

**AGENDA
TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION MEETING**

FEBRUARY 8, 2021

LOCATION: VIRTUAL MEETING (VIDEO CONFERENCE)

[CLICK HERE](#) FOR INSTRUCTIONS ON HOW TO PARTICIPATE IN THE MEETING

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Effective March 16, 2020, Texas Governor Abbott suspended certain Open Meeting rules to allow telephonic or videoconference meetings of government bodies that are accessible to the public to decrease large groups of people from assembling. The suspension temporarily removes the requirement that government officials and members of the public be physically present at a meeting location. The Town of Flower Mound Planning and Zoning Commission meetings will be temporarily held via video conference and will not be held at the Flower Mound Town Hall. A recording of the meeting will be available the following day at <https://www.flower-mound.com/fmtv> under "Planning and Zoning Archive" tab.

A. CALL MEETING TO ORDER 6:30 P.M.

B. INVOCATION

C. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

Please state your name and address when speaking. Speakers are limited to 3 minutes. A tone will sound when 30 seconds are left and when time has expired.

[CLICK HERE](#) to submit general comments regarding issues or agenda items not indicated as a public hearing.

D. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

E. DIRECTOR'S REPORT

1. Coordination of Calendars
2. Furst Ranch

F. CONSENT ITEMS

This part of the agenda consists of non-controversial or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of January 25, 2021: Consider approval of the minutes of the January 25, 2021, Planning and Zoning Commission Regular Session.

G. NON-DISCRETIONARY ITEMS

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions or deviations; and do not require a public hearing.

2. *SP20-0015 – River Walk Promenade*

Consider a request for a Site Plan (SP20-0015 - River Walk Promenade) to develop vendor kiosks, shade pavilion and other median improvements within an open space lot. The property is generally located to the south of Central Park Avenue and between Esplanade Place and River Walk Drive.

H. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: February 4, 2021, at 4:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: February 8, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the January 25, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on January 25, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 25TH DAY OF JANUARY 2021, VIA VIRTUAL MEETING (VIDEO CONFERENCE), DUE TO THE COVID-19 PANDEMIC, IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session via video conference with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
Adam Schiestel	Commissioner, Place 2
David Johnson	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Tim Fink	Commissioner, Place 7
Robert Cox	Commissioner, Place 8
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

None

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Poornima Kashyap	Principal Planner
Claire Barnes	Planner
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER: 6:30 P.M.

B. INVOCATION

C. PUBLIC COMMENT

James George, 3932 Saturn Street; regarding River Walk rezoning

D. FUTURE AGENDA ITEMS

Chair Ruthrauff asked that the Commission think ahead of any issues or concerns that have been communicated by Town residents on ways to enhance or improve Town processes.

E. DIRECTOR'S REPORT

1. Site Plan Amendments

F. CONSENT ITEMS

1. Consider approval of the minutes of the December 14, 2020, Planning and Zoning Commission Regular Session.

Commission Deliberation

Commissioner Johnson moved to approve Consent Item 1 as presented. Vice-Chair Rawson seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Johnson, Del Vecchio, Rawson, Gilmore, Fink

NAYS: None

The motion to approve passed by a vote of 6 to 0.

G. REGULAR ITEMS

2. Public Hearing to consider an ordinance granting Specific Use Permit No. 464 (SUP20-0008 – Arbor Crossing) to permit a retail, general (indoors) use with a request for a deviation to computing parking and loading requirements pursuant to Section 82-73 of the Code of Ordinances. The property is generally located south of Dixon Road and east of Long Prairie Road.

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Rob Baldwin, Baldwin Planning
Christy Lambeth, Lambeth Engineering Associates
Scott Remphrey, Brytar Companies

Spoke in Favor:

None

Spoke in Opposition:

None

Commission Deliberation

Commissioner Johnson moved to recommend approval of SUP20-0008 – Arbor Crossing, as presented. Commissioner Schiestel seconded the motion.

VOTE ON THE MOTION

AYES: Fink, Gilmore, Rawson, Del Vecchio, Johnson, Schiestel

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 3. Public Hearing to consider an ordinance granting a Specific Use Permit No. 466 (SUP20-0010 – 1308 Oak Drive Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Oak Drive and east of Fireside Drive.**

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Jennifer Alford, Cross Timbers Architects
Russ & Lisa Cobb, 1308 Oak Drive (owners); present for questions, no presentation

Spoke in Favor:

None

Spoke in Opposition:

None

Commission Deliberation

Commissioner Del Vecchio moved to recommend approval of SUP20-0010 – 1308 Oak Drive Accessory Dwelling, as presented. Commissioner Gilmore seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Johnson, Del Vecchio, Rawson, Gilmore, Fink

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 4. Public Hearing to consider an ordinance for rezoning (ZPD20-0009 – Lakeside Center) to amend Planning Development No. 169 (PD-169) with both residential and non-residential uses to modify approved development standards related to signage and to modify approved compatibility buffer exception along the southern property line. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.**

Staff Presentation

Poornima Kashyap, Principal Planner

Applicant Presentation

Spencer Long, Realty Capital

Jeremiah Hansen, Texas Bank & Trust

Spoke in Favor:

None

Spoke in Opposition:

None

Commission Deliberation

Commissioner Johnson moved to recommend approval of ZPD20-0009 – Lakeside Center, as presented. Vice-Chair Rawson seconded the motion.

VOTE ON THE MOTION

AYES: Fink, Gilmore, Rawson, Del Vecchio, Johnson, Schiestel

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

H. ADJOURNMENT – REGULAR SESSION 8:21 P.M.

TOWN OF FLOWER MOUND, TEXAS

Lexin Murphy, Director of Planning Services

ATTEST:

LauriAnn Cash, Executive Assistant



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

NON-DISCRETIONARY ITEM

DATE: February 8, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Consider a request for a Site Plan (SP20-0015 - River Walk Promenade) to develop vendor kiosks, shade pavilion and other median improvements within an open space lot. The property is generally located to the south of Central Park Avenue and between Esplanade Place and River Walk Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval for certain improvements within the median of Promenade Way, a private street. Promenade Way is an east-west street located within the River Walk that connects Long Prairie Road and River Walk Drive. The section of this street located between Esplanade Place and River Walk Drive is a private street that was previously platted, consisting of approximately 1.566 acres.

The proposed median improvements include two kiosks approximately 383 square feet each, a 118 square-foot pavilion, enhanced landscape and hardscape features, an area for an art opportunity, and restrooms. The applicant's letter of intent (Attachment A(2)) has detailed information regarding the anticipated use for these structures. Per the approved [Development Agreement](#), the proposed kiosks and pavilion are special amenities that require approval of a site plan through the Planning and Zoning Commission.

Detailed landscape plans and hardscape plans have been included within the site plan exhibit. The building materials predominantly consist of brick and stone and complement the approved masonry materials, colors, and architectural style of the Farmer's Market buildings.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

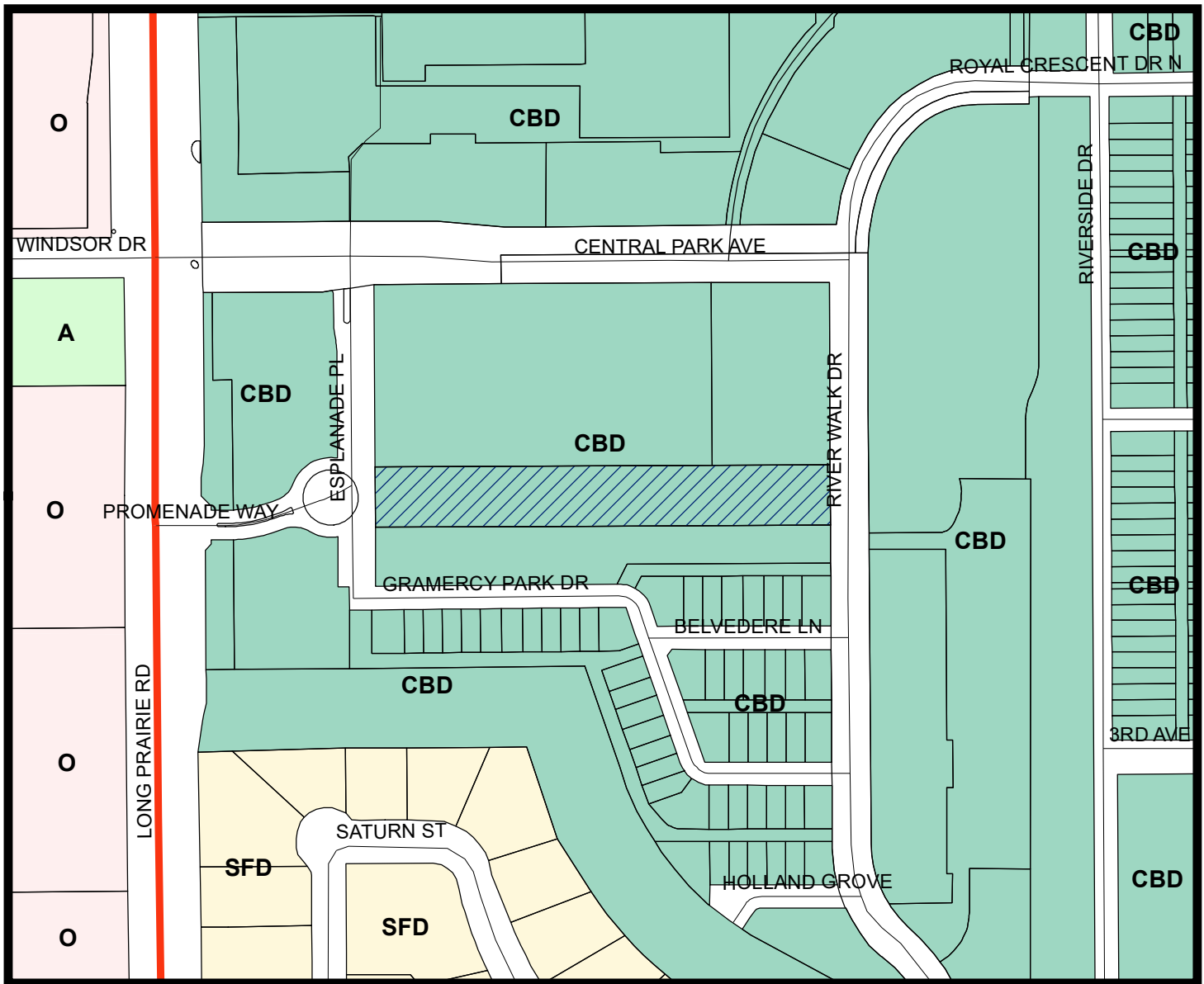
B. Application Details

1. Site Plan Exhibit

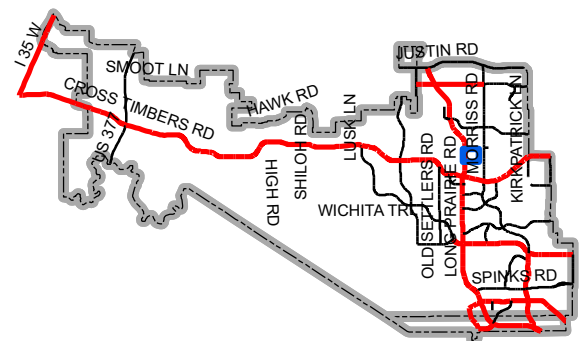
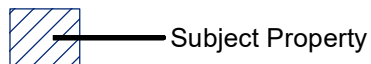


Vicinity Map

Reference Project: SP20-0015



LEGEND



Map Location



LETTER OF INTENT > RWI-19030

January 20, 2021

Planning Services Division
 Town of Flower Mound
 2121 Cross Timbers Road
 Flower Mound, Texas 75028

RE: River Walk Promenade –Site Plan Application
McAdams Job Number RWI 19030

To Whom It May Concern:

Please accept this letter, on behalf of our client, as an explanation of the proposed Site Plan Application. We are submitting, for review and approval, a Site Plan Application to include median improvements to phase I of Promenade Way. A portion of Promenade Way was approved with the site plan application to provide vehicular access to the current River Walk development. This application proposes to further the enhancement of the median within Promenade Way, from the round-about eastward towards River Walk Drive and the Farmer's Market and Splash Pad.

The River Walk Promenade is intended to extend the major focal point created by the Farmer's Market and Splash Pad and the Amphitheater sites. The promenade Way will include within the median enhanced hardscape and landscape improvements, art feature, two vendor kiosks and one shade pavilion in addition to the enhanced pavement driveways approved with Phase ,1 as a continuation of the retail site plan, thereby meeting the requirements of the developer's agreement.

The two structures at each end of the Promenade are the vendor kiosks. These structures will closely resemble the architecture of the Farmer's Market buildings. Having a 10' floor plate clad in stone and brick and topped with a standing seam metal roof. The kiosks will have two large garage door style roll up windows to allow customer interaction with the vendors. There are male and female public restrooms located in each kiosk, which are accessed from the exterior of the building. The vendor kiosks may also act as ticket booths when the promenade is used for special events. The middle structure is a shade pavilion that will complement the architecture of the vendor kiosks. Included under the west end of the shade pavilion will be an enclosure, clad in brick, for a public family restroom along with a storage room area. Frosted clerestory windows will be used for additional natural light on all the proposed structures, along with signage and architectural lighting. All architectural features will meet the River Walk Standards.

The Promenade area is anticipated to be used as a gathering space and is designed to be barricaded for special events, while still providing emergency access. A majority of the time, Promenade Way will be open to vehicular traffic, and will only be barricaded for planned events. The proposed plans include removable bollards in key

locations including the east side of the round-about, the connection to River Walk Drive, and at other various side street and driveway locations as shown on the current concept layout for the River Walk property. These bollards will be installed to block traffic and create a safe open area for festivals and events. If needed the bollards can be removed for emergency access during these times. Since the Promenade is to be used for special events, we have slightly modified a typical street section to allow grading in all directions to be less than 2 % for areas of parking, drive aisles and the median.

A comparison chart has been provided to show the Developer's Agreement requirements and the provided elements of the Riverwalk.

Description	Required	Provided
Central Plaza and Farmers Market Area	Yes	Yes, Central plaza and farmers market are provided
Enhanced cobble stone pattern paving	1 acre minimum	1.15 acres of vehicular cobblestone pavement and .18 acres of enhanced pedestrian pavement within the median of the central plaza. Enhanced pavement is also utilized throughout the areas of the chapel/reception hall, restaurant row, farmers market and splash pad as well as the amphitheater.
Art opportunities	3 distinct statues	Art features are being provided in front of the reception hall, center of farmers market plaza, front entrance of the amphitheater, and center of the promenade plaza.
Public lighting effects within plaza	Yes	Enhanced lighting package is included with the promenade amenity package.
Detailed Fountain	Yes	The Fountain water feature is provided at the western entrance to the promenade plaza in the round-a-bout. This location is meant to book end the promenade as does the farmers market plaza on the east end.
Water aqueduct system with water mill terminus	Yes	Not provided.



LETTER ON INTENT > RWI-19030

Farmers market enhanced pavement similar to central plaza	Yes	Yes, enhanced pavement is utilized within the farmers market plaza.
Artisan Huts/Buildings creating a walkable center for patrons and additional vendor set up.	Yes	Yes, walkable plaza and additional vendor tent locations are provided.
Farmers market buildings with compatible architecture to central plaza	Yes	Farmers market buildings, amphitheater buildings, vendor kiosks and pavilion all utilize compatible architecture materials and styles and compliment surrounding buildings within the development.
Pedestrian connections and walkways linking central plaza, farmers market area and chapel.	Yes	Pedestrian walkways and crosswalk connections provide pedestrian linkage between plaza, farmers market, and chapel area.

Please feel free to contact me if you have any questions or comments regarding this submittal.

Sincerely,

Jameson Pinson, RLA
Director of Landscape Architecture

The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.435.9712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TBPE: 19762 TBPLS: 1019440
www.mcadamsco.com



MCADAMS

RW PROMENADE - AMENITIES

RW PROMENADE - AMENITIES

Lot 1X, Block A

THE RIVER WALK PROMENADE

1566 Acres

in the

JT. STEWART SURVEY ABSTRACT NO. 1161

TOWN OF FLOWER MOUND

DENTON COUNTY, TEXAS

SITE PLAN AND
DIMENSIONAL CONTROL
PLAN

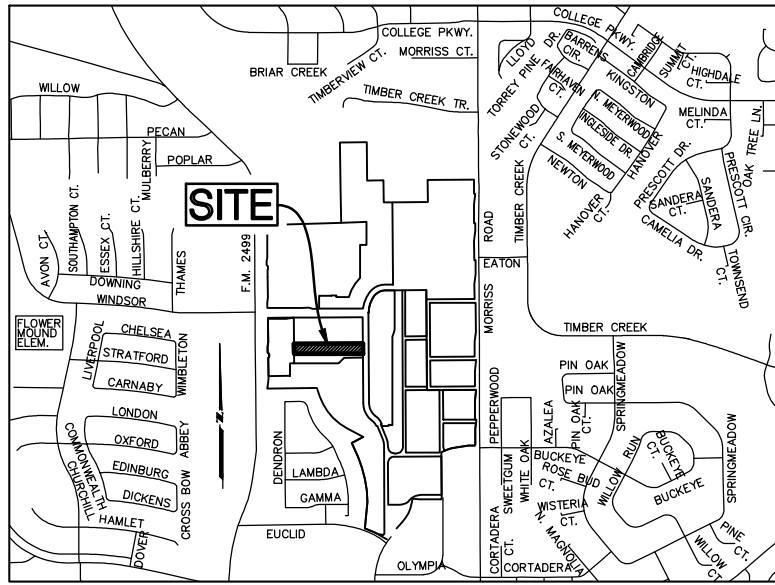
PRELIMINARY PLANS

THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.
THE JOHN R. MCADAMS
COMPANY, INC.
TBPE: 19762
ROBERT JOHN DOLLAH, JR.,
P.E. #36898
DATE 1/20/2021

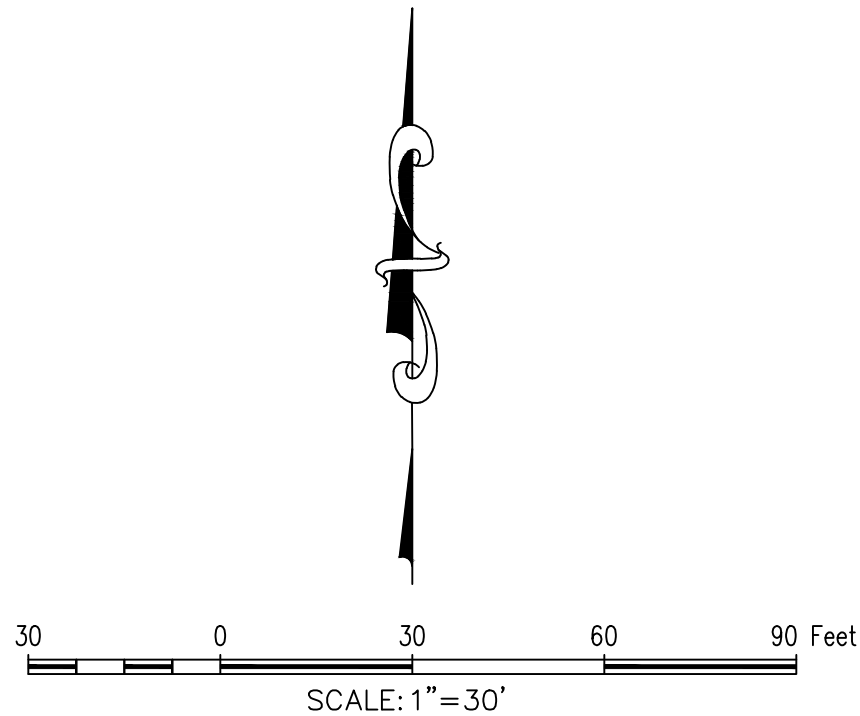
Drawn By: SM
Date: 07/27/2020
Scale: 1"=30'
Revisions:
12/22/2020

RWI-19030

C3



VICINITY MAP 1" = 2000'



BM: TOFM 5 - 2" ALUMINUM CAP SET IN ON BUCKEYE DRIVE, EAST OF MORRIS ROAD, APPROXIMATELY 3' EAST OF THE TRAFFIC MEDIAN ELEV. 599.65 (CALLED 600.29)

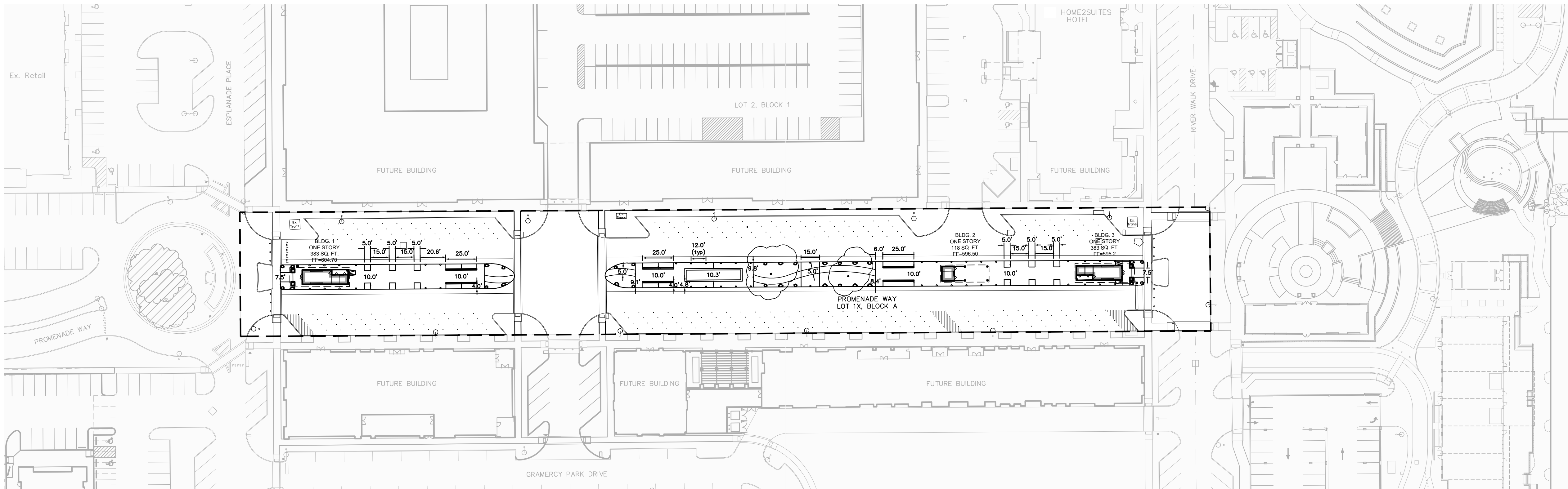
TBM - MAG NAIL WITH WASHER STAMPED "JPH LAND SURVEYING" AT THE NOSE OF A CONCRETE MEDIAN NEAR THE APPROX. E. OF LONG PRAIRIE ROAD, ~40' SOUTH OF THE APPROX. E. OF CENTRAL PARK AVE. ELEV. 607.08 (CALLED 607.58)

TBM - MAG NAIL WITH WASHER STAMPED "JPH LAND SURVEYING" ON THE BACK OF CURB AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF LONG PRAIRIE ROAD AND EUCLID AVE. ELEV. 639.01 (CALLED 639.51)

TBM - "C" CUT ON THE TOP OF CURB ALONG THE CENTERLINE OF THE MEDIAN NOSE ON EATON DRIVE; EAST OF MORRIS ROAD ELEV. 576.15

SITE DATA TABLE - PROMENADE AMENITIES		
Physical Address	TBD	
Gross Site Area	1,556 A; 67,779 SF	
Net Site Area	1,556 A; 67,779 SF	
Sub-District	Sub-District "A"	
Current Use	Vacant Property	
Lot Coverage		
Building Coverage		
Building 1	383 SF; ±0.6%	
Building 2	118 SF; ±0.2%	
Building 3	383 SF; ±0.6%	
Impervious Coverage	±90%	
Pervious Area	±10%	
Parking Summary - TRWCP or Town	Required	Provided
Surface Parking		
RW Promenade Amenities		
Building 1	0	1
Building 2	0	1
Building 3	0	1
Existing On Street Parking	N.A.	3
Building 1 & 3 Data		
Height Zone	One - Two Story	
Height (story/feet)	1 Story; 40' 0"	
Peak Height	16' 3"	
Mean Height	23' 0"	
Total Square Footage	383 SF	
Building 2 Data		
Height Zone	One - Two Story	
Height (story/feet)	1 Story; 40' 0"	
Peak Height	14' 0"	
Mean Height	11' 10"	
Total Square Footage	118 SF	

*NOTE:
THE THREE DEDICATED PARKING SPOTS ARE SHOWN WITH A VERTICAL HATCH.

