

AGENDA

FLOWER MOUND PLANNING AND ZONING COMMISSION REGULAR MEETING

05/10/2021

FLOWER MOUND TOWN HALL, 2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

6:30 P.M.

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Please silence or turn off all electronic devices.

Meeting participants may be asked to wait in the lobby until their name is called.

Comments regarding any agenda item can be sent to the Commission by emailing pz@flower-mound.com.

A. CALL MEETING TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

To speak to the Planning & Zoning Commission during public comment, please fill out a comment form which is located in the lobby near Jody Smith Hall.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired.
- Please state your name and address when speaking.

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

E. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

F. DIRECTOR'S REPORT

1. Planning & Zoning Commission Priorities

G. CONSENT ITEMS

This part of the agenda consists of non-controversial or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of April 26, 2021: Consider approval of the minutes of the April 26, 2021, Planning and Zoning Commission Regular Session.

2. RC20-0008 – Canyon Falls Village 4B: Consider a request for a Record Plat (RC20-0008 - Canyon Falls Village 4B) to create a residential subdivision. The property is generally located south of Denton Creek Boulevard and west of Prairie Ridge Road.

H. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted next to the item on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

3. RC20-0012 – Argyle Elementary School No. 3: Consider a request for a Record Plat (RC20-0012 – Argyle Elementary School No. 3) to create a non-residential subdivision. The property is generally located east of Denton Creek Boulevard and south of Prairie Ridge Road.
4. SP20-0022 – Argyle Elementary School No. 3: Consider a request for a Site Plan (SP20-0022 – Argyle ISD Elementary School No. 3) to develop an elementary school, with a request for a deviation to computing parking and loading requirements pursuant to Section 82-73 of the Code of Ordinances, an exception to Section 82-302, Compatibility buffer, of the Code of Ordinances, and an exception to Section IV.C.5. of the Town's Engineering Design Criteria requirement to provide a wet retention pond. The property is generally located east of Denton Creek Boulevard and south of Prairie Ridge Road.
5. SP21-0001 – Lakeside Center: Public Hearing to consider a Site Plan (SP21-0001 – Lakeside Center) with a request for an exception to 'Underground Utilities' pursuant to Section 82-377, Exceptions, of the Code of Ordinances. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town's website in accordance with GC Section 551.056 on the following date and time: May 6, 2021, at 3:30 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at 972-874-6350.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: May 10, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the April 26, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on April 26, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 26TH DAY OF APRIL 2021, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
Adam Schiestel	Commissioner, Place 2
James Naylor	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Robert Cox	Commissioner, Place 8
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

Tim Fink	Commissioner, Place 7
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(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Tommy Dalton	Assistant Town Manager
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Chuck Russell	Principal Planner
LauriAnn Cash	Executive Assistant

- A. **CALL REGULAR SESSION TO ORDER: 6:30 P.M.**
- B. **INVOCATION**
- C. **PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG**
- D. **PUBLIC COMMENT**
None
- E. **FUTURE AGENDA ITEMS**
None
- F. **DIRECTOR'S REPORT**

1. Legislative Activity
2. NCTCOG Presentation

G. CONSENT ITEMS

1. Consider approval of the minutes of the April 12, 2021, Planning and Zoning Commission Regular Session.

Commission Deliberation

Vice-Chair Rawson moved to approve Consent Item 1 as presented. Commissioner Naylor seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Naylor, Del Vecchio, Rawson, Gilmore
NAYS: None
ABSTAIN: Cox

The motion to approve passed by a vote of 5 to 0 to 1.

H. NON-DISCRETIONARY ITEMS

2. Consider a request for a Record Plat (RC20-0015 – Long Prairie Plaza Lots 1 & 2, Block A) to create a non-residential subdivision. The property is generally located south of Sherri Lane and east of Long Prairie Road.

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Jason Kilpatrick, Ridinger Associates, Inc. (present for questions; no presentation)
Edmond Elias, Developer (present for questions; no presentation)

Commission Deliberation

Commissioner Cox moved to approve of RC20-0015 – Long Prairie Plaza Lots 1 & 2, Block A, as presented. Commissioner Schiestel seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Gilmore, Rawson, Del Vecchio, Naylor, Schiestel
NAYS: None

The motion to approve passed by a vote of 6 to 0.

3. Consider a request for a Site Plan (SP20-0027 – Long Prairie Plaza) to develop two retail buildings. The property is generally located south of Sherri Lane and east of Long Prairie Road.

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Jason Kilpatrick, Ridinger Associates, Inc. (present for questions; no presentation)
Edmond Elias, Developer (present for questions; no presentation)

Commission Deliberation

Commissioner Cox moved to approve of SP20-0027 – Long Prairie Plaza, as presented.
Commissioner Gilmore seconded the motion.

VOTE ON THE MOTION

AYES: Schiestel, Naylor, Del Vecchio, Rawson, Gilmore, Cox

NAYS: None

The motion to approve passed by a vote of 6 to 0.

I. REGULAR ITEMS

4. Public Hearing to consider an ordinance for rezoning (ZPD21-0001 – Brightstar PD-83 Amendment) to amend Planned Development No. 83 (PD-83) with non-residential uses to modify Exhibit C, Section C.8.h. "Parking Lot Landscaping," and a request for a deviation to the required parking standard pursuant to Section 82-73 of the Code of Ordinances. The property is generally located north of Lakeside Parkway and east of Garden Ridge Boulevard.

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Jeff Thornton, Duke Realty
Jeff Langston, Duke Realty

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Commissioner Schiestel moved to recommend approval of ZPD21-0001 as presented.
Commissioner Cox seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Gilmore, Rawson, Naylor, Schiestel

NAYS: Del Vecchio

The motion to recommend approval passed by a vote of 5 to 1.

J. ADJOURNMENT – REGULAR SESSION 7:58 P.M.

i. CALL TO ORDER – WORK SESSION: 7:59 P.M.

- a. Model Home Ordinance Update
 - Staff Presentation: Tommy Dalton, Assistant Town Manager
- b. Informational Construction Signage
 - Staff Presentation: Tommy Dalton, Assistant Town Manager
- c. Future Street Extension Signage
 - Staff Presentation: Tommy Dalton, Assistant Town Manager

The work session was closed at 8:35 P.M.

TOWN OF FLOWER MOUND, TEXAS

**_____
Lexin Murphy, Director of Planning Services**

ATTEST:

**_____
LauriAnn Cash, Executive Assistant**



PLANNING AND ZONING COMMISSION
AGENDA ITEM NO: 2
CONSENT ITEM

DATE: May 10, 2021

FROM: Chuck Russell, Principal Planner

ITEM: Consider a request for a Record Plat (RC20-0008 - Canyon Falls Village 4B) to create a residential subdivision. The property is generally located south of Denton Creek Boulevard and west of Prairie Ridge Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to create 24 buildable, single-family residential lots with a minimum lot size of 10,000 square feet and four open space X-lots to be maintained by the HOA. The proposed single-family residential lots are located in the Canyon Falls development and are in conformance with Planned Development District-98 (PD-98) standards as amended. Village 4B contains approximately 34.762 acres.

Two points of access to the development are to be provided from an extension of Denton Creek Boulevard. The current project includes the establishment of all required easements, landscaping and fencing, for this Village [Attachment B(1)].

The proposed record plat is consistent with the development plan (DP13-0003) approved by the Town Council on March 17, 2014, for Phase 3 of Canyon Falls containing 303 total buildable, single family lots.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

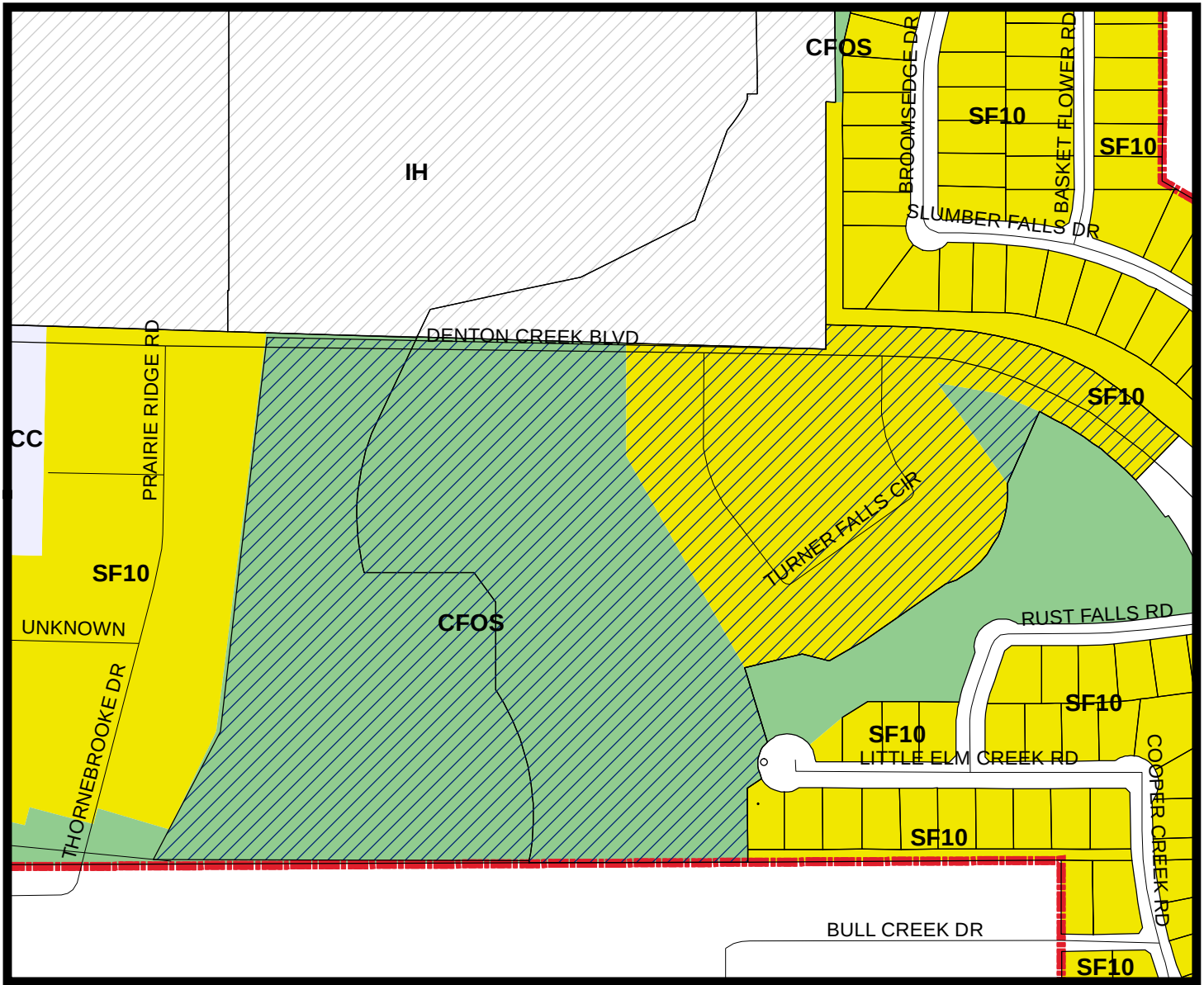
B. Application Details

1. Record Plat Package



Vicinity Map

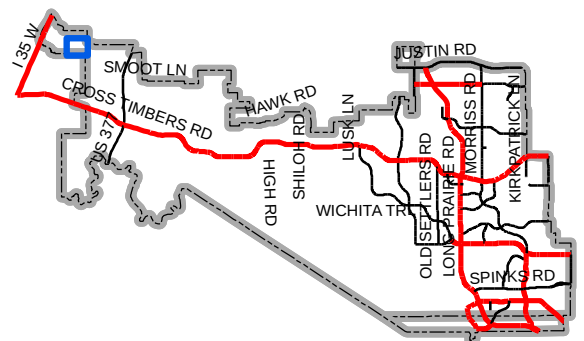
Reference Project: RC20-0008



LEGEND

- Campus Commercial
- Canyon Falls Open Space
- Interim Holding
- Single Family 10

— Subject Property



Map Location



May 3, 2021

Ms. Poornima Kashyap
Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028

RE: Canyon Falls Letter of Intent – Record Plat – Village 4B

Dear Poornima,

Canyon Falls is a master planned community intended to provide a variety of single family residential and commercial uses that are compatible with the natural characteristics of the land (such as topography, drainage, vegetation, and floodplain) to ensure a high-quality new community. This master planned community is intended to provide increased recreation amenities, high quality homes and shopping alternatives that will be designed in a comprehensive fashion, which will enhance the quality of life for future residents and the Town of Flower Mound. We believe that Canyon Falls will be a great addition for the Town of Flower Mound and the rooftops generated within the development will support the future plans and growth of Flower Mound for commercial and retail development along the western side of its Town Limits. Additionally, the proximity of the development to I-35W and U.S. 377 provide a great transition between the commercial and more intense zoning districts that exist along the I-35W and U.S. 377 corridors.

Record Plat - Village 4B Site Data:

Existing Zoning District: Planned Development with SF-10

Record Plat – Village 4B Acreage: 34.762 Acres

Lot breakdown: 24 Single-Family Lots & 4 Open Space/HOA Lots

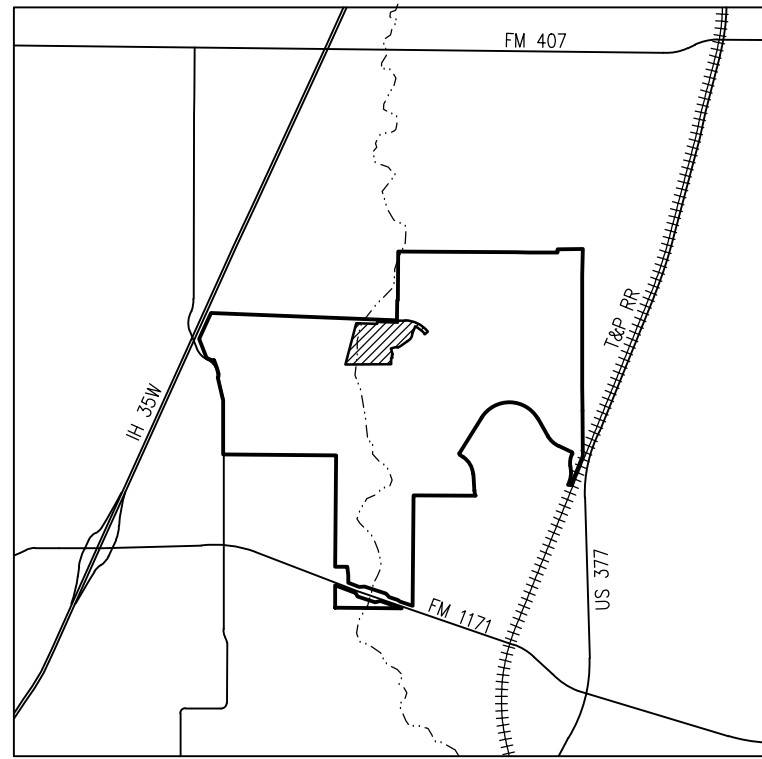
We appreciate your assistance with this application and look forward to working with you and the Town of Flower Mound on the Canyon Falls development.

Sincerely,

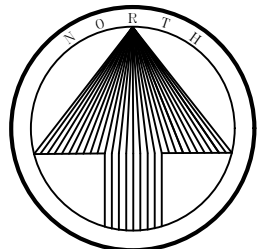
J. VOLK CONSULTING, INC.

Joel Richey, PE
Senior Project Manager

cc: Timothy Durie, Senior Vice President, Newland Real Estate Group, LLC
cc: Tom Dayton, PE, Vice President, J. Volk Consulting, Inc.



VICINITY MAP
N.T.S.



