

AGENDA

FLOWER MOUND PLANNING AND ZONING COMMISSION REGULAR MEETING

04/26/2021

FLOWER MOUND TOWN HALL, 2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

6:30 P.M.

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Please silence or turn off all electronic devices.

There will be limited seating in Jody Smith Hall to allow for social distancing.

Meeting participants may be asked to wait in the lobby until their name is called.

Comments regarding any agenda item can be sent to the Commission by emailing pz@flower-mound.com.

A. CALL MEETING TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

To speak to the Planning & Zoning Commission during public comment, please fill out a comment form which is located in the lobby near Jody Smith Hall.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired.
- Please state your name and address when speaking.

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

E. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

F. DIRECTOR'S REPORT

1. Legislative Activity
2. NCTCOG Presentation

G. CONSENT ITEMS

This part of the agenda consists of non-controversial or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of April 12, 2021: Consider approval of the minutes of the April 12, 2021, Planning and Zoning Commission Regular Session.

H. NON-DISCRETIONARY ITEMS

This part of the agenda consists of items that are in compliance with all applicable development standards, are not requesting waivers, exceptions or deviations; and do not require a public hearing.

2. RC20-0015 – Long Prairie Plaza Lots 1 & 2, Block A: Consider a request for a Record Plat (RC20-0015 – Long Prairie Plaza, Lots 1 & 2, Block A) to create a non-residential subdivision. The property is generally located south of Sherri Lane and east of Long Prairie Road.
3. SP20-0027 – Long Prairie Plaza: Consider a request for a Site Plan (SP20-0027 – Long Prairie Plaza) to develop two retail buildings. The property is generally located south of Sherri Lane and east of Long Prairie Road.

I. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted next to the item on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

4. ZPD21-0001 – Brightstar PD-83 Amendment: Public Hearing to consider an ordinance for rezoning (ZPD21-0001 – Brightstar PD-83 Amendment) to amend Planned Development No. 83 (PD-83) with non-residential uses to modify Exhibit C, Section C.8.h. "Parking Lot Landscaping", and a request for a deviation to the required parking standard pursuant to Section 82-73 of the Code of Ordinances. The property is generally located north of Lakeside Parkway and east of Garden Ridge Boulevard.

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

J. ADJOURNMENT – REGULAR SESSION***i.* WORK SESSION**

- a. Discussion of Model Home & Construction Signs

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town's website in accordance with GC Section 551.056 on the following date and time: April 22, 2021, at 3:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at 972-874-6350.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: April 26, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the April 12, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on April 12, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 12TH DAY OF APRIL 2021, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
Adam Schiestel	Commissioner, Place 2
James Naylor	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

Tim Fink	Commissioner, Place 7
Robert Cox	Commissioner, Place 8

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Claire Barnes	Planner
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER: 6:30 P.M.

B. PUBLIC COMMENT

None

C. FUTURE AGENDA ITEMS

None

D. DIRECTOR'S REPORT

1. Development Map Feedback
2. Trails and Bikeways Master Plan

E. CONSENT ITEMS

- 1. Consider approval of the minutes of the March 22, 2021, Planning and Zoning Commission Regular Session.**

Commission Deliberation

Vice-Chair Rawson moved to approve Consent Item 1 as presented. Commissioner Schiestel seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Naylor, Rawson, Gilmore, Werner

NAYS: None

ABSTAIN: Del Vecchio

The motion to approve passed by a vote of 5 to 0 to 1.

F. REGULAR ITEMS

- 2. Public Hearing to consider an ordinance granting Specific Use Permit No. 468 (SUP21-0002 – 4408 Glen Oaks Drive Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Cross Timbers Road and east of Glen Oaks Drive.**

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Joey Johnson (property owner); 217 Pebble Beach Drive, Trophy Club; present for questions, no presentation

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Vice-Chair Rawson moved to recommend approval of SUP21-0002 as presented. Commissioner Naylor seconded the motion.

VOTE ON THE MOTION

AYES: Werner, Gilmore, Rawson, Del Vecchio, Naylor, Schiestel

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

H. **ADJOURNMENT – REGULAR SESSION 6:42 P.M.**

TOWN OF FLOWER MOUND, TEXAS

Lexin Murphy, Director of Planning Services

ATTEST:

LauriAnn Cash, Executive Assistant

DRAFT



PLANNING AND ZONING COMMISSION
AGENDA ITEM NO: 2
NON-DISCRETIONARY ITEM

DATE: April 26, 2021

FROM: Chuck Russell, Principal Planner

ITEM: Consider a request for a Record Plat (RC20-0015 – Long Prairie Plaza, Lots 1 & 2, Block A) to create a non-residential subdivision. The property is generally located south of Sherri Lane and east of Long Prairie Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This project has a companion site plan application (SP20-0027) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to create one buildable, non-residential lot 4.184 acres in size and one remainder non-residential lot 19.265 acres in size, that will be replatted at a later date. The site contains approximately 23.52 acres in total.

The property is zoned Planned Development District-157 (PD-157) with Retail District-2 (R-2) uses.

The plat depicts necessary easements and right-of-way dedication along Long Prairie Road. Access to the property is provided from Long Prairie Road.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

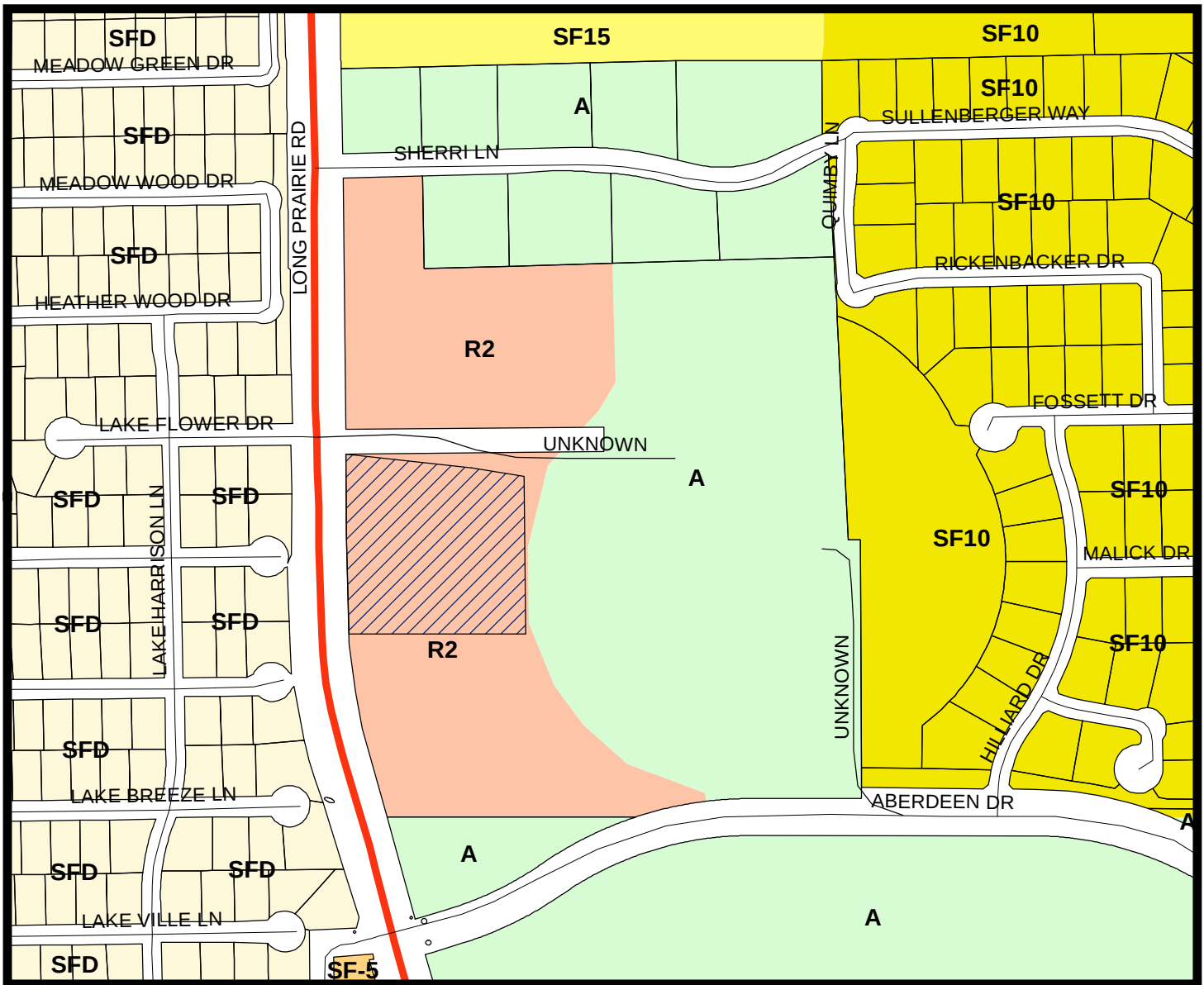
B. Application Details

1. Record Plat Package

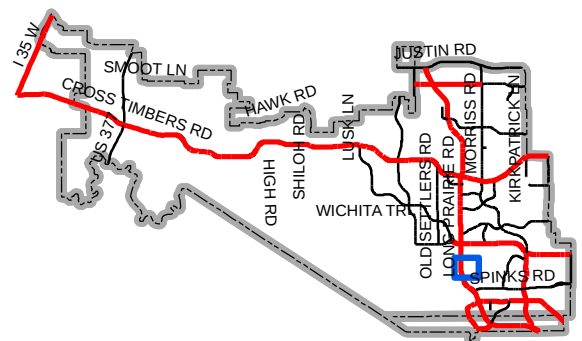
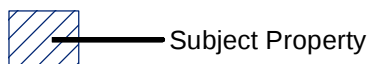
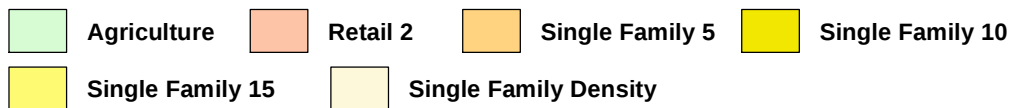


Vicinity Map

Reference Project: RC20-0015 & SP20-0027



LEGEND



Map Location



December 7, 2020

Mr. Chuck Russell, Town Planner
Planning Department
Town of Flower Mound
2121 Cross Timbers Rd
Flower Mound, Texas 75028

**Re: Long Prairie Plaza
1500 Long Prairie Rd**

Dear Mr. Russell,

Ridinger Associates, is pleased to inform you and the Town, of our client's intention to develop and build, two single (1) story, retail buildings, on the east side of Long Prairie Rd between Sherri Ln and Aberdeen Dr, a 4.184 acre tract located in the Town of Flower Mound. The buildings being proposed with this application will be built as one phase. This project will remain consistent with the architectural elements proposed within PD-157.

The zoning for this property is PD-157, which allows this type of use within its definition and this plan is in compliance with the conceptual site plan adopted with PD-157. We do not anticipate any request for exceptions to be needed for this project. The buildings are anticipated to be multi-tenant buildings.

We appreciate your consideration of our project and look forward to your favorable approval. Please call if you have any questions or comments.

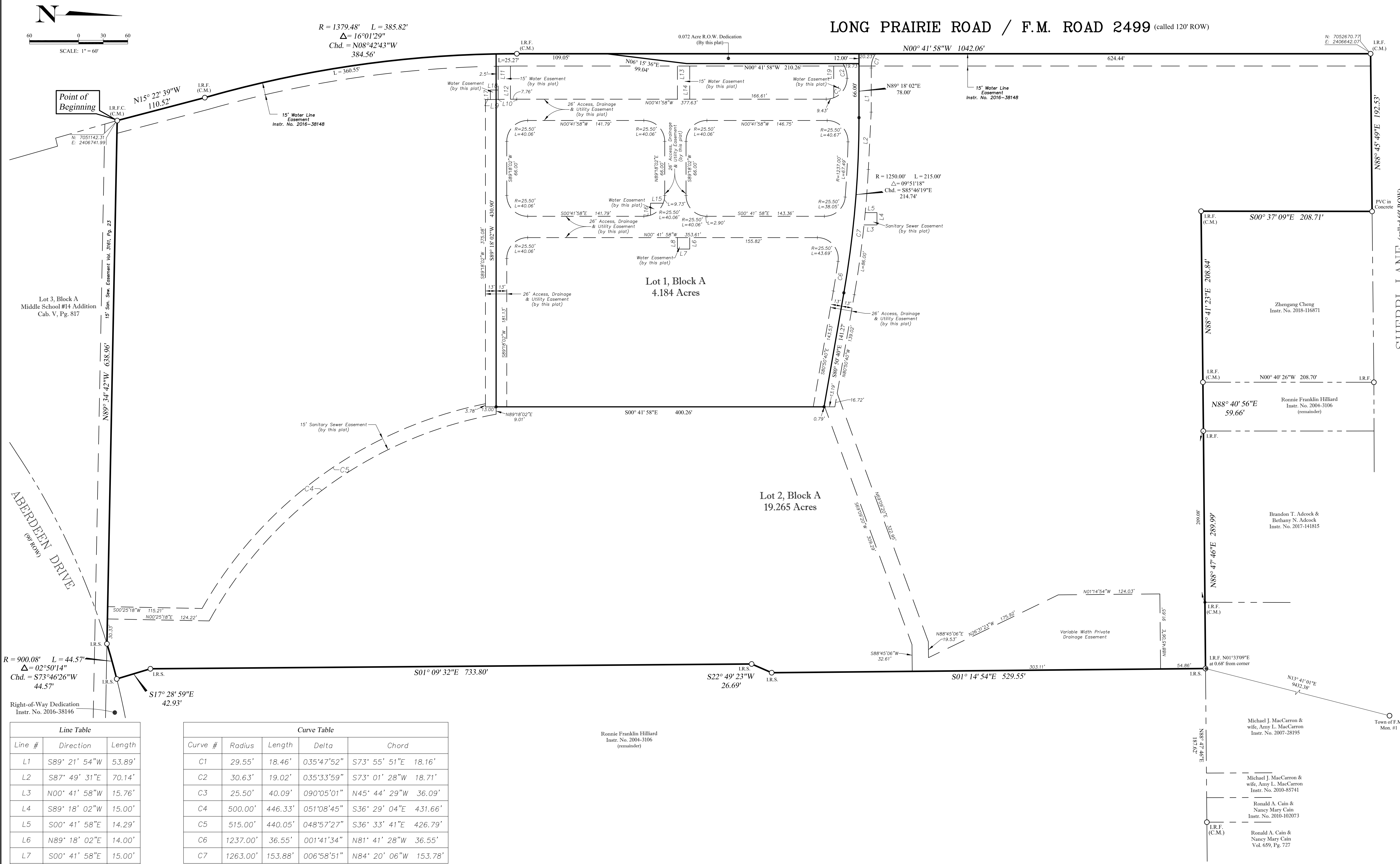
Thank You,

Ridinger Associates, Inc.
Firm No. 1969

A handwritten signature in blue ink, appearing to read 'J. Kilpatrick', is written over a faint circular stamp.