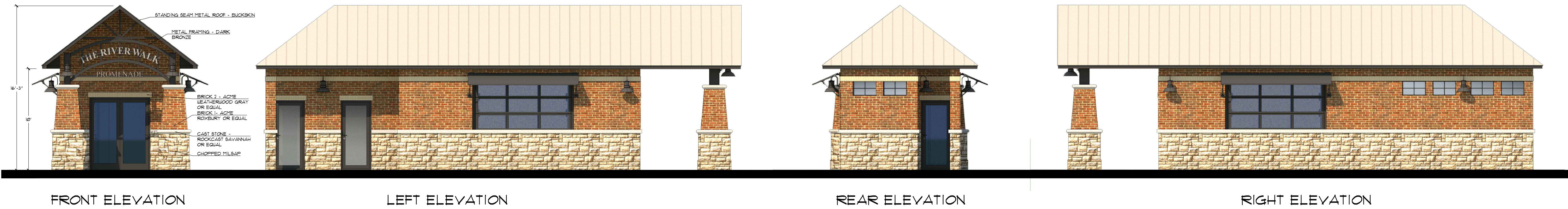


NOTES:

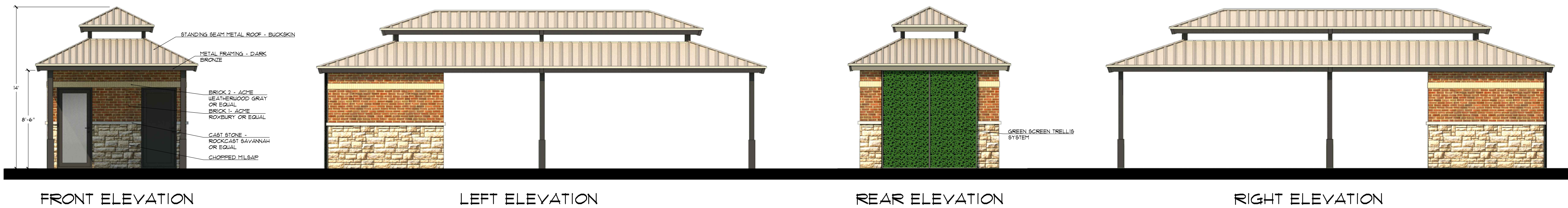
- CONTRACTOR IS TO CONTACT THE TOWN'S TREE ARBORIST PRIOR TO THE START OF CONSTRUCTION TO OBTAIN TREE PRESERVATION REQUIREMENTS DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3.0 FEET UNLESS OTHERWISE NOTED.
- THE LOCATION OF THE EXISTING UTILITIES SHOWN IS APPROXIMATE, THE CONTRACTOR IS TO FIELD VERIFY LOCATION AND DEPTH PRIOR TO CONDUCTING ANY WORK.
- ALL RETAINING WALLS ARE TO BE CLAD IN A MATERIAL THAT MATCHES THE PROPOSED BUILDINGS.
- THE TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- ALL BUILDING MOUNTED UTILITY OR EQUIPMENT BOXES SHALL BE SCREENED FROM A STREET VIEW BY A MINIMUM SIX FOOT HIGH SCREENING DEVISE WHETHER SHOWN IN THESE PLANS OR NOT. SUCH SCREENING DEVISE SHALL CONSIST EITHER OF PLANT MATERIAL OR A SCREENING WALL CONSTRUCTED OF OR FINISHED WITH A MATERIAL TO MATCH THE BUILDING, PROVIDED HOWEVER THAT WOOD FENCING OR SCREENING SHALL BE PROHIBITED.
- SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SITE PLAN OR ELEVATIONS ARE NOT APPROVED AS PART OF THIS REVIEW AND MUST COMPLY WITH THE RIVER WALK SIGNAGE REGULATIONS.
- THE CONTRACTOR IS TO REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.



OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



1 VENDOR BUILDING ELEVATIONS
SCALE: 3/8"=1'



2 SHADE PAVILION ELEVATIONS
SCALE: 3/8"=1'

MATERIALS LEGEND

	MASONRY 1 - ACME ROXBURY
	MASONRY 2 - ACME WEATHERWOOD GRAY
	MASONRY 3 - CHOPPED MILSAP
	CAST STONE - SAVANNAH
	STOREFRONT - DARK BRONZE
	METAL ROOF - BUCKSKIN

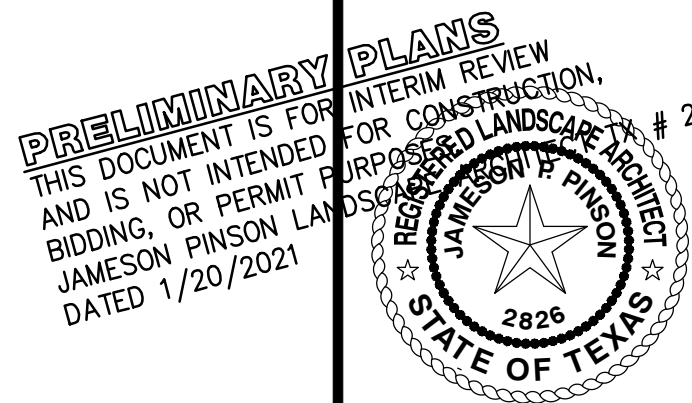
NOTE: ALL MATERIALS ARE INTENDED TO REPLICATE MATERIALS USED ON RIVER WALK FARMERS MARKET BUILDINGS. FINAL COORDINATION OF BUILDING MATERIALS REQUIRED FOR ARCHITECT AND BUILDER AT TIME OF CONSTRUCTION.

VENDOR BUILDING CALCULATIONS TABLE

		Front	Left	Rear	Right
1	Total Façade s.f.	223.83	706.73	213.83	706.73
2	Façade s.f. (exclusive of doors, windows, roofing material, and accents)	159.29	325.67	136.28	354.09
3	• Doors and Windows s.f.	39.86	80.25	23.79	57.22
4	• Roofing Material - Buckskin s.f. (as applicable)	0	262.23	45.3	262.23
5	• Storefront / Metal Accent - Dark Bronze s.f. (as applicable)	24.88	38.58	8.46	33.19
6	Primary Masonry totals (Min. 80%)	146.58 and 91%	288.09 and 88%	121.82 and 90%	316.14 and 90%
	• Acme Roxbury s.f. (as applicable)	103.84 and 65%	150.69 and 46%	67.16 and 50%	157.77 and 45%
	• Chopped Milshap s.f. (as applicable)	42.74 and 28%	137.4 and 42%	54.66 and 40%	158.37 and 45%
7	Secondary Masonry totals (Max. 20%)	16.04 and 9%	37.58 and 12%	13.87 and 10%	35.80 and 10%
	• Cast Stone - Savannah s.f. (as applicable)	6.77 and 4%	15.44 and 5%	7.9 and 6%	17.15 and 5%
	• Acme Weatherwood Gray s.f. (as applicable)	9.27 and 5%	22.14 and 7%	5.97 and 4%	18.65 and 5%

SHADE PAVILION CALCULATIONS TABLE

		Front	Left	Rear	Right
1	Total Façade s.f.	154.37	243.45	154.37	243.45
2	Façade s.f. (exclusive of doors, windows, roofing material, and accents)	59.72	82.7	31.79	82.7
3	• Doors and Windows s.f.	36.67	0	0	0
4	• Roofing Material - Buckskin s.f. (as applicable)	29.54	117.21	29.54	117.21
5	• Storefront / Metal Accent - Dark Bronze s.f. (as applicable)	28.44	40.78	22.92	40.78
6	• Green Screen Trellis s.f. (as applicable)	0	2.76	70.12	2.76
7	Primary Masonry totals (Min. 80%)	51.74 and 86%	74.93 and 91%	28.59 and 91%	74.93 and 91%
	• Acme Roxbury s.f. (as applicable)	28.94 and 48%	37.84 and 46%	14.53 and 47%	37.84 and 46%
	• Chopped Milshap s.f. (as applicable)	22.8 and 38%	37.09 and 45%	14.06 and 44%	37.09 and 45%
8	Secondary Masonry totals (Max. 20%)	7.88 and 14%	7.67 and 9%	3.0 and 9%	7.67 and 9%
	• Cast Stone - Savannah s.f. (as applicable)	1.61 and 3%	2.51 and 3%	1.02 and 3%	2.51 and 3%
	• Acme Weatherwood Gray s.f. (as applicable)	6.27 and 11%	5.16 and 6%	1.98 and 6%	5.16 and 6%



OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

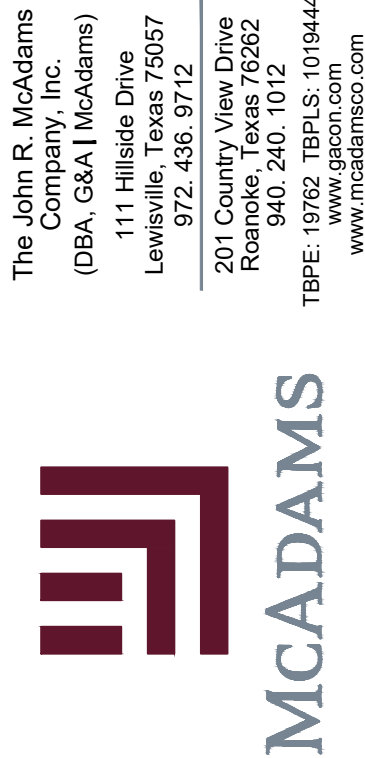
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

ARCHITECTURAL
ELEVATIONS

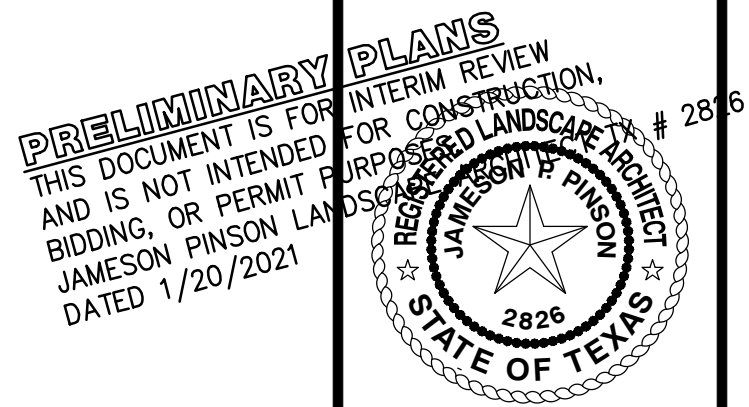
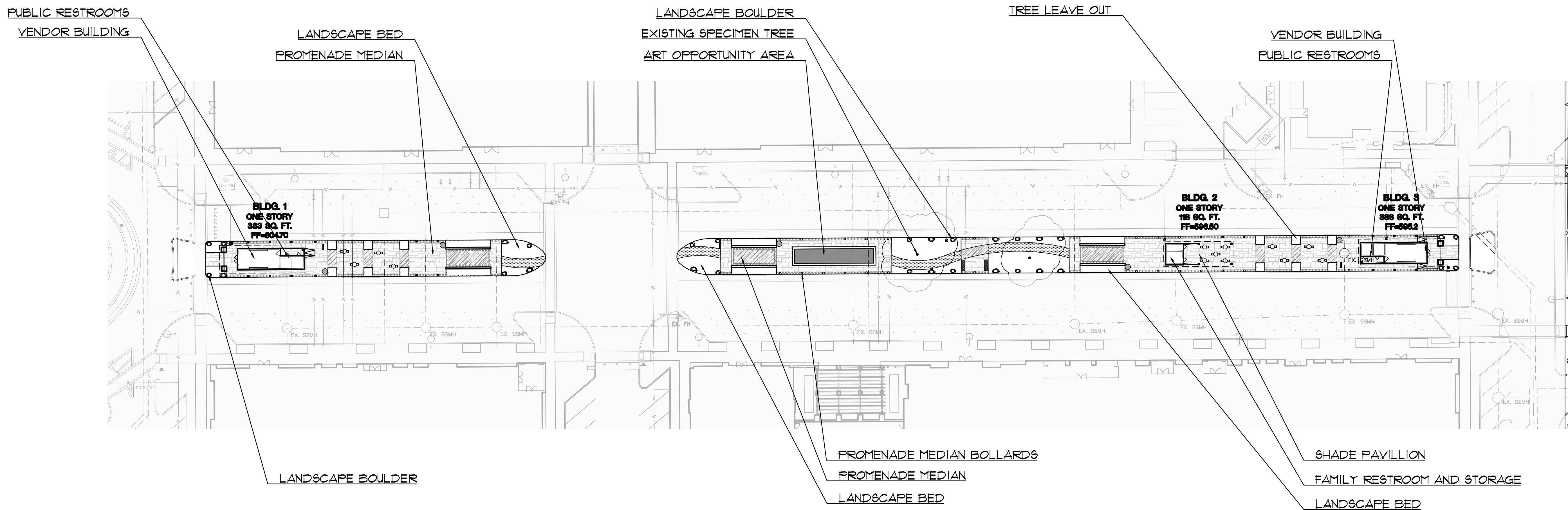
RWI-19030

A1.0

RW PROMENADE - AMENITIES



File: 2_Visual\VIEW-19030-Drawing\CP & Const Plan\SHEETS\Site-19030_05
Printed: 1/20/2021 3:15 PM by Renee Marie, Source: 1/23/2020 2:50 PM by nial



OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

HARDSCAPE PLAN

RWI-19030

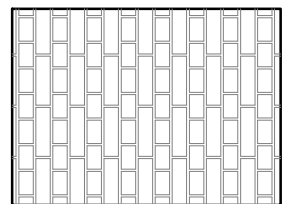
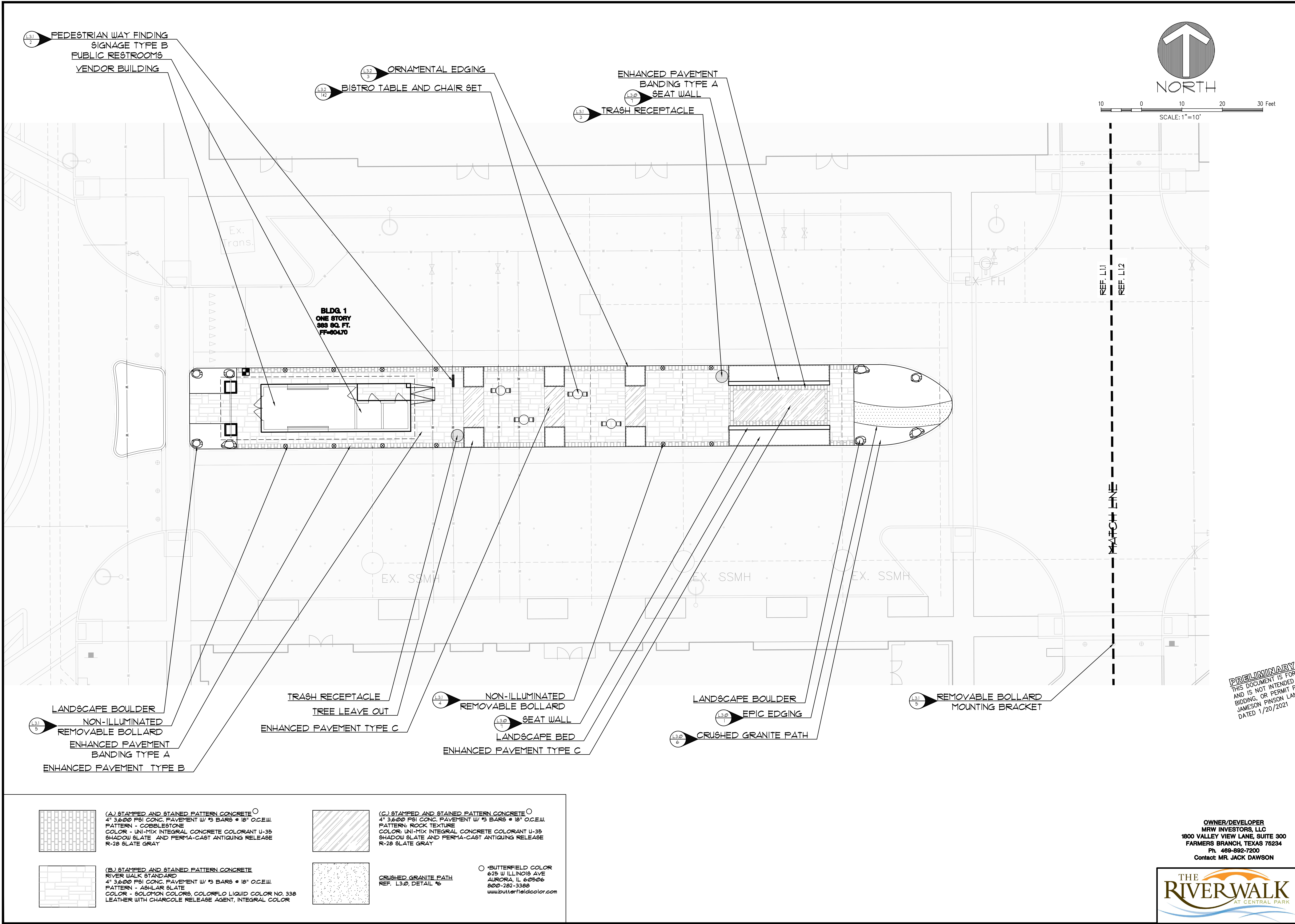
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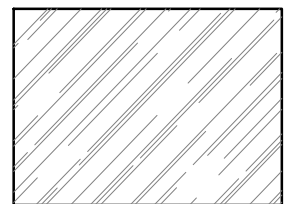
The John R. McAdams
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(DBA: G&A McAdams)
111 Hillside Drive
Levelland, Texas 79637
972.436.9712
201 County View Drive
Reno, Texas 76202
940.240.1012
TBE: 1902 TBEPLS 1019440
www.mcadamsco.com

RW PROMENADE - AMENITIES

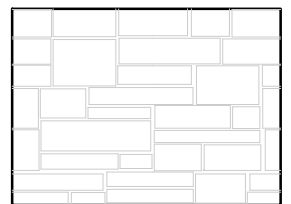
Fig. 2: Project View RW-19030 (Owner's) & Central Park (SHEETS) RW-19030 (SHEETS)
Printed: 1/20/2021 3:15 PM, by: Renee, Mark, Sonnet: 1/20/2020 2:55 PM, by: Mark



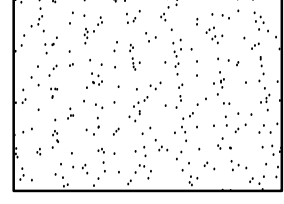
(A) STAMPED AND STAINED PATTERN CONCRETE
4" 3/600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN: COBBLESTONE
COLOR: UNI-MIX INTEGRAL CONCRETE COLORANT U-35 SHADOW SLATE AND PERMA-CAST ANTIQUING RELEASE R-28 SLATE GRAY