SCALE 1" = 50'

LEGEND

- 1/2" IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- CONTROL MONUMENT
- DEED RECORDS, DENTON COUNTY, TEXAS
- PLAT RECORDS, DENTON COUNTY, TEXAS
- DENOTES STREET NAME CHANGE
- UTILITY EASEMENT
- BUILDING LINE

RECORD PLAT
OF
**CANYON FALLS
VILLAGE 4B**

BLOCK QQ, LOTS 1X, 2-9;
BLOCK RR, LOTS 1X, 2-17, 18X, 19X;

BEING 34.762 ACRES LOCATED IN THE
F. THORNTON SURVEY - ABSTRACT NO. 1244
AN ADDITION IN THE
TOWN OF FLOWER MOUND,
DENTON COUNTY, TEXAS
CONTAINING 24 SINGLE-FAMILY
RESIDENTIAL LOTS &
4 OPEN SPACE/HOA LOTS

Date: May 05, 2021

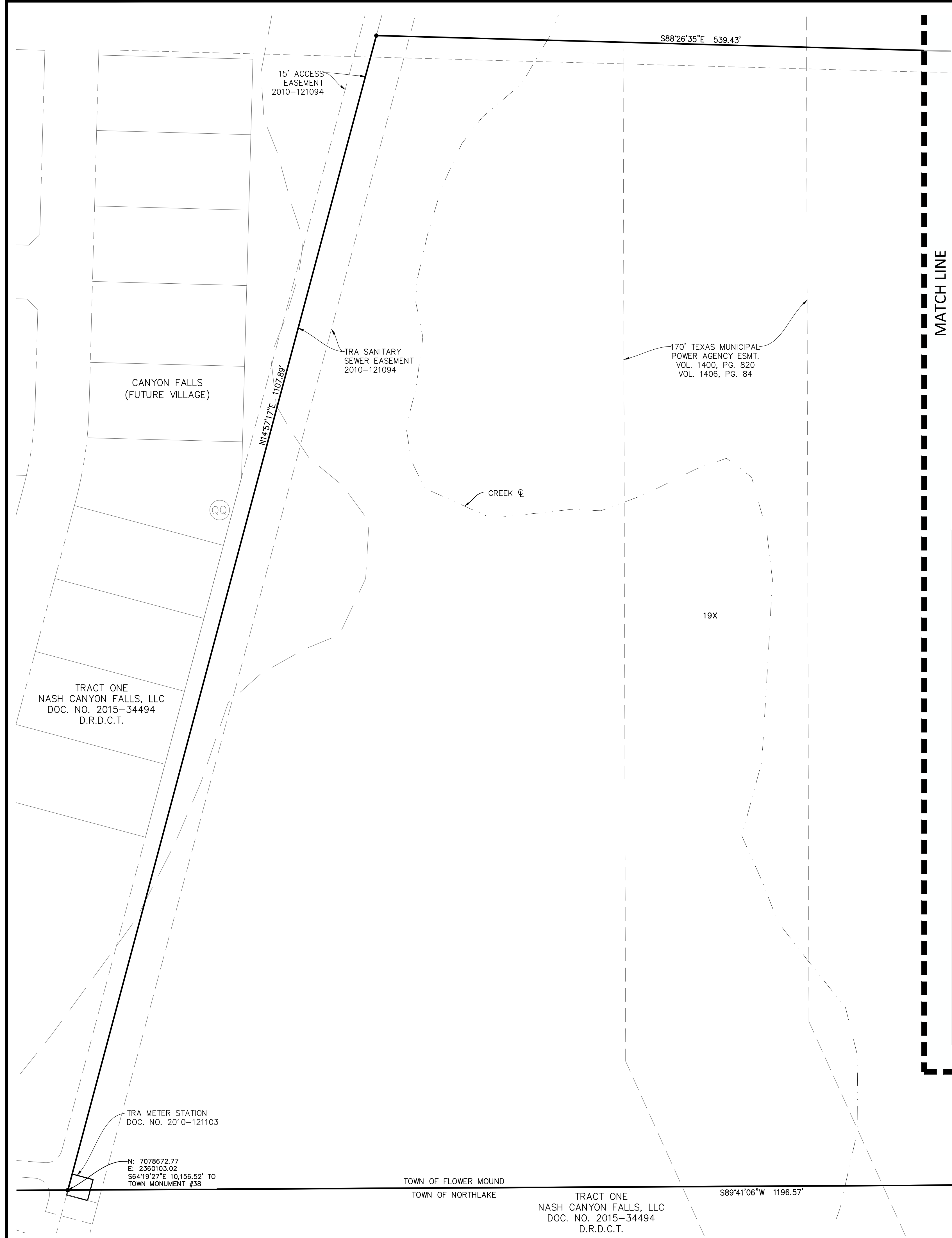
OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160
TDURIE@NEWLANDCO.COM

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

RECORDING INFORMATION

BEARINGS ARE BASED FROM GPS OBSERVATIONS, BY USING THE TOPCON NETWORK SURROUNDING THE DALLAS-FORT WORTH METROPLEX, ALONG WITH A HIGH PRECISION GEOID MODEL, NAD83, NAVD88 TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, VERIFIED BY THE TOWN OF FLOWER MOUND CONTROL NETWORK, MONUMENT NO. 39. A COMBINED SCALE FACTOR OF 1.0001596 SHALL BE USED TO TRANSLATE TO GRID COORDINATES.

NOTICE:
SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.



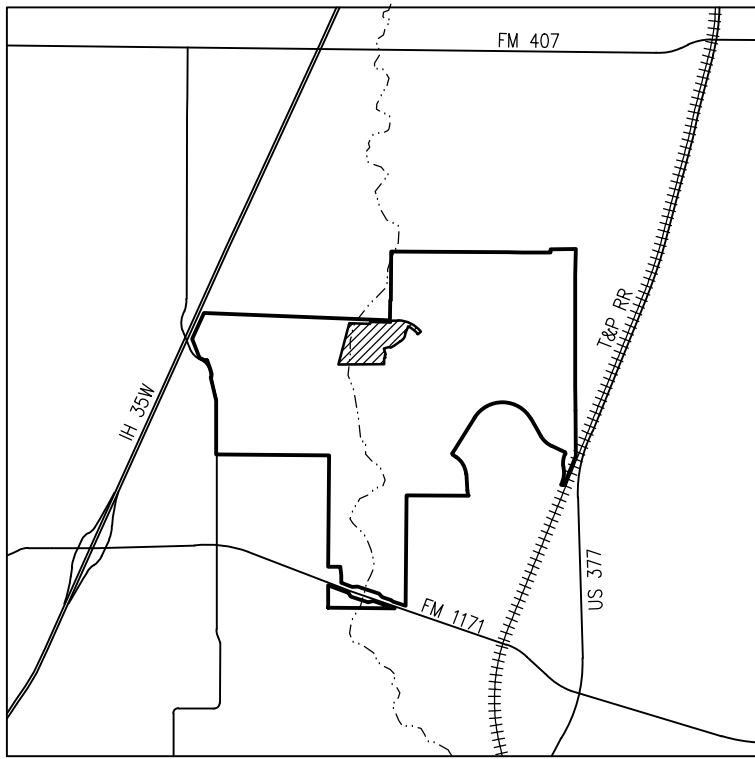
Line Table		
Line	Length	Direction
L1	92.00	S50° 51' 51"W
L2	8.00	S50° 21' 35"W
L3	87.07	S60° 51' 33"W
L4	60.81	N77° 25' 19"W
L5	36.52	S57° 05' 22"W
L6	50.00	N1° 33' 25"E
L7	50.01	N0° 20' 04"E

Line Table		
Line	Length	Direction
L8	18.10	S88° 26' 35"E
L9	28.28	N46° 33' 25"E
L10	28.17	S43° 12' 24"E
L11	28.28	N46° 33' 25"E
L12	28.28	N43° 26' 35"W
L13	161.29	S1° 33' 25"W
L14	91.85	N1° 33' 25"E

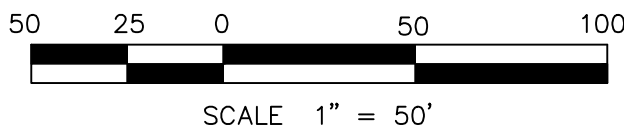
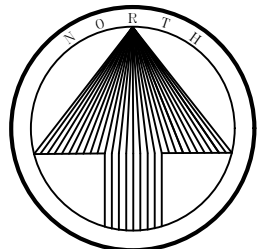
Line Table		
Line	Length	Direction
L15	14.14	N9° 48' 21"E
L16	14.33	S80° 55' 28"E
L17	22.75	S69° 44' 41"W
L18	20.34	N69° 44' 41"E
L19	20.00	N20° 15' 19"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	666.94	775.00	049°18'26"	646.55	S63° 47' 22"E
C2	6.01	683.00	000°30'16"	6.01	N39° 23' 17"W
C3	310.18	675.00	026°19'44"	307.46	N52° 48' 17"W
C4	273.73	210.00	074°41'03"	254.76	S31° 09' 32"W
C5	80.25	60.00	076°37'47"	74.40	S05° 24' 16"W
C6	264.76	675.00	022°28'26"	263.07	N77° 12' 22"W
C7	623.92	725.00	049°18'26"	604.84	N63° 47' 22"W
C8	174.45	275.00	036°20'51"	171.54	S16° 37' 00"E
C9	62.55	40.00	089°35'46"	56.37	N10° 00' 27"E
C10	61.81	40.00	088°32'22"	55.84	S80° 55' 28"E
C11	183.40	275.00	038°12'42"	180.02	S17° 32' 56"E
C12	47.32	60.00	045°11'30"	46.11	S68° 41' 16"E
C13	51.17	60.00	048°51'33"	49.63	N17° 43' 52"E
C14	160.77	242.50	037°59'05"	157.84	N17° 21' 40"E

BEARINGS ARE BASED FROM GPS OBSERVATIONS, BY USING THE TOPCON NETWORK SURROUNDING THE DALLAS-FORT WORTH METROPLEX, ALONG WITH A HIGH PRECISION GEOID MODEL, NAD83, NAVD88 TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, VERIFIED BY THE TOWN OF FLOWER MOUND CONTROL NETWORK, MONUMENT NO. 39. A COMBINED SCALE FACTOR OF 1.0001596 SHALL BE USED TO TRANSLATE TO GRID COORDINATES.



VICINITY MAP
N.T.S.



LEGEND

- 1/2" IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- <CM> CONTROL MONUMENT
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
- Denotes STREET NAME CHANGE
- UE UTILITY EASEMENT
- BL BUILDING LINE

NOTICE:

SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.

RECORD PLAT
OF
**CANYON FALLS
VILLAGE 4B**

BLOCK QQ, LOTS 1X, 2-9;
BLOCK RR, LOTS 1X, 2-17, 18X, 19X;

BEING 34.762 ACRES LOCATED IN THE
F. THORNTON SURVEY - ABSTRACT NO. 1244

AN ADDITION IN THE
TOWN OF FLOWER MOUND,
DENTON COUNTY, TEXAS
CONTAINING 24 SINGLE-FAMILY
RESIDENTIAL LOTS &
4 OPEN SPACE/HOA LOTS

Date: May 05, 2021

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160
TDURIE@NEWLANDCO.COM

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

RECORDING INFORMATION

LEGAL DESCRIPTION:

COMMENCING at TOWN MONUMENT #38;

BEING a tract of land situated in the F. THORNTON SURVEY, ABSTRACT NO. 1244, Town of Flower Mound, Denton County, Texas and being part of that tract of land described as Tract One in Deed to NASH Canyon Falls, LLC, as recorded in Document No. 2015–34494, Deed Records, Denton County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found in the west line of said Tract One for the most southerly southwest corner of Lot 33X, Block YY of CANYON FALLS – VILLAGE 4A, an Addition to the Town of Flower Mound, Denton County, Texas according to the Plat thereof recorded in Document No. 2018–358, Plat Records, Denton County, Texas;

THENCE South 88 degrees 26 minutes 35 minutes East, leaving said west line and with the south line of said Addition, a distance of 198.36 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found at the beginning of a curve to the right having a central angle of 49 degrees 18 minutes 26 seconds, a radius of 775.00 feet and a chord bearing and distance of South 63 degrees 47 minutes 22 seconds East, 646.55 feet;

THENCE Easterly, continuing with said south line and with said curve to the right, an arc distance of 666.94 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found in the north line of CANYON FALLS – VILLAGE 5, an Addition to the Town of Flower Mound, Denton County, Texas according to the Plat thereof recorded in Document No. 2017–379, Plat Records, Denton County, Texas at the west end of a corner clip at the intersection of the northwest line of Prairie Ridge Road, a 60 foot right–of–way, and northeast line of Denton Creek Boulevard, a variable width right–of–way;

THENCE Westerly, with said north line, the following four (4) courses and distances:

South 50 degrees 51 minutes 51 seconds West, leaving said south line, a distance of 92.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non–tangent curve to the left having a central angle of 00 degrees 30 minutes 16 seconds, a radius of 683.00 feet and a chord bearing and distance of North 39 degrees 23 minutes 17 seconds West, 6.01 feet;

Northwesterly, with said curve to the left, an arc distance of 6.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 50 degrees 21 minutes 35 seconds West, a distance of 8.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non–tangent curve to the left having a central angle of 26 degrees 19 minutes 44 seconds, a radius of 675.00 feet and a chord bearing and distance of North 52 degrees 48 minutes 17 seconds West, 307.46 feet;

Northwesterly, with said curve to the left, an arc distance of 310.18 feet a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for an exterior ell corner of said CANYON FALLS – VILLAGE 5 Addition;

THENCE Southwesterly, with the north line of said CANYON FALLS – VILLAGE 5 Addition, the following ten (10) courses and distances:

South 24 degrees 01 minutes 51 seconds West, a distance of 171.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non–tangent curve to the right having a central angle of 74 degrees 41 minutes 03 seconds, a radius of 210.00 feet and a chord bearing and distance of South 31 degrees 09 minutes 32 seconds West, 254.76 feet;

Southwesterly, with said curve to the right, an arc distance of 273.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 54 degrees 48 minutes 21 seconds West, a distance of 215.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 60 degrees 51 minutes 33 seconds West, a distance of 87.07 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

North 77 degrees 25 minutes 19 seconds West, a distance of 60.81 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 76 degrees 01 minutes 10 seconds West, a distance of 127.58 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 17 degrees 29 minutes 16 seconds East, a distance of 167.78 feet to a 1/2 iron rod with a yellow plastic cap stamped “JVC” found for corner;

Southeasterly, with said curve to the left, an arc distance of 80.25 feet to a 1/2 iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 57 degrees 05 minutes 22 seconds West, a distance of 36.52 feet to a 1/2 iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non–tangent curve to the right having a central angle of 76 degrees 37 minutes 47 seconds, a radius of 60.00 feet and a chord bearing and distance of South 05 degrees 24 minutes 16 seconds West, 74.40 feet;

South 00 degrees 18 minutes 54 seconds East, a distance of 158.01 feet to a 1/2 iron rod with a yellow plastic cap stamped “JVC” found for the north line of CANYON FALLS – VILLAGE E1, an Addition to the Town of Northlake, Denton County, Texas according to the Plat thereof recorded in Document No. 2017–248, Plat Records, Denton County, Texas;

THENCE South 89 degrees 41 minutes 06 seconds West, a distance of 1196.57 feet to a 1/2 iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE North 14 degrees 57 minutes 17 seconds East, leaving said north line, a distance of 1107.89 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE South 88 degrees 26 minutes 35 seconds East, a distance of 539.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE North 01 degrees 33 minutes 25 seconds East, a distance of 50.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner in the north line of the above–mentioned Tract One;

THENCE South 88 degrees 26 minutes 35 seconds East, with said north line, a distance of 540.94 feet to an interior ell corner of said Tract One;

THENCE North 00 degrees 20 minutes 04 seconds East, continuing with said north line, a distance of 50.01 feet to the POINT OF BEGINNING and containing 34.762 acres of land, more or less.

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, NASH CANYON FALLS, LLC, acting herein by and through its duly authorized officers, does hereby adopt this plat designated herein as CANYON FALLS – VILLAGE 4B , an addition to the Town of Flower Mound, Denton County, Texas.