Mr. Jason R. Kilpatrick, P.E.
Engineer

Cc: file



STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, _____ is the owner of a 23.521 acre tract of land situated in the John White Survey, Abstract Number 1341, Denton County, Texas, and being a portion of a called 94.13 acre tract described by deed to Ronnie Franklin Hilliard, recorded under Instrument Number 2004-31036, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with orange cap stamped "G&A Consultants" found for corner being the southwest corner of the herein described tract, same point being the southwest corner of said Hilliard tract, being in the east right-of-way line of Long Prairie Road, also known as F.M. Road 2499, same point being the northwest corner of Lot 3, Block A of Middle School #14 Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof recorded in Cabinet V, Page 817, Plat Records, Denton County, Texas;

THENCE North 15 degrees 22 minutes 39 seconds East, with the east right-of-way line of said Long Prairie Road and the west line of said Hilliard tract, a distance of 110.52 feet to a 1/2 inch iron rod found for the beginning of a non-tangent curve to the right, having a radius of 1379.48 feet;

THENCE continuing on with the east right-of-way line of said Long Prairie Road and the west line of said Hilliard tract, and with said curve to the right, through a central angle of 16 degrees 01 minutes 29 seconds, whose chord bears North 08 degrees 42 minutes 43 seconds West at 384.56 feet, an arc length of 385.82 feet to a 1/2 inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner;

THENCE North 00 degrees 41 minutes 58 seconds West, continuing on with the east right-of-way line of said Long Prairie Road, a distance of 1042.06 feet to a 1/2 inch iron rod found for corner being the northwest corner of said Hilliard tract, same point being in the south right-of-way line of Sherri Lane;

THENCE North 88 degrees 45 minutes 49 seconds East, with the south right-of-way line of said Sherri Lane, a distance of 192.53 feet to a PVC pipe found in concrete for corner being the northwest corner of a tract of land described by deed to Zhengang Cheng, recorded under Instrument Number 2018-116871, O.P.R.D.C.T.;

THENCE South 00 degrees 37 minutes 09 seconds East, with the west line of said Cheng tract, a distance of 208.71 feet to a 1/2 inch iron rod found for corner being an ell corner of said Hilliard tract, same point being the southwest corner of said Cheng tract;

THENCE North 88 degrees 41 minutes 23 seconds East, with the south line of said Cheng tract, a distance of 208.84 feet to a 1/2 inch iron rod found for corner being an ell corner of said Hilliard tract, same point being the southeast corner of said Cheng tract;

THENCE North 88 degrees 40 minutes 56 seconds East, over and across said Hilliard tract, a distance of 59.66 feet to a 1/2 inch iron rod found for corner being the southwest corner of a tract of land described by deed to Brandon T. Adcock and Bethany N. Adcock, recorded under Instrument Number 2017-141815, O.P.R.D.C.T.;

THENCE North 88 degrees 47 minutes 46 seconds East, passing at 209.08 feet a 1/2 inch iron rod found for the southeast corner of said Adcock tract, continuing on for a total distance of 289.99 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the south line of a tract of land described by deed to Michael J. MacCarron and Amy L. MacCarron, recorded under Instrument Number 2007-28195, O.P.R.D.C.T., from which a 1/2 inch iron rod found bears North 01 degrees 33 minutes 09 seconds East at 0.68 feet;

THENCE South 01 degrees 14 minutes 54 seconds East, over and across said Hilliard tract, a distance of 529.55 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE South 22 degrees 49 minutes 23 seconds West, over and across said Hilliard tract, a distance of 26.69 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE South 01 degrees 09 minutes 32 seconds East, over and across said Hilliard tract, a distance of 733.80 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner;

THENCE South 17 degrees 28 minutes 59 seconds East, over and across said Hilliard tract, a distance of 42.93 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the north right-of-way line of Aberdeen Drive as described by right-of-way dedication deed recorded under Instrument Number 2016-38146, O.P.R.D.C.T., same point being the beginning of a non-tangent curve to the left, having a radius of 900.08 feet;

THENCE with the north right-of-way line of said Aberdeen Drive, and with said curve to the left, through a central angle of 02 degrees 50 minutes 14 seconds, whose chord bears South 73 degrees 46 minutes 26 seconds West at 44.57 feet, an arc length of 44.57 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being the northeast corner of said Lot 3, Block A of Middle School #14 Addition;

THENCE North 89 degrees 34 minutes 42 seconds West, with the north line of said Lot 3, a distance of 638.96 feet to the **POINT OF BEGINNING** and containing 23.521 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT _____, by and through its duly authorized officer, does hereby adopt this plat designated herein as **LONG PRAIRIE PLAZA**, an addition to the Town of Flower Mound, Denton County, Texas. The easements shown hereon are hereby reserved for the purposes as indicated.

The easements shown hereon are hereby reserved for the purposes as indicated. All rights-of-way are hereby reserved in fee simple to the Town of Flower Mound for municipal purposes. All streets, alleys and common areas shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

WITNESS my hand this ____ day of _____, 2021.

By: _____
(Authorized Agent)

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas

RECORD PLAT
of
LONG PRAIRIE PLAZA
Lots 1 & 2, Block A
and being 23.521 Acres out of
the John White Survey, Abstract Number 1341,
Town of Flower Mound, Denton County, Texas
-- 2021 --
Job No.: 20201205 Date: 10/7/2020 Drafted By: TO

FOR DENTON COUNTY USE ONLY
FOR DENTON COUNTY USE ONLY



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 3

NON-DISCRETIONARY ITEM

DATE: April 26, 2021

FROM: Chuck Russell, Principal Planner

ITEM: Consider a request for a Site Plan (SP20-0027 – Long Prairie Plaza) to develop two retail buildings. The property is generally located south of Sherri Lane and east of Long Prairie Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This project has a companion Record Plat application (RC20-0015) for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this site plan application is to develop two, one-story retail and restaurant buildings. The subject site is approximately 4.184 acres located within a larger 23.521-acre tract of land. The property is zoned Planned Development District-157 (PD-157) with Retail District-2 (R-2) uses and master-planned for Retail uses. On April 17, 2018, Town Council approved Ordinance No. 15-18 establishing PD-157. The ordinance included a concept site plan, concept landscape plan, and concept elevations.

The applicant proposes to develop two, one-story retail and restaurant buildings, each containing 8,590 square feet. The proposed development will be the first phase within PD-157. The approved conceptual site plan for this property contains 137,133 square feet of office, retail and restaurant uses located within multiple buildings. Future plats and site plans will be required to develop the remainder of PD-157.

The subject development requires 125 parking spaces. The proposed site plan provides 134 spaces, which is within the Town's allowable 20 percent deviation. Access to the site is provided via a new entrance on Long Prairie Road.

The building materials presented in the proposed elevations predominantly consist of brick, stone, and stucco, all of which are considered primary masonry materials. The architecture and colors comply with the concept elevations found within PD-157 and the Town's Urban Design Plan. The landscape plan provided depicts all trees required for the development.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

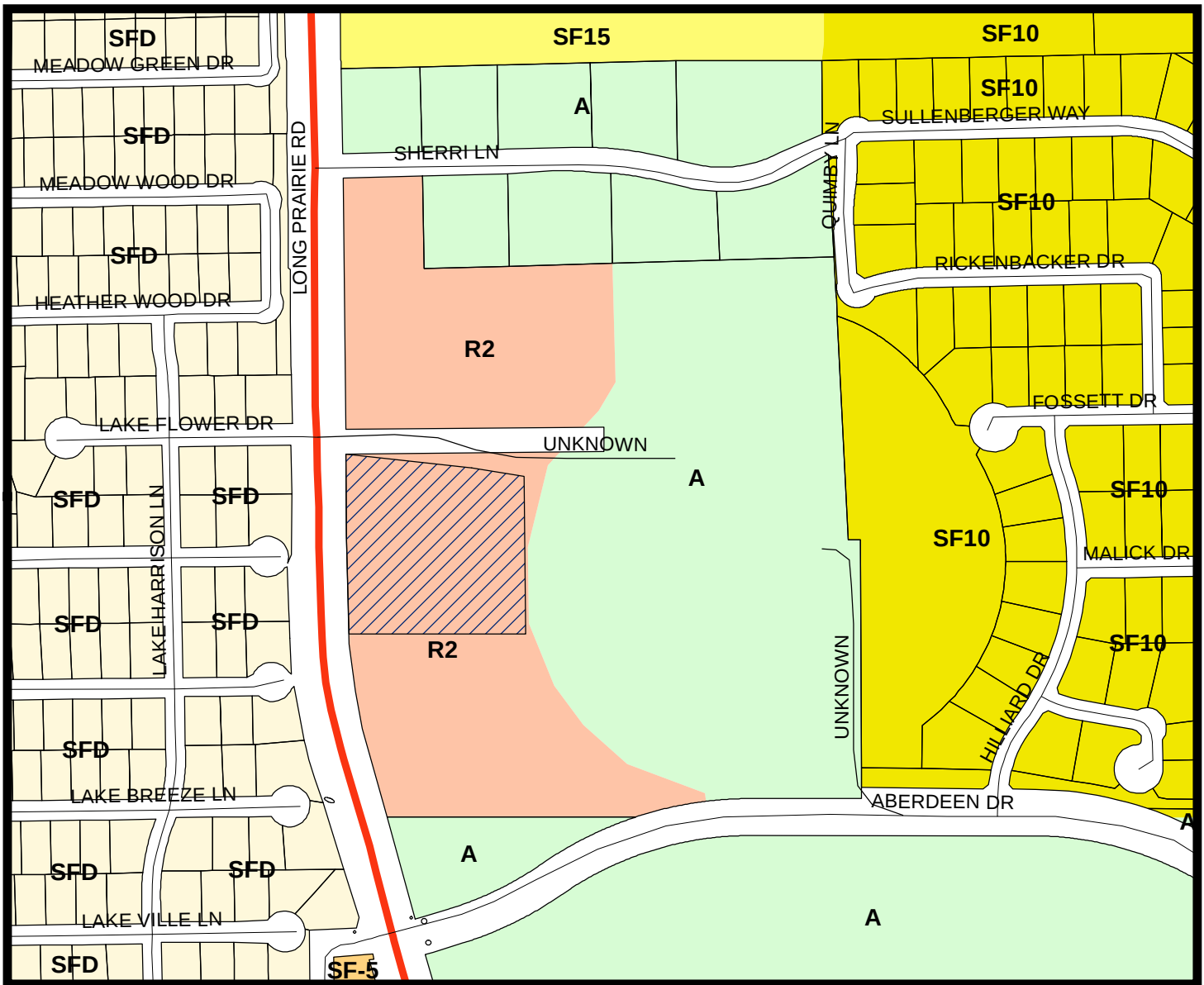
B. Application Details

1. Site Plan Package

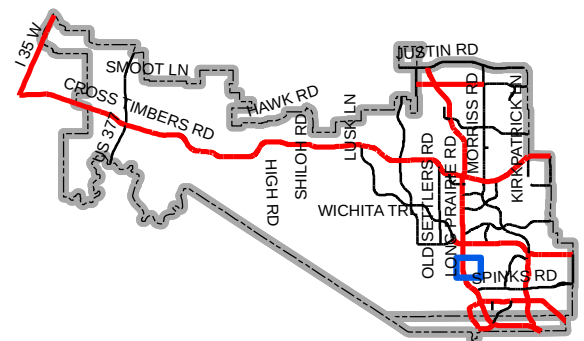
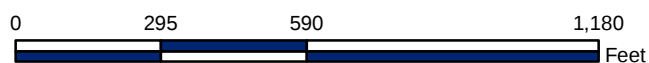
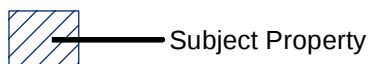
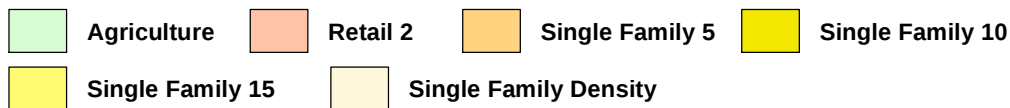


Vicinity Map

Reference Project: RC20-0015 & SP20-0027



LEGEND



Map Location



December 7, 2020

Mr. Chuck Russell, Town Planner
Planning Department
Town of Flower Mound
2121 Cross Timbers Rd
Flower Mound, Texas 75028

Re: Long Prairie Plaza
1500 Long Prairie Rd

Dear Mr. Russell,

Ridinger Associates, is pleased to inform you and the Town, of our client's intention to develop and build, two single (1) story, retail buildings, on the east side of Long Prairie Rd between Sherri Ln and Aberdeen Dr, a 4.184 acre tract located in the Town of Flower Mound. The buildings being proposed with this application will be built as one phase. This project will remain consistent with the architectural elements proposed within PD-157.