(C) STAMPED AND STAINED PATTERN CONCRETE
4" 3/600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN: ROCK TEXTURE
COLOR: UNI-MIX INTEGRAL CONCRETE COLORANT U-35 SHADOW SLATE AND PERMA-CAST ANTIQUING RELEASE R-28 SLATE GRAY



(B) STAMPED AND STAINED PATTERN CONCRETE
RIVER WALK STANDARD
4" 3/600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN: ASHLAR SLATE
COLOR: SOLIDON COLORS, COLORELO LIQUID COLOR NO. 338 LEATHER WITH CHARCOLE RELEASE AGENT, INTEGRAL COLOR



CRUSHED GRANITE PATH
REF. L3.0, DETAIL 16

○ BUTTERFIELD COLOR
625 W ILLINOIS AVE
AURORA, IL 60006
800-282-3388
www.butterfieldcolor.com



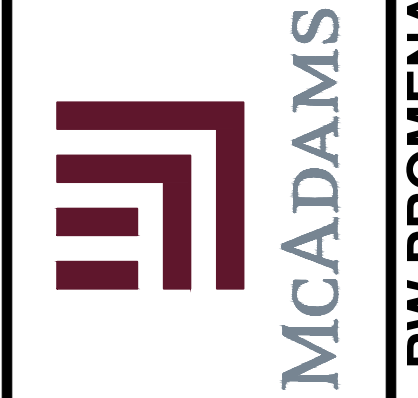
OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON

RWI-19030

L2.1

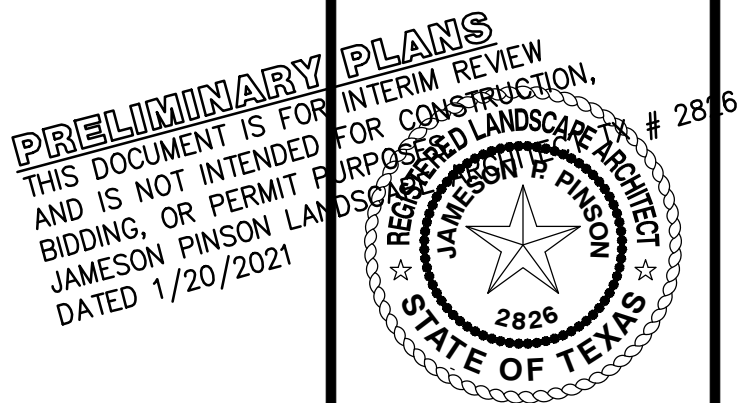
HARDSCAPE PLAN

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS



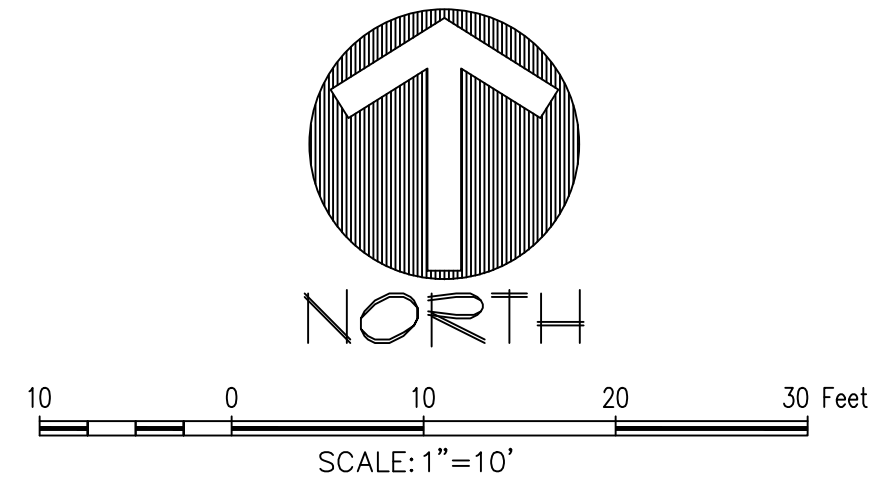
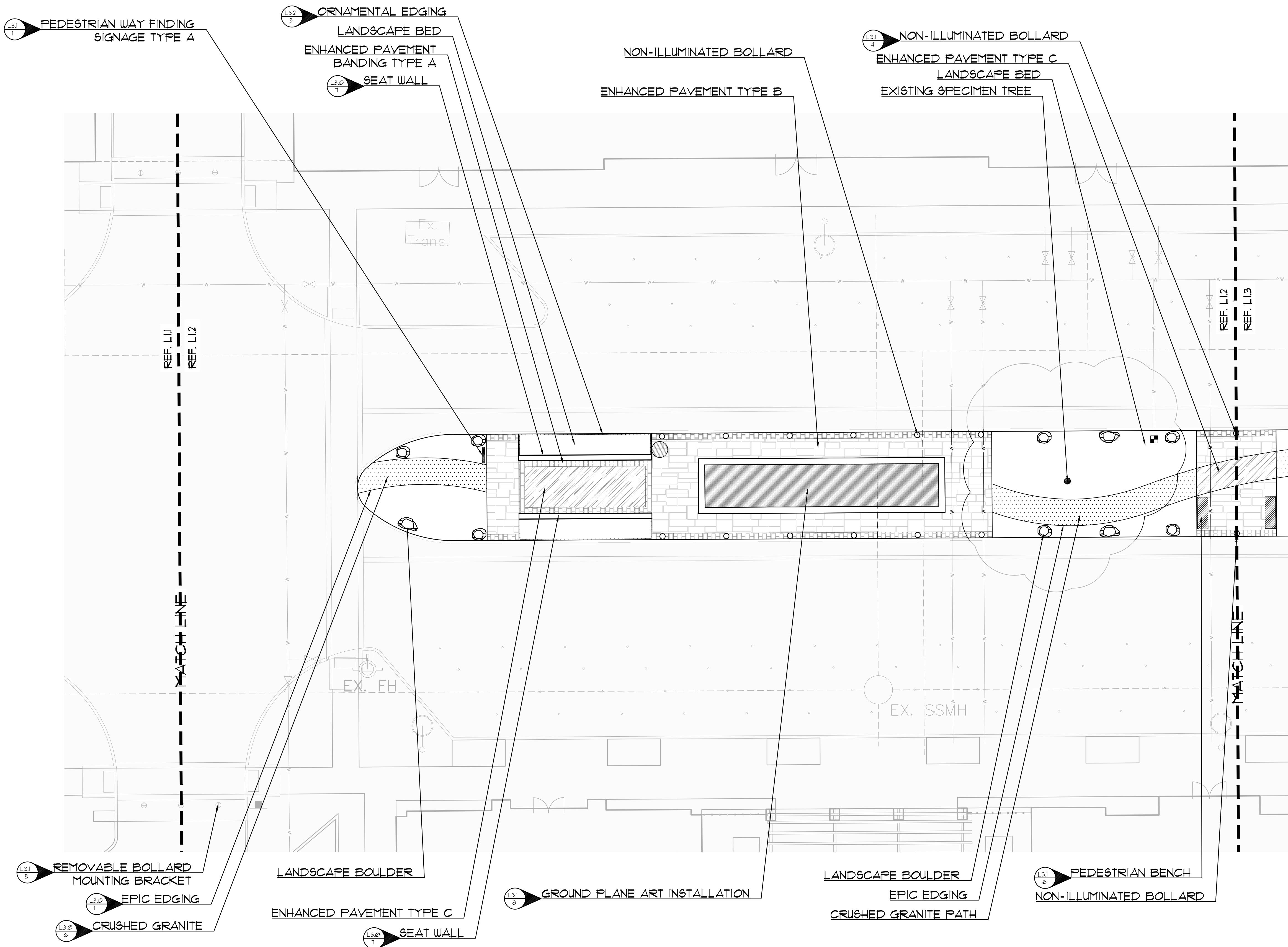
The John R. McAdams
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(DBA: G&A McAdams)
111 Hillside Drive
Lewisville, TX 75057
972.438.9712
201 County View Drive
Reno, NV 89502
940.240.1012
TPE: 1902 TPEPLS 10194440
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RW PROMENADE - AMENITIES



Drawn By: JIP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

File: 2_VillageViewSite-19030-Drawing.dwg & Civil Plan(SHEET)SWM-19030.dwg
Plotted: 1/20/2021 3:15 PM by Renee Marie, Source: 1/21/2020 2:55 PM by RML



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RW PROMENADE - AMENITIES

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

HARDSCAPE PLAN

PRELIMINARY PLANS
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JAMESON PINSON LANDSCAPE ARCHITECTS
STATE OF TEXAS
2826
DATED 1/20/2021

Drawn By: JIP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

OWNER/DEVELOPER
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FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RWI-19030

L2.2

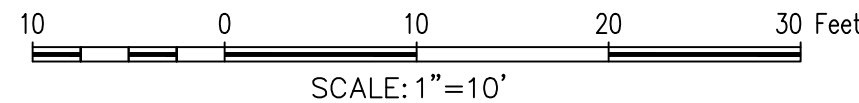
(A) STAMPED AND STAINED PATTERN CONCRETE
4" 3600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN - COBBLESTONE
COLOR - UNI-MIX INTEGRAL CONCRETE COLORANT U-35
SHADOW SLATE AND PERMA-CAST ANTIQUING RELEASE
R-28 SLATE GRAY

(B) STAMPED AND STAINED PATTERN CONCRETE
RIVER WALK STANDARD
4" 3600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN - ASHLAR SLATE
COLOR - SOLOMON COLORS, COLORFLO LIQUID COLOR NO. 338
LEATHER WITH CHARCOLE RELEASE AGENT, INTEGRAL COLOR

(C) STAMPED AND STAINED PATTERN CONCRETE
4" 3600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.
PATTERN: ROCK TEXTURE
COLOR: UNI-MIX INTEGRAL CONCRETE COLORANT U-35
SHADOW SLATE AND PERMA-CAST ANTIQUING RELEASE
R-28 SLATE GRAY

CRUSHED GRANITE PATH
REF. L3.2, DETAIL 16

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AURORA, IL 60506
800-287-3388
www.butterfieldcolor.com



RW PROMENADE - AMENITIES

J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

HARDSCAPE PLAN

L2.3

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940.240.1012
BPE: 19762 TBP/L: 1019444
www.gacon.com
www.mcadamsco.com

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RW PROMENADE - AMENITIES

Lot 1X, Block A
1.566 Acres

in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

HARDSCAPE PLAN

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DATED 1/20/2021



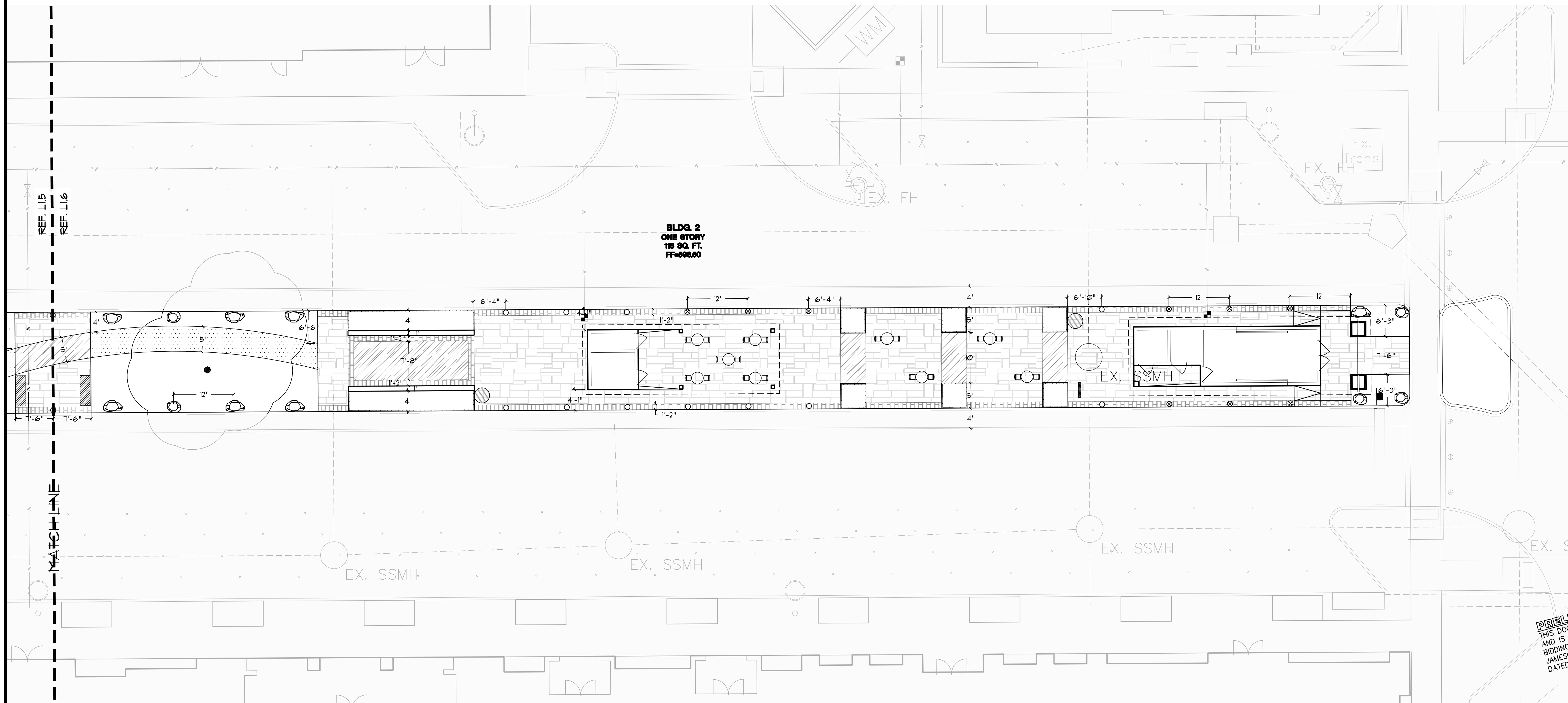
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Scale: 1"=40'
Revisions:

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1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON

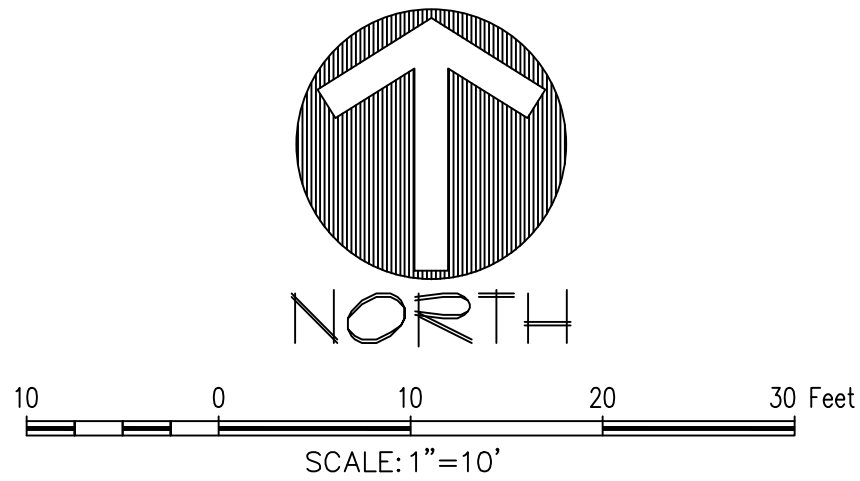
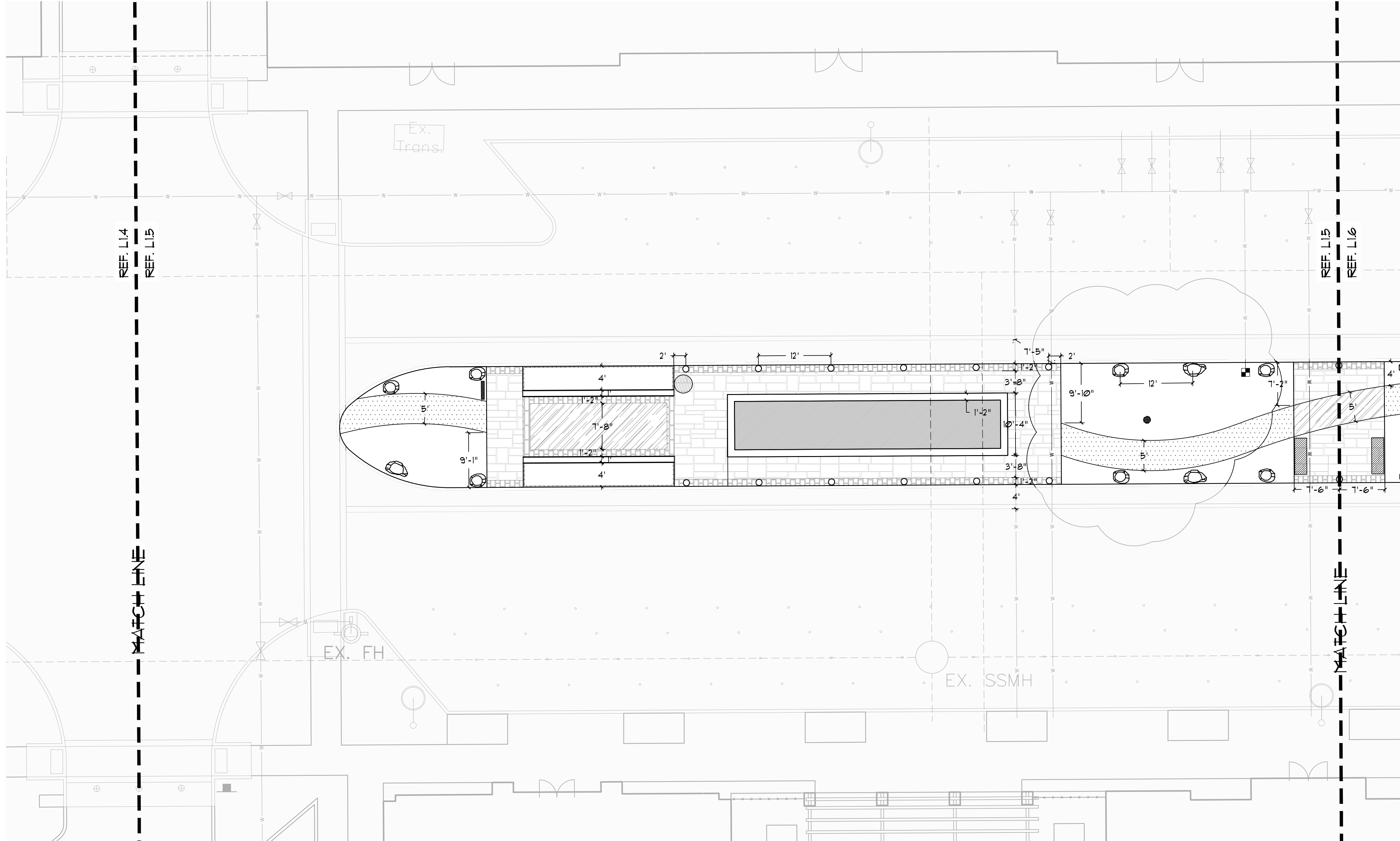


RWI-19030

L2.4



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Ph. 469-892-7200
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DATED 1/20/2021

Drawn By: JLP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

L2.5

HARDSCAPE PLAN

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
.J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

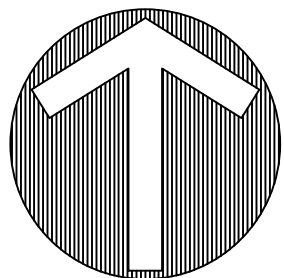
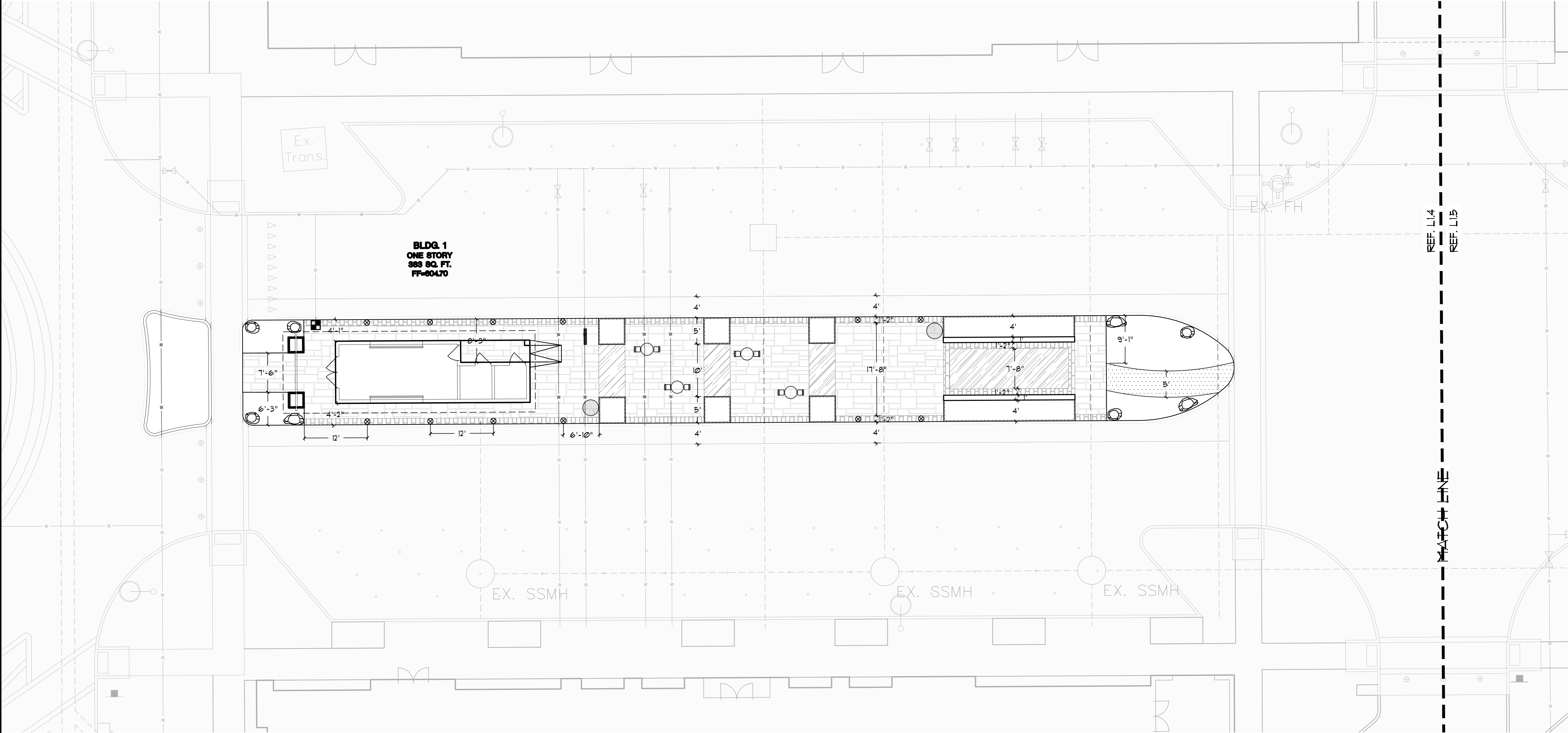


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940.240.1012
TBP# 19702 TBP# S. 10194440
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RW PROMENADE - AMENITIES

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10 0 10 20 30 Feet
SCALE: 1"=10'

BLDG. 1
ONE STORY
383 SQ. FT.
FF-60470

Ex.
Trans.