The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys and rights–of–way are hereby dedicated in fee simple to the Town of Flower Mound for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

BY: NASH CANYON FALLS, LLC
A DELAWARE LIMITED LIABILITY COMPANY

BY: NEWLAND REAL ESTATE GROUP, LLC
A DELAWARE LIMITED LIABILITY COMPANY
ITS DEVELOPMENT MANAGER

BY: TIMOTHY DURIE, SENIOR VICE PRESIDENT

STATE OF TEXAS §
COUNTY OF §

BEFORE ME, the undersigned authority, on this day personally appeared TIMOTHY DURIE, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the ____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I have prepared this plat from an actual survey of the land, and that the corner monuments shown thereon were found or placed under my personal supervision in accordance with the platting rules and regulations of Town of Flower Mound, Denton County, Texas.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the ____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires: _____

LOT ACREAGE			LOT ACREAGE		
LOT #	BLOCK	S.F.	LOT #	BLOCK	S.F.
1X	BLOCK RR	4,378	1X	BLOCK QQ	11,540
2	BLOCK RR	12,209	2	BLOCK QQ	10,822
3	BLOCK RR	12,291	3	BLOCK QQ	12,490
4	BLOCK RR	12,022	4	BLOCK QQ	12,582
5	BLOCK RR	12,781	5	BLOCK QQ	10,234
6	BLOCK RR	10,376	6	BLOCK QQ	10,172
7	BLOCK RR	10,014	7	BLOCK QQ	12,158
8	BLOCK RR	10,162	8	BLOCK QQ	13,421
9	BLOCK RR	18,125	9	BLOCK QQ	14,444
10	BLOCK RR	13,940			
11	BLOCK RR	11,206			
12	BLOCK RR	11,374			
13	BLOCK RR	12,187			
14	BLOCK RR	11,814			
15	BLOCK RR	14,069			
16	BLOCK RR	12,106			
17	BLOCK RR	15,768			
18X	BLOCK RR	25,565			
19X	BLOCK RR	1,008,149			

NOTICE:

SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.

Approved:

TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION

Brad Ruthrauff, Chairman Planning and Zoning Commission

Lexin Murphy, Director of Planning Services

SIGNED AND SEALED:

TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound

ACREAGE TABLE		
TYPE	ACREAGE	(AC)
LOTS	6.813	
ROW DEDICATION	3.853	
OPEN SPACE/HOA LOTS	24.096	
TOTAL	34.762	

LOT/BLOCK ANALYSIS FOR VILLAGE 4B	
SMALLEST LOT SIZE (SF)	10,014
LARGEST LOT SIZE (SF)	18,125
AVERAGE LOT SIZE (SF)	12,365
TOTAL NO. OF LOTS	24

PARCEL TABLE FOR VILLAGE 4B			
PHASE	ZONING	MAX. NO. OF LOTS PER PD 98	PROPOSED NO. OF LOTS (BUILDABLE)
VILLAGE 4B	SF-10	24	24

MASTER PLAN FEATURES	
Land Use Plan	Denton Creek District
Specific Plans	Not within a Specific Area Plan
Urban Design Plan	Denton Creek District
Parks & Trails	Denton Creek District
Open Space Plan	N/A
Thoroughfare Plan	FM 1171 & US 377-Major Arterials, Canyon Falls Dr. & Denton Creek Blvd.-Urban Minor Arterials, St. Clair-Urban Collector
Water Plan	Denton Creek District Service Area
Wastewater Plan	Denton Creek District Service Area

1.General

All developments of over five acres shall be required to install a geodetic control network station (monument) within the boundaries of the development. The location of the station (monument) shall be selected and approved by the Town. The entire cost of the survey and installation of the station (monument) shall be the responsibility of the developers.

2. Survey Technical Specifications

The geodetic control station (monument) shall be established utilizing Global Positioning Real Time Kinematic methods. The published results of the survey shall be in accordance with the following specifications: horizontal positions will have a positional tolerance of 0.2 feet and a vertical position shall have a positional tolerance of 0.3 feet.

3. Monument Installation Specifications

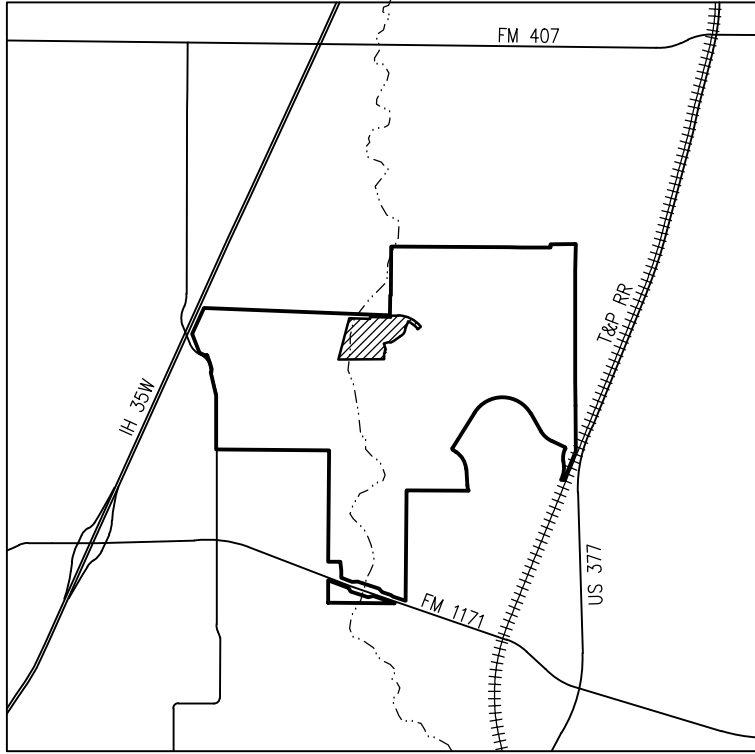
The monuments shall be constructed using Berntsen CD2 Concrete Markers (2" diameter) or equivalent. The 2" diameter domed aluminum cap shall have "THE TOWN OF FLOWER MOUND" stamped on its face in 1/8" size letters around the outside edge. The monuments typically shall be placed on drainage structures or in concrete paving utilizing Berntsen DRYLOK Fast Plug anchoring epoxy or equivalent.

4. Geodetic Control Station Data Sheet Specifications

The Town shall be furnished with both an electronic file and an 8 ½" by 11" hard copy of the monument description form. The monument description form shall have the minimum data shown and follow the format of the example monument description contained in the Standard Details.

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160
TDURIE@NEWLANDCO.COM

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033



NOTES:

- THE BEARINGS CONTAINED HEREIN ARE BASED UPON THE DEED TO NASH CANYON FALLS, LLC, RECORDED IN INSTRUMENT NO. 2015–34494 OF THE DEED RECORDS OF DENTON COUNTY, TX (D.R.D.C.T.).
- ALL LOT CORNERS MONUMENTED WITH A 1/2 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
- TOWN MONUMENT USED IS #38.
- PURSUANT TO THE ORDINANCE NO. 36–92 OF THE TOWN OF FLOWER MOUND, TEXAS, A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED AND CREATED TO ASSUME AND BE RESPONSIBLE FOR THE CONTINUOUS AND PERPETUAL OPERATION MAINTENANCE AND/OR SUPERVISION OF DRAINAGE EASEMENTS, LANDSCAPING SYSTEMS OR THEIR PHYSICAL FACILITIES OF GROUND HELD IN COMMON AND NECESSARY OR DESIRABLE FOR THE WELFARE OF THE AREA OF SUBDIVISION OR THAT ARE OF COMMON USE OR BENEFIT. SAID MANDATORY HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE CONTINUOUS AND PERPETUAL OPERATION MAINTENANCE AND/OR SUPERVISION OF THE LANDSCAPE SYSTEMS, FEATURES OR ELEMENTS LOCATED IN PARKWAY COMMON AREA, BETWEEN SCREENING WALLS OR LIVING SCREENS AND ADJACENT CURBS OR STREET PAVEMENT EDGES, ADJACENT TO DRAINAGE WAYS OR DRAINAGE STRUCTURES, OR AT SUBDIVISION ENTRYWAYS.
- ALL X–LOTS ARE UNBUILDABLE AND SHALL BE DEDICATED TO AND MAINTAINED BY THE HOA. ALL X–LOTS SHALL ALSO BE DEDICATED AS WATER, SEWER, PRIVATE DRAINAGE AND PEDESTRIAN ACCESS EASEMENTS.
- WALL MAINTENANCE EASEMENTS SHALL BE DEDICATED TO THE HOA FOR PERPETUAL MAINTENANCE.
- ANY FENCE CONSTRUCTED ADJACENT AND/OR PARALLEL TO OPEN SPACE SHALL CONSIST OF WROUGHT IRON OR TUBULAR STEEL.
- ALL RETAINING WALLS, TURN DOWN CURBS & TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.

PRIVATE DRAINAGE EASEMENT NOTES:

- UPKEEP AND MAINTENANCE OF THE PRIVATE DRAINAGE EASEMENT IS THE RESPONSIBILITY OF THE HOA.
- UPKEEP AND MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:
 - GRASS AND GROUND COVER SHALL BE KEPT TO A HEIGHT REQUIRED BY TOWN ORDINANCE.
 - ANY DETENTION FACILITY SHALL BE KEPT FREE OF DEBRIS AND LITTER, WITH PARTICULAR ATTENTION GIVEN TO KEEPING THE OUTLET STRUCTURE CLEAR AT ALL TIMES.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE FACILITY AS REQUIRED TO ENSURE THAT THERE IS NO REDUCTION IN FUNCTION OR DETENTION CAPACITY.
 - NO DUMPING OF ANY TYPE IS PERMITTED WITHIN THIS EASEMENT AREA.

RECORD PLAT
OF
CANYON FALLS
VILLAGE 4B

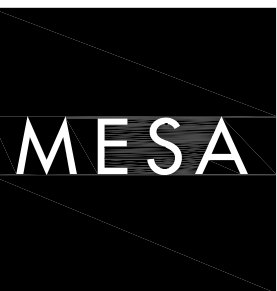
BLOCK QQ, LOTS 1X, 2-9;
BLOCK RR, LOTS 1X, 2-17, 18X, 19X;

BEING 34.762 ACRES LOCATED IN THE
F. THORNTON SURVEY - ABSTRACT NO. 1244
AN ADDITION IN THE
TOWN OF FLOWER MOUND,
DENTON COUNTY, TEXAS
CONTAINING 24 SINGLE-FAMILY
RESIDENTIAL LOTS &
4 OPEN SPACE/HOA LOTS

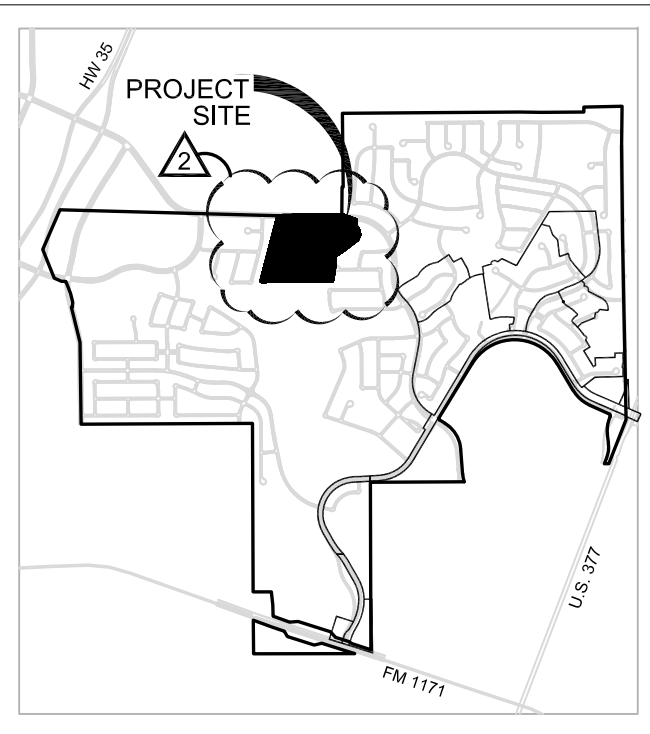
Date: May 05, 2021

RECORDING INFORMATION

2001 North Lamar St,
Suite 100
Dallas, Texas 75202
214.871.0568 tel
214.871.1507 fax
mesadesigngroup.com



KEY MAP



Project Name

VILLAGE 4B
PACKAGE

Flower Mound, TX
Project No: 20258

Issue Title

Hardscape and Landscape
Construction Documents

Issue Date: 10.30.2020

Seal



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Issue / Addenda / Revisions

Date	Description
02/03/2021	Revisions
03/16/2021	Revisions

Drawing Title

Village 4B:
Cover Sheet

Drawn: TB Date: 10.30.2020
Checked: Date:

Sheet No.