The zoning for this property is PD-157, which allows this type of use within its definition and this plan is in compliance with the conceptual site plan adopted with PD-157. We do not anticipate any request for exceptions to be needed for this project. The buildings are anticipated to be multi-tenant buildings.

We appreciate your consideration of our project and look forward to your favorable approval. Please call if you have any questions or comments.

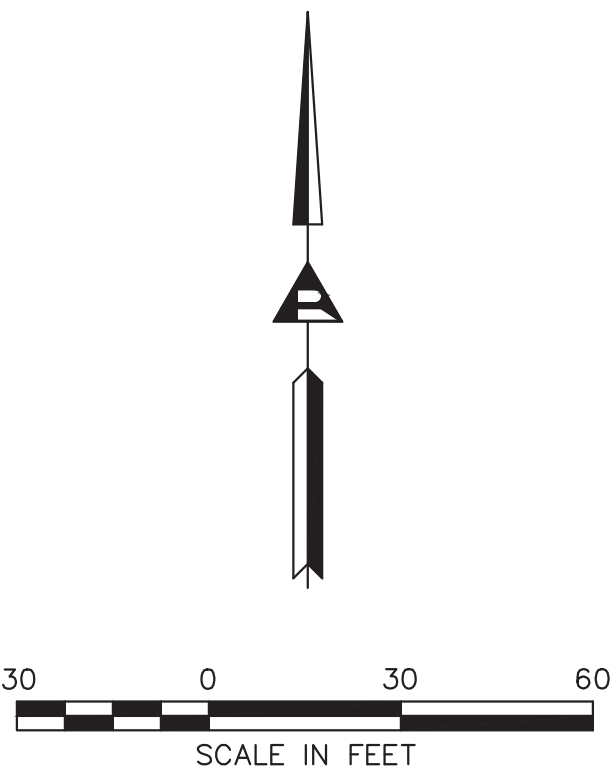
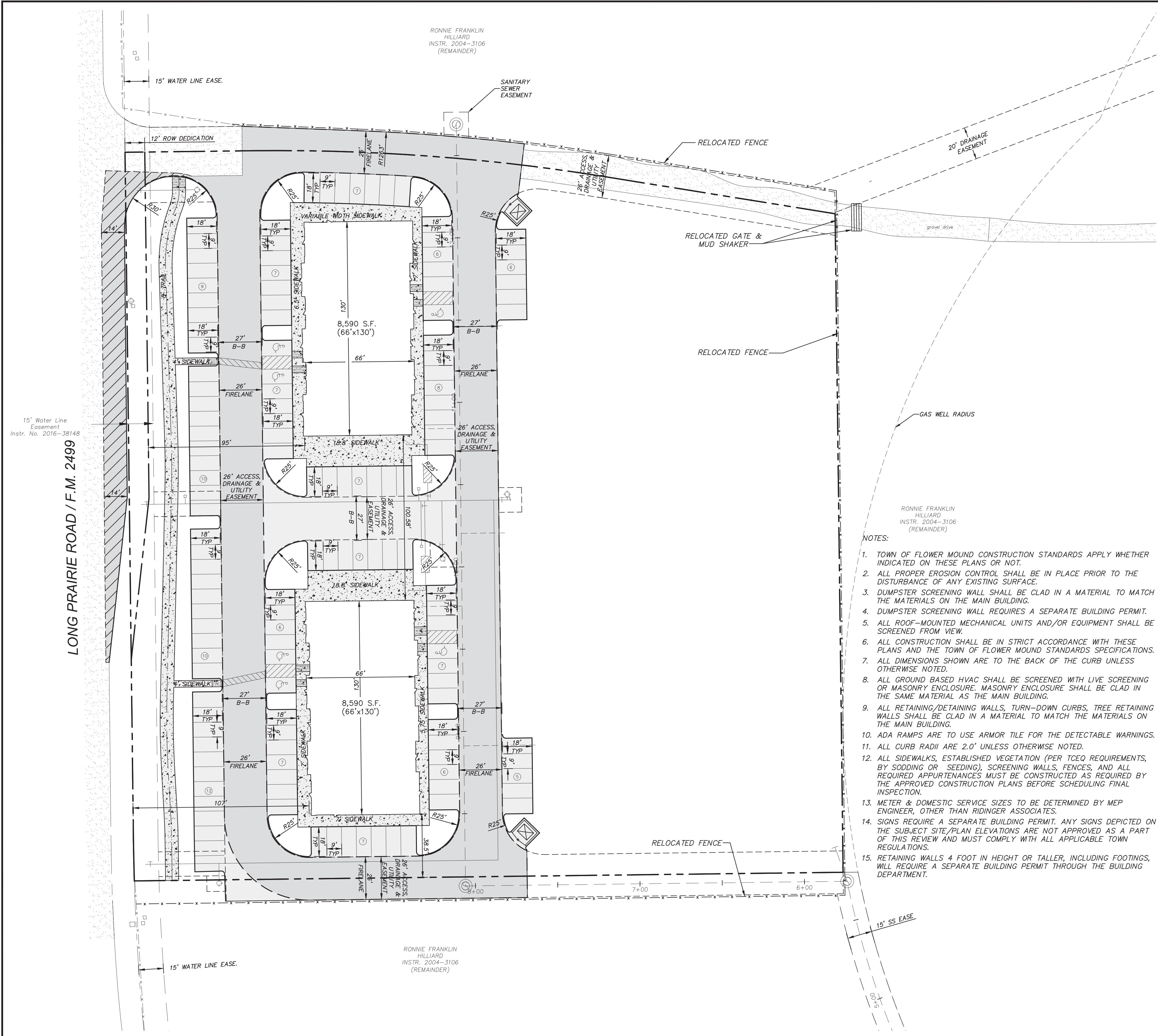
Thank You,

Ridinger Associates, Inc.
Firm No. 1969

A handwritten signature in blue ink, appearing to read 'J. Kilpatrick', is written over a faint circular stamp.

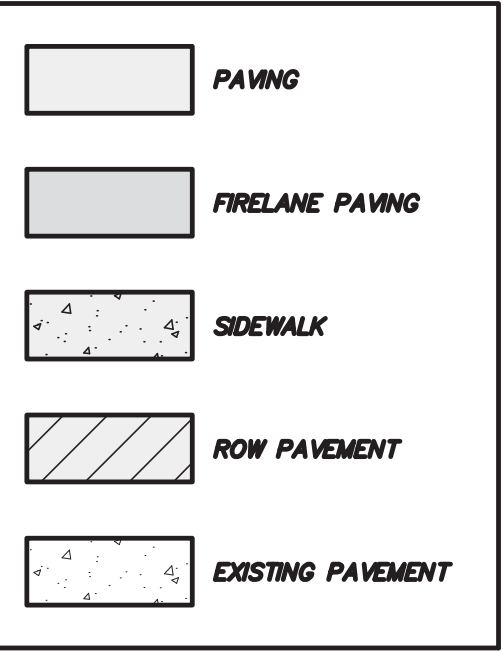
Mr. Jason R. Kilpatrick, P.E.
Engineer

Cc: file



SITE DATA TABLE		
PHYSICAL ADDRESS	1500 LONG PRAIRIE RD	
SITE AREA	4.184 acres / 182,264.74 s.f.	
ZONING	PD-157. R2 OFFICE/RETAIL	
CURRENT USE	UNDEVELOPED	
PROPOSED USE	RESTAURANT/RETAIL	
LOT COVERAGE DATA		
BUILDING COVERAGE	09.4% / 17,180 s.f.	
IMPERVIOUS AREA	46.0% / 83,864 s.f.	
PERVIOUS AREA	54.0% / 98,401 s.f.	
PARKING SUMMARY		
SURFACE PARKING	REQUIRED	PROVIDED
RETAIL (1 SP/250 SF)	11,180 SF 45	50
RESTAURANT (1 SP/75 SF)	6,000 SF 80	84
HANDICAP PARKING	5	6
TOTAL PARKING	125	134
BUILDING DATA		
BUILDING	1 STORY	
PEAK HEIGHT	33'-1-1/2"	
MEAN HEIGHT	29'-11-3/8"	
TOTAL SQUARE FOOTAGE	17,180 s.f.	

PAVING LEGEND



OWNER:
RONNIE FRANKLIN HILLIARD, TR
630 COPPER CANYON RD.
ARGYLE, TX 76226

ENGINEER/APPLICANT:
RIDINGER ASSOCIATES, INC
550 S. EDMONDS LANE, SUITE 101
LEWISVILLE, TEXAS 75067
TEL. (972) 353-8000

DEVELOPER:
EDMOND ELIAS, PE
CONSTRUCTION ENGINEERS, LLC
772 W. ROUND GROVE ROAD
LEWISVILLE, TX 75067
TEL: 469-471-4782

LONG PRAIRIE PLAZA
Being 4.184 acres Situated in the
John White Survey, Abstract No. 1341
in the
Town of Flower Mound
Denton County, Texas

- NOTES:
1. TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
 2. ALL PROPER EROSION CONTROL SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
 3. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 4. DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
 5. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
 6. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS AND THE TOWN OF FLOWER MOUND STANDARDS SPECIFICATIONS.
 7. ALL DIMENSIONS SHOWN ARE TO THE BACK OF THE CURB UNLESS OTHERWISE NOTED.
 8. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
 9. ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 10. ADA RAMPS ARE TO USE ARMOR TILE FOR THE DETECTABLE WARNINGS.
 11. ALL CURB RADII ARE 2.0' UNLESS OTHERWISE NOTED.
 12. ALL SIDEWALKS, ESTABLISHED VEGETATION (PER TCEQ REQUIREMENTS, BY SODDING OR SEEDING), SCREENING WALLS, FENCES, AND ALL REQUIRED APPURTENANCES MUST BE CONSTRUCTED AS REQUIRED BY THE APPROVED CONSTRUCTION PLANS BEFORE SCHEDULING FINAL INSPECTION.
 13. METER & DOMESTIC SERVICE SIZES TO BE DETERMINED BY MEP ENGINEER, OTHER THAN RIDINGER ASSOCIATES.
 14. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE/PLAN ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
 15. RETAINING WALLS 4 FOOT IN HEIGHT OR TALLER, INCLUDING FOOTINGS, WILL REQUIRE A SEPARATE BUILDING PERMIT THROUGH THE BUILDING DEPARTMENT.

No.	Date	Revisions	App.