EX. T.H.

REF. L14
REF. L15

MATCH LINE

EX. SSMH

EX. SSMH

EX. SSMH

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DATED 1/20/2021



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Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE

Lot 1X, Block A
1566 Acres
in the

J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

HARDSCAPE PLAN

RWI-19030

L2.6

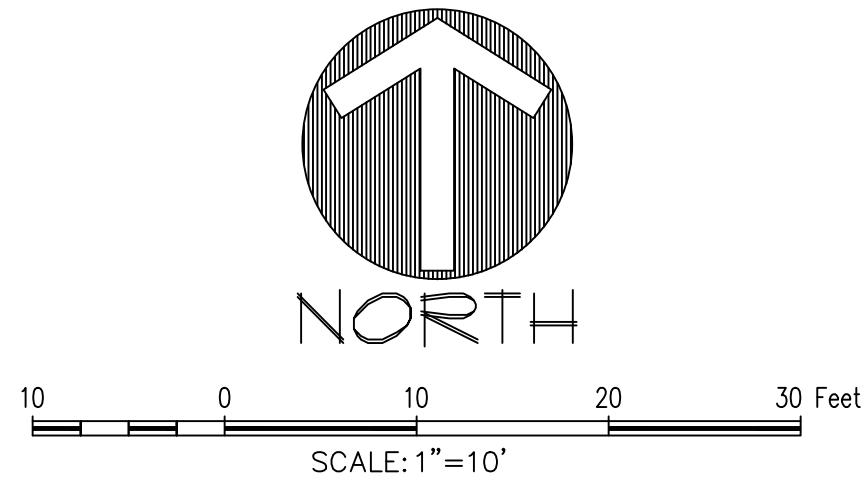
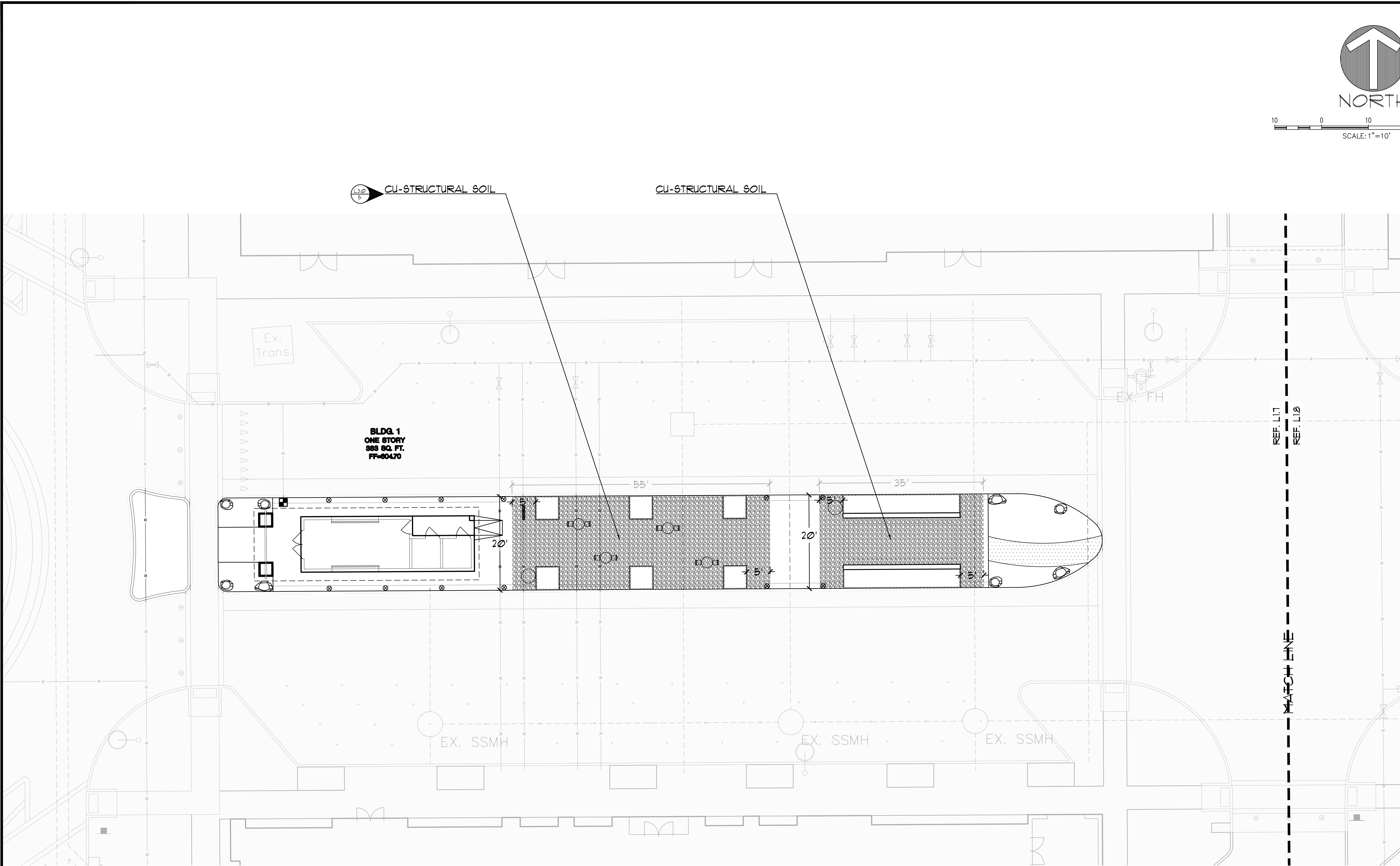
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Reno, Texas 76202
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RW PROMENADE - AMENITIES

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Drawn By: JIP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

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L2.7

HARDSCAPE PLAN

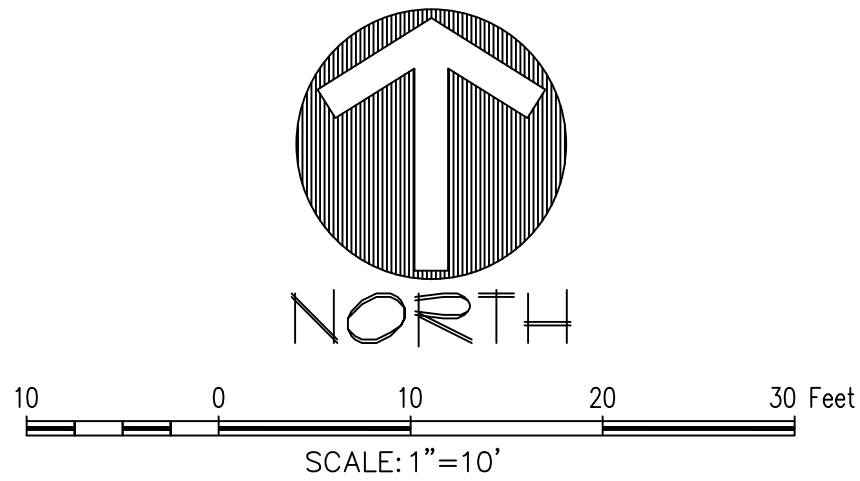
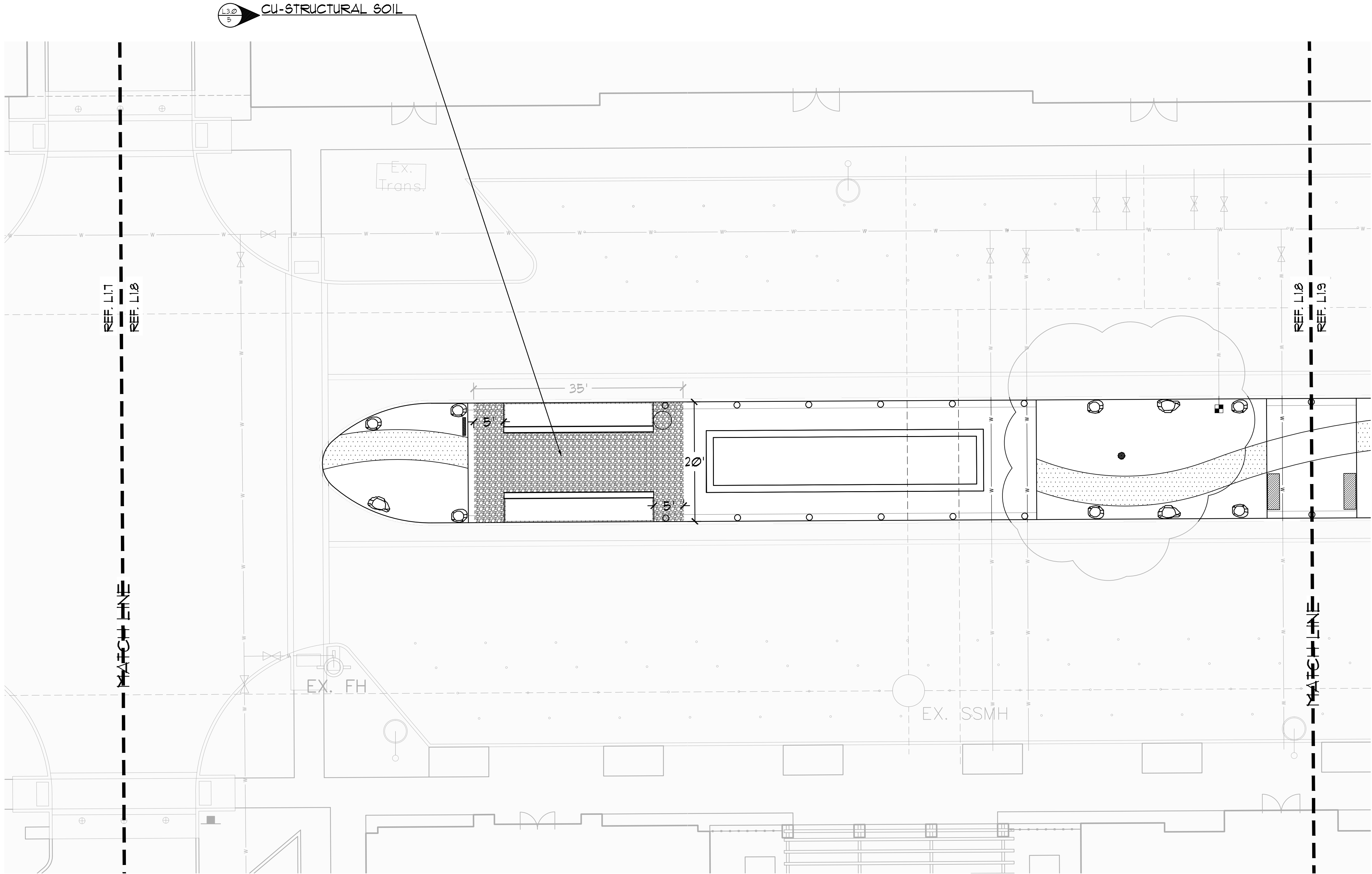
RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

RW PROMENADE - AMENITIES



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RW PROMENADE - AMENITIES

THE RIVER WALK PROMENADE

Lot 1X, Block A

1566 Acres

in the

J.T. STEWART SURVEY, ABSTRACT NO. 1161

TOWN OF FLOWER MOUND

DENTON COUNTY, TEXAS

HARDSCAPE PLAN

PRELIMINARY PLANS
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JAMESON PINSON LANDSCAPE ARCHITECT, P.C.
DATED 1/20/2021



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Date: 07/27/2020
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Revisions:

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L2.8

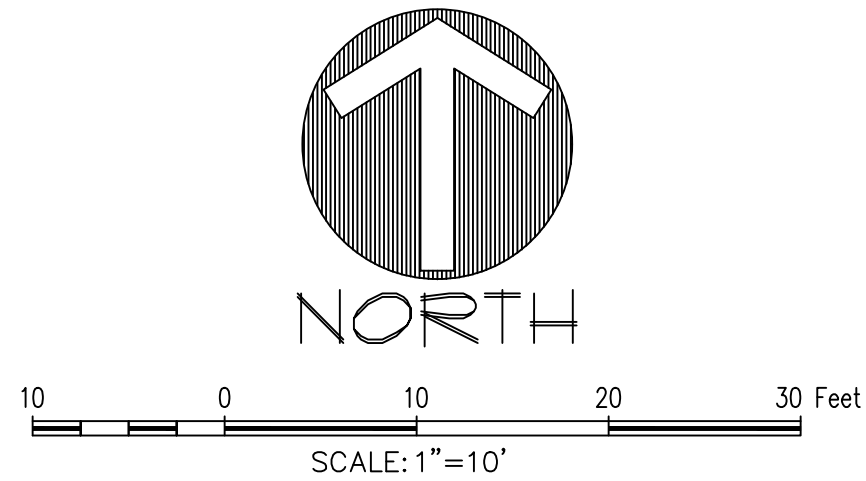
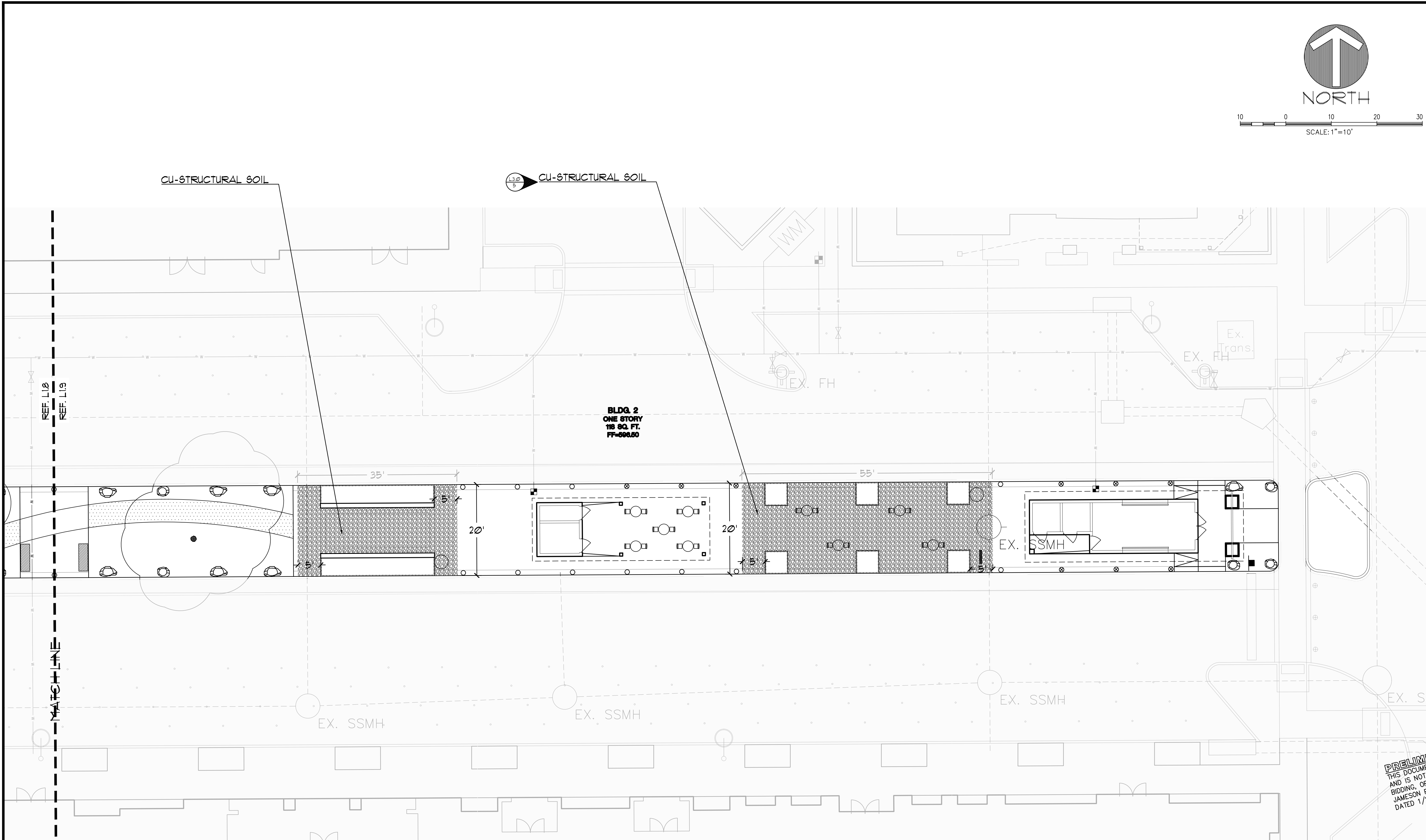
The John R. McAdams
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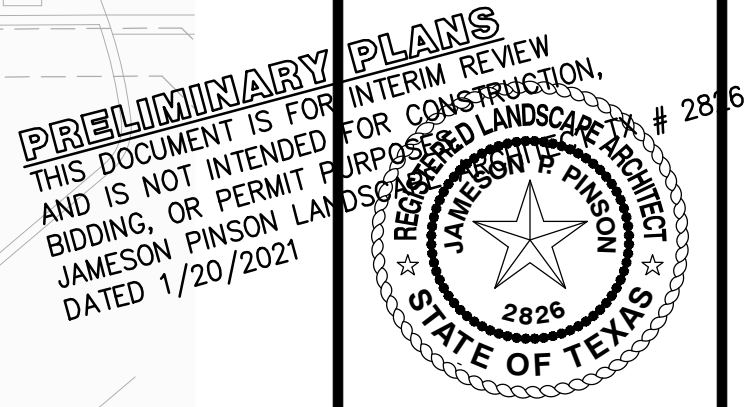
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RW PROMENADE - AMENITIES

File: 2_V:\Project\VIEW-19030\Drawings\LP & Civil Plans\SHEETS\Site-19030.dwg
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Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

L2.9

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

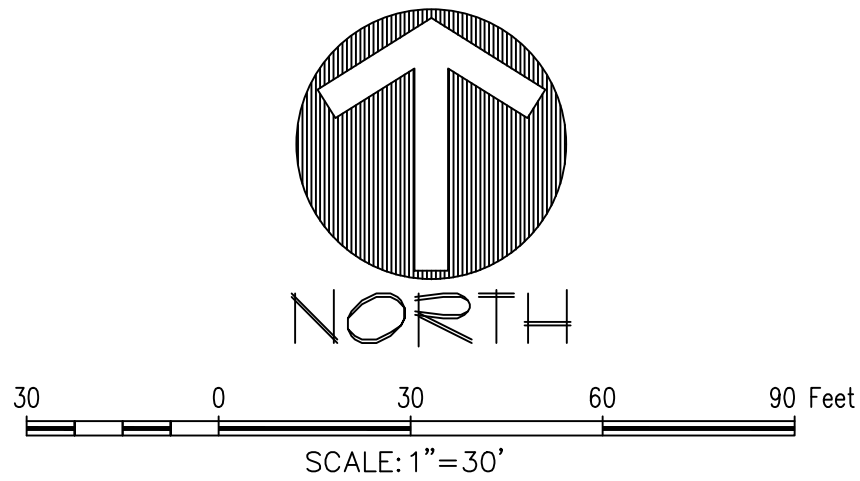
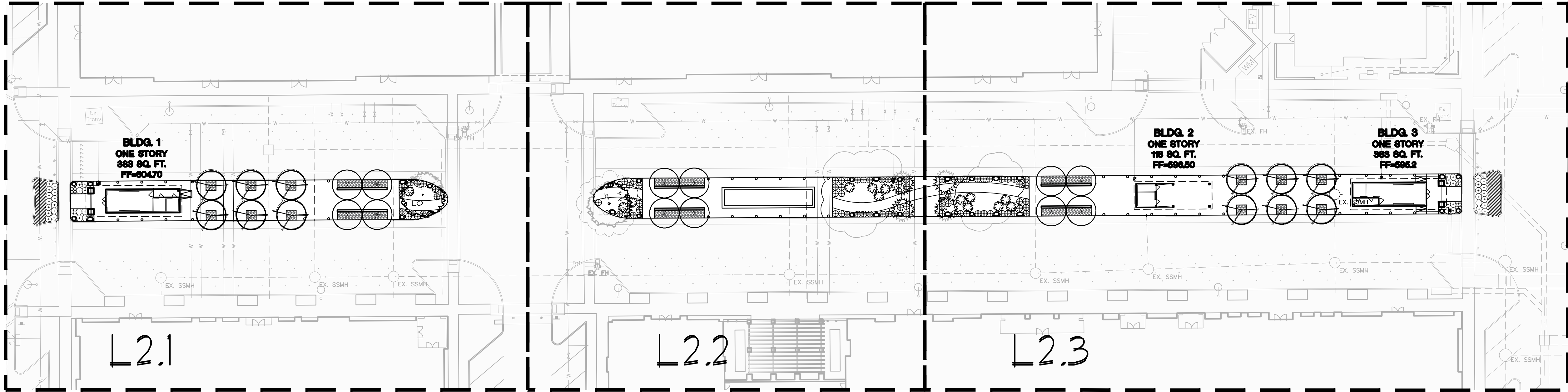
HARDSCAPE PLAN