L0.00

NOT FOR
CONSTRUCTION

CANYON FALLS VILLAGE 4B

FLOWER MOUND, TEXAS

HARDSCAPE AND LANDSCAPE CONSTRUCTION DOCUMENTS

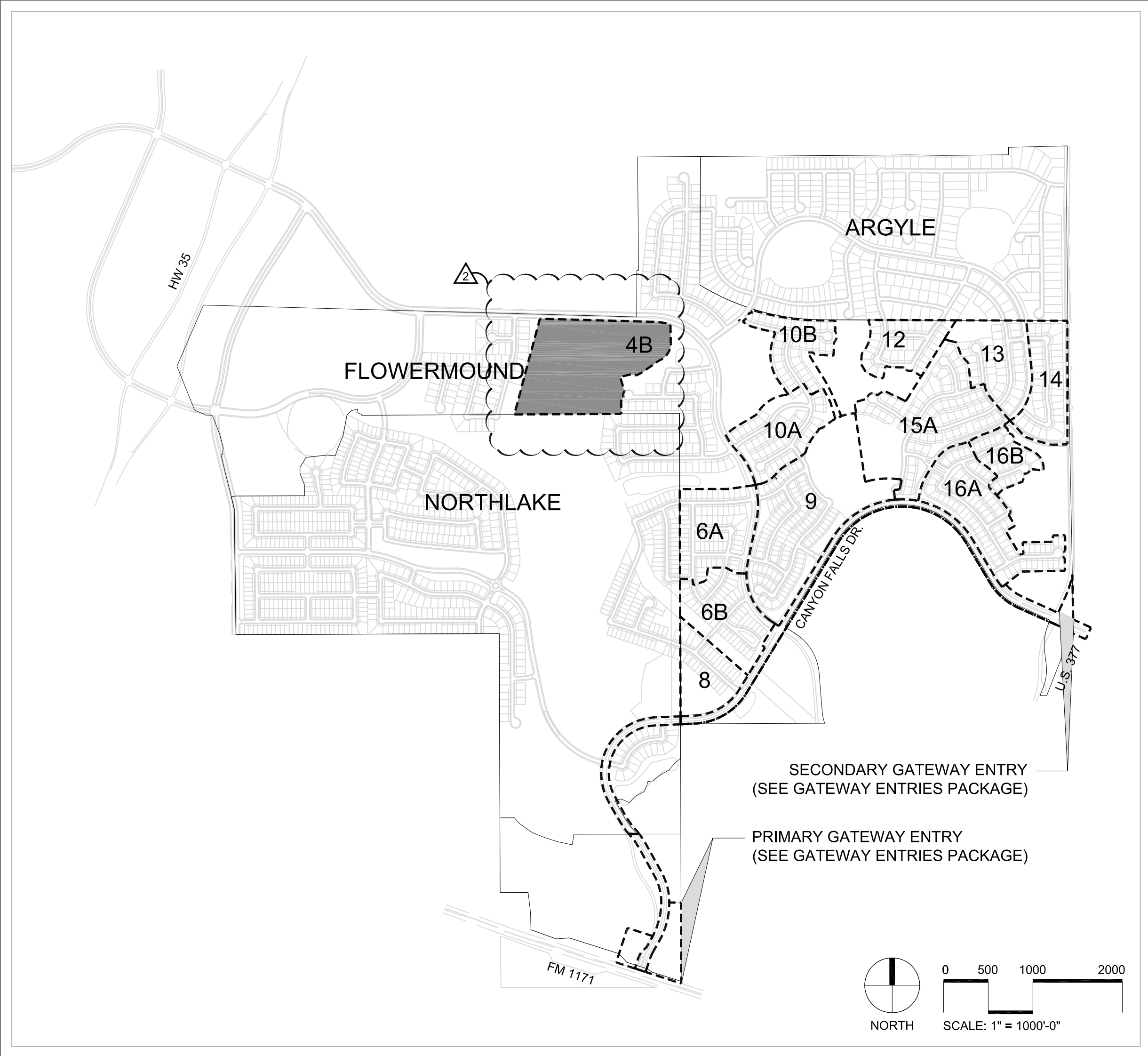
OCTOBER 30, 2020

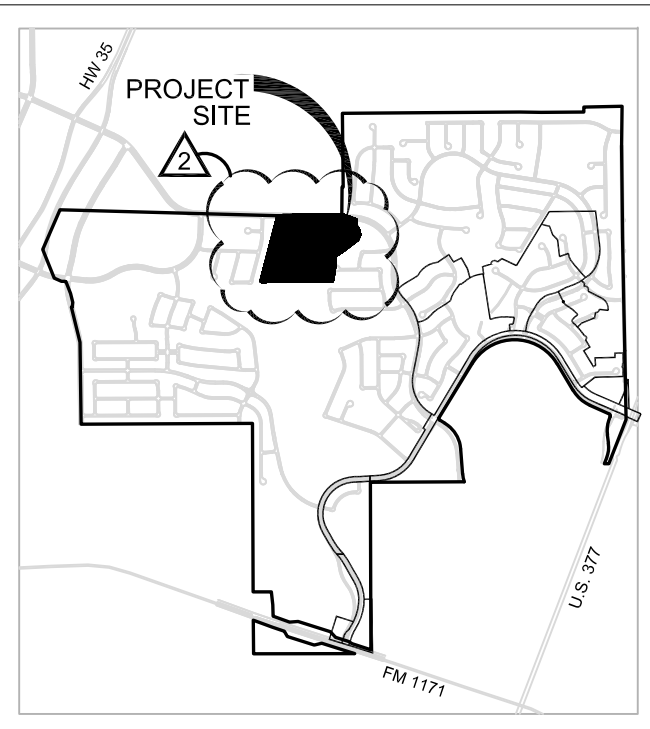
Index of Documents

Sheet Number	Description	Sheet Number	Description
L0.01	Material Specifications	L5.01	Landscape Plan
L1.01	Sheet Layout Plan	L5.02	Landscape Plan
L2.01	Hardscape Layout Plan	L5.03	Landscape Plan
L2.02	Hardscape Layout Plan	L5.04	Median Landscape Enlargement
L2.03	Hardscape Layout Plan	L5.05	Neighborhood Entry Landscape Enlargement
L2.04	Hardscape Layout Plan	L5.06	Plant Schedule and Planting Details
L2.05	Hardscape Layout Plan	L5.07	Street Buffer Calculations / Tree Mitigation
L2.06	Fence Layout Plan	L5.08	Upland Habitat Summary
L3.01	Grading Plan	L5.09	Landscape Plan
L3.02	Grading Plan		
L3.03	Grading Plan		
L4.01	Entry Sign, Sidewalk and Pier Details		
L4.02	Screen Wall Elevation		
L4.03	Neighborhood Entry Elevation		
L4.04	Neighborhood Entry Elevation		
L4.05	Column and Wall Details		
L4.06	Column and Wall Details		
L4.07	Steel Fence Detail		

Developer: Newland Communities 4835 LBJ Freeway, Suite 475 Dallas, Texas 75224 (972) 370-5480	Landscape Architect: MESA 2001 N Lamar St, Unit 100 Dallas, Texas 75202 (214) 871-0568	Civil Engineer: J Volk Consulting Inc. 820 E Campbell Rd, Suite 120 Richardson, Texas 75081 (972) 201-3100	Structural Engineer: Don Illingworth & Assoc., Inc. 2401 Ave. J, Suite 206 Arlington, Texas 76006 (817) 649-1544	
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Location Map





Project Name

VILLAGE 4B PACKAGE

Flower Mound, TX

Project No: 20258

Issue Title

Hardscape and Landscape Construction Documents

Issue Date: 10.30.2020

Seal



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Issue / Addenda / Revisions

[illegible]

Drawing Title

Village 4B: Sheet Layout Plan

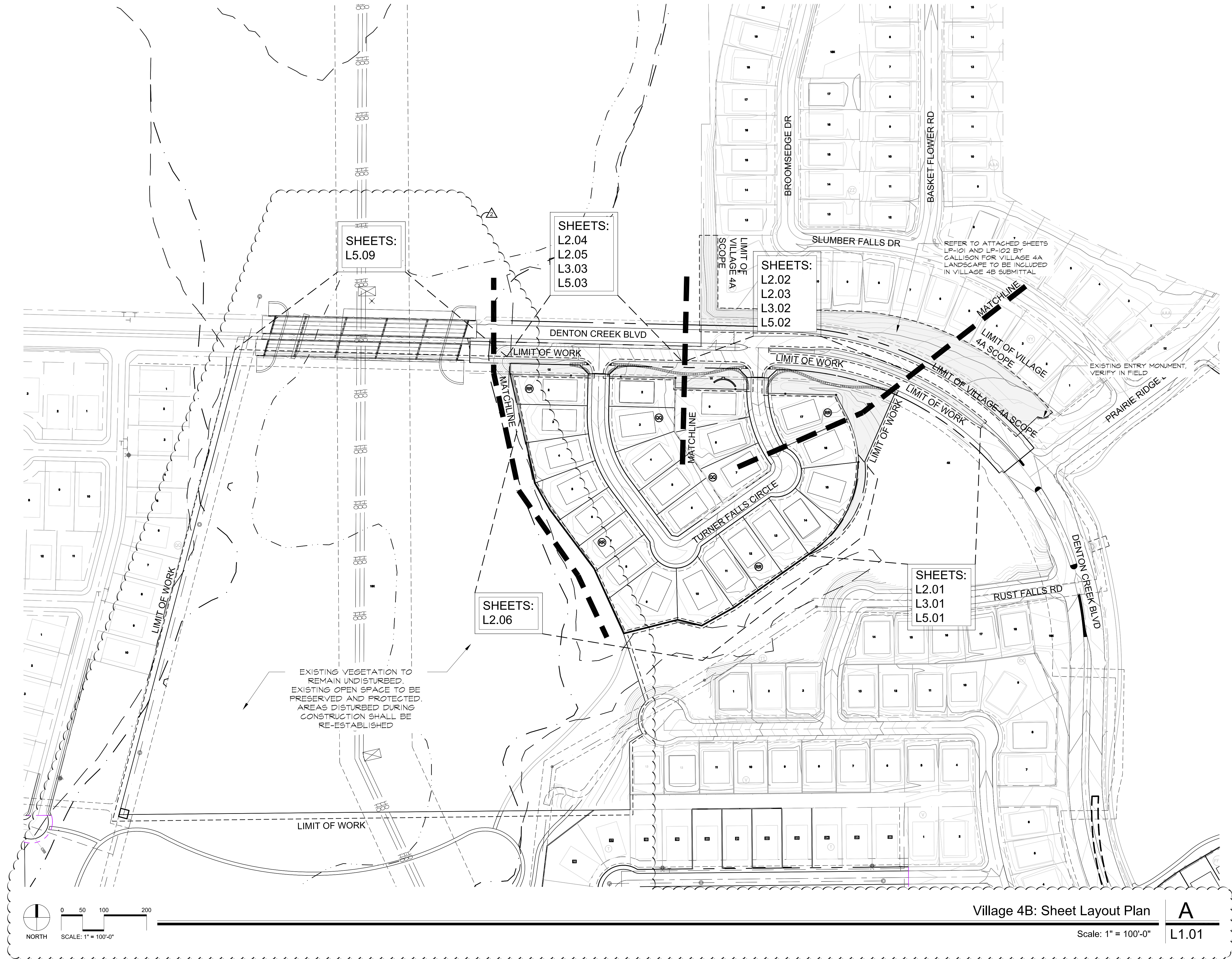
Drawn: TB Date: 10.30.2020

Checked: _____ Date: _____

Sheet No.

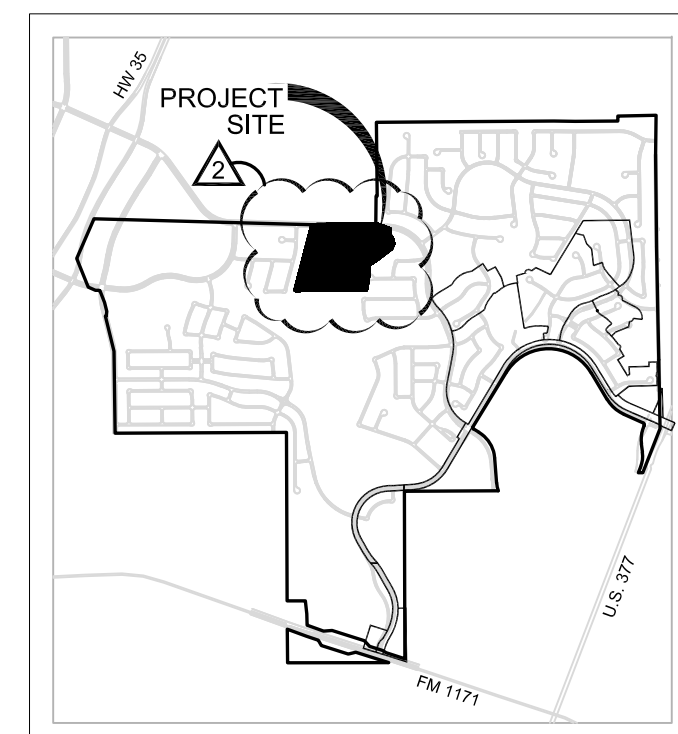
L1.01

NOT FOR
CONSTRUCTION





KEY Y MAP

**Project Name**

VILLAGE 4B PACKAGE

Flower Mound, TX

Project No: 20258

Issue Title

Hardscape and Landscape Construction Documents

Issue Date: 10.30.2020

Seal



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Issue / Addenda / Revisions

[illegible]

Drawing Title

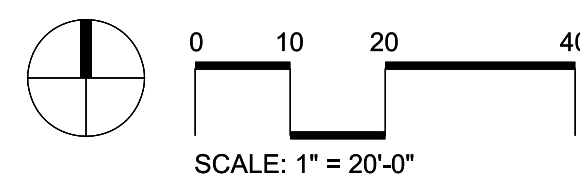
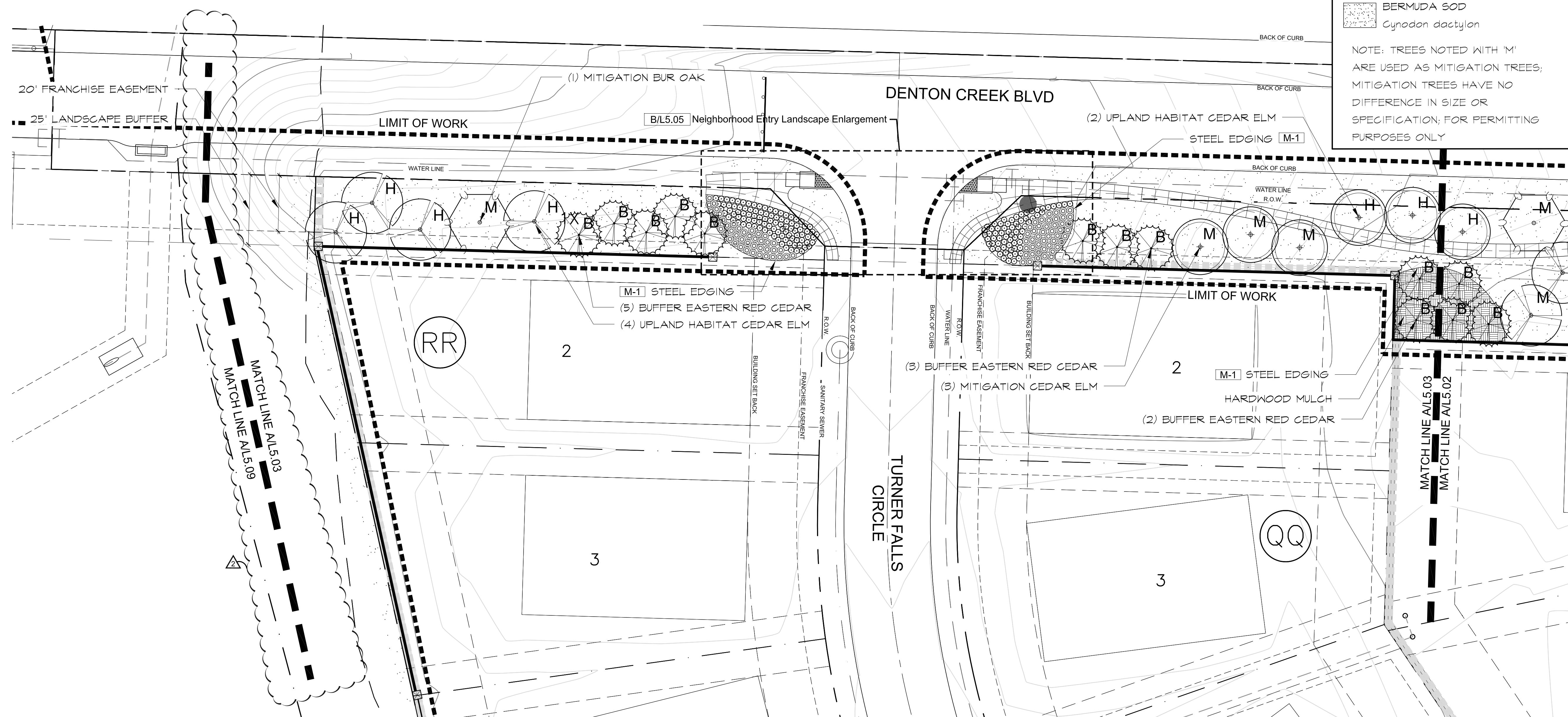
Village 4B: Landscape Plan

Drawn: TB Date: 10.30.2020
Checked: _____ Date: _____

Sheet No.

L5.03

NOT FOR
CONSTRUCTION

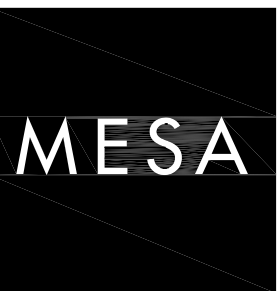


Village 4B: Landscape Plan

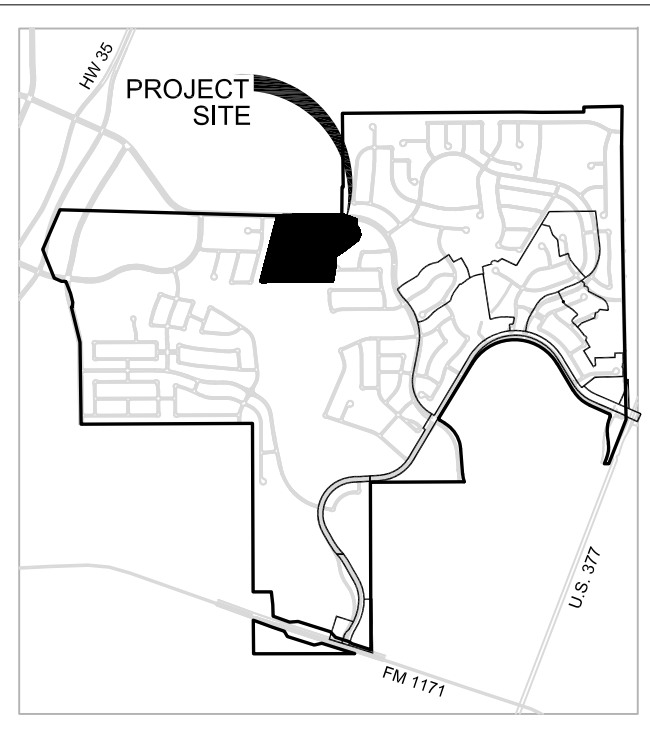
Scale: 1" = 20'-0"