Ridinger Associates, Inc.
Civil Engineers - Planners
Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8011

JASON R. KILPATRICK
130269
LICENSED PROFESSIONAL ENGINEER
05/08/21

LONG PRAIRIE PLAZA
FLOWER MOUND, TEXAS

SITE PLAN

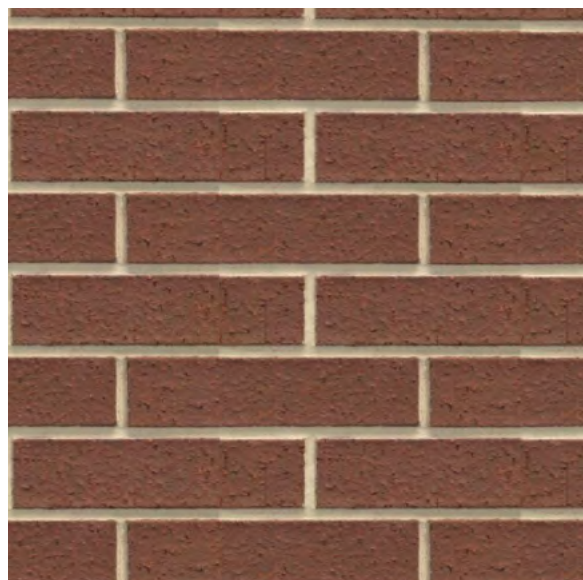
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Designed by: LDR
Drawn by: MAB
Checked by: JRK
Date: MARCH 8, 2021
Project No. 174-001



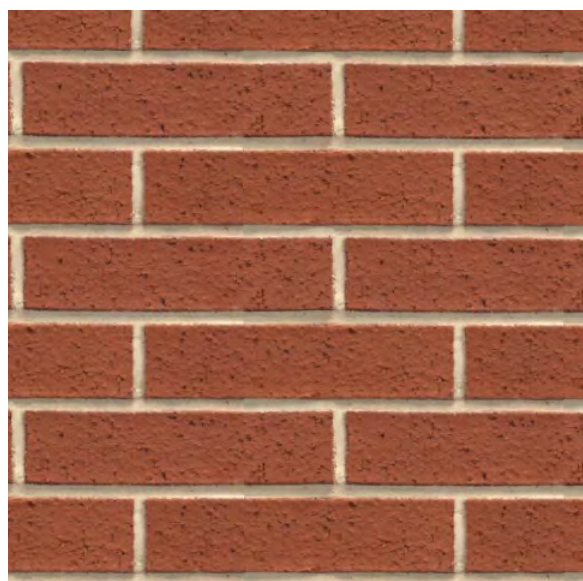
MATERIAL SAMPLE BOARD



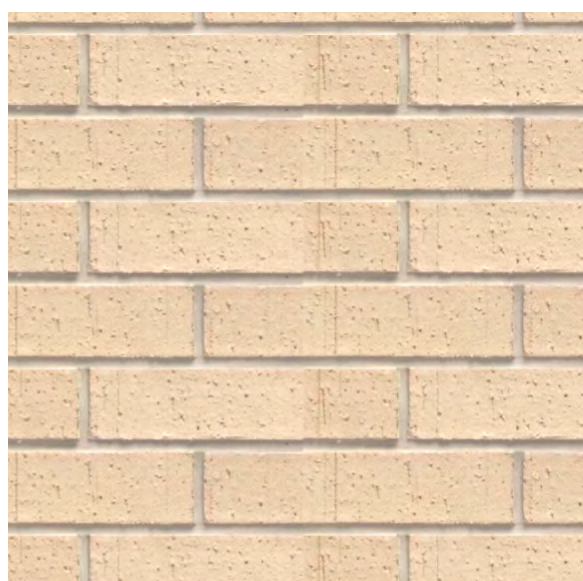
01
STONE
GRANBURY STONE



02
BRICK
ACME BRICK
AMARETTO



03
BRICK
ACME BRICK
CRIMSON



04
BRICK
ACME BRICK
DOVE GRAY

05
STUCCO
SHERWIN WILLIAMS
BEIGE, TBD

NOT USED



06
STUCCO
SHERWIN WILLIAMS
TAUPE, TBD

01	GRANBURY STONE
02	BRICK: ACME, AMARETTO, KING SIZE
03	BRICK: ACME, CRIMSON, KING SIZE
04	BRICK: ACME, DOVE GRAY, KING SIZE
05	(NOT USED)
06	STUCCO: TAUPE
07	STOREFRONT: BRONZE
08	STANDING SEAM METAL ROOF: BRONZE
09	METAL AWNING

ELEVATION NOTES

1. ALL LOW PITCH ROOFS AND MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE URBAN DESIGN PLAN.
2. ANY PROPOSED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT.

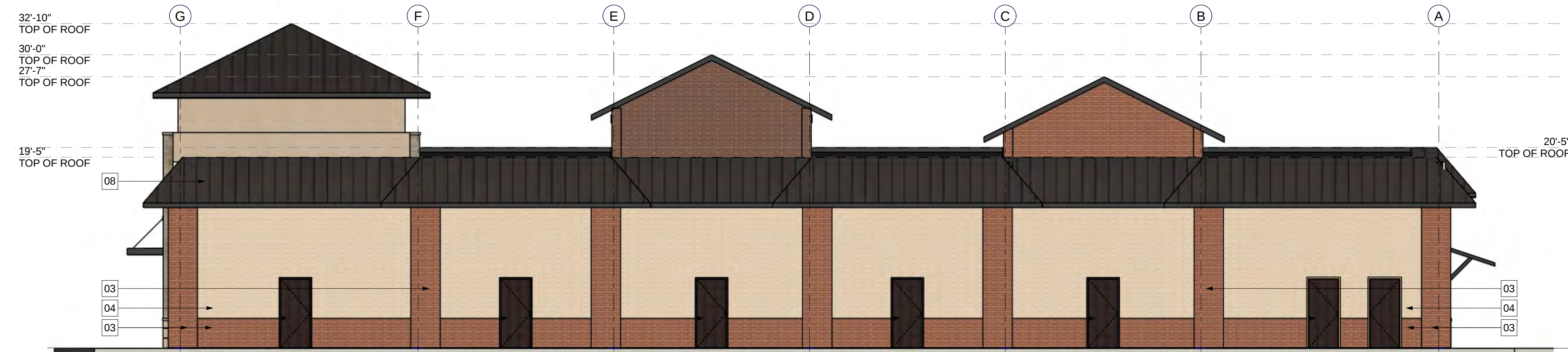
PRIMARY MASONRY TOTALS

BRICK	3,902 sf	73.2%
STONE	1,138 sf	21.4%
STUCCO	286 sf	5.4%
TOTAL BUILDING	5,326 sf	100%

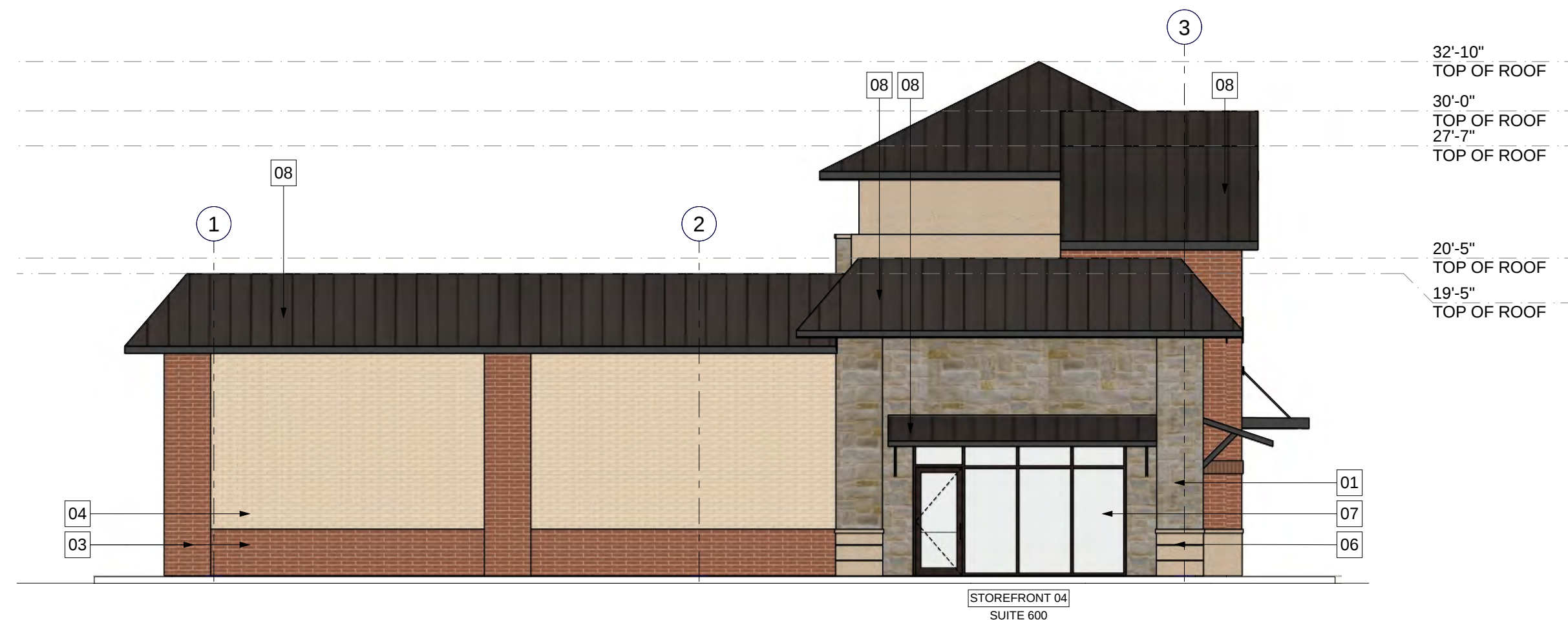
MATERIAL TABULATION CHART

		NORTH	SOUTH	EAST	WEST
1	TOTAL FACADE	1051 sf	1,279 sf	1,962 sf	2,698 sf
2	FACADE EXCLUSIVE OF DOORS & WINDOWS	913 sf	1,111 sf	1,794 sf	1,655 sf
3	DOORS & WINDOWS	138 sf	168 sf	168 sf	1,042 sf
4	PRIMARY MASONRY TOTALS (MINIMUM 90%)	913 sf 100% OF FACADE (2)	1,111 sf 100% OF FACADE (2)	1,794 sf 95% OF FACADE (2)	1,655 sf 100% OF FACADE (2)
	BRICK	622 sf 68% OF TOTAL (4)	620 sf 55.8% OF TOTAL (4)	1,710 sf 100% OF TOTAL (4)	950 sf 57.4% OF TOTAL (4)
	STONE	208 sf 23% OF TOTAL (4)	366 sf 34.7% OF TOTAL (4)	0 sf 0% OF TOTAL (4)	544 sf 32.8% OF TOTAL (4)
	STUCCO	83 sf 9% OF TOTAL (4)	105 sf 9.5% OF TOTAL (4)	84 sf 5% OF TOTAL (4)	162 sf 9.8% OF TOTAL (4)

PEAK BUILDING HEIGHT: 32'-10"



4 EAST (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH (LEFT) ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH (RIGHT) ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



This plan are intended to provide the basic construction information necessary to substantially complete this structure. These construction documents must be verified and checked by the builder or architect in authority of this project. Any discrepancy, error, omission, or change, if any, is to be brought to the attention of the Designer prior to any construction. The Designer shall not be responsible for any errors or omissions that may result from incomplete or incorrect information provided by the owner. The Designer shall not be responsible for any errors or omissions that may result from incomplete or incorrect information provided by the owner. The Designer shall not be responsible for any errors or omissions that may result from incomplete or incorrect information provided by the owner.

OF ALL RIGHTS RESERVED

LONG PRAIRIE PLAZA
SOUTH BUILDING
1500 LONG PRAIRIE ROAD
FLOWER MOUND, TEXAS

**WILLIAM PECK &
ASSOCIATES INC.**
A R C H I T E C T S
Lewisville, Tx 972) 221-1424

REVISIONS

2021-04-21

Q

ISSUE DATE: 04.06.2021

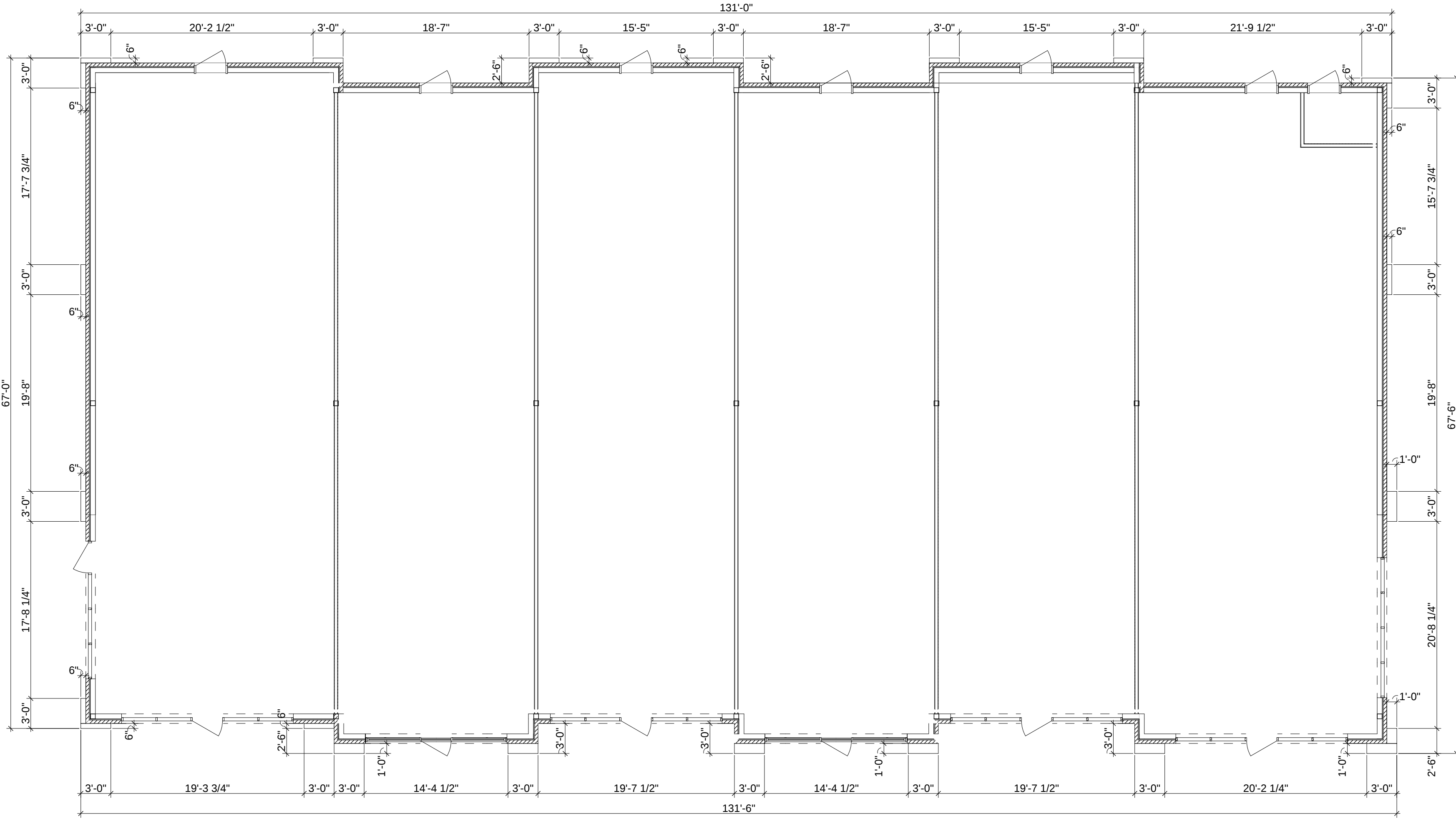
Scale: REF. PLAN

Drawn: JB

Job: 20-024-003

Sheet Number:

A-200



1 ARCHITECTURAL FOOTPRINT

SCALE: 1/8" = 1'-0"

These plans are intended to provide the basic construction information necessary to substantially complete this structure. These construction documents must be verified and checked by the builder or person in authority of this project. Any discrepancy, error, and/or omission shall be the responsibility of the owner. The owner shall be responsible for obtaining all necessary permits and for the coordination of all construction activities. The owner shall be responsible for the completion of all construction services for: foundation, HVAC, and structural, prior to construction of any part. NOTE: All work shall be done in accordance with the applicable building code and must be strictly deigned and followed before and during construction. THESE CONSTRUCTION DOCUMENTS AND HEREIN ARE THE PROPERTY OF WILLIAM PECK & ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED IN ANY WAY BY ANY MEANS, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF WILLIAM PECK & ASSOCIATES, INC. ALL RIGHTS RESERVED.

EDMOND PLAZA
1500 LONG PRAIRIE ROAD
FLOWER MOUND, TEXAS

WILLIAM PECK &
ASSOCIATES INC.
ARCHITECTS
Lewisville, Tx
972) 221-1424

REVISIONS	
FLOOR PLAN	
ISSUE DATE:	
Scale:	REF. PLAN
Drawn:	JB
Job:	20-024-003
Sheet Number:	A-100



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: April 26, 2021

FROM: Chuck Russell, Principal Planner

ITEM: Public Hearing to consider an ordinance for rezoning (ZPD21-0001 – Brightstar PD-83 Amendment) to amend Planned Development No. 83 (PD-83) with non-residential uses to modify Exhibit C, Section C.8.h. “Parking Lot Landscaping,” and a request for a deviation to the required parking standard pursuant to Section 82-73 of the Code of Ordinances. The property is generally located north of Lakeside Parkway and east of Garden Ridge Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Town Council, which is scheduled for May 17, 2021.

II. APPLICATION ANALYSIS

The purpose of this application is twofold. The first request is to amend a specific section of Planned Development District-83 (PD-83) to allow for surface parking to be located within an existing truck court without installing landscape islands containing trees. The second request is to exceed the Town’s allowable 20% parking deviation. The site is developed with a 274,994 square-foot office and warehouse facility.

III. PD-83 AMENDMENT

According to the applicant’s letter of intent, the existing building was constructed on a speculative basis with car parking on its western and southern exposures and a combination of truck court and car parking on the eastern exposure. The applicant secured a tenant with a staff of approximately 500 people, necessitating additional parking than what is currently on site. The applicant proposes to convert a large portion of the existing truck court to surface parking for employees. For additional information on the rationale for this request, please refer to the attached Letter of Intent.

Exhibit C, Section C.8.h. “Parking Lot Landscaping” of PD-83 states:

Landscaping of parking lots is primarily achieved by planting within the Landscape Setback Buffer. Additional planting shall be adequately distributed throughout

parking lots as follows (except for the parking lot areas within any truck court/ truck apron):

- i. Landscape islands within parking lots shall be provided. These islands shall be located within the parking lot itself and of sufficient size to break the expansiveness of large parking lots as follows:
 - (a) Landscape Islands shall be provided between parking spaces, the width of the islands shall be a minimum of 6 feet, and the maximum number of spaces between any two islands shall be 20 parking spaces. Landscape pockets located within the parking field shall be a minimum of 100 square feet (inside curb dimension). Designs must allow a minimum of 3'-0" clearance between the front edge of the curb and the trunk of trees planted within the islands.
 - (b) Parking lots shall provide canopy trees at a ratio of one canopy tree per 5,500 s.f. of the total parking lot square footage but no less than one tree per landscape island. Calculation of this area shall not include parking lots or parking areas combined with truck loading aprons. Canopy tree arrangements shall be planted within the landscape islands described above (to the extent possible then located at the parking lot perimeter if sufficient space is not available). Landscape Islands within parking lots shall be exclusively landscaped with trees, groundcovers, and/ or turf and provide stepping stones at the nose of such islands to accommodate pedestrian traffic in and out of cars. All planted areas within the Parking islands shall be irrigated using bubblers for all trees, drip systems for groundcovers, and spray heads for all turf areas to conserve water usage.

The above language requires the applicant to install landscape islands and trees in the existing truck court to accommodate the proposed employee parking. The proposed amendment to PD-83 would eliminate this requirement specifically for the subject property and would not impact any other properties within PD-83. Language will be added to PD-83 stating:

With the exception of the area identified for potential truck court use on Lot 2R, Block B of the Lakeside Ranch Business Park (commonly described as 350 Lakeside Parkway), Exhibit C, Section C.8.h. "Parking Lot Landscaping" applies as follows:

IV. PARKING DEVIATION

Section 82-73 of the Town's Code of Ordinances provides for alternative off-street parking requirements that reduce or exceed required parking by greater than 20 percent:

Deviation of required spaces. The amount of parking can be reduced or increased by 20 percent. Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation can be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.

Parking study. A parking study required by this article shall be reviewed by the town along with any traffic engineering and planning data that are appropriate to the

establishment of a parking requirement for the use proposed. A parking study, when required by this article, shall include, but not be limited to, estimates of parking requirements based on recommendations in studies such as those from the Urban Land Institute, the Institute of Traffic Engineers, or the Traffic Institute, and based on data collected from uses or combinations of uses that are the same or comparable to the proposed use. Comparability shall be determined by density, scale, bulk, area, type of activity and location. The analysis must include a shared parking analysis based on the mixture of uses and corresponding peak demand. Specifically, the parking required for restaurants should be included in the study and be determined by the number, location, and type of restaurants proposed. The study shall document the source of data used to develop recommendations.

The required parking for the warehouse center is calculated at the ratio of one space per 2,000 square feet. The Town Council recently approved a change in the required parking ratio for office uses from one space per 300 square feet to one space per 250 square feet which has been incorporated into the applicant's request. The total required parking is 231 spaces. With the allowable 20 percent deviation, the maximum number of parking spaces permitted on the site using the proposed ratios would be 277 spaces.

The previously approved site plan indicated there would be a total of 347 spaces on site. A total of 304 spaces currently exist. The applicant is now proposing to add 195 net spaces with this application application for a total of 499 cumulative spaces, which is 222 spaces over the allowable 20 percent deviation. As required by the Town's parking standards, the applicant has provided a parking study to demonstrate the need for excess parking [see Attachment A(3)].

The attached landscape plan depicts the existing and proposed landscape buffer and parking lot trees. Under the current PD-83 standards, the applicant would have to provide 12 trees in parking lot islands to accommodate the proposed truck court parking spaces. The applicant has located these 12 trees throughout the site. The applicant is also providing 4,914 square feet of parking lot landscaping in excess of the Code requirement and additional 2,300 square feet of enhanced landscaping as a proposal to satisfy the mitigation requirements for excess parking.

V. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Zoning Amendment requests. Project No. ZPD21-0001 had a total of 7 Property Owner Notifications mailed. At the time this report was written, the Town had not received any items of correspondence in support or in opposition to the request.

VI. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Parking Study

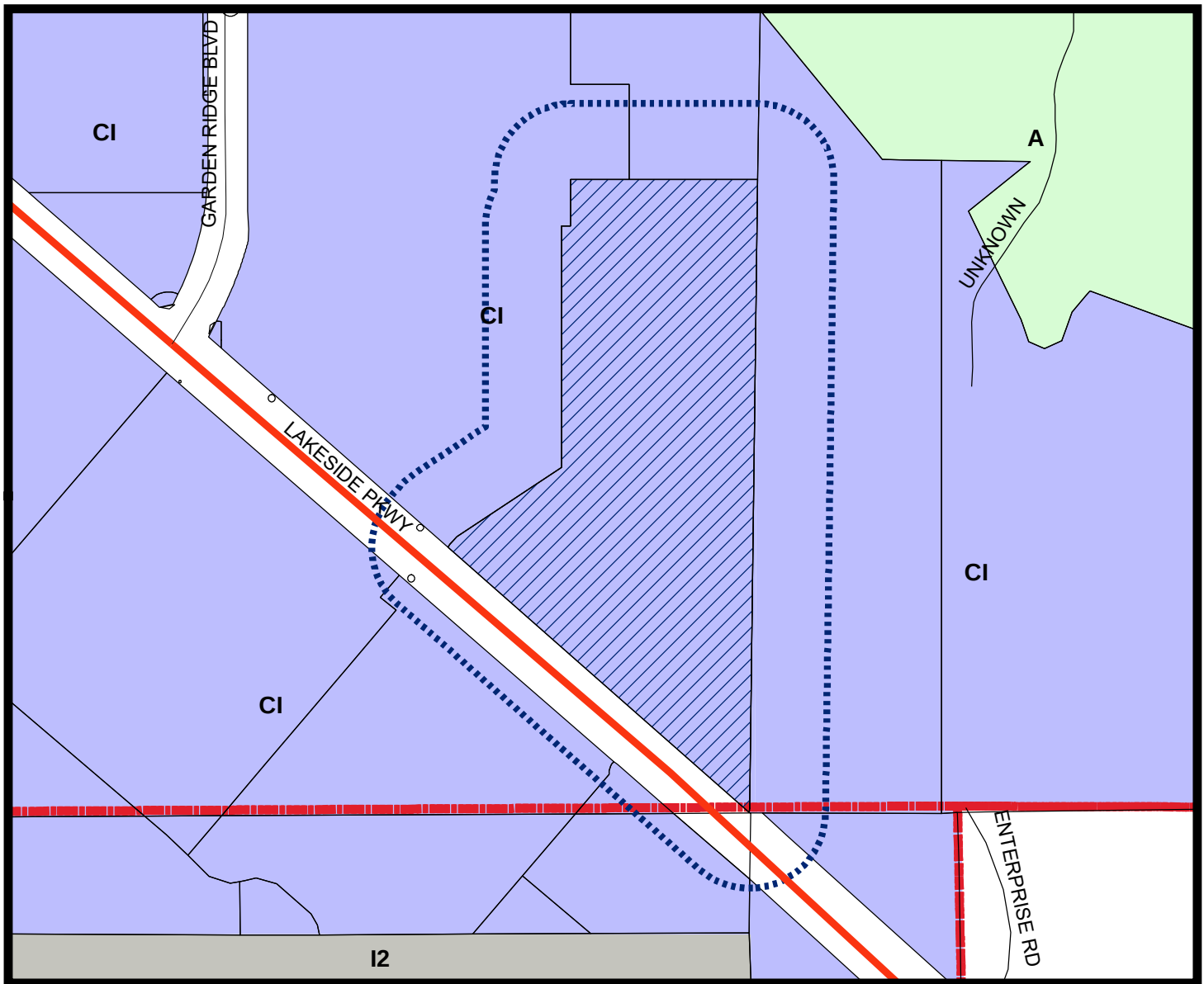
B. Application Details

1. Proposed Site and Landscape Plans

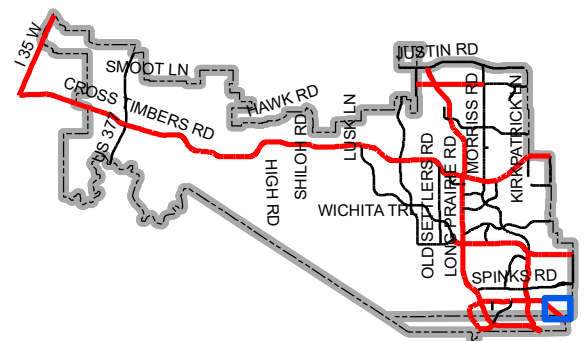
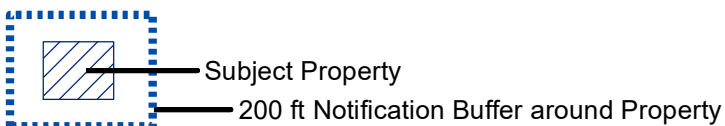


Vicinity Map

Reference Project: ZPD21-0001



LEGEND



Map Location

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.