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111 Hillside Drive
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Reno, Texas 76202
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RW PROMENADE - AMENITIES

File: 2_V:\Projects\RWI-19030\Drawings\LP & Civil\Plan\Site\Site-19030.LS
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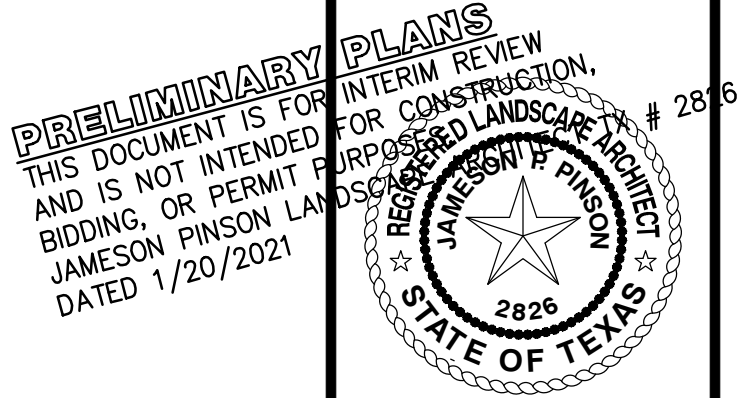


PLANT LIST

QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	MIN. HT.	SPACE	REMARKS
2	LIVE OAK	<i>Quercus virginiana</i>	6" cal.	10'-12'	Per Plan	Single Trunk
12	POND CYPRESS	<i>Taxodium ascendens</i>	3" cal.	10'-12'	Per Plan	Single Trunk
12	SKYLINE HONEY LOCUST	<i>Gleditsia triacanthos inermis</i> 'Skycole'	3" cal.	10'-12'	Per Plan	Single Trunk
10	LITTLE GEM MAGNOLIA	<i>Magnolia grandiflora</i>	30gal.	7'-8'	Per Plan	Full
4	FOSTER HOLLY	<i>Ilex x attenuata</i>	15gal.	5'-6'	Per Plan	Full
42	DWARF LOROPETALUM	<i>Loropetalum chinensis</i>	5gal.	30"	2'-0"	Full
86	SIDEOTS GRAMA	<i>Bouteloua curtipendula</i>	3gal.	18"	2'-0"	Full
16	MEXICAN FEATHER GRASS	<i>Nassella tenuissima</i>	3gal.	18"	2'-0"	Full
300	LIRIOPE	<i>Liriope muscari</i>	4"pot.	9"	12"	Full
250	ASIAN JASMINE	<i>Trachelospermum asiaticum</i>	4"pot.	9"	12"	Full

LEGEND

	(LO) LIVE OAK <i>Quercus virginiana</i>
	(LGM) LITTLE GEM MAGNOLIA <i>Magnolia grandiflora</i>
	(PC) POND CYPRESS <i>Taxodium ascendens</i>
	(HL) HONEY LOCUST <i>Quercus virginiana</i>
	(FH) FOSTER'S HOLLY <i>Ilex x attenuata</i> 'Fosteri'
	(DP) DWARF PALMETTO <i>Sabal minor</i>
	(SOG) SIDEOTS GRAMA <i>Bouteloua curtipendula</i>
	(DL) DWARF LOROPETALUM <i>Loropetalum chinensis</i> 'Pascok'
	(MF) MEXICAN FEATHER GRASS <i>Nassella tenuissima</i>
	ASIAN JASMINE <i>Trachelospermum asiaticum</i>
	SEASONAL COLOR
	BERMUDA SOD



OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE PLAN

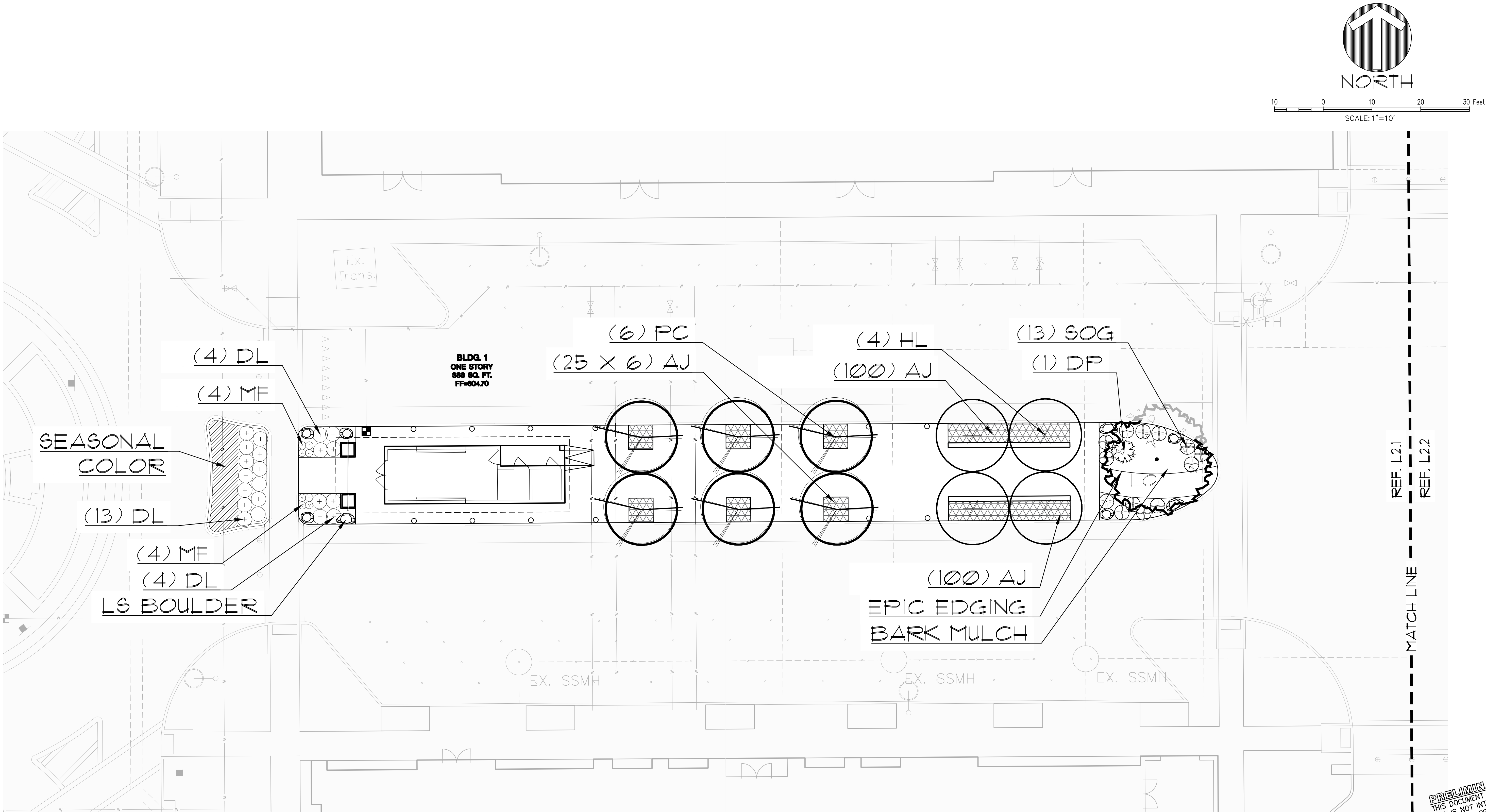
RWI-19030

L3.0

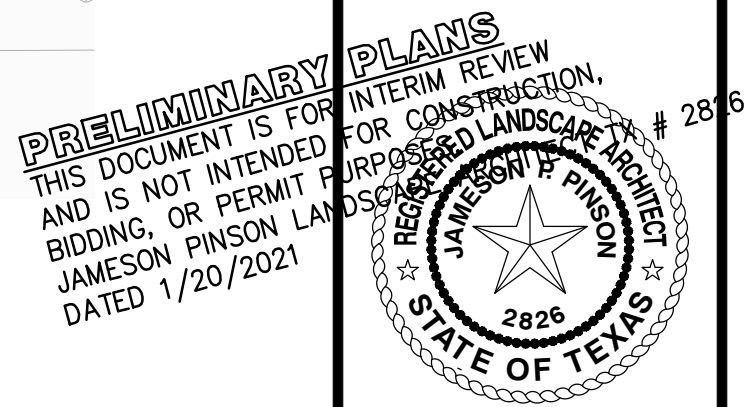
The John R. McAdams
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MCADAMS

RW PROMENADE - AMENITIES



L2.1



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FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RWI-19030

L3.1

RW PROMENADE - AMENITIES

THE RIVER WALK PROMENADE

Lot 1X, Block A

1566 Acres

in the

J.T. STEWART SURVEY, ABSTRACT NO. 1161

TOWN OF FLOWER MOUND

DENTON COUNTY, TEXAS

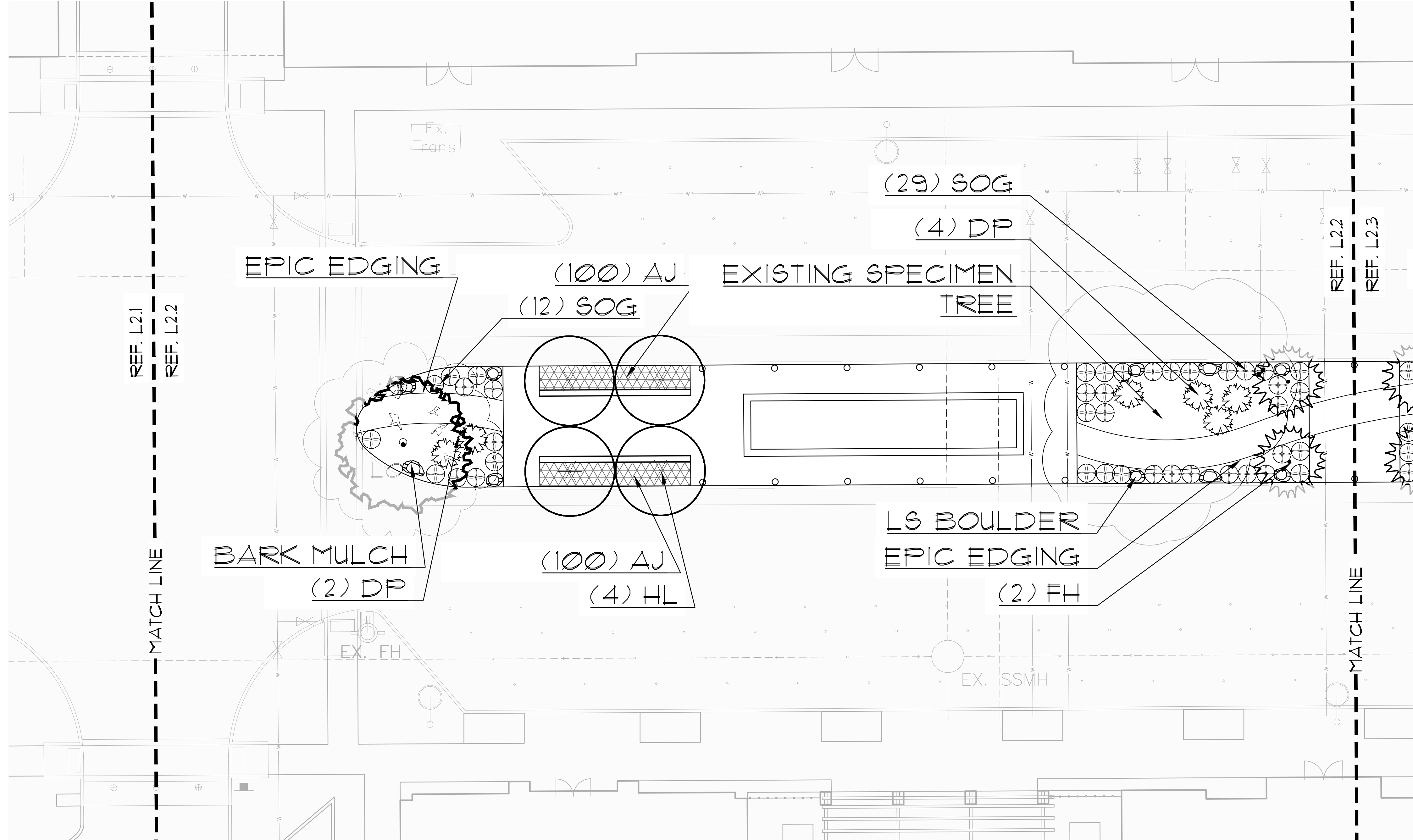
LANDSCAPE PLAN



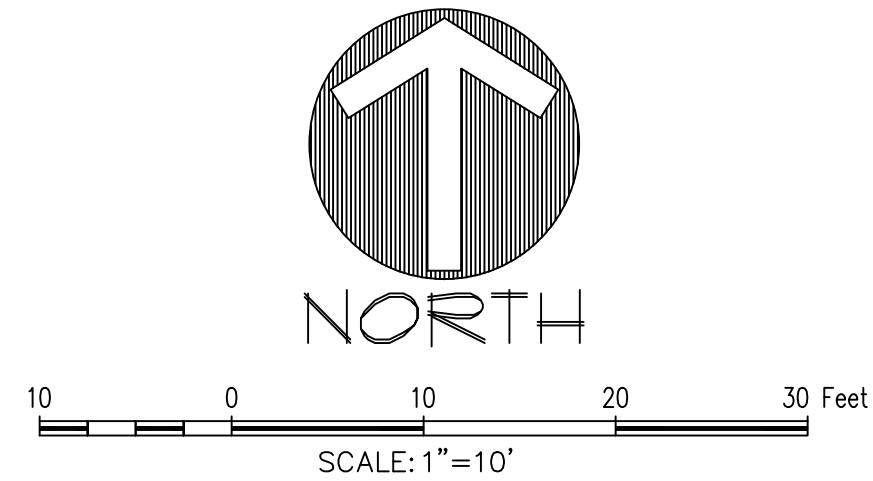
The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Levelland, Texas 79667
972.436.9712
201 County View Drive
Reno, Texas 76252
940.240.1012
TBP# 19702 TBP# 19702
www.mcadamsco.com

RW PROMENADE - AMENITIES

File: 2_V:\Project\VIEW-19030\Drawings\LP & Civil\Plan\LANDSCAPE-19030.LP
Plotted: 1/20/2021 3:18 PM by Renee Marie, Jomet 1/22/2020 2:51 PM by rmm



L2.2

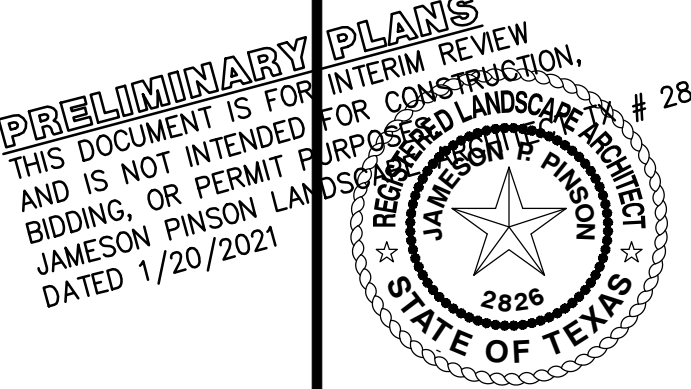


OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE PLAN



Drawn By: LD
Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

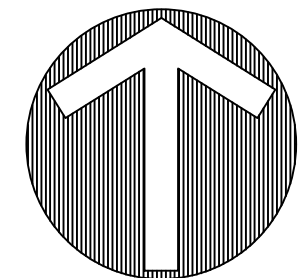
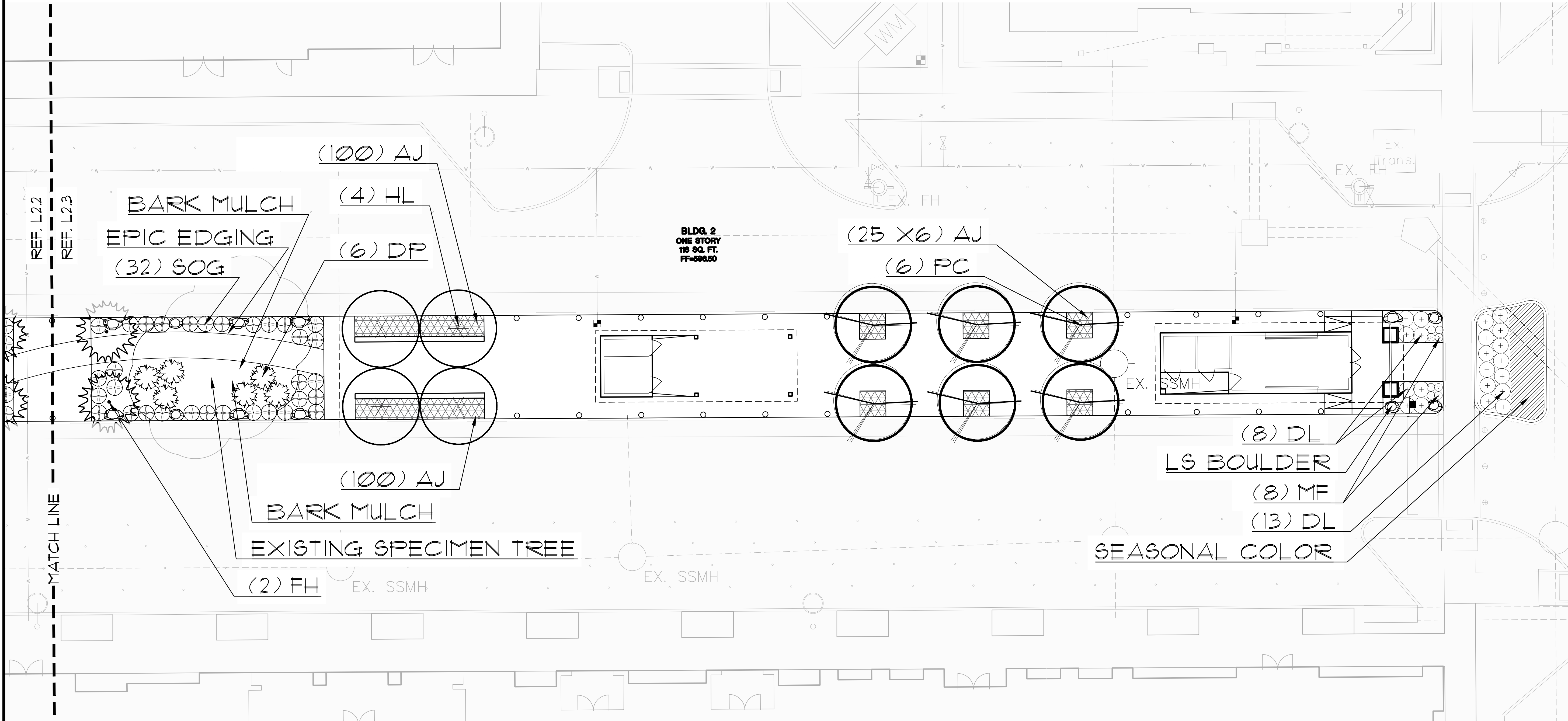
L3.2

The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Levelland, Texas 79637
972.436.9712
201 County View Drive
Reno, Texas 76202
940.240.1012
TBP# 19102 TBP# S. 10194440
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RW PROMENADE - AMENITIES

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Plotted: 1/20/2021 3:18 PM by Renee Marie, Jomet 1/22/2020 2:51 PM by rmm



NORTH

10 0 10 20 30 Feet
SCALE: 1"=10'

REF. L22

REF. L23

MATCH LINE

L2.3

OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES
JAMESON PINSON LANDSCAPE ARCHITECTS, P.C.
DATED 1/20/2021

Drawn By: LD
Date: 07/27/2020
Scale: 1"=10'
Revisions:

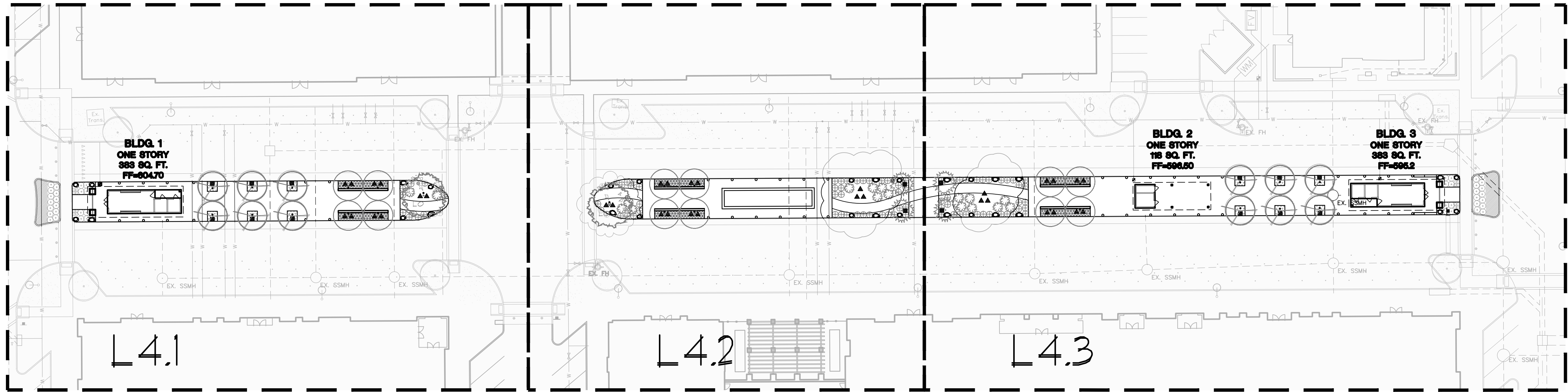
RWI-19030

L3.3

The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Levelland, Texas 79637
972.436.9712
201 County View Drive
Reno, Texas 76202
940.240.1012
TBP# 19162 TBP# 19164
www.mcadamsco.com