A
L5.03

2001 North Lamar St,
Suite 100
Dallas, Texas 75202
214.871.0568 tel
214.871.1507 fax
mesadesigngroup.com



KEY MAP



Project Name

VILLAGE 4B PACKAGE

Flower Mound, TX
Project No: 20258

Issue Title

Hardscape and Landscape Construction Documents

Issue Date: 10.30.2020

Seal



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Issue / Addenda / Revisions

Date	Description
03/16/2021	Revisions

Drawing Title

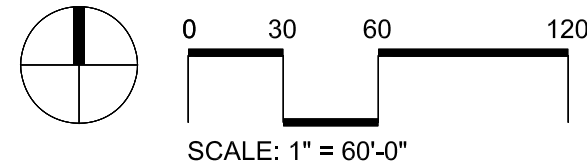
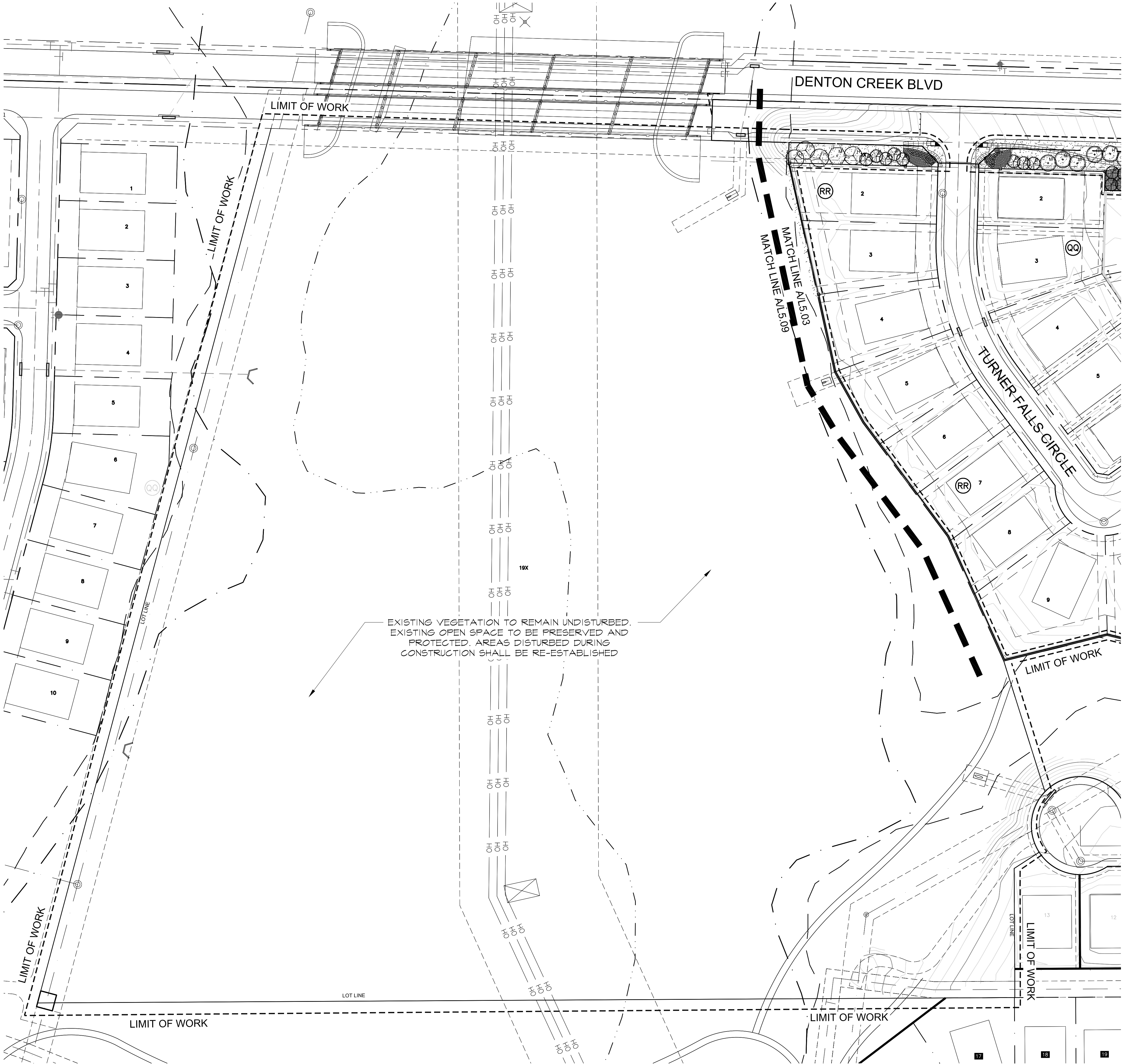
Village 4B: Landscape Plan

Drawn: TB Date: 10.30.2020
Checked: Date:

Sheet No.

L5.09

NOT FOR
CONSTRUCTION



Village 4B: Landscape Plan

A

Scale: 1" = 60'-0"

L5.09



PLANNING AND ZONING COMMISSION
AGENDA ITEM NO: 3
REGULAR ITEM

DATE: May 10, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Consider a request for a Record Plat (RC20-0012 – Argyle Elementary School No.3) to create a non-residential subdivision. The property is generally located east of Denton Creek Boulevard and south of Prairie Ridge Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

A companion Site Plan application (SP20-0022) is on the same agenda for consideration.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to create one non-residential lot in order to develop a 104,797 square-foot elementary school facility of the Argyle Independent School District (AISD). The property is located within Planned Development District-98 (PD-98) for Canyon Falls with Single Family District-10 (SF-10) uses. The subject property is currently vacant and the net site acreage is approximately 16.099 acres.

The plat depicts all required setbacks and easements necessary for the construction of an elementary school. As a part of this plat, 0.053 acres of right-of-way is being dedicated for a deceleration lane into the property. The property will be accessed from Denton Creek Boulevard and Prairie Ridge Road.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

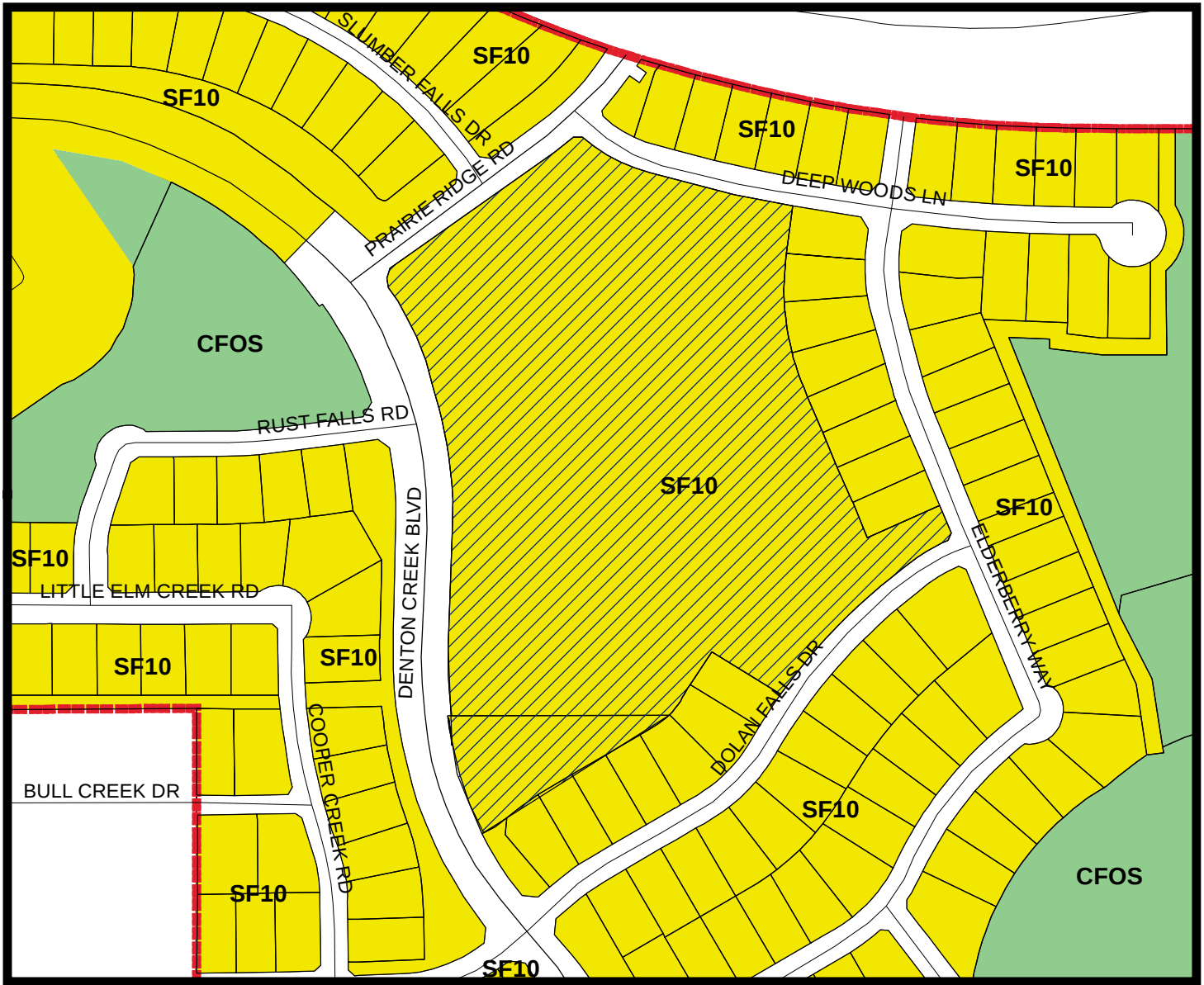
B. Application Details

1. Record Plat Package



Vicinity Map

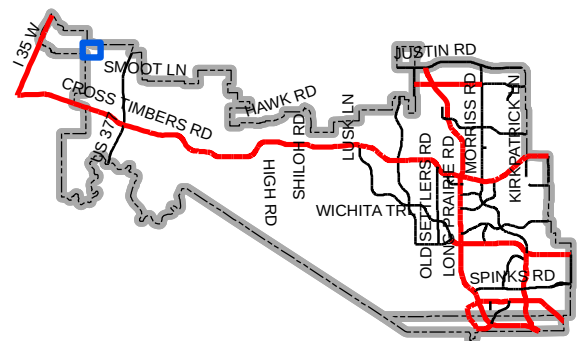
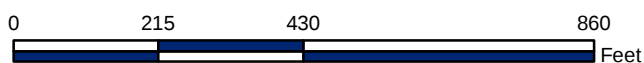
Reference Project: SP20-0022



LEGEND

- Canyon Falls Open Space
- Single Family 10

- Subject Property
- 200 ft Notification Buffer around Property



Map Location



April 30, 2021

Town of Flower Mound
2121 Cross Timbers
Flower Mound, TX 75028

RE: Argyle Elementary School #3, Denton Creek Blvd.
LETTER OF INTENT – Site Plan, Plat

To Staff,

On behalf of our client, Argyle Independent School District, please accept this Letter of Intent as an explanation of the proposed Argyle Elementary School #3.

The project includes the construction of a new elementary school building with a footprint of 71,149 sf and a total building square footage 104,797 sf. The new school will be on one (1) 16.15 Ac lot located at the southeast corner of Denton Creek Blvd. and Prairie Ridge Road and within the Canyon Falls development. The easements for site water lines, drainage and detention, fire lane, electric and a reuse water line will be dedicated. While no offsite easements are needed, there will be additional ROW for a proposed right turn lane along Denton Creek Pkwy. dedicated with this project.

The site will include two parking lots with a total of 188 stalls as well as drives to separate parent and bus traffic to the site. The bus traffic will enter and exit the site from drive connection to Prairie Ridge Rd. on the north side of the site. The parent drop-off/pickup loop will enter and exit the site from two drive connections to Denton Creek Blvd. on the west side of the site. The project will include an 8' multi-use trail along Denton Creek Blvd. and Prairie Ridge Rd. while connecting to existing multi-use trails on the site.

In addition, three variances are being requested for this project as detailed below:

1. A detention pond will be constructed at the northwest corner of the site that will outfall to the existing culvert under Denton Creek Blvd. The variance is the request the construction of a dry detention pond in lieu of a wet detention pond. Attached to this Letter of Intent is a Detention Pond Variance Letter providing more detail to the request.
2. The site is planned to have a total of 188 parking stalls, which is 50 stalls above the allowable 138 stalls. The variance is to request the construction of 50 additional stalls on the site. Attached to this Letter of Intent is a Parking Study/Variance Letter providing more detail to the request.

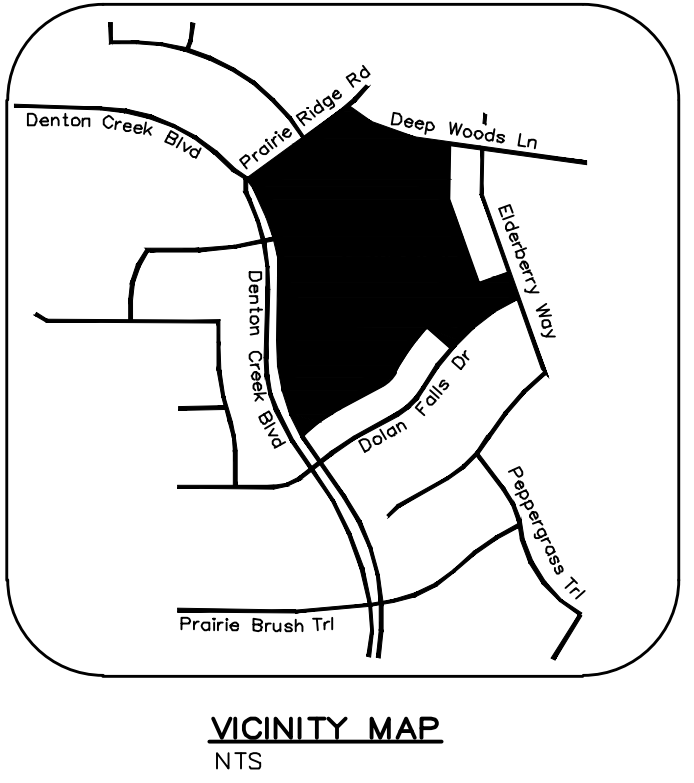
3. We are requesting a variance to Sec. 82-302 Compatibility Buffer subsection (1). Per the ordinance, the existing developed lots to the east and south of the school would require a masonry screen wall. The variance is to request not installing the screen wall along the residential properties. Attached to this Letter of Intent is a Screen Wall Variance Letter providing more detail to the request.

Please contact us if you have any questions or need any additional information.

Thanks,

A handwritten signature in black ink, appearing to read "Rob Morse". The signature is fluid and cursive, with a long horizontal stroke at the beginning.

Rob Morse, PE
RLK Engineering, Inc



S H E E T 1 O F 2
R E C O R D P L A T

ARGYLE ELEMENTARY
SCHOOL No. 3
LOT 1, BLOCK A

16.152 Acres Situated In The
M.E.P. & P.R.R. SURVEY ~ ABST. 922
F. THORNTON SURVEY ~ ABST. 1244
J. WILBURN SURVEY ~ ABST. 1416
FLOWER MOUND, DENTON COUNTY, TEXAS

Owner
Argyle Independent School District
800 Eagle Drive
Argyle, Texas 76266
Telephone 940 464-7241

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200
April 28, 2021

Curve Data Chart														
	Inner		Outer			Inner		Outer			Inner		Outer	
1	A=26°01'35" R=50.01' Ts=11.46' L=22.72'		A=26°07'16" R=78.01' Ts=17.63' L=34.68'		6	A=9°00'00" R=30.00' Ts=30.00' L=47.12'				11	A=22°32'39" R=795.03' Ts=158.76' L=312.82'			
2	A=90°00'00" R=30.00' Ts=30.00' L=47.12'		A=90°00'00" R=54.00' Ts=54.00' L=84.82'		7	A=83°28'24" R=30.00' Ts=30.00' L=43.71'				12	A=25°04'25" R=630.00' Ts=140.00' L=275.70'			
3	A=20°45'56" R=640.00' Ts=117.26' L=231.85'				8	A=78°43'39" R=50.00' Ts=14.02' L=68.70'				13	A=11°21'11" R=608.00' Ts=60.53' L=120.67'			
4	A=45°00'03" R=100.00' Ts=41.42' L=78.54'		A=45°00'03" R=126.00' Ts=52.19' L=98.95'		9	A=131°30'33" R=895.12' Ts=103.71' L=206.49'				14	A=93°51'22" R=91.00' Ts=24.17' L=47.26'			
5	A=56°43'34" R=100.00' Ts=53.99' L=89.01'		A=56°43'34" R=126.00' Ts=68.02' L=124.75'		10	A=52°10'33" R=30.00' Ts=31.53' L=46.61'				15	A=6°29'26" R=1205.00' Ts=68.55' L=136.96'			



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: May 10, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Consider a request for a Site Plan (SP20-0022 – Argyle ISD Elementary School) to develop an elementary school, with a request for a deviation to computing parking and loading requirements pursuant to Section 82-73 of the Code of Ordinances, an exception to Section 82-302, Compatibility buffer, of the Code of Ordinances, and an exception to Section IV.C.5. of the Town's Engineering Design Criteria requirement to provide a wet retention pond. The property is generally located east of Denton Creek Boulevard and south of Prairie Ridge Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are exception requests to the Town's regulations which necessitate special consideration by the Commission (see Analysis below).