April 21, 2021

● Mr. Chuck Russell
Town of Flower Mound – Planning Department
2121 Cross Timbers
Flower Mound, Texas 75028

RE: Brightstar
Lakeside Ranch 350
Flower Mound, Texas

Dear Mr. Russell:

The Owner, Duke Realty, is submitting the Tenant Improvements of Brightstar in Lakeside Ranch 350 on Lakeside Parkway for Site Plan Approval. In addition to requesting to Amend Planned Development No 83 (PD-83), the Owner and Tenant are requesting two variances from Town of Flower Mound requirements.

- Accept the Parking Study provided that shows the need for 499 parking spaces for the tenant Brightstar. The additional spaces have been requested by the Tenant to meet their needs. They will be provided in the existing truck court areas. No additional paving will be added, it will only be striped.
- Deviate parking in excess of 20% per Ordinance Section 82-73 Item 1. In the efforts of mitigating, they are proposing to add 12 trees and over 2,000 square feet of landscaping.

Thank you for your consideration.

Sincerely,



Trina Burris



14241 Dallas Parkway, Suite 1000
 Dallas, TX 75254
 972.361.6700
 dukerealty.com

January 28, 2021

Lexin Murphy
 Director of Planning Services
 Town of Flower Mound
 2121 Cross Timbers Road
 Flower Mound, TX 75028

Re: Letter of Intent – PD-83 Amendment for
 350 Lakeside Parkway Parking

Dear Ms. Murphy:

This Letter of Intent is requesting to Amend PD-83 with the attached new language. It will allow this location more flexibility within the Landscaping Requirements that are associated with the recently completed Lakeside 350 building at 350 Lakeside Parkway.

Duke Realty's Lakeside 350 building was constructed as a 274,994 square foot Class A warehouse building located upon 18.23 acres (Lot 2B of the Lakeside Ranch Business Park) within Flower Mound's PD 83 zoning district. The building was constructed on a speculative basis with car parking on its western and southern exposures and a combination of truck court and car parking on the eastern exposure. This building was permitted, constructed and completed in accordance with the Town's zoning landscaping and building ordinances, codes and regulations.

We recently secured a lease for the entire Lakeside 350 building with Brightstar Care. This new corporate tenant anticipates having staffing of approximately 500 persons based at this building; Duke Realty has proposed a striping modification to existing pavement on the eastern side of the site to accommodate this tenant's employees.

Even though we have high expectations of retaining Brightstar as a long term tenant at this location, Duke Realty needs to maintain the flexibility to retenant 350 Lakeside should Brightstar choose to locate elsewhere.

During the review of the tenant specific plans for Brightstar, Town staff indicated that we would need to interject approximately 12 trees into the existing paved areas on the eastern exposure of the building in order to adhere to the codes as written. This Letter of Intent respectfully requests a PD-83 Amendment that will allow our modification to the use of existing site pavement be exempted from this requirement.

We have requested this amendment for several reasons. First and foremost, special care has been given to the moisture conditioning of the building pad and truck court pavements to ensure their strength and stability over the life of this building. Penetrating this area to accommodate the requested landscaping will damage the integrity of this engineered system. Additionally, we try and locate required landscaping in areas of our sites that will provide (i) the least disruption to our present and future tenants enjoyment of their lease premises, (ii) the most impact to the aesthetic appeal of our development to our tenants and the general public (any trees in this truck court will



14241 Dallas Parkway
Suite 1000
Dallas, TX 75254
www.dukerealty.com

not provide additional screening from Lakeside Parkway) and (iii) the highest likelihood that plant material will not only remain alive, but be allowed to thrive to maturity.

Although we believe we have provided an attractive and robust landscaping plan with the initial development of this site, if it would please the Town to see the additional 12 trees used in a location where they can thrive and be most impactful we are certainly open to that thought.

Thank you for the opportunity to share our thoughts and intent relative to this PD-83 Amendment request. By granting this modification you will provide Brightstar with a building that functions best for their existing and future operational needs and allow Duke Realty to remain prepared to satisfy the needs of our quality tenants over the life of this development.

Should further information be needed to help the Town understand this request, please contact me at my direct number, 972.361.6717 or by email at Jeff.Thornton@dukerealty.com.

Regards,

DUKE REALTY CORPORATION

A handwritten signature in blue ink, appearing to read "Jeff Thornton", with a long horizontal flourish extending to the right.

Jeff D. Thornton
Regional Senior Vice President

Attached: Amended PD-83 (from the Town of Flower Mound)

November 24, 2020

PK# 2283-20.599

PARKING STUDY

Project:

Brightstar Office/Warehouse

In Flower Mound, Texas

Prepared for:

Town of Flower Mound

On behalf of:

Meinhardt & Associates Architects, P.L.L.C.

Prepared by:

Steve E. Stoner

Steve E. Stoner, P.E., PTOE



7557 Rambler Road, Suite 1400
Dallas, Texas 75231-2388
(972) 235-3031 www.pkce.com
TX.REG: ENGINEERING FIRM F-469
TX. REG. SURVEYING FIRM LS-100080-00

November 24, 2020



PARKING STUDY
Brightstar Office/Warehouse
Flower Mound, Texas

TABLE OF CONTENTS

INTRODUCTION	1
<i>Project Description</i>	1
Parking ANALYSIS	2
<i>Standard Code Requirements</i>	2
<i>Parking Demand</i>	2
SUMMARY OF FINDINGS	3

LIST OF EXHIBITS:

Exhibit 1. Site Location Map

LIST OF TABLES:

Table 1. Development Program Summary

Table 2. Base Code Parking Requirement (No Mitigation)

November 24, 2020



INTRODUCTION

The services of **Pacheco Koch** (PK) were retained by **Meinhardt & Associates Architects, P.L.L.C.** on behalf of a proposed building tenant, *Brightstar*, to conduct a Parking Study for the proposed office-warehouse use located in the Lakeside Ranch Business Park in Flower Mound, Texas. A proposed site plan provided by Duke Realty and a site location map (**Exhibit 1**) are provided at the end of the report.

Brightstar is seeking to occupy the existing warehouse building at 350 Lakeside Parkway. However, to provide sufficient parking for the User, conversion of existing truck docks to passenger-vehicle parking is required. In accordance with the Town of Flower Mound ordinances, a Parking Variance is required for any development that requests to deviate more than 20% of the base code requirement.

This Parking Study was prepared in accordance with industry and local standards by registered professional engineers employed by Pacheco Koch. Pacheco Koch is a licensed engineering firm based in Dallas, Texas, that provides professional services in traffic engineering, transportation planning, parking analysis, and related fields.

Project Description

Brightstar provides support for mobile devices. The proposed site will consolidate the company's regional operations into one, central facility. The warehouse portion of the business houses shipping and receiving, device testing and repair, product fulfillment, and other functions. Based upon information provided to PK, *Brightstar* plans to solely occupy the entire 274,994 square feet and ultimately add a new mezzanine to increase office space. A summary of the anticipated development program and employee counts is provided in **Table 1**.

Table 1. Development Program Summary

PHASE	USE	AMOUNT	ANTICIPATED NUMBER OF EMPLOYEES
Initial	Office and Support	18,029 SF	50
	Warehouse	256,965 SF	400 (one, 8-hour shift)
Ultimate	Office and Support	25,529 SF*	100
	Warehouse	256,965 SF	800 (≈400 per shift) (two, 8-hour shifts)

NOTE: The development program provided above is based upon the most current and complete information available at the time of this study publication.

* Includes addition of 7,500 SF of office mezzanine.

November 24, 2020



The subject site currently provides 304 parking spaces. The Owner propose to convert existing truck docks to parking spaces that will add 195 for a total of 499 parking spaces.

The site is zoned Campus Industrial per Planned Development No. 83.

PARKING ANALYSIS

Standard Code Requirements

As outlined in Sections 82-73 and 82-74 of the Town of Flower Mound Code of Ordinances, the parking requirement for the property is calculated by direct application of the rates listed for the respective land use with applicable adjustments as outlined in the Ordinance. A summary of the resulting net parking requirement is summarized in **Table 2**.

Table 2. Base Code Parking Requirement (No Mitigation)

LAND USE	AMOUNT	RATIO	BASE PARKING SPACES REQUIRED
Office, general business and professional	25,529 SF	1 space per 300 SF	Base: 85 (+20% = 102, -20% = 68)
Warehouse	256,965 SF	1 space per 2,000 SF	Base: 128 (+20% = 154 -20% = 103)

Under the base code parameters (with no adjustments for site mitigation), 213 parking spaces are required with an allowable +/-20% range of 171 to 256 spaces. The proposed parking supply of 499 spaces represents a 131% increase.

Parking Demand

As described in the Project Description section, the User will initially have about 450 employees (50 office, plus one shift of 400 in the warehouse) on site and can ultimately increase to approximately 500 on site simultaneously (100 office, plus 400 per shift in the warehouse). Consideration of factors such as absenteeism (vacation, sick leave, etc.) and alternate travel modes other than single-occupant vehicles (e.g., ridesharing, drop-off/pick-up, etc.) means that one parking space per employee is not necessarily required. However, it is believed that the vast majority of employees will drive alone and require an individual parking space. [NOTE: An additional buffer of parking spaces may be required if shift changes are back-to-back. Staggering shift schedules and/or allowing a gap between shifts may reduce parking need.]

As a point of reference, the **Institute of Transportation Engineers (ITE) Parking Generation Manual** (5th Edition) projects that, for a 'manufacturing' uses, the

November 24, 2020



average peak parking demand is 0.81 parking spaces per employee (range of rate: 0.28-1.27), or approximately 365 parked vehicles, initially/405 parked vehicles ultimately. Hence, the proposed parking supply of 499 spaces is generally consistent with this projection. [NOTE: 'manufacturing' is not the exact description of the proposed use; however, it is the most similar use for which parking demand data is provided by ITE.]

SUMMARY OF FINDINGS

The following findings are based upon buildout of the subject property as described in the *Project Description* section of this report.

FINDING: The proposed User will employ approximately 450 employees initially. Ultimately, up to 900 employees (500 on site, simultaneously) are anticipated.

FINDING: The Owner proposes to convert existing truck docks to parking spaces in order to accommodate the proposed User. After the conversion, the site will provide 499 parking spaces for the User.

FINDING: Under the standard code parameters, 213 parking spaces (or a +/-20% range of 171-256 spaces) are required. The proposed supply of 499 represents a +131% deviation from the base requirement, which requires a Parking Variance.

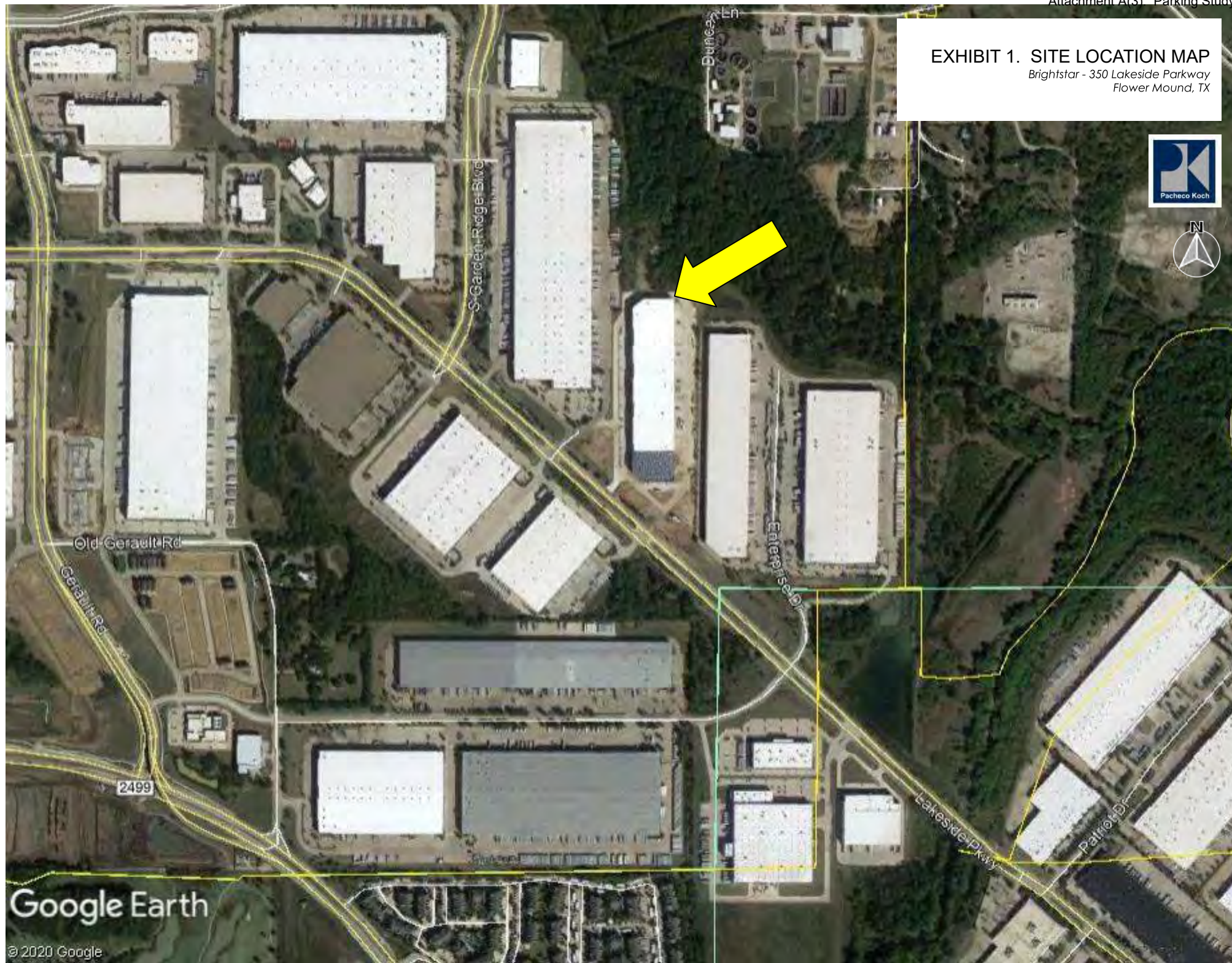
FINDING: The Institute of Transportation Engineers (ITE) *Parking Generation Manual* (5th Edition) finds that the average parking demand rate for a 'manufacturing' use is 0.81 (range: 0.28-1.27) parking spaces per employee.