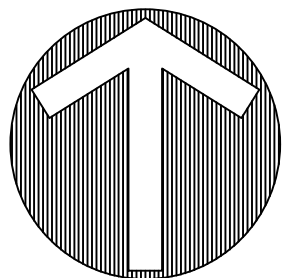
MCADAMS

RW PROMENADE - AMENITIES



Luminaire Schedule				
Symbol	Qty	Arrangement		Description
▲▲	34	SINGLE		SLS-GEM-6-2-3-X LED GIM OPEN 120* WIDE FLOOD-1
■	16	SINGLE		SLS-GEM-6-1-3-X LED GIM OPEN120* WIDE FLOOD-1
•	26	SINGLE		OUTDOOR GFCI OUTLET WITH COVER

CONTACT JEFF HOINSKI @ JHOINSKI@SITELIGHTINGSOLUTIONS-USA.COM FOR PRICING



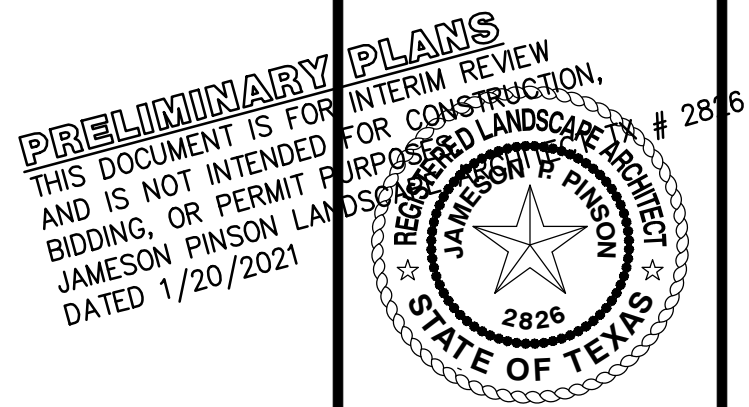
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SCALE: 1"=30'

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE

Lot 1X, Block A
1566 Acres

J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LIGHTING PLAN



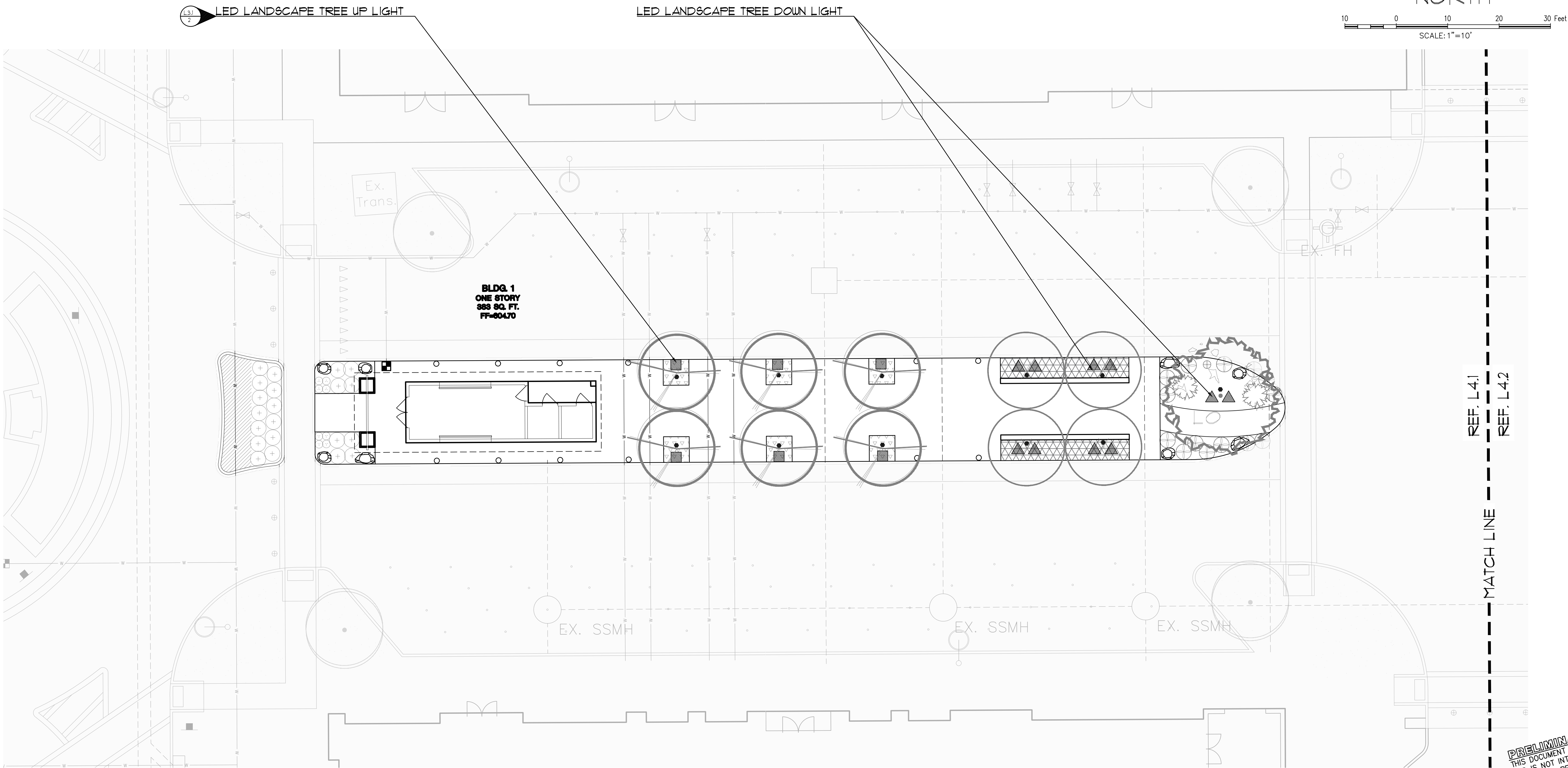
Drawn By: JP
Date: 07/27/2020
Scale: 1"=30'
Revisions:

OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON

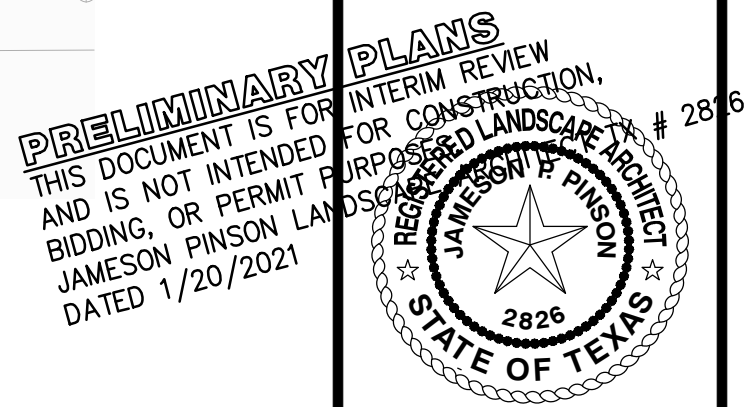


RWI-19030

L4.0



L4.1



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RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LIGHTING PLAN

Drawn By: JP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

L4.1

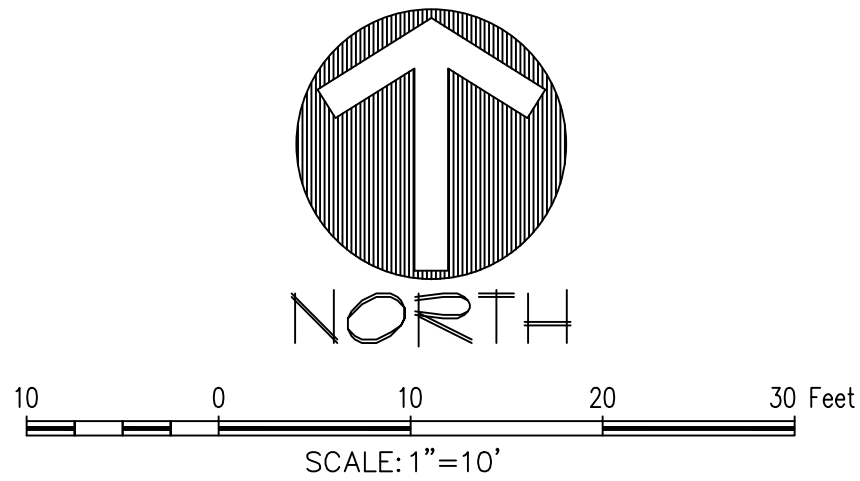
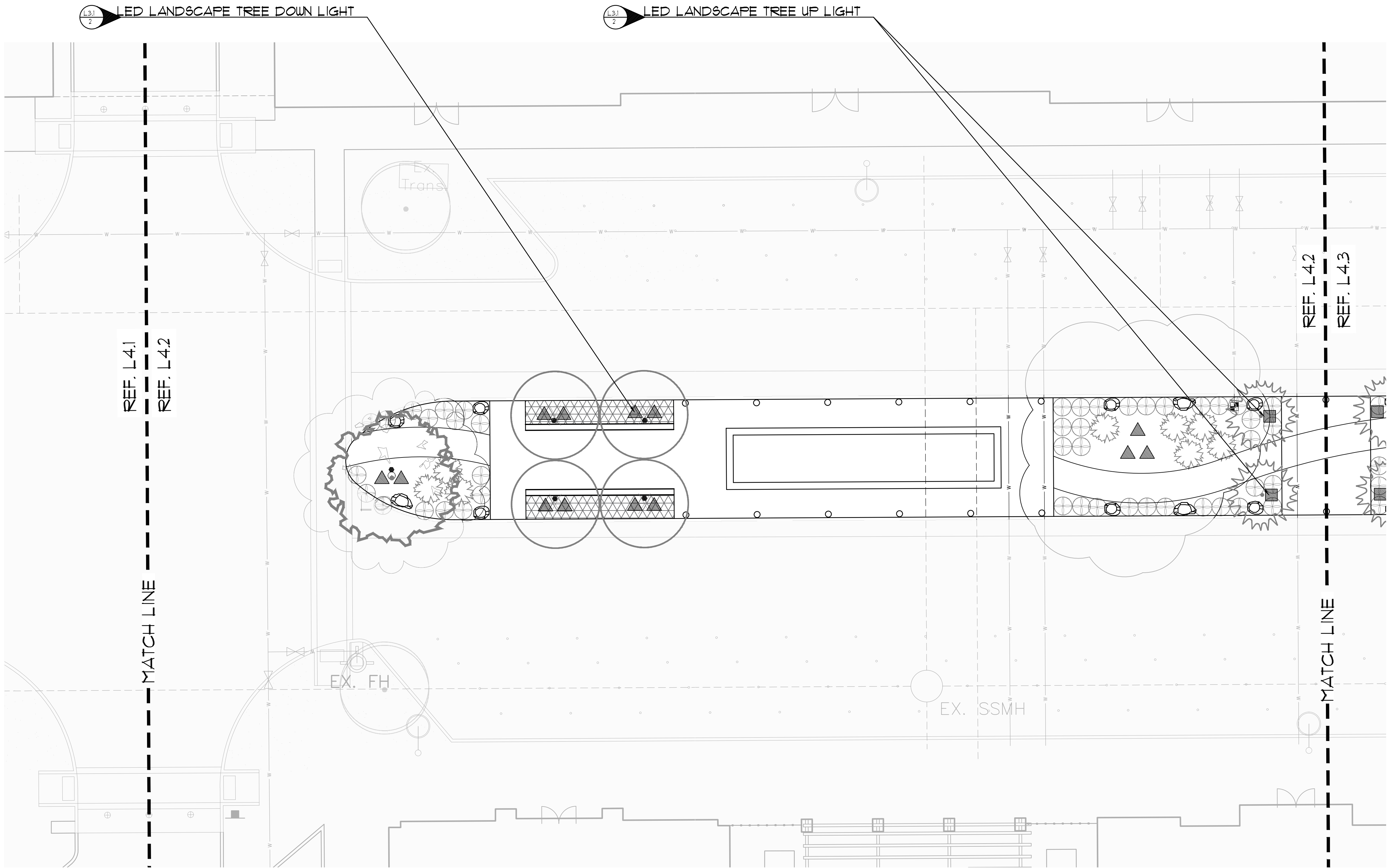
The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Levelland, Texas 79637
972.438.9712
201 County View Drive
Reno, Texas 76202
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RW PROMENADE - AMENITIES

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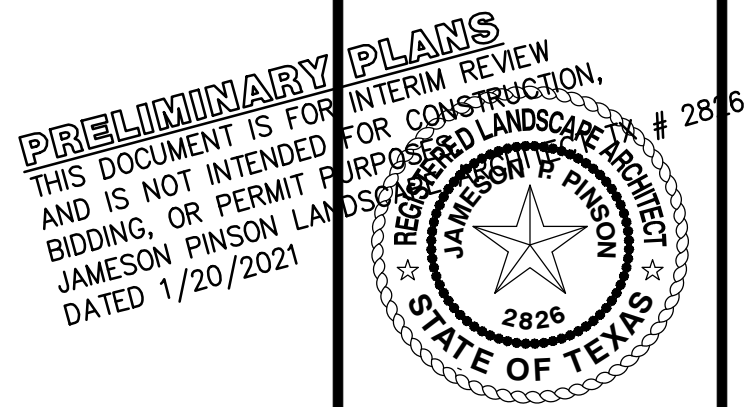
L4.2

OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LIGHTING PLAN



Drawn By: JP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

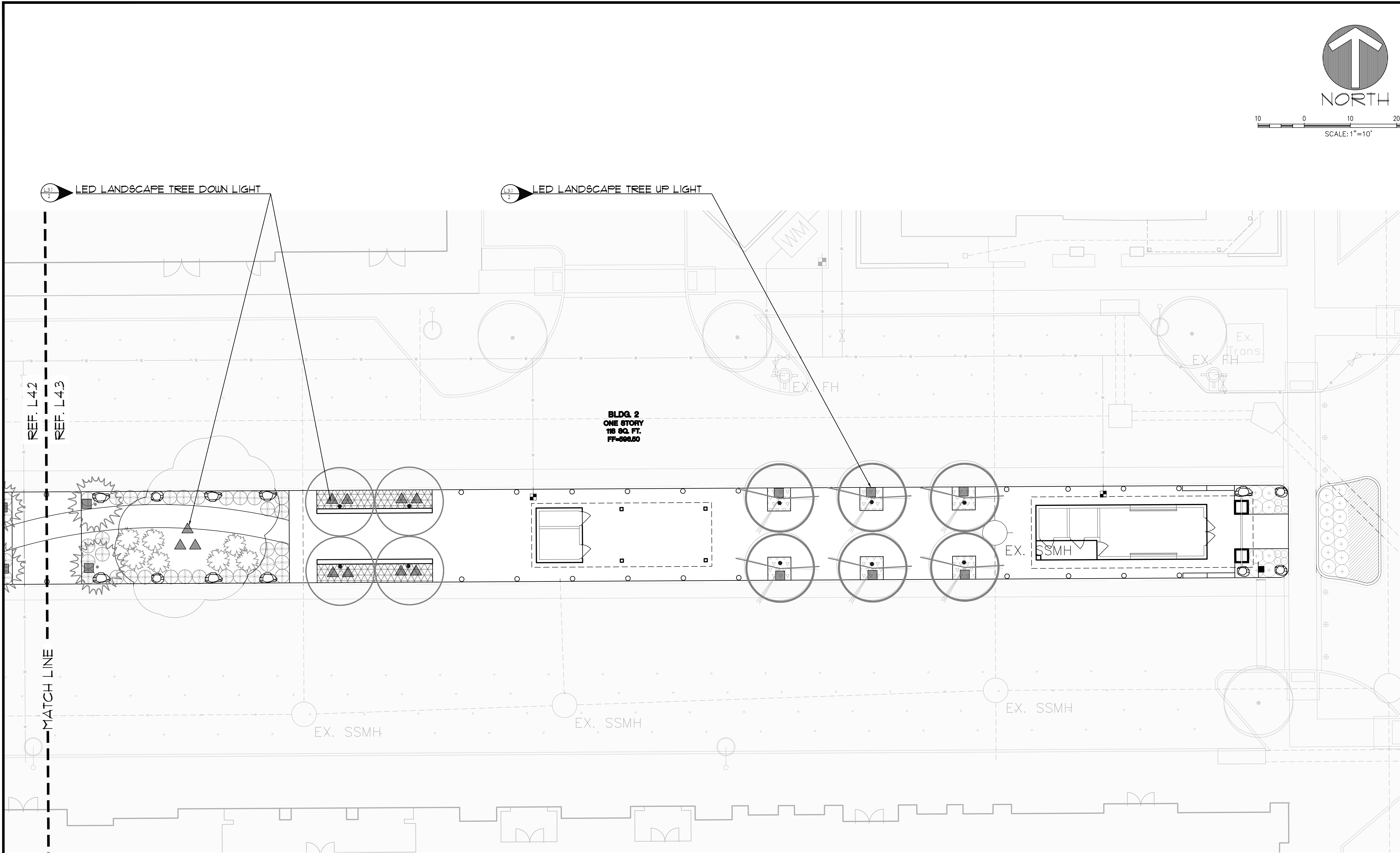
L4.2



The John R. McAdams
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972.436.9712
201 County View Drive
Reno, Texas 76202
940.240.1012
TBP# 19702 TBP# 19702
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RW PROMENADE - AMENITIES

File: 2_Vprojects\VIEW-19030\Drawings\LP & Civil Plans\LIGHTS\9000 LIGHT
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L4.3

OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



Drawn By: JP
Date: 07/27/2020
Scale: 1"=10'
Revisions:

RWI-19030

L4.3

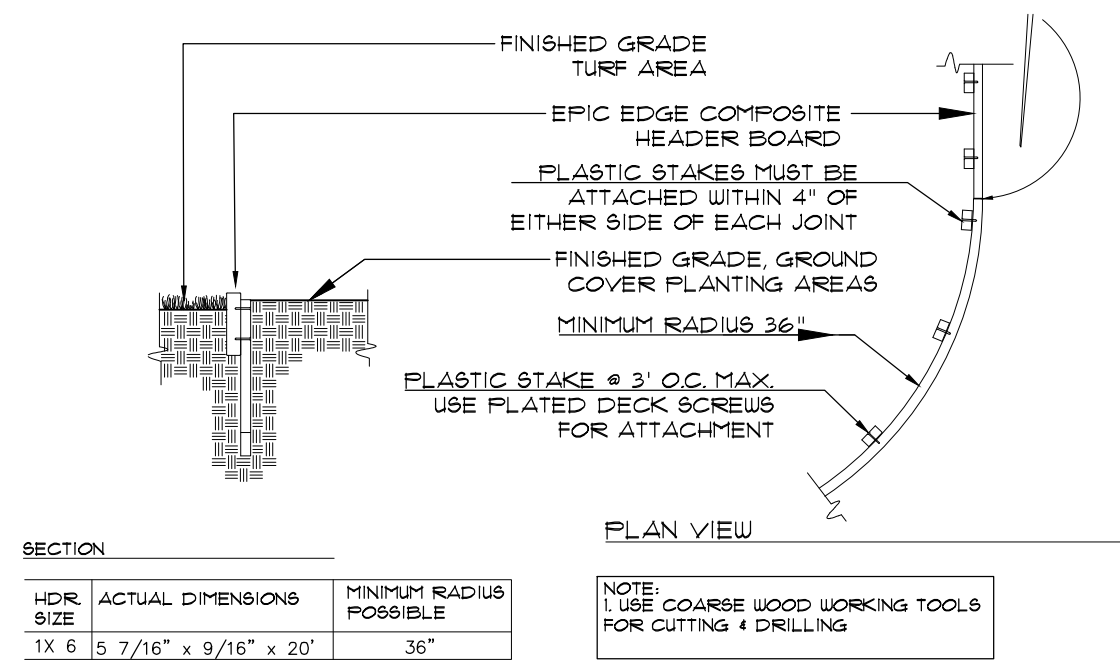
LIGHTING PLAN

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
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J.T. STEWART SURVEY, ABSTRACT NO. 1161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