The project has a companion application, Record Plat (RC20-0012), for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a two-story, approximately 104,797 square-foot elementary school for the Argyle Independent School District (AISD). The property is located within Planned Development District-98 (PD-98) for Canyon Falls with Single Family District-10 (SF-10) uses, which allows the proposed use by right. The subject property is currently vacant and the net site acreage is approximately 16.099 acres.

The elementary school is planned to include 58 classrooms and a gymnasium with a total capacity of 171 seats. As a part of the site plan application, the applicant is requesting certain exceptions:

A. Deviation to computing parking and loading requirements:

Section 82-73 of the Town's Code of Ordinances provides for alternative off-street parking requirements that reduce or exceed required parking by greater than 20 percent:

Deviation of required spaces. The amount of parking can be reduced or increased by 20 percent. Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation can be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.

The parking for an elementary school is calculated as one space per classroom plus one space per three seats in the gym. Based on this requirement, the school would require 115 parking spaces and would be allowed to have up to 138 spaces with the allowable 20 percent deviation. The applicant is proposing to install 188 parking spaces, which accounts to 50 spaces over the 20 percent allowable deviation. The applicant has indicated the need for additional spaces is to accommodate non-employee spaces needed throughout the day for other campus activities such as leadership meetings with district staff, grade-level programs, and special curriculum nights. Per the applicant's letter, the additional parking will reduce on-street parking within adjacent neighborhoods. To offset the additional pervious surface, the applicant is proposing to plant six additional trees on the site, which is based on a standard of providing at least one tree per 10 parking spaces over the maximum allowed.

B. Exception to Section 82-302 Compatibility Buffer

The residential compatibility standards apply when a non-residential development is proposed adjacent to an existing residential use or zoning, or property designated for residential use on the comprehensive master plan.

For schools, the landscape setback shall consist of a minimum 25-foot landscape buffer, with native shade trees, a minimum three-inch caliper and of species included in section 94-66 of this Code, approved tree lists, provided at a ratio of one tree per 800 square feet of buffer area. A school constructed adjacent to an existing residential neighborhood shall comply with the requirements of subsection (1) of this section, requiring the construction of a brick wall or masonry wall with stucco or mortar wash finish.

The proposed development has residential adjacency along the southern and eastern property lines. There are seven existing homes within Canyon Falls, Village 10A located along the southern property line that have wooden fences that were installed at the time these houses were constructed. There are eight lots along the eastern property line within Canyon Falls, Village 10B for which the Town has received six single family dwelling permits. The applicant is requesting a waiver to the masonry wall requirements along residential adjacency. The applicant has provided a detailed letter explaining the reasons for requesting this exception (Attachment A(3), which include a desire for the campus to be publicly accessible.

C. Dry Detention Pond

Section IV.C.5. of the Town's Engineering Design Criteria requires the construction of a wet retention pond for the proposed development. The applicant is requesting to provide a dry detention pond, due to safety concerns relating to having a body of water so close to an elementary school.

The parent pick-up/drop off loop will enter and exit from two drive connections to Denton Creek Boulevard. The bus traffic will enter and exit from Prairie Ridge Road to the north side of the site. There are no vehicular driveways provided from residential streets. A queue analysis has been provided by the applicant, and based on the conclusion, the amount of on-site queuing provided meets the amount of on-site queuing recommended by Texas A&M Transportation Institute (TTI) report. In order to accommodate any possible stacking during the school release time, a deceleration right turn lane has been provided along Denton Creek Boulevard.

The proposed building elevations comply with the design standards in the Town's Urban Design Plan. Primary building materials include brick and stone with wood panels and metal being utilized as secondary materials. The landscape plan depicts the required compatibility buffer, landscape buffer, streetyard buffer, and parking lot trees. The landscape plan and building elevations comply with applicable town standards.

III. CORRESPONDENCE

The Town Code requires written notification mailed to all adjacent property owners and adjacent homeowners' associations for compatibility buffer exception requests. SP20-0022 had a total of 19 property owner notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item in response to the property owner notice.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Exception Request Letter
4. Queueing Analysis Memo

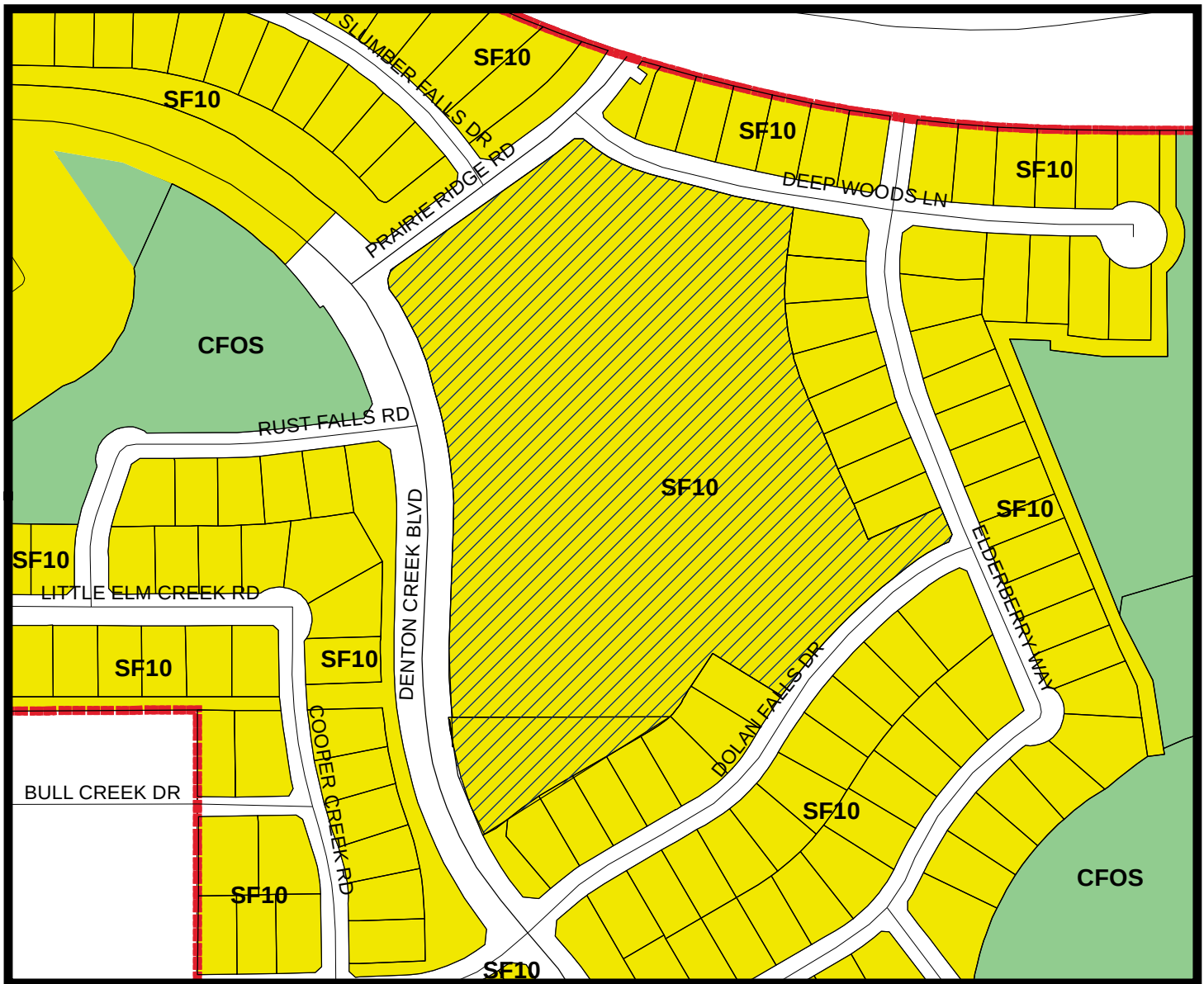
B. Application Details

1. Site Plan Package

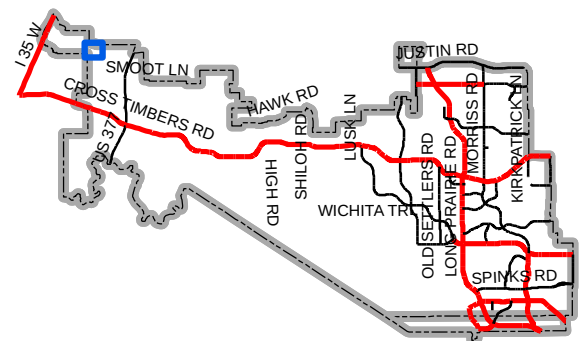
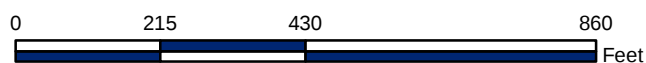
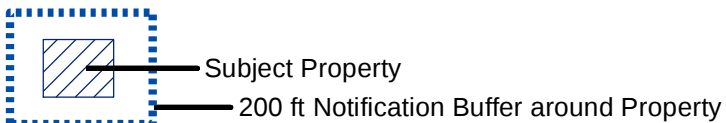


Vicinity Map

Reference Project: SP20-0022



LEGEND



Map Location



April 30, 2021

Town of Flower Mound
2121 Cross Timbers
Flower Mound, TX 75028

RE: Argyle Elementary School #3, Denton Creek Blvd.
LETTER OF INTENT – Site Plan, Plat

To Staff,

On behalf of our client, Argyle Independent School District, please accept this Letter of Intent as an explanation of the proposed Argyle Elementary School #3.

The project includes the construction of a new elementary school building with a footprint of 71,149 sf and a total building square footage 104,797 sf. The new school will be on one (1) 16.15 Ac lot located at the southeast corner of Denton Creek Blvd. and Prairie Ridge Road and within the Canyon Falls development. The easements for site water lines, drainage and detention, fire lane, electric and a reuse water line will be dedicated. While no offsite easements are needed, there will be additional ROW for a proposed right turn lane along Denton Creek Pkwy. dedicated with this project.

The site will include two parking lots with a total of 188 stalls as well as drives to separate parent and bus traffic to the site. The bus traffic will enter and exit the site from drive connection to Prairie Ridge Rd. on the north side of the site. The parent drop-off/pickup loop will enter and exit the site from two drive connections to Denton Creek Blvd. on the west side of the site. The project will include an 8' multi-use trail along Denton Creek Blvd. and Prairie Ridge Rd. while connecting to existing multi-use trails on the site.

In addition, three variances are being requested for this project as detailed below:

1. A detention pond will be constructed at the northwest corner of the site that will outfall to the existing culvert under Denton Creek Blvd. The variance is the request the construction of a dry detention pond in lieu of a wet detention pond. Attached to this Letter of Intent is a Detention Pond Variance Letter providing more detail to the request.
2. The site is planned to have a total of 188 parking stalls, which is 50 stalls above the allowable 138 stalls. The variance is to request the construction of 50 additional stalls on the site. Attached to this Letter of Intent is a Parking Study/Variance Letter providing more detail to the request.

3. We are requesting a variance to Sec. 82-302 Compatibility Buffer subsection (1). Per the ordinance, the existing developed lots to the east and south of the school would require a masonry screen wall. The variance is to request not installing the screen wall along the residential properties. Attached to this Letter of Intent is a Screen Wall Variance Letter providing more detail to the request.

Please contact us if you have any questions or need any additional information.

Thanks,

A handwritten signature in black ink, appearing to read "Rob Morse". The signature is fluid and cursive, with a long horizontal stroke extending to the left.

Rob Morse, PE
RLK Engineering, Inc



111 West Main, Allen, Texas 75013
Ph: 972.359.1733, Fax: 972.359.1833

TX Firm #579

March 31, 2021

Poornima Kashyap
Town of Flower Mound
2121 Cross Timbers
Flower Mound, TX 75028

RE: Argyle Elementary School #3, Denton Creek Blvd.
Screen Wall Variance Letter

Ms. Kashyap,

On behalf of the Argyle Independent School District, we would like to request a variance or waiver to the screen wall requirement in ordinance section 82-302. This section requires that:

Sec. 82-302. - Compatibility buffer.

A landscaped buffer shall be located on the site of the nonresidential or multifamily use along all property lines adjacent to the existing or proposed residential uses, subject to the following standards:

(1)

A brick wall or masonry wall with stucco or mortar wash finish, both exterior finishes being the same, shall be constructed along the property line. Such walls shall have no vehicular access point into or from an alley and shall be a minimum of six feet in height, except that the first 25 feet in from the street line may be stepped down to a minimum height of four feet. However, notwithstanding the foregoing, churches and/or schools shall be exempt from the requirements of this division.

(2)

(NOT APPLICABLE)

(3)

(NOT APPLICABLE)

(4)

(NOT APPLICABLE)

(5)

For schools, the landscape setback shall consist of a minimum 25-foot landscape buffer, with native shade trees, a minimum three-inch caliper and of species included in section 94-66 of this Code, "approved tree lists", provided at a ratio of one tree per 800 square feet of buffer area. A six-foot tubular steel fence with masonry columns, spaced a minimum 40-foot on

center, shall be constructed along school property lines adjacent to vacant residential property. A school constructed adjacent to an existing residential neighborhood shall comply with the requirements of subsection (1) of this section, requiring the construction of a brick wall or masonry wall with stucco or mortar wash finish.

The construction of a screen wall will require removing existing fencing and will disrupt adjacent homeowners, which is not a desirable solution for the District or the homeowners. This type of disruption is not an activity that the District wants to promote. In addition, there is not a screen wall/barrier at any other schools within the District. Another important point is that there is an existing public sidewalk inside the property line on the south side of the property and adding a masonry barrier will interfere with access to this public sidewalk from the southern homeowners.

In the case of Argyle Elementary #3 where a brick wall or masonry wall with stucco or mortar wash finish is required on the south and east property lines where residential houses are currently developed, or being developed, we believe the cost to build a full masonry wall on the east and the south part of the site is too high for Argyle ISD and the taxpayers. Base on a current quote for another project it will cost \$145 per Linear Feet, and a total of \$232, 000 to build the requested wall.

- \$ 145 LF x 1600LF total: \$ 232, 000.

For these reasons, we are requesting to be exempt from the screening requirement. I trust you will find this information satisfactory, please do not hesitate to contact me should you have any questions. Thank you.

Sincerely,

A handwritten signature in dark ink, appearing to read "Rob Morse", written in a cursive style.

Rob Morse, PE
RLK Engineering, Inc



March 31, 2021

Poornima Kashyap
Town of Flower Mound
2121 Cross Timbers
Flower Mound, TX 75028

RE: Argyle Elementary School #3, Denton Creek Blvd.
Parking Study / Parking Variance Letter

Ms. Kashyap,

On behalf of the Argyle Independent School District, we would like to request a variance or waiver to section 82-73. This section requires that:

Sec. 82-73. - Computing parking and loading requirements.

The number of parking spaces required for a specific development proposal shall be based on the requirements listed in section 82-74, Off-street parking and loading space requirements, and the following provisions:

(1)

Deviation of required spaces. The amount of parking can be reduced or increased by 20 percent. Deviations in excess of 20 percent must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation can be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.

(2)

Unlisted uses. Where questions arise concerning the minimum off-street parking and loading requirements for any use not specifically listed, the requirements may be interpreted by the town as those of a similar use.

(3)

Large developments. A large development is defined as any development that is required to provide over 250 parking spaces based on the parking ratios listed in section 82-74. All large developments are required to provide a parking study as defined in this section and should provide a minimum reduction of 20 percent from the sum of the specific parking required for each use.

