside Corporate Office
4-Story · 120,000 SF



469-533-4131
Jimmy Archie

12'



LEGEND

	TYPE (A) BANDED & STAINED CONCRETE ° 6" BAND - BROOM FINISHED CONCRETE STAINED, SALT-FINISHED CONCRETE - BASE COLOR: U08 GULL GRAY
	TYPE (B) STAMPED & STAINED PATTERN CONCRETE ° PATTERN: COLORADO FLAG BASE COLOR: U49 DEEP CHARCOAL, RELEASE COLOR: U08 CHARCOAL
	TYPE (C) SALT FINISHED CONCRETE SIDEWALK
	CRUSHED GRANITE + ALAMO STONE: BLACK STAR PEBBLE REF. SHEET L3.0, DETAIL 15
	RIVER ROCK + ALAMO STONE: MESA GREY (1 1/2" - 6")
	° BUTTERFIELD COLOR CONCRETE 625 W ILLINOIS AVE AURORA, IL 60506 800.282.3358 WWW.BUTTERFIELDCOLOR.COM
	+ ALAMO STONE DIANE COLLIER GROUP 214.238.3100 WWW.COLLIERGROUPTX.COM

NOTES:
Type (1) Pedestrian Bench located adjacent to Buildings 1 and 2.
Type (2) Pedestrian Bench located adjacent to pond trail.

03/27/2020
07/22/2020

1. Minimum rear yard. The minimum rear yard shall be five feet.
 2. Maximum lot coverage. The maximum lot coverage shall be 90 percent.
 3. Maximum floor area ratio. There shall be no maximum floor area ratio requirement.
 4. Maximum height. The maximum height of buildings and structures shall be three stories or 35 feet.
- A. TOWNHOME ELEVATIONS. The following architectural standards shall apply to areas designated on Exhibit "C" as Townhome District:
1. The architecture of the townhomes shall be consistent with the attached Conceptual Elevations of the Townhomes, Exhibit "F".
 2. Primary building materials shall consist of a minimum of 80% of each exterior façade and shall consist of the following materials:
 - a. Stone
 - b. Stucco
 3. Roofs materials shall consist of concrete (or similar) tile.
 4. Each unit shall have a covered balcony with metal railing.

III. **Miscellaneous Standards**

The following standards shall apply to the entire Planned Development.

- A. PARKING. This Planned Development shall be subject to the following parking standards:
- Based on the submitted Parking Study, the office uses will have a minimum parking requirement of 3 spaces per 1,000 square feet and a maximum of 5 spaces per 1,000 square feet.
- B. ADMINISTRATION. There shall be established Lakeside Center Property Owners' Association (POA). Said association shall file Covenants, Conditions, and Restrictions (CC&Rs) in the Denton County Real Property Records at the same time the Record Plat is being filed and said POA shall be responsible for the maintenance of the following:
1. Open space areas;
 2. Site landscaping and amenity areas;
 3. Parking garage;
 4. Other items as listed in the CC&Rs.
- C. ENVIRONMENTAL PROTECTION PLAN. This Planned Development is subject to an approved Environmental Protection Plan.
- D. SIGNAGE. As part of this PD, the following signage regulations shall serve as a Comprehensive Sign Package for PD-169. Proposed wall, ground, and leasing signage

shall be permitted as shown on Exhibit "G" – Comprehensive Sign Package and shall comply with the following requirements:

1. Wall signs:

- a. Wall signs shall be permitted in the locations shown on Exhibit G, "Signage Areas".
- b. For building number one, the standards for wall signs shall be as follows:
 - i. Maximum Sign Height: seventy-two (72) inches
 - ii. Maximum Sign Width: fifty (50) feet
 - iii. The maximum number of permitted tenant signs per building elevation are as follows: four signs on the east elevation, two signs on the west elevation, one sign on the north elevation, and one sign on the south elevation.
 - iv. On the east elevation, a maximum of two signs are permitted on either side of the main front entrance and only one sign is permitted on the top sign band and one on the bottom sign band on each side of the entry of the building.
 - v. On the west elevation, a maximum of one sign is permitted on either side of the rear entrance and each sign may be on the top sign band of the building.
 - vi. On the north and south building elevation, the one permitted sign on each elevation may be on the top sign band of the building.
- c. For building number two, the standards for wall signs shall be as follows:
 - i. Maximum Sign Height: forty (40) inches
 - ii. Maximum Sign Width: fifty (50) feet
 - iii. The maximum number of permitted tenant signs per building elevation are as follows: four signs on the east elevation, ~~one two~~ signs on the north elevation, and ~~one two~~ signs on the south elevation.
 - iv. On the east elevation, a maximum of two signs are permitted on the top sign band and a maximum of two signs are permitted on the bottom sign band of the building.
 - ~~v. On the north and south building elevation, the one permitted sign on each elevation may be on the top sign band of the building.~~
 - v. On the north elevation, a maximum of one sign is permitted on the top sign band and a maximum of one sign is permitted on the bottom sign band.
 - vi. On the south elevation, a maximum of one sign is permitted on the top sign band and a maximum of one sign is permitted on the bottom sign band.

2. Ground signs:

- a. A maximum of two (2) ground signs shall be permitted for the office component and they may be located within the landscape buffer along FM 2499.
- b. Signs shall be setback from the existing right-of-way line a minimum distance of five (5) feet.
- c. Signs may be located no closer than fifty (50) feet from each other.
- d. The dimensional requirements of ground signs shall be as follows:
 - i. Maximum height: ten (10) feet
 - ii. Maximum width: fifteen (15) feet
 - iii. Maximum area: one hundred and fifty (150) square feet

- a. Façade Materials – Urban Design Plan, Section 5.1
Building No. 2: All facades may have up to 70% doors and windows.
 - b. Façade Materials – Urban Design Plan, Section 5.2
Building No.1: East elevation may have up to 71% doors and windows. Percentage of doors and windows on all other facades shall not exceed 60% of the total area per façade.
 - c. Façade Materials – Urban Design Plan, Section 5.3
Architectural metal may be used a secondary masonry material.
 - d. Façade Colors – Urban Design Plan, Section 6.1
Shades of Gray may be used as primary or secondary colors on all facades.
2. Upland Habitat - SMARTGrowth.
Since this development has been classified as an Economic Development project per the approved 380 Agreement, the Upland Habitat requirements of the Town's SMARTGrowth program, specifically Environmental Quality, shall not apply to the non-residential areas.
3. **Compatibility Buffer** – Section 82-302 and Compatibility Setback – Section 82-303. A sixty (60) foot compatibility setback and twenty-five (25) foot landscape buffer with a screening wall, shall not be required along the south property line. **However, two sections of six-foot tall cedar wood fence at locations as shown on Exhibit "A" hereto and incorporated herein shall be allowed. Ivy or vine shall be planted at the base of the wood fence to create a green screen.**
4. Reduced Landscape Buffer along FM 2499 – A minimum twenty-five (25) foot landscape buffer is required along FM 2499.
5. Parking Deviation: Parking shall be in accordance with Section III.A. herein.
6. Detention Pond (dry): An exception to the Town's Engineering Design Criteria to allow detention pond to serve this office development.