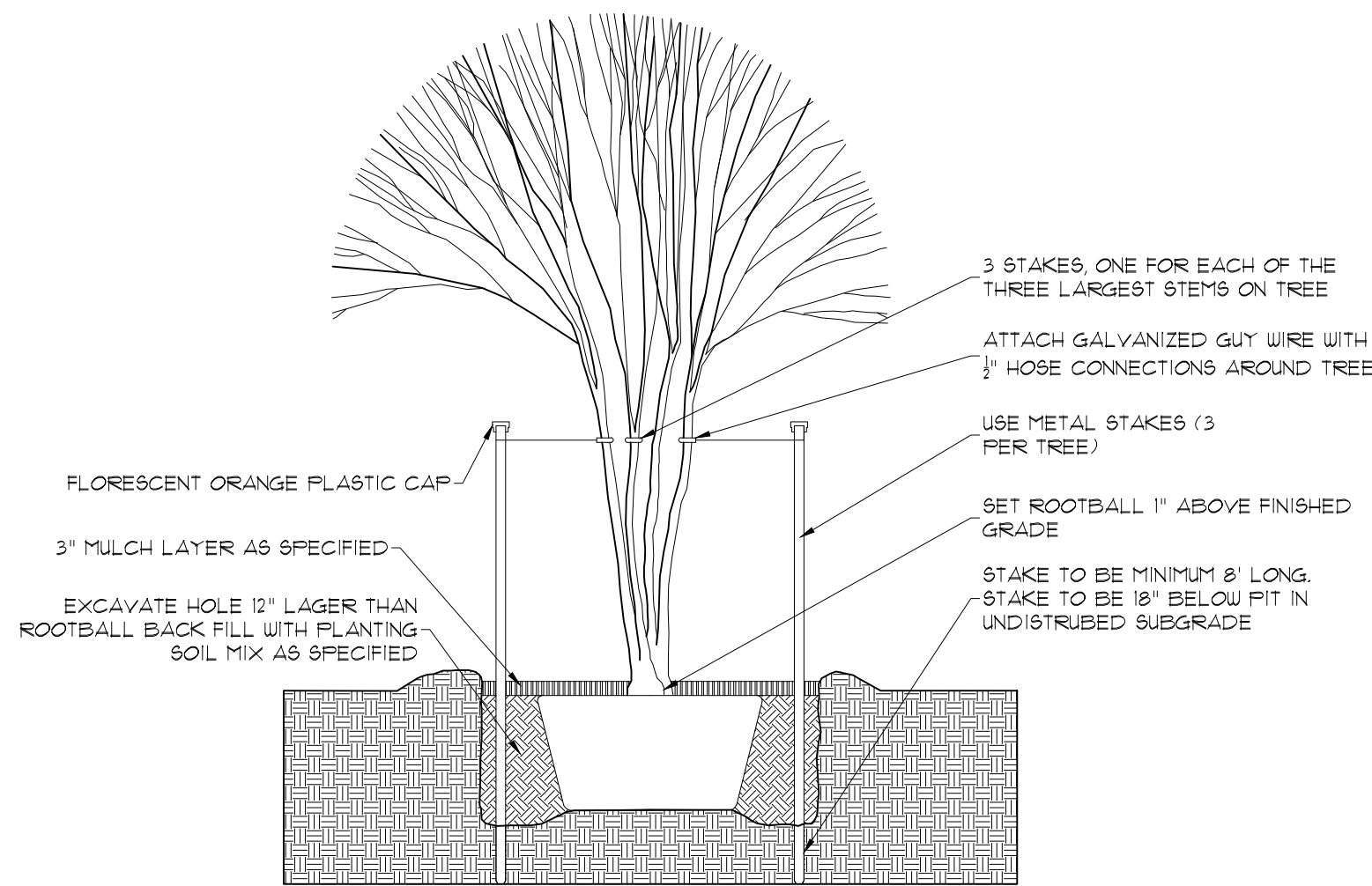


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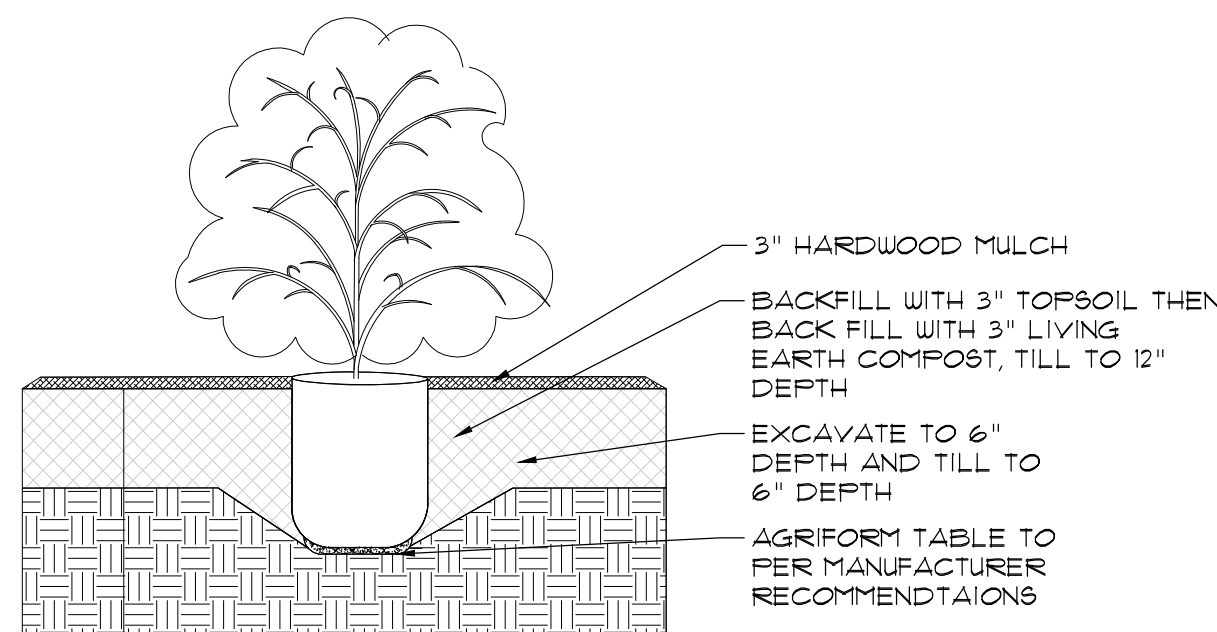
The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Leander, Texas 78647
972.436.9712
201 County View Drive
Reno, Texas 76202
940.240.1012
TBP# 1902 TBP# S. 1019440
www.mcadamsco.com



1 EPIC EDGE DETAIL
SCALE: NOT TO SCALE



2 MULTI-TRUNK TREE STAKING
SCALE: NOT TO SCALE

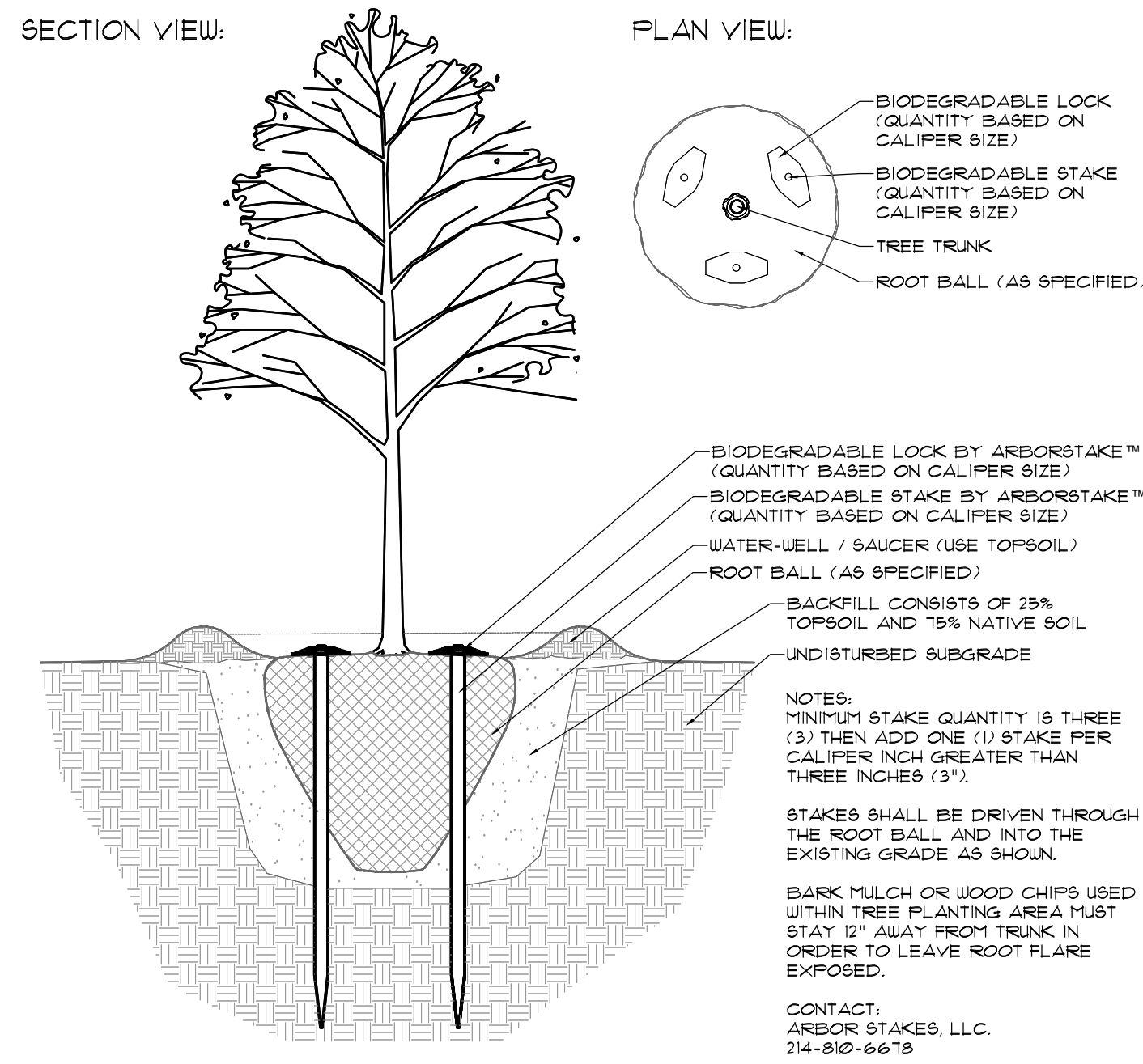


3 SHRUB DETAIL
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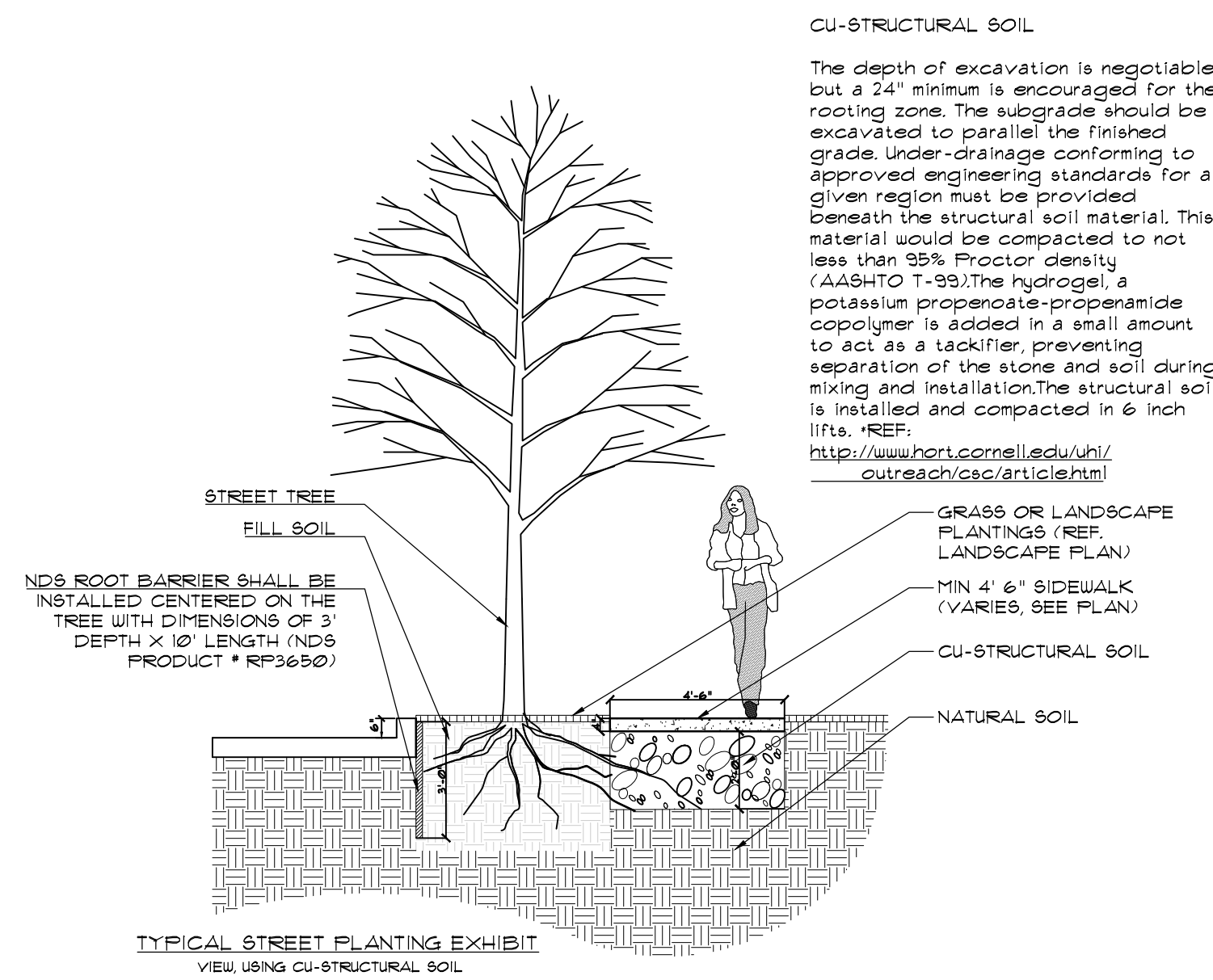
LANDSCAPE NOTES:

Town of Flower Mound

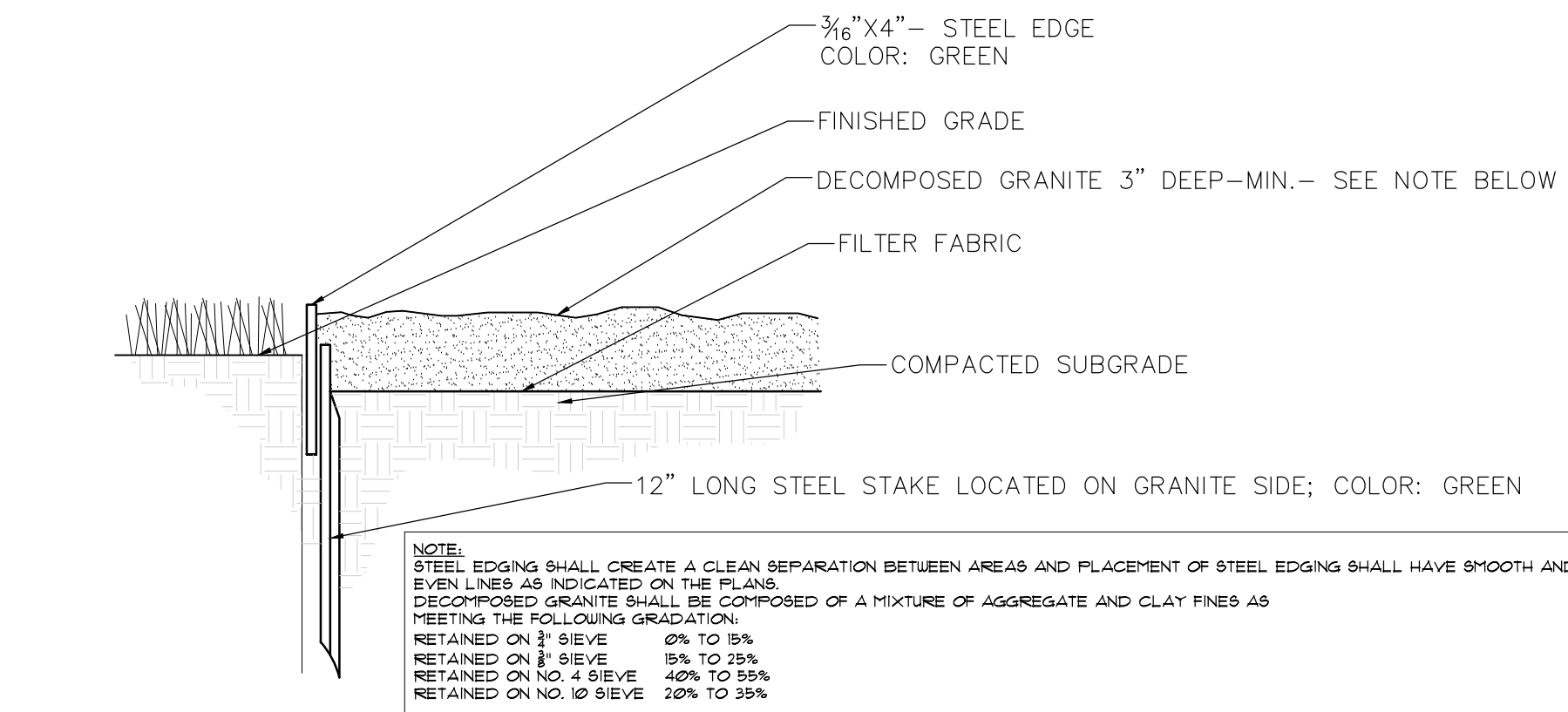
1. Plant material shall be measured and sized according to the latest edition of the Texas Nursery and Landscape Association (TNLA) grades and standards.
2. All plant beds shall be top-dressed with a minimum of 3 inches of hardwood or other mulch.
3. Trees shall be planted at least 4 feet from utility line, curb, walk, fire connection, and outside all utility easements.
4. Trees overhanging walks and parking shall have a minimum clear trunk height of 7 feet.
5. A visibility triangle must be provided at all intersections. Shrubs are not to exceed 30 inches in height. Trees shall have a minimum clear trunk height of 9 feet.
6. The owner, tenant, and/or their agents, if any, shall be jointly and severally shall be responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
7. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days unless otherwise approved in writing by the Town of Flower Mound.
8. Before construction, landscape contractor and general contractor shall verify and locate all existing utilities in areas of excavation.
9. Please refer to all landscape and irrigation specifications.
10. All landscape beds and turf areas to be separated with edging.
11. All landscape beds to be 6" below finished floor.
12. All hydromulch or sod areas to be brought to +/- 1/4" by site grading contractor. Landscape contractor to bring all areas to final grade and remove all clod, rocks or debris >1" in diameter.
13. All landscape to be 100% irrigated. All irrigation within Drip lines of existing trees to be hand dug, and line to be installed in a radial fashion toward the trunk.
14. Please note that the permeable areas under the drip line of specimen and protected trees should be left at natural grade. No cutting or filling are to occur in these areas.
15. All areas of grading disturbance are to have grass reestablished at 75% coverage prior to letter of acceptance from the Town of Flower Mound. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.



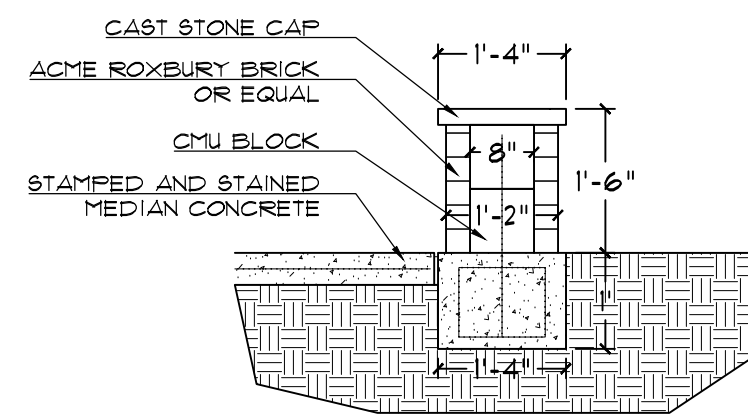
4 TREE STAKING DETAIL
SCALE: NOT TO SCALE



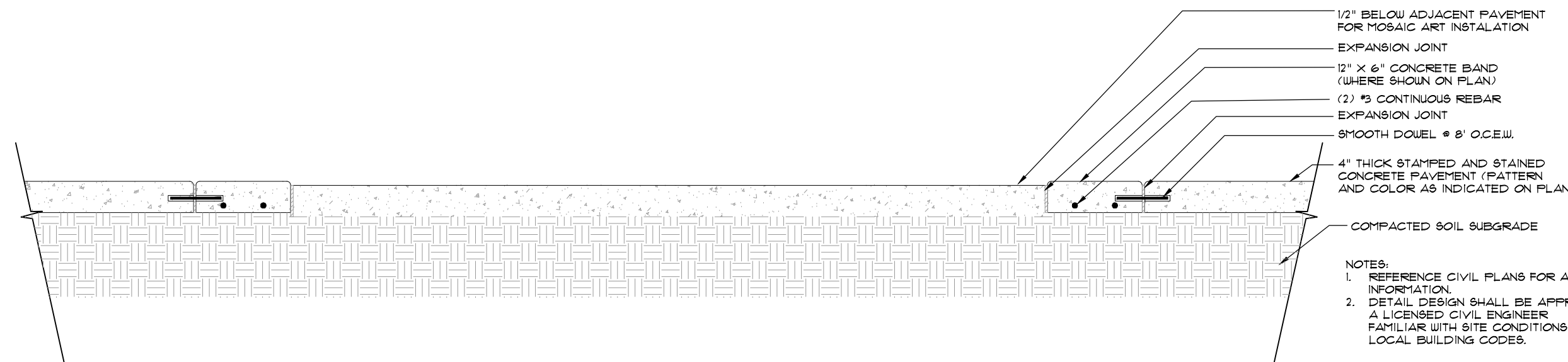
5 STRUCTURAL SOIL DETAIL
SCALE: NOT TO SCALE