(4)

Parking study. A parking study required by this article shall be reviewed by the town along with any traffic engineering and planning data that are appropriate to the establishment of a parking requirement for the use proposed. A parking study, when required by this article, shall include, but not be limited to, estimates of parking requirements based on recommendations in studies such as those from the Urban Land Institute, the Institute of Traffic Engineers, or the Traffic Institute, and based on data collected from uses or

combinations of uses that are the same or comparable to the proposed use. Comparability shall be determined by density, scale, bulk, area, type of activity and location. The analysis must include a shared parking analysis based on the mixture of uses and corresponding peak demand. Specifically, the parking required for restaurants should be included in the study and be determined by the number, location, and type of restaurants proposed. The study shall document the source of data used to develop recommendations.

(5)

Location. All required parking shall be located and arranged on the site to insure optimal access and use.

(6)

Fractions. When measurements determining the number of required parking and loading spaces result in fractions, any fraction less than one-half shall be disregarded and any fraction of one-half or more shall be rounded upward to the next highest full number.

(7)

Seating capacity. Where parking ratios are specified in terms of the number of seats, this shall be interpreted to mean maximum seating capacity as determined using the standards of the uniform building code.

(8)

Floor area. Floor area of structures devoted to off-street parking of vehicles shall be excluded in computing the off-street parking and loading requirements of any use.

(Code 1989, ch. 12, § 5.02(c); Ord. No. 62-04, § 4, 7-19-2004)

Per Offstreet Parking Requirements, the school will be required to provide 1stall for the 58 classrooms plus 1 stall for every 3 seats in the gymnasium, which has 171 seats. This means the site must have a minimum of 115 stalls but can increased by 20% up to 138 stalls. The purpose of the variance is request additional stalls above the 138 spaces.

In the case of Argyle Elementary #3 we are requesting 50 additional parking spaces above the allowed parking space number of 138, for a total of 188 spaces. The campus will employ 90 staff that will be utilizing spaces every day. In addition, the campus will also host 30 to 50 PTA/PTO volunteers on a daily basis. The campus will also allow approximately 100 parents and grandparents daily to attend presentations and lunch-time visits with the students. Many of these visitors overlap throughout the day. The 50 addition parking spaces will help to accommodate the non-employee spaces needed and reduce any off-campus parking on the streets and in the neighborhood. Street and neighborhood parking is a safety concern for the district and would like to be avoided as much as possible.

Additional campus activities that necessitate the additional 50 spaces include campus leadership meetings with additional district staff, grade-level programs and special curriculum nights for parents and family members during school hours and after school.

As a comparison, the two other Argyle ISD elementary schools, Hilltop Elementary and Argyle West Elementary, have 162 stalls and 139 stalls respectively. These two existing schools regularly have issues with adequate parking for the additional visitors at special events and during days with a large number of volunteers.

To offset the requested additional paving, additional landscaping will be added to the site in the form of trees. Using the 1 tree per 10 spaces guideline, 6 additional trees have been added to the site ($50/10=5$ trees). The additional trees are noted on the Landscape Plans with an 'E' next to the tree.

Thank you for allowing us the opportunity to demonstrate the site's need for the additional parking through this letter and for considering our request for a parking waiver/variance.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Morse". The signature is fluid and cursive, with a long horizontal stroke extending to the left.

Rob Morse, PE
RLK Engineering, Inc



March 31, 2021

Poornima Kashyap
Town of Flower Mound
2121 Cross Timbers
Flower Mound, TX 75028

RE: Argyle Elementary School #3, Denton Creek Blvd.
Wet Pond Variance Letter

Ms. Kashyap,

On behalf of the Argyle Independent School District, we would like to request a variance or waiver to the Town of Flower Mound Design Criteria Part B Section IV Storm Water Improvements C, 5,a,ii Pond Requirements. This section requires that:

Design Criteria Part B Section IV Storm Water Improvements C,5,a

ii) Detention facilities will be in the form of wet ponds in residential, mixed-use, office and retail land uses and either wet or dry facilities for commercial or industrial land uses. Institutional uses will adhere to the form of the pond for the predominant surrounding land use but will at a minimum provide detention in the form of a dry pond. The equations and methodology to determine detention facility storage can be found in Appendix E-Detention Equations and Sample Calculations.

In the case of Argyle Elementary #3 where the surrounding land is residential and a wet pond is required, we are requesting a variance that will allow the installation of a dry pond in lieu of a wet pond. The main reason will be the life, safety, and welfare of the elementary school students, it will be preferable for Argyle ISD not to have a body of water that is close to an elementary school campus.

In addition, Argyle ISD has concerns of having standing water that will promotes mosquitos and other water born insects. Furthermore, the additional upfront cost and maintenance cost of a wet pond on an elementary school will be too high for Argyle ISD.

For these reasons, we are requesting to be exempt from the wet pond requirement. I trust you will find this information satisfactory, please do not hesitate to contact me should you have any questions. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Morse", is written over a horizontal line.

Rob Morse, PE
RLK Engineering, Inc



ARIZONA
TEXAS
NEW MEXICO
OKLAHOMA

January 14, 2021

Mr. Keith Cummins, AIA
Project Manager, Senior Associate
Corgan
401 North Houston Street
Dallas, Texas 75202

Re: *Queueing Analysis Study – Argyle ISD Elementary School #3*

Dear Mr. Cummins:

Lee Engineering has completed the queueing analysis for the proposed Argyle ISD Elementary School #3 located on the southeast corner of Denton Creek Boulevard and Prairie Ridge Road in Flower Mound, Texas. This letter report documents our study procedures and findings.

INTRODUCTION

The proposed Argyle ISD Elementary School #3, serving Pre-Kindergarten to 5th grade, is planned to open in August 2022 with an enrollment of 750 students. Maximum enrollment of 850 student is anticipated to be reached in August 2023. The hours of operation for the school are planned to be from 7:30 AM to 3:00 PM. The proposed development location is shown in **Figure 1** and the site plan is provided in **Figure 2**.

TRIP GENERATION

The number of vehicle trips generated by the proposed elementary school was estimated based on the trip generation rates and equations provided in the publication entitled *Trip Generation Manual, 10th Edition*, by the Institute of Transportation Engineers (ITE). The number of trips generated by the development is a function of the type and quantity of the land use within the development. Estimates of the number of trips generated by the site were made for the AM and School PM peak hours, as well as on a daily basis. The trip generation characteristics for the proposed Argyle ISD Elementary School #3 at Opening-Day (2022) and Maximum Enrollment (2023) conditions are shown in **Table 1**.

Table 1: Trip Generation Characteristics for Proposed Argyle ISD Elementary School #3

Land Use		Rates ¹								
Description	ITE Code	Average Weekday			AM Peak Hour			School PM Peak Hour		
Elementary School	520	T = 1.89*X			T = 0.67*X			T = 0.34*X		
Land Use		Directional Split ²								
Description	ITE Code	Average Weekday			AM Peak Hour			School PM Peak Hour		
Elementary School	520	50 / 50			54 / 46			45 / 55		
Land Use	Variable ³	Average Weekday			AM Peak Hour			School PM Peak Hour		
		Total	In	Out	Total	In	Out	Total	In	Out
Elementary School	750	1,418	709	709	503	271	232	255	115	140
	850	1,608	804	804	570	308	262	289	130	159

¹ T = Trips Ends; X = Number of Students² XX / YY = % entering vehicles / % exiting vehicles³ Number of Students (750 @ Opening-Day; 850 @ Maximum Enrollment)

DIRECTIONAL DISTRIBUTION

The attendance boundary for the two (2) existing Argyle ISD elementary schools is provided in **Figure 3**. While a proposed attendance boundary has not been developed by the school district, this study assumed that most of the existing boundary south of Frenchtown Road would be included in the boundary for the proposed Argyle ISD #3 Elementary School. Given the lack of roadway connectivity west and east of US 377, due to the railroad tracks west of US 377, potential access to the school for students living east of US 377 is limited to either Frenchtown Road or Canyon Falls Drive. It was assumed that the majority of site traffic east of US 377 would travel on US 377 to Canyon Falls Drive (approaching the school from the south) rather than using the local streets (Stonecrest Road via Frenchtown Road) and approaching the school from the north. As a result of these assumptions and the distribution of the existing houses within the Canyon Falls neighborhood, 65% of the traffic generated by the school was assumed to approach from the south (Canyon Falls Drive) and 35% was assumed to approach from the north.

SITE TRAFFIC VOLUMES

The estimated peak hour site generated traffic volumes (Table 1) during the school start and end periods were assigned to the area roadways and site access points based on the assumed directional distribution described above. The estimated AM and School PM peak hour site generated traffic volumes under Opening-Day (2022) and Horizon Year (2023) conditions are provided in **Figure 4**.

CIRCULATION AND ON-SITE QUEUEING ANALYSIS

The primary goal of the circulation and queueing analysis for the proposed Argyle ISD Elementary School #3 is to ensure that queues created by vehicles dropping off or picking up students are contained on the school property as much as possible and to minimize any spillover on to the adjacent roadway (Denton Creek Boulevard). As part of this study, an on-site queueing analysis was completed for the proposed campus.

Because longer queue lengths are typically associated with school release times, this study focuses on the predicted queue lengths during this time period. Studies have shown that one-way traffic flow provides the safest and most efficient operation for pick-up and drop-off configurations and one-way operation has been proposed during pick-up and drop-off operation for this campus. The circulation plan assumes a single pick-up area with two lanes of drop-off/pick-up operation.

The proposed circulation route and on-site queuing for the Argyle ISD #3 Elementary School is provided in **Figure 5**. Under this plan, all parents picking up their child will be directed to enter the campus using the southern access on Denton Creek Boulevard and exit the campus at the northern driveway on Denton Creek Boulevard. Under this scenario and using two lanes for loading operations, an approximate total of 1,200 feet of storage for parents will be provided on-site under this circulation plan.

Texas A&M Transportation Institute Recommended Queue Lengths

A Texas A&M Transportation Institute (TTI) report, *Traffic Operations and Safety at Schools: Recommended Guidelines* (FHWA/TX-04/4286-2), provides recommendations for the development of school sites. This research report analyzed school sites in North Carolina, South Carolina, and Texas to develop standards for various components of school site design including bus parking, site selection, driveways, and other items unique to school site design. The report also developed recommendations for the minimum length of parent drop-off/pick-up zones. **Table 2** shows the recommendations provided in the TTI report, which recommends a stacking length of between 750 to 1,500 feet for an elementary school with 500 or more students. The proposed on-site queuing available (1,200 feet) for the Argyle ISD #3 Elementary School will fall within the range identified in the TTI recommendations (750 – 1,500 feet) for an 850-student elementary school.

Table 2: TTI Recommendations for Parent Pick-up/Drop-off

School Type	Student Population	Loop Drive Stacking Length (linear feet)
Elementary	Less than 500	400 – 750
	500 or more	750 – 1500
Middle	Less than 600	500 – 800
	600 or more	800 – 1600
Note: For high school populations greater than 2,500 students, consider two separate student pick-up/drop-off loops.		

Harris County Study Recommended Queue Lengths

A study of maximum queue lengths observed at 55 elementary schools around Houston, Texas was performed in 2010¹. This study used the total student enrollment and the maximum observed queue length and computed the percentage of the maximum queue length (vehicles) to the total enrollment (students) for each of the 55 schools. Applying linear regression to the collected data resulted in a “rule-of-thumb” that the expected maximum queue length (in vehicles) is equal to approximately six percent (6%) of the total enrollment (in students). Therefore, for a school with 750 students, the expected maximum queue length would be 45 vehicles ($750 \times 0.06 = 45$) and for a school with 850 students, the expected maximum queue length would be 51 vehicles ($850 \times 0.06 = 51$). If it is assumed that a vehicle occupies 22 feet of linear space in the queue, a total queue length of 990 feet and 1,122 feet can be expected for a school with 750 and 850

¹ Qualls, Dustin W., P.E., PTOE. *The Greening of Student Pick-Ups at School Dismissal – 2010 TexITE Technical Paper Award Submittal*, 2010. https://www.texite.org/wp-content/uploads/papers/Tech_Paper_Dustin_Qualls.pdf

students, respectively. The proposed total storage available (1,200 feet) for the Argyle ISD #3 Elementary School is predicted to exceed the recommendations from the Harris County report (1,122 feet) for an elementary school with an enrollment of 850 students.

North Carolina Department of Transportation Recommended Queue Lengths

The Municipal School Transportation Assistance (MSTA) division of the North Carolina Department of Transportation (NCDOT) specifically performs and compiles studies that address safety concerns on school campuses. One of the products of this effort is a Microsoft Excel spreadsheet which identifies the expected queue lengths under typical dismissal operations based on data collected at schools in North Carolina. **Figure 6** shows the results of this methodology for an 850 student enrollment elementary school. As shown by the results in the spreadsheet, 1,403 feet of queuing space would be needed to accommodate an 850 student elementary school under typical school dismissal days. Although not shown, the spreadsheet indicates that 1,242 feet of queuing space would be needed for a 750 student elementary school. The proposed available stacking for the Argyle ISD Elementary School #3 (1,200 feet) is approximately less than 200 feet less than the typical queue length estimated by the NCDOT MSTA methodology (1,403 feet). Under this methodology, approximately nine (9) vehicles would queue off the school property during school release times. Applying the directional distribution assumed previously (65% from the south and 35% from the north), this would result in six (6) vehicles queued on the inside lane of northbound Denton Creek Boulevard and three (3) vehicles within the hooded southbound left turn lane on Denton Creek Boulevard. Assuming a discharge rate from the queue lanes of 6 vehicles/minute, school traffic is expected to queue off-site for less than two (2) minutes.

A summary of the projected total stacking space provided by the proposed Argyle ISD Elementary School #3 site plan with the amount required based on other studies/methodologies is presented in **Table 3**.

Table 3: Comparisons of Projected Queueing to Storage Guidelines (850 Students)

Methodology	Recommended Storage Length (feet)	Storage Length Provided (feet)
TTI	750 – 1,500	1,200
Harris County	1,122	1,200
NCDOT MSTA "Typical"	1,403	1,200

CONCLUSIONS

Based on the results of this analysis, the following conclusions are made:

- Under Opening-Day (2022) conditions, with an enrollment of 750 students, the proposed Argyle ISD Elementary School #3 is predicted to generate 1,418 trips on a daily basis, with 503 trips during the AM peak hour and 255 trips during the PM peak hour.
- Under Maximum Enrollment (2023) conditions, with an enrollment of 850 students, the proposed Argyle ISD Elementary School #3 is predicted to generate 1,608 trips on a daily basis, with 570 trips during the AM peak hour and 289 trips during the PM peak hour.
- Using two lanes for picking up students during school dismissal time, a total of 1,200 feet of storage is predicted to be provided on site.
- The amount of on-site queuing provided meets the amount of on-site queueing recommended by a TTI study and exceeds the amount queuing needed based on a study of elementary schools in Harris

County. While these methodologies indicate that all queueing would be able to be contained within the site, the NCDOT MSTA methodology indicated approximately nine (9) vehicles would queue on Denton Creek Boulevard during the school release time. If this amount of stacking on the adjacent roadway were to occur, it is estimated that school traffic would queue on Denton Creek Boulevard for less than two (2) minutes around the school dismissal time (3:00 PM).

To help process traffic through the site during the school dismissal times, the following recommendations are made:

- Use two lanes and loading areas during student pick-up, as identified in Figure 5.
- Effectively communicate the school pick-up procedure to parents.
- Use school staff to direct and load students into waiting vehicles.
- Use traffic monitors to stop circulating traffic, when needed, to provide for the safe crossing of parents/schoolchildren using the crosswalk within the loading areas.
- Require all parents in the queuing lanes to remain in their vehicles (no unattended vehicles).

We appreciate the opportunity to provide these traffic engineering services. If you have any questions about this analysis, please do not hesitate to contact me at (972) 248-3006.