FINDING: The proposed parking supply of 499 parking spaces appears to be a reasonable supply for an ultimately on-site employee population of approximately 500 persons.

END OF MEMO

EXHIBIT 1. SITE LOCATION MAP

Brightstar - 350 Lakeside Parkway
Flower Mound, TX





14241 Dallas Parkway, Suite 1000
Dallas, TX 75254
972.361.6700 • 972.361.6800 (fx)

Client / Consultant 1

MEINHARDT & ASSOCIATES ARCHITECTS P.L.L.C.
14643 DALLAS PARKWAY, SUITE 636
DALLAS, TEXAS 75254
972-980-8980



11.23.2020

Professional Seal

LAKESIDE RANCH 350
350 LAKESIDE PARKWAY
FLOWER MOUND, TEXAS
BRIGHTSTAR - PHASE I

ISSUANCES

#	Description	Date
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DRAWING INFORMATION

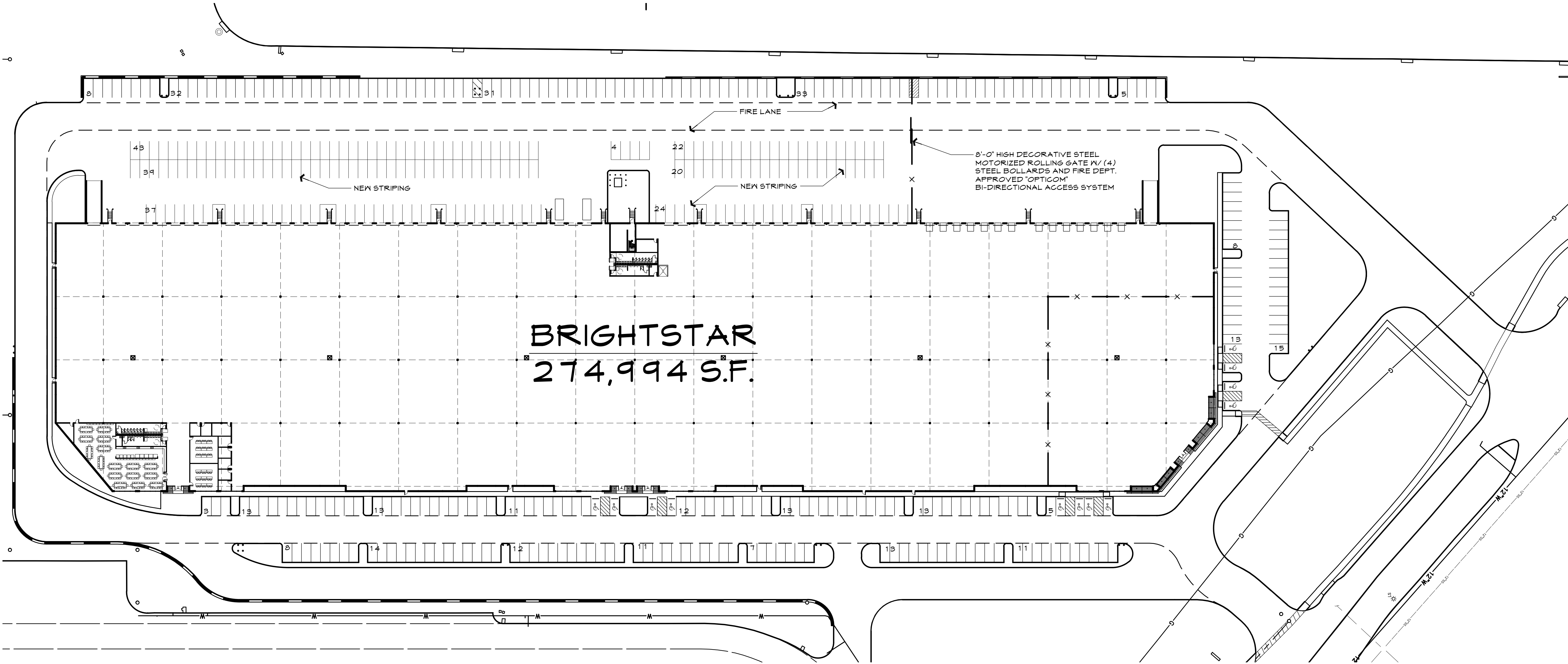
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Checked By: DM
Drawn By:
Duke Realty Job #:
A/E Job #: 18-141.1

DRAWING / SHEET TITLE

PROPOSED PARKING PLAN

SHEET NUMBER

A1.10 B

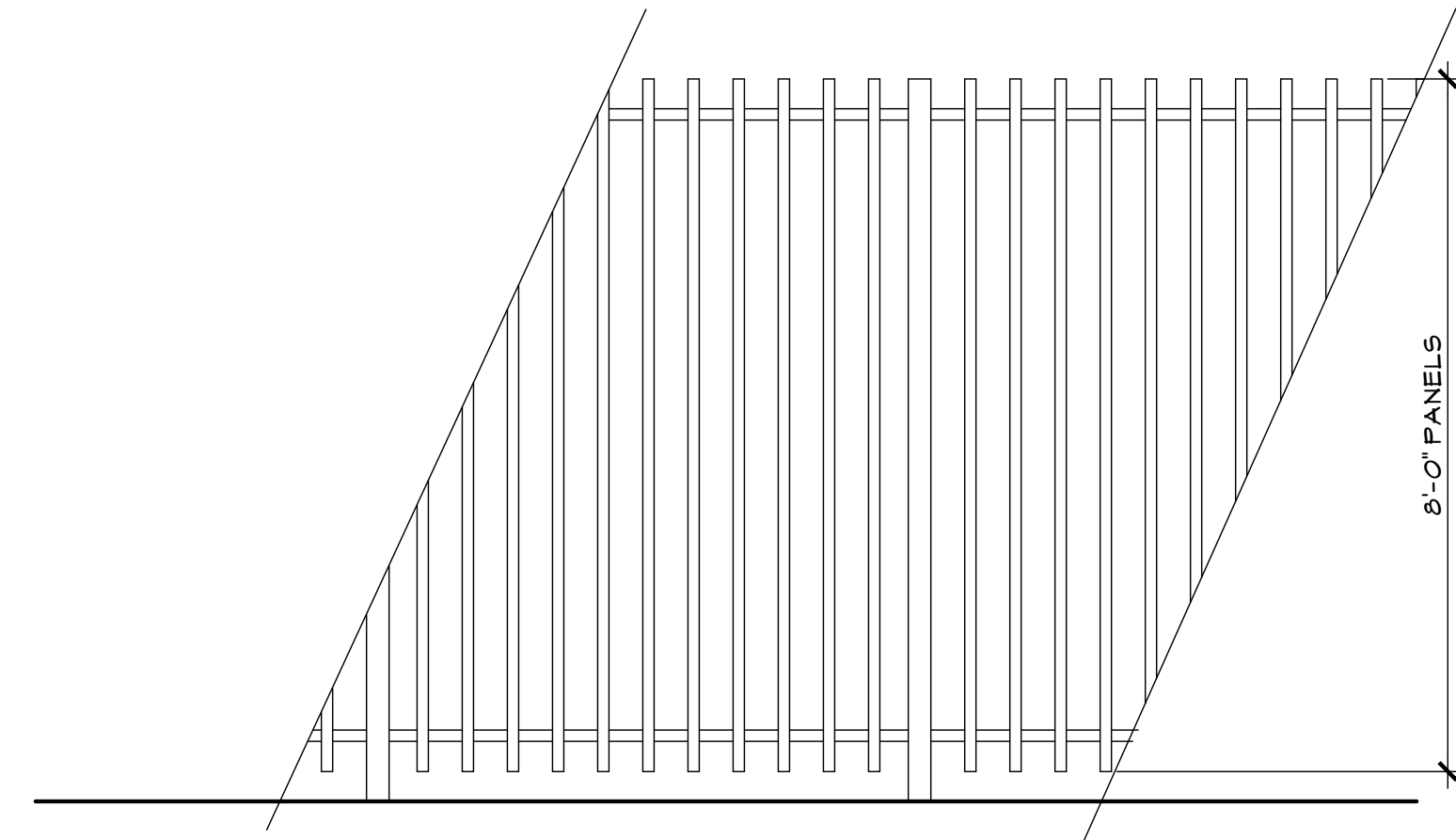


01 PROPOSED PARKING PLAN

Scale: 1" = 50'-0"

PARKING REQUIREMENTS

PARKING REQUIRED - OFFICE (10,529 SF @ 1:300 SF)	35.1 SPACES
PARKING REQUIRED - FUTURE OFFICE (7,500 SF @ 1:300)	25 SPACES
PARKING REQUIRED - FUTURE OFFICE MEZZANINE (7,500 SF @ 1:300)	25 SPACES
PARKING REQUIRED - WAREHOUSE (256,965 SF @ 1:2,000 SF)	128.5 SPACES
TOTAL PARKING REQUIRED	214 SPACES
EXISTING PARKING PROVIDED	304 SPACES
ADDITIONAL PARKING IN TRUCK COURT	195 SPACES
TOTAL PARKING PROVIDED	499 SPACES
TOTAL ACCESSIBLE STALLS REQUIRED PER 499 CARS PROVIDED	9 12 SPACES



02 DECORATIVE FENCE DETAIL

Scale: 1/2" = 1'-0"



14241 Dallas Parkway, Suite 1000
Dallas, TX 75254
972.361.6700 • 972.361.6800 (fx)

Client / Consultant 1

MEINHARDT & ASSOCIATES ARCHITECTS P.L.L.C.
14643 DALLAS PARKWAY, SUITE 636
DALLAS, TEXAS 75254
972-980-8980



04.21.21
Professional Seal

LAKESIDE RANCH 350
350 LAKESIDE PARKWAY
FLOWER MOUND, TEXAS
BRIGHTSTAR - PHASE I

ISSUANCES

REV. 04.21.21

Description Date

DRAWING INFORMATION

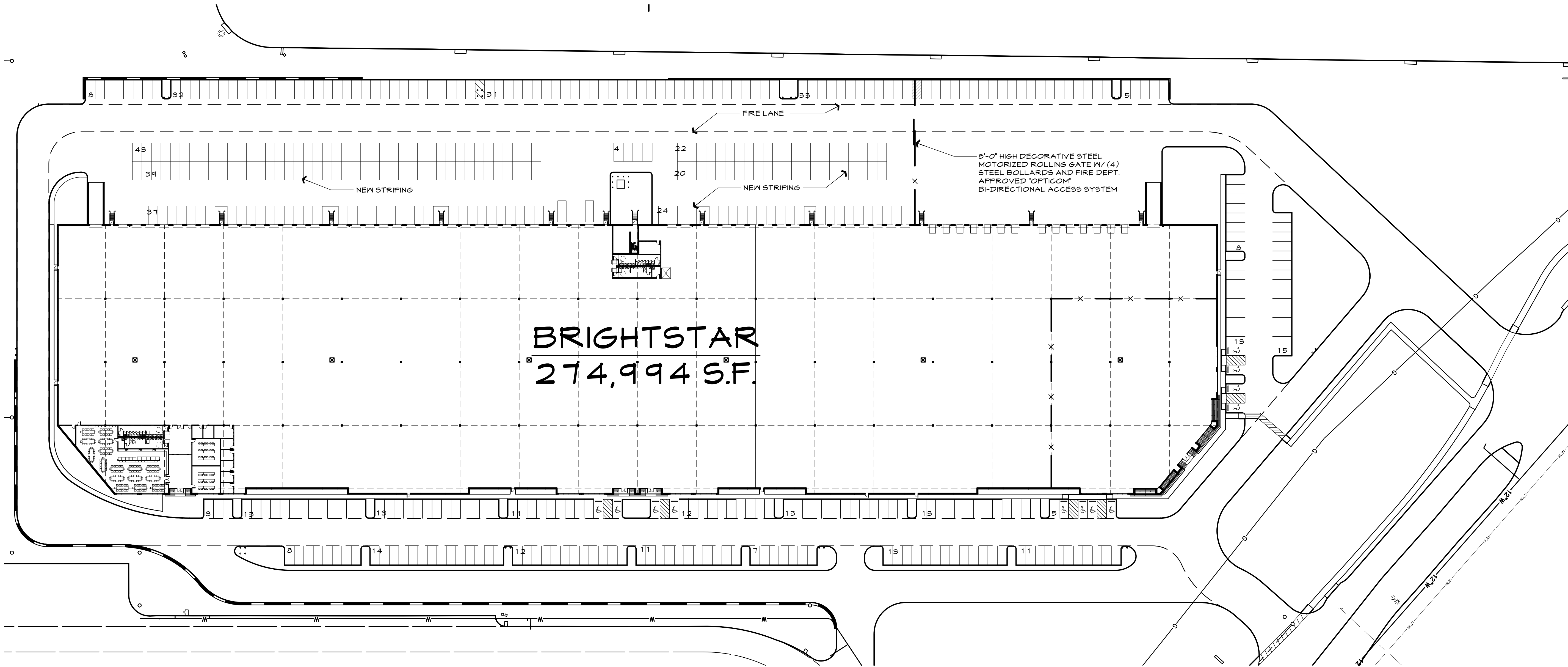
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Date: 11.23.2020
Checked By: DM
Drawn By:
Duke Realty Job #:
A/E Job #: 18-141.1