6 DECOMPOSED CRUSHED GRANITE
SCALE: NOT TO SCALE



7 SEAT WALL DETAIL
SCALE: 1/2"=1'



8 GROUND PLANE ART INSTALLATION DETAIL
SCALE: NTS

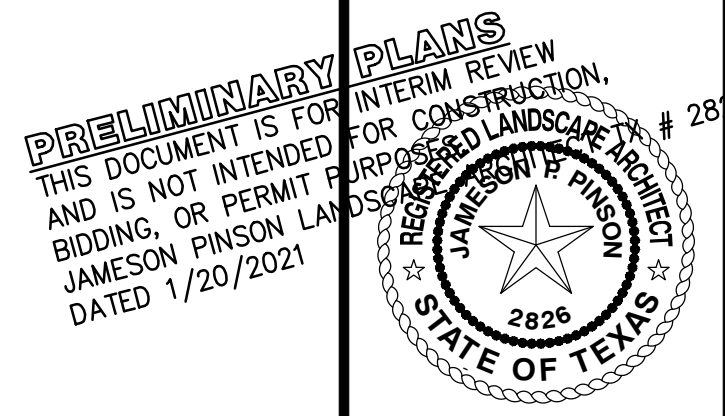
The John R. McAdams Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Leander, TX 78647
972.436.9712
201 County View Drive
Reno, NV 89502
940.240.1012
TPE: 1992 TPE-LS-1019440
www.mcadamsco.com



RW PROMENADE - AMENITIES

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A
1566 Acres
in the
J.T. STEWART SURVEY, ABSTRACT NO. 161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE DETAILS



Drawn By: J.P.
Date: 07/27/2020
Scale: 1"=30'
Revisions:

OWNER/DEVELOPER
MRW INVESTORS, LLC
1800 VALLEY VIEW LANE, SUITE 300
FARMERS BRANCH, TEXAS 75234
Ph. 469-892-7200
Contact: MR. JACK DAWSON



RWI-19030

L5.0

The John R. McAdams Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Leander, TX 77937
972.436.9712
201 County View Drive
Roanoke, Texas 76262
940.240.1012
TPE: 1902 TPEP.S. 10194440
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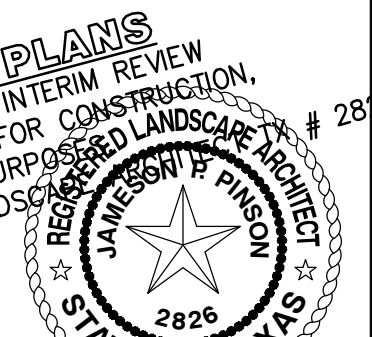
RW PROMENADE - AMENITIES

RW PROMENADE - AMENITIES
THE RIVER WALK PROMENADE
Lot 1X, Block A

1566 Acres
in the

J.T. STEWART SURVEY, ABSTRACT NO. 161
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE DETAILS

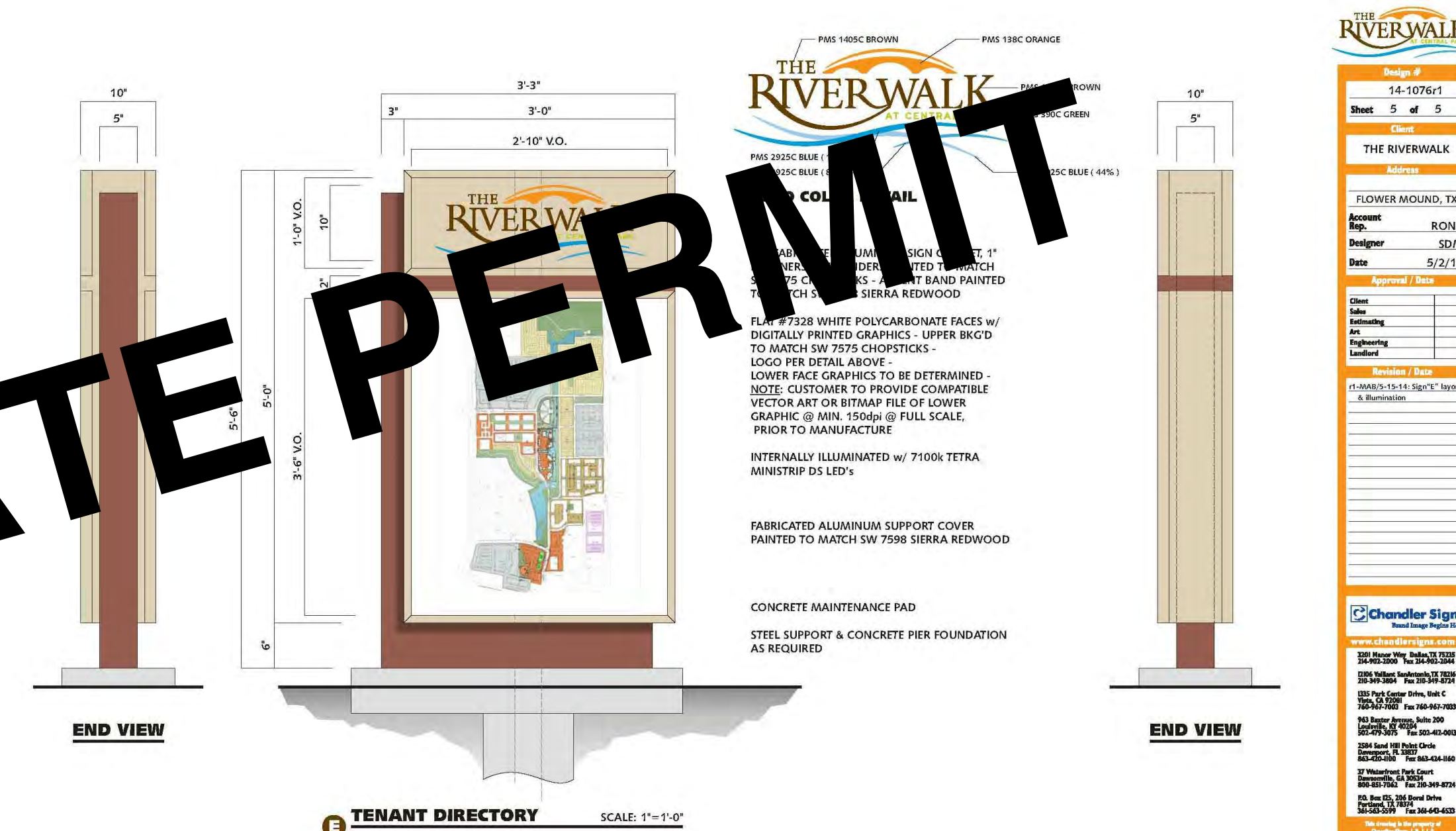


Drawn By: J.P.
Date: 07/27/2020
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Revisions:

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L5.1

OWNER/DEVELOPER
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Ph. 469-892-7200
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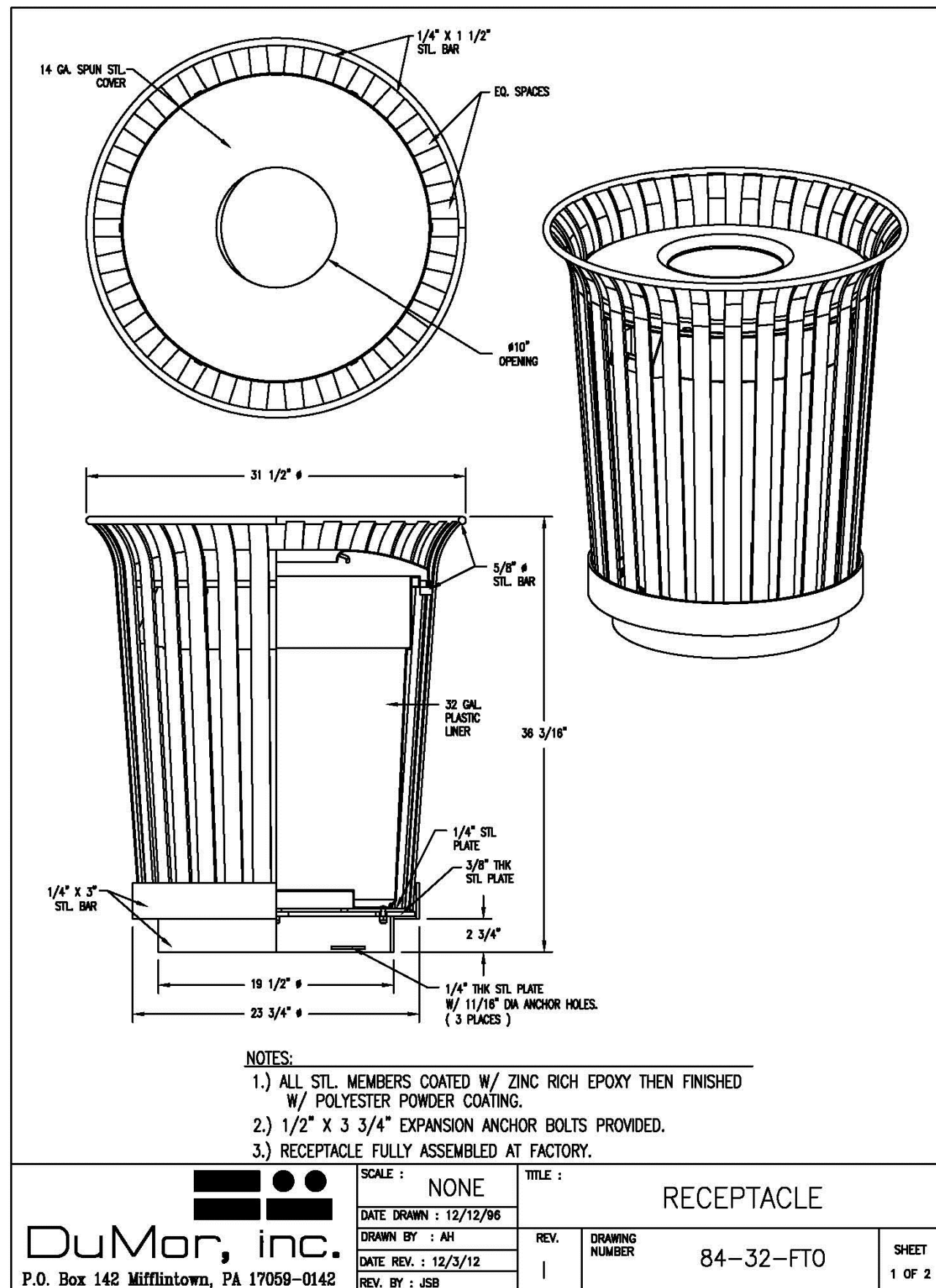


1 WAYFINDING SIGNAGE: TYPE A
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT
CHANDLER SIGNS 972-795-6629

2 WAY FINDING SIGNAGE TYPE B
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT
CHANDLER SIGNS 972-795-6629



3 TRASH RECEPTACLE DETAIL
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT PAUL E.
ALLEN CO. INC. 800-296-7344

4 BOLLARD DETAIL
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT
ALLEN CO. INC. 800-296-7344

5 REMOVABLE BOLLARD ASSEMBLY
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT
ALLEN CO. INC. 800-296-7344

6 PEDESTRIAN BENCH DETAIL
SCALE: NOT TO SCALE

CONTACT DONNA MCARDAM AT PAUL E.
ALLEN CO. INC. 800-296-7344

Fermob Metal Bistro™ Folding Chair - Each



SKU: 0101

Quantity

Purchase in multiples of 2

Bistro Color

Lagoon Blue (Smooth)



[View All Options](#)

COLOR: LAGOON BLUE (SMOOTH)

Fermob Metal Bistro™ 24-Inch Folding Table



SKU: 0245 (Solid) or 0230 (Perforated)

Quantity

Bistro Color

Capucine (Textured)



[View All Options](#)

Top Option

Solid Top

COLOR: CAPUCINE (TEXTURED)

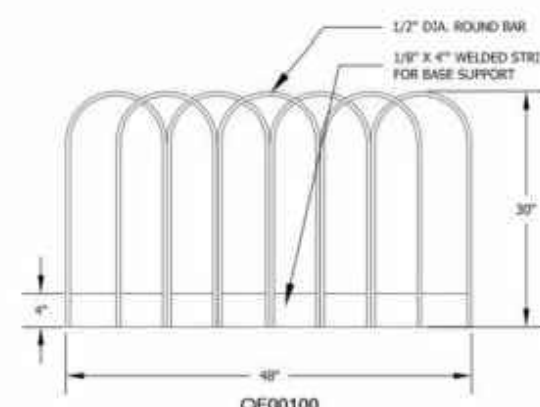
1 BISTRO CHAIR

SCALE: NOT TO SCALE

2 BISTRO TABLE

SCALE: NOT TO SCALE

Streetscape Fencing



Item # Dimensions

Queenstown Estate Fence

QED0100 18" H x 48" W

QED0101 18" H x 72" W

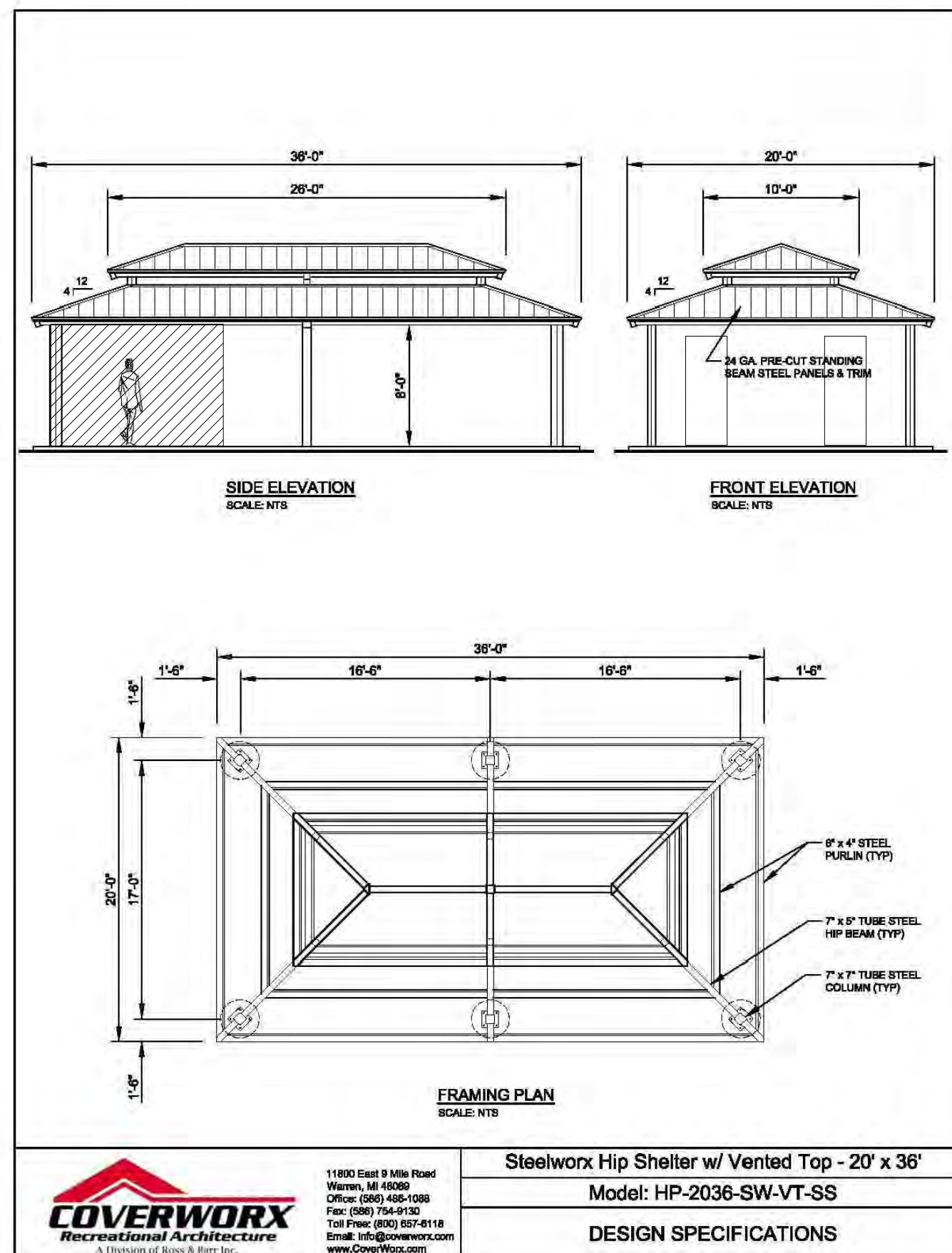
QED0102 18" H x 96" W

FEATURES

- Solid steel construction
- Custom sizes available
- Custom designs
- Weather resistant powder coating
- Welded construction



800.845.3343 | borderconcepts.com

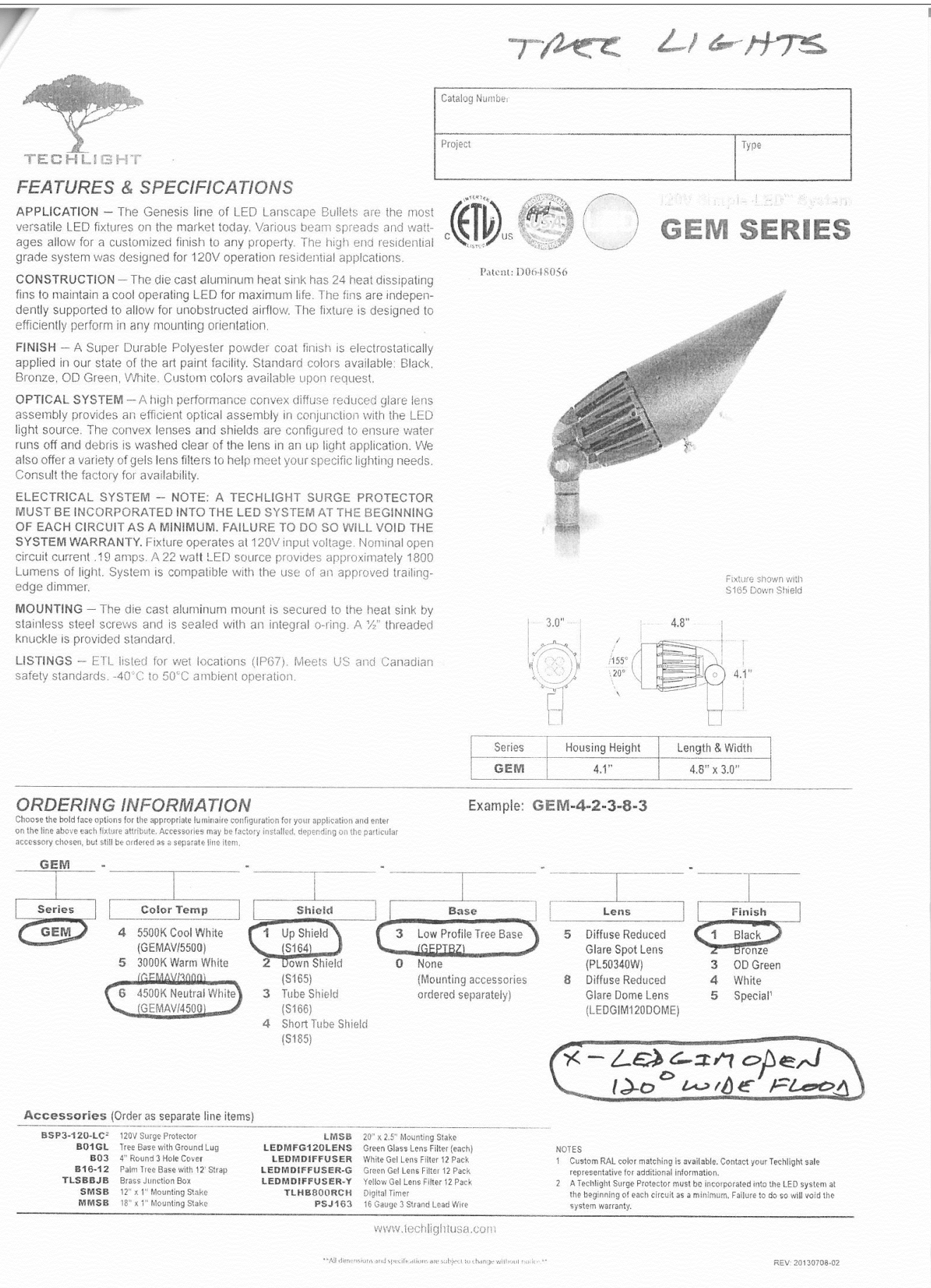


11800 East 9 Mile Road
Wrentham, MI 49468
Office: (269) 446-1088
Fax: (269) 734-6150
Toll Free: (800) 857-8118
Email: info@steelworx.com
www.steelworx.com

Steelworx Hip Shelter w/ Vented Top - 20' x 36'

Model: HP-2036-SW-VT-SS

DESIGN SPECIFICATIONS



5 LED LOW VOLTAGE LANDSCAPE LIGHT

SCALE: NOT TO SCALE

CONTACT: JEFF HONIG AT SITE
LIGHTING SOLUTIONS 800-239-8711

RW PROMENADE - AMENITIES

THE RIVER WALK PROMENADE

Lot 1X, Block A

1566 Acres

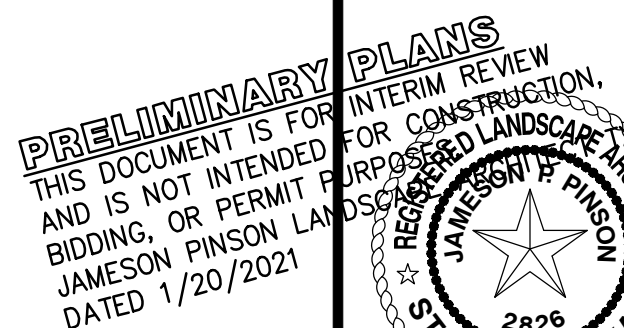
in the

J.T. STEWART SURVEY, ABSTRACT NO. 1161

TOWN OF FLOWER MOUND

DENTON COUNTY, TEXAS

LANDSCAPE DETAILS



Drawn By: J.P.
Date: 07/27/2020
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L5.2