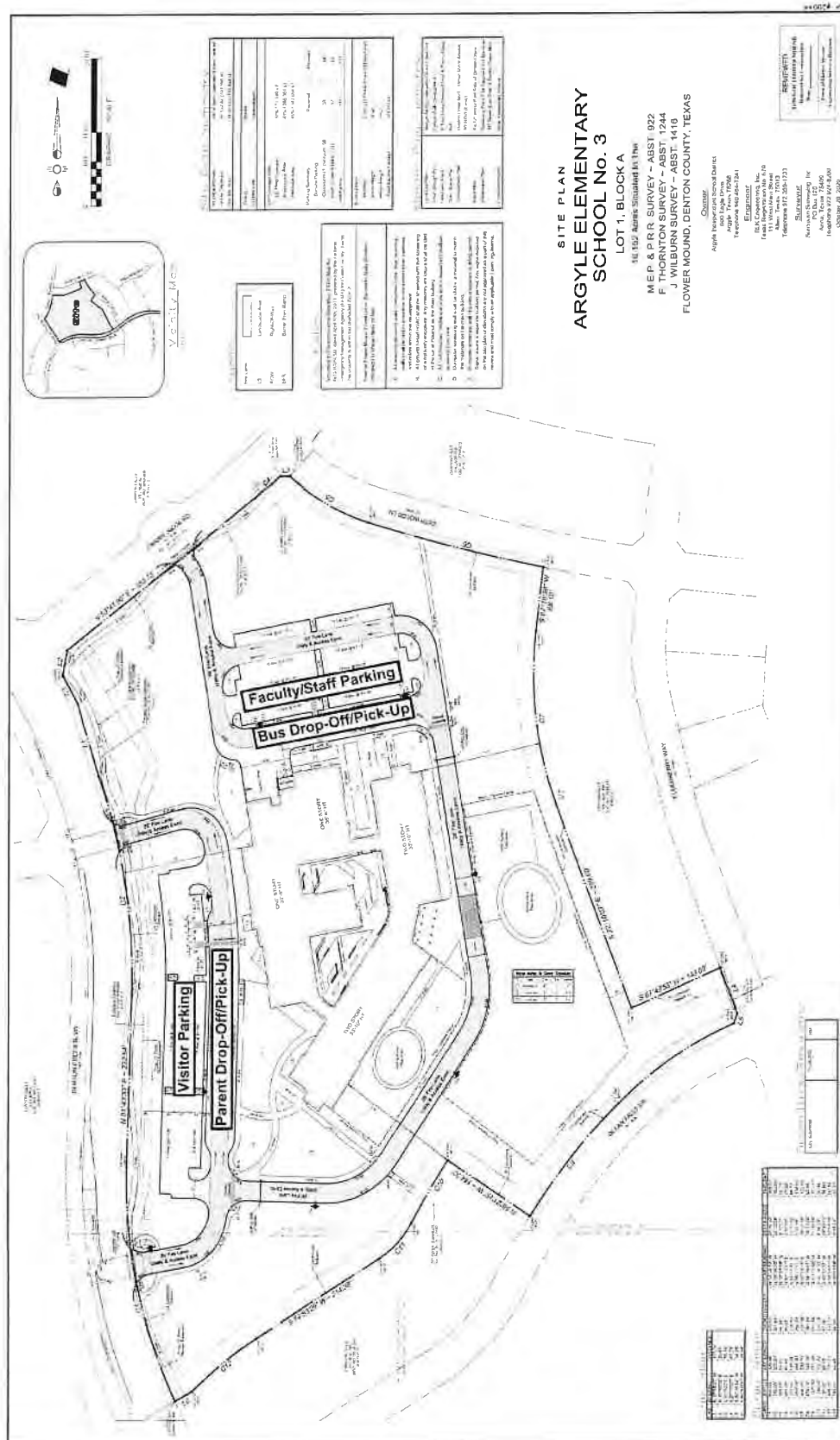
Sincerely,



Kelly D. Parma, P.E., PTOE
Senior Project Manager
Lee Engineering, LLC
TBPE Firm F-450

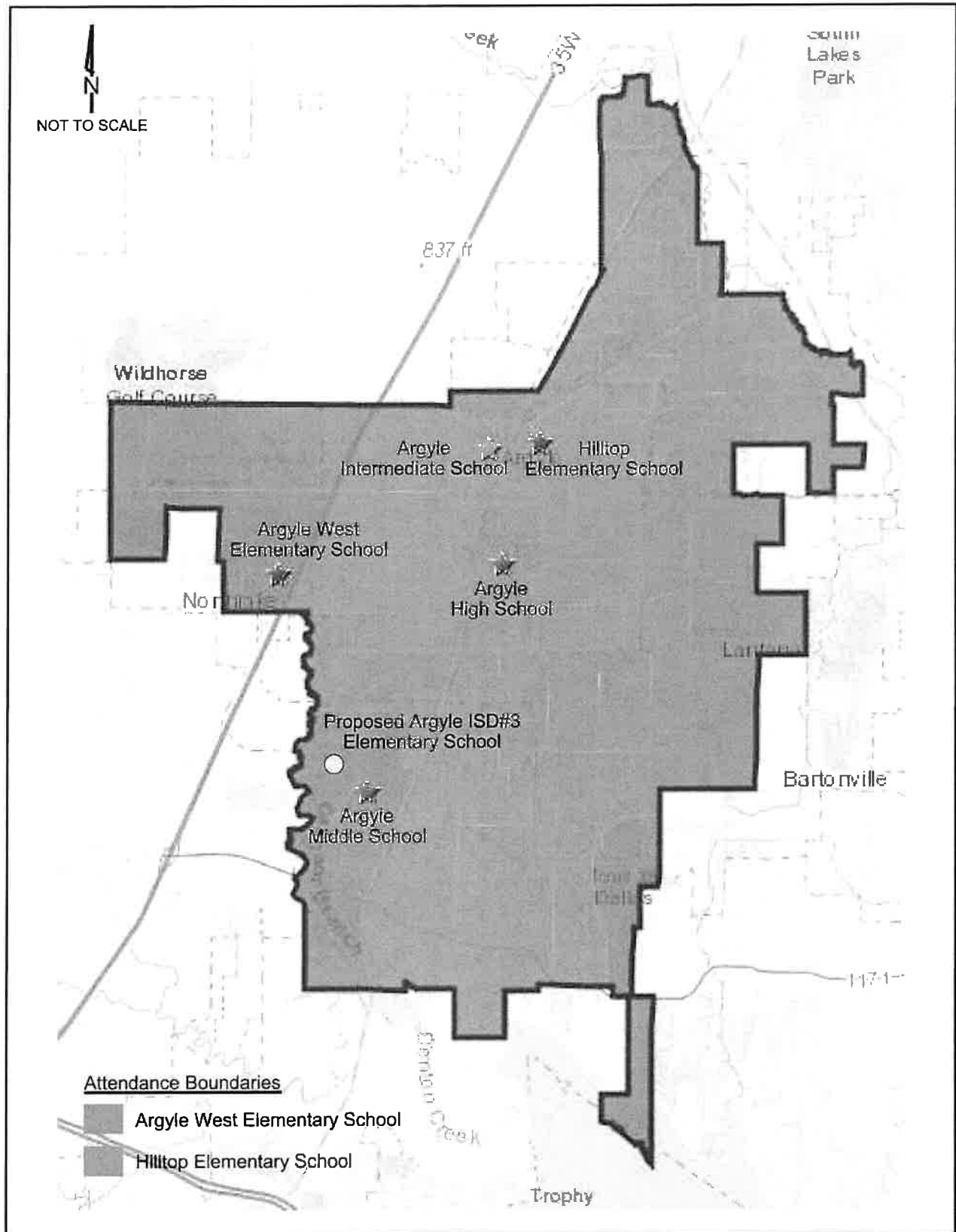
Attachments

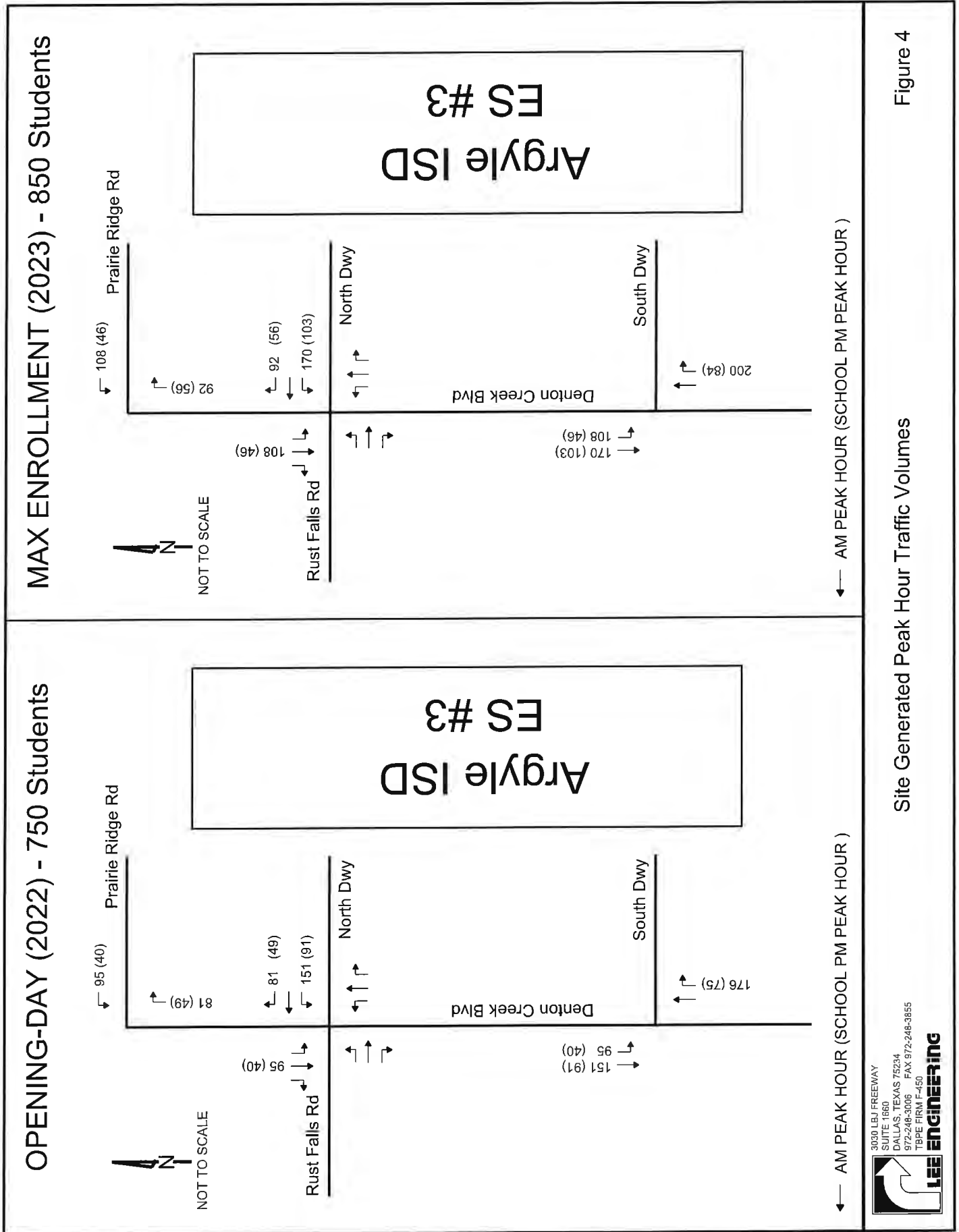




Proposed Site Plan

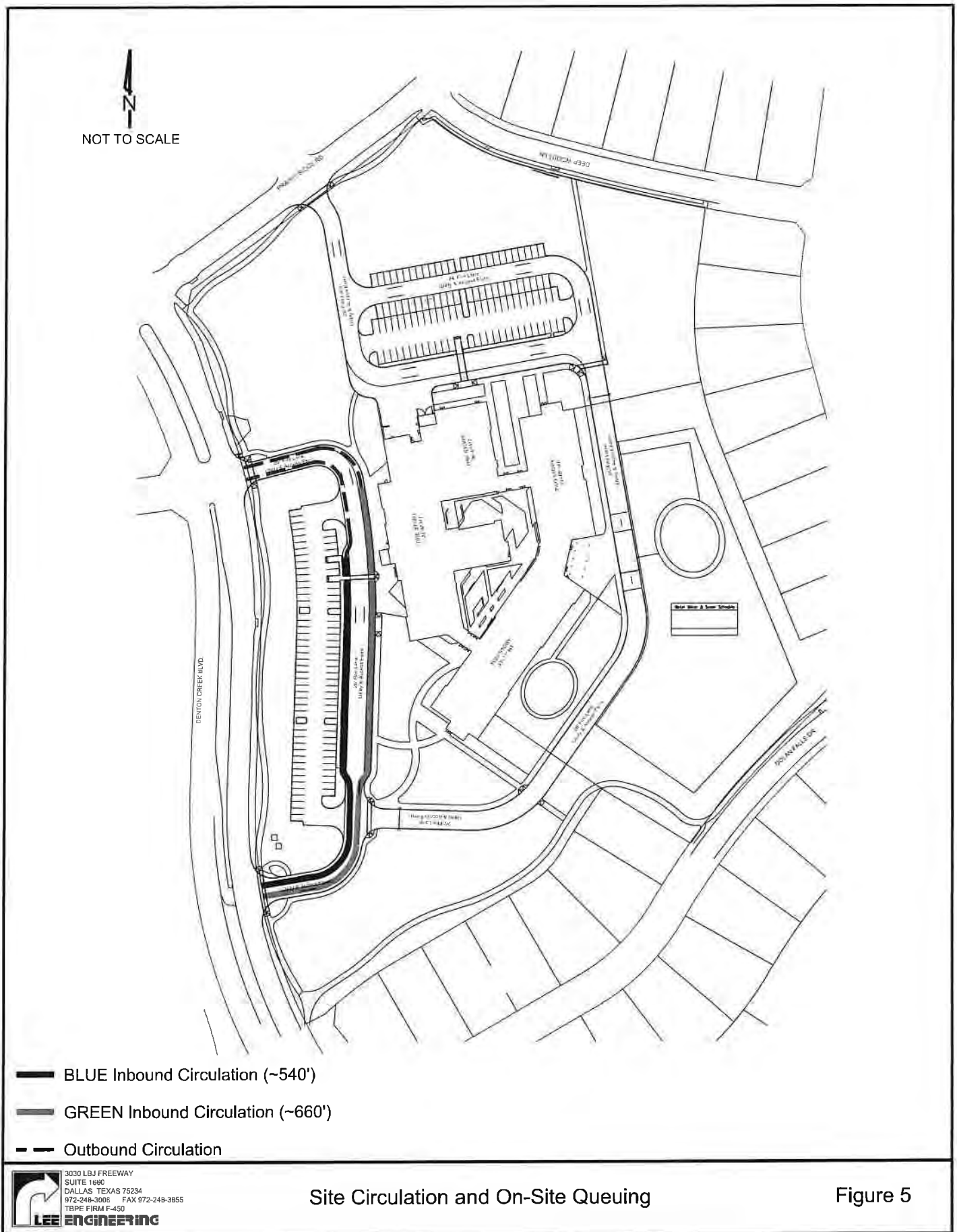
Figure 2

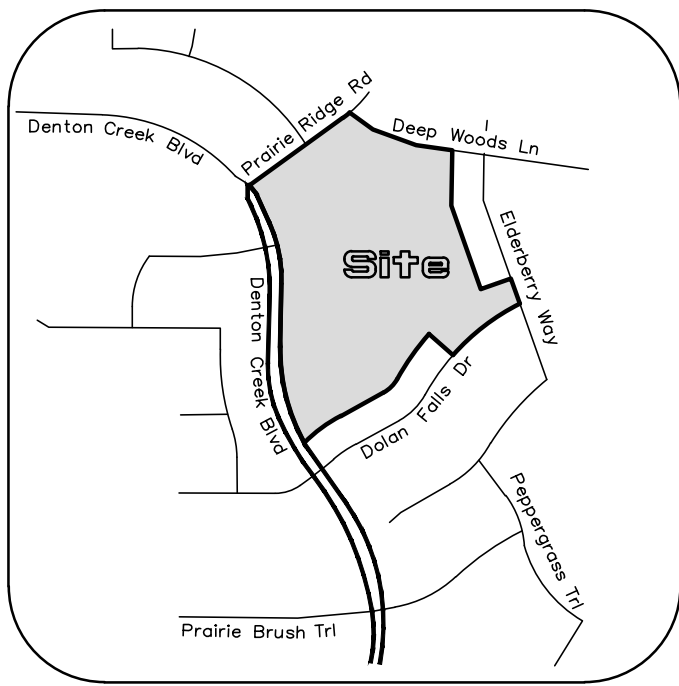