DRAWING / SHEET TITLE

PROPOSED PARKING PLAN

SHEET NUMBER

A1.10 B

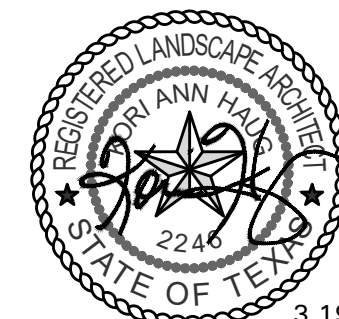




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Professional Seal

LAKESIDE RANCH 350
350 LAKESIDE PARKWAY
FLOWER MOUND, TEXAS
BRIGHTSTAR - PHASE I

ISSUANCES

03.19.2021

#	Description	Date
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DRAWING INFORMATION

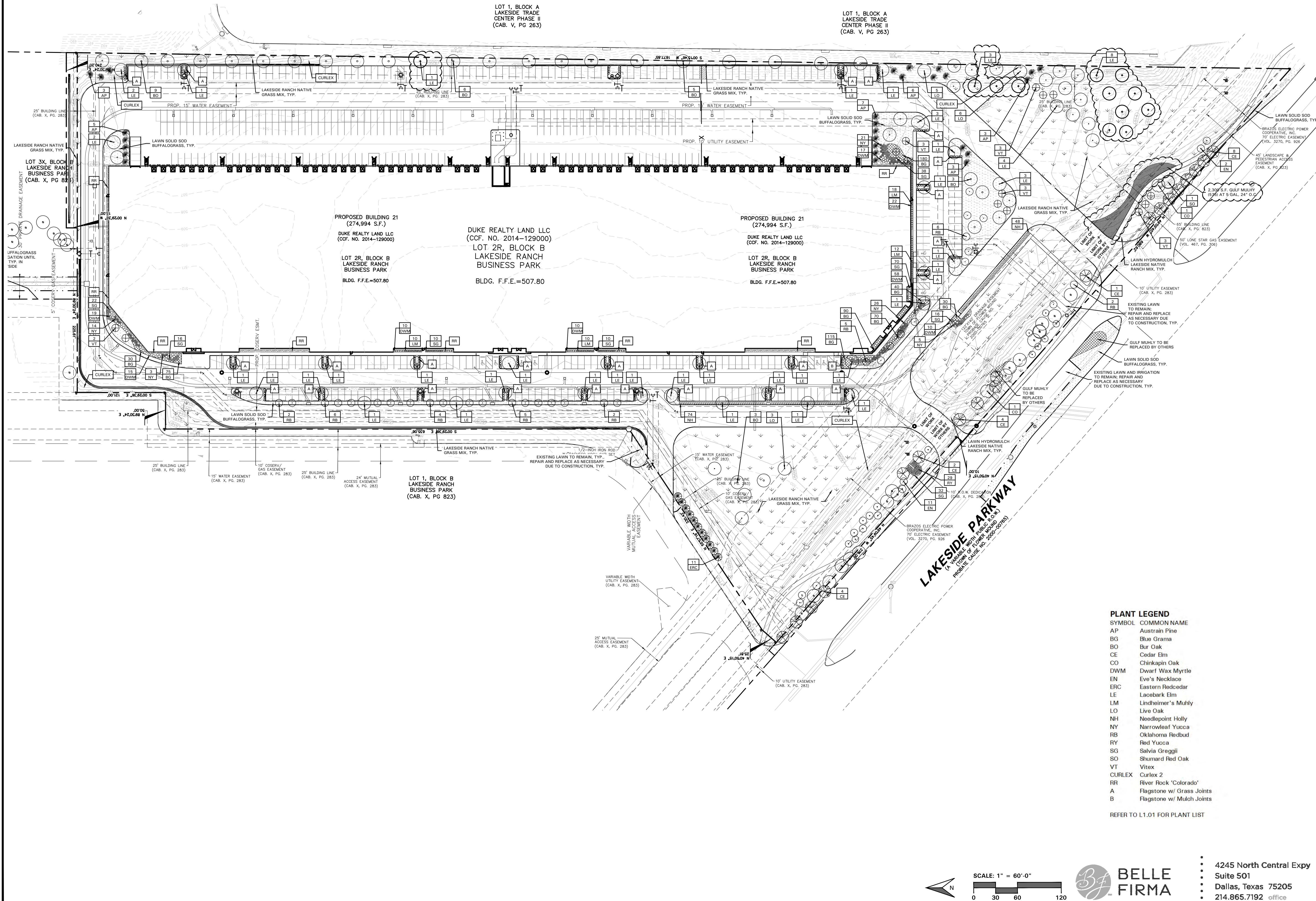
Scale: 1"=60'
Date: 11.13.2020
Checked By: KAH
Drawn By: KAH
Duke Realty Job #: 18-141.1
A/E Job #: 18-141.1

DRAWING / SHEET TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

L1.00



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
AP	<i>Pinus nigra</i>	Austrian Pine	27	6" ht.	B&B or container grown, full to base, 3' spread
BO	<i>Quercus macrocarpa</i>	Bur Oak	26	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
ERC	<i>Juniperus virginiana</i>	Eastern Redcedar	11	6' ht.	B&B or container grown, full to base, 3' spread
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	54	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	14	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	30	30 gal.	container grown, 8' ht., 4' spread min.
VT	<i>Vitex agnus-castus</i>	Vitex	11	30 gal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
BG	<i>Bouteloua gracilis</i>	Blue Grama	630	1 gal.	container full, 18" o.c.
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	161	5 gal.	container full, 20" spread, 36" o.c.
LM	<i>Muhlenbergia lindheimeri</i>	Lindheimer's Muhly	50	5 gal.	container full, 36" o.c.
NH	<i>Ilex cornuta 'Needlepoint'</i>	Needlepoint Holly	122	5 gal.	container full, 24" ht., 36" o.c.
NY	<i>Yucca glauca</i>	Narrowleaf Yucca	69	5 gal.	container full, 36" o.c.
RY	<i>Hesperaloe parvifolia</i>	Red Yucca	29	5 gal.	container full, 30" o.c.
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii	213	5 gal.	container full, 20" spread 24" o.c.
	<i>Buchloe dactyloides '609'</i>	Buffalograss '609'			solid sod, refer to notes
MISCELLANEOUS					
CURLEX		Curlex 2			install on 3:1 slopes and greater, typ.
RR		River Rock 'Colorado'			2"-4" dia., 4" depth with weed barrier fabric, typ.
A		Flagstone W/ Grass Joints			
B		Flagstone W/ Mulch Joints			

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

PLANT LIST - BY OTHERS

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CE	<i>Ulmus crassifolia</i>	Cedar Elm	19	3" cal.	B&B, 12' ht., 4' spread, 4' branching ht., matching
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	2	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
EN	<i>Sophora affinis</i>	Eve's Necklace	13	30 gal.	container grown, 8' ht., 4' spread min., 4' branching ht.
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	2	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Cercis shumardii</i>	Shumard Red Oak	1	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	2" cal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BUFFALOGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BUFFALOGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

HYDROMULCH NOTES

- CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BUFFALOGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- HYDROMULCH WITH BUFFALOGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BUFFALOGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LAKESIDE RANCH NATIVE GRASS MIX NOTES

- INSTALLATION OF NATIVE GRASSES TO BE PERFORMED BY HYDRO-SEEDING.
- PROVIDE A HYDROMULCH CAP PER HYDROMULCH NOTES.
- FINAL GRADES TO BE SMOOTH AND LEVEL FREE OF DEBRIS, ROCKS OVER 1" AND SHALL HAVE NO RUTS OR DEPRESSIONS.
- INSTALL THE FOLLOWING MIX AT 5.4 LB. PER ACRE AT THE FOLLOWING RATIO:
5% BUSHY BLUESTEM
30% SIDEOATS GRAMA
10% BLUE GRAMA
15% BUFFALO GRASS
15% PRAIRIE WILD RYE
15% SAND LOVEGRASS
10% GREEN SPRANGLETOP

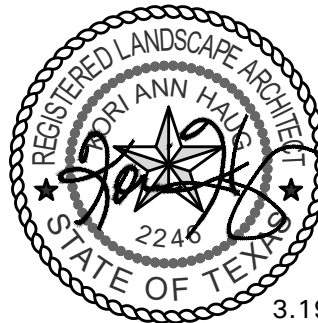
LANDSCAPE CONFORMANCE CHART			
Right of Way Zone Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 tree per 60 l.f. of property frontage	Lakeside Parkway - 966 l.f.	16 trees	16 trees
Right of Way Zone Native Grasses			
Standard	Total R.O.W. Area (Square Feet)	Required	Provided
20% of total area to be native seed mix	Lakeside Parkway - 6,717 s.f.	1,343 s.f.	4,398 s.f.
Street Buffer Zone Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 tree per 70 l.f. of property frontage	Lakeside Parkway - 1,078 l.f.	16 trees	23 trees
Street Buffer Zone Trees Ornamental and Understory Trees			
Standard	Canopy Perimeter (Linear Feet)	Required	Provided
1 understory tree per 20 ft. of canopy drift perimeter	Lakeside Parkway - 646 l.f.	33 ornamentals	33 ornamentals
Street Buffer Zone Trees Additional Tree and Understory Mixture Drifts			
Standard	Street Frontage (Linear Feet)	Required	Provided
40' long and no further than 480' apart	Lakeside Parkway - 1,078 l.f.		Requirements met
Street Buffer Zone Native Grasses / Groundcovers			
Standard	Total Street Buffer Zone Area (Square Feet)	Required	Provided
40% of total area to be native seed mix	Lakeside Parkway - 18,455 s.f.	7,382 s.f.	12,721 s.f.
Landscape Setback Buffer Zone			
Standard	Street Frontage	Required	Provided
Trees and Understory mixtures	Lakeside Parkway		Requirements met
Landscape Setback Buffer Zone Native Grasses / Groundcovers			
Standard	Total Landscape Setback Buffer Zone Area (Square Feet)	Required	Provided
40% of total area to be native seed mix	Lakeside Parkway - 14,047 s.f.	5,619 s.f.	7,079 s.f.
Parking Lot Landscaping			
Standard	Parking Lot Area (Square Footage)	Required	Provided
1 tree per 5,500 s.f. of parking lot area	141,018 s.f.	25 trees	25 trees
Parking Lot Landscaping			
Standard	Total Parking Lot Islands	Required	Provided
1 tree per island	26 islands	26 trees	26 trees
All parking spaces are located withing 50 ft. of a tree. * Variance Requested * (12) Trees to be relocated onsite			
Parking Lot Screening			
Standard	Parking Lot (Linear Feet)	Required	Provided
75% of parking frontage must be screened	432 l.f.	324 l.f.	376 l.f. shrubs
** Plant heights may be reduced to the extent that berm ground forms are used to Building Service Screening			
Evergreen tree planting, in natural drifts, 14' ht. after 1 year and 100% screening			Requirements met
Loading Dock Screening			
Evergreen tree planting, in natural drifts, 14' ht. after one year with evergreen shrubs, 3 ht. after 1 year, 100% screening and 4:1 berms			Requirements met
Building Landscaping			
Standard	Building Perimeter (Linear Feet)	Required	Provided
Foundation shrub drifts shall cover 30% of building perimeter (excluding service areas)	North Side - 274 l.f.	82 l.f.	84 l.f.
Foundation shrub drifts shall cover 30% of building perimeter (excluding service areas)	South Side - 274 l.f.	82 l.f.	250 l.f.
Foundation shrub drifts shall cover 30% of building perimeter (excluding service areas)	West Side - 991 l.f.	297 l.f.	210 l.f.
Parking Area Landscape			
Standard	No. of Parking Spaces	Required	Provided
90 s.f. per 12 spaces	499	3,698 s.f.	8,612 s.f.
Parking Space Mitigation			
Required	Provided	Additional Enhanced Landscape Required	Additional Enhanced Landscape Provided
214	499	1,940 s.f.	2,300 s.f.



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LANDSCAPE NOTES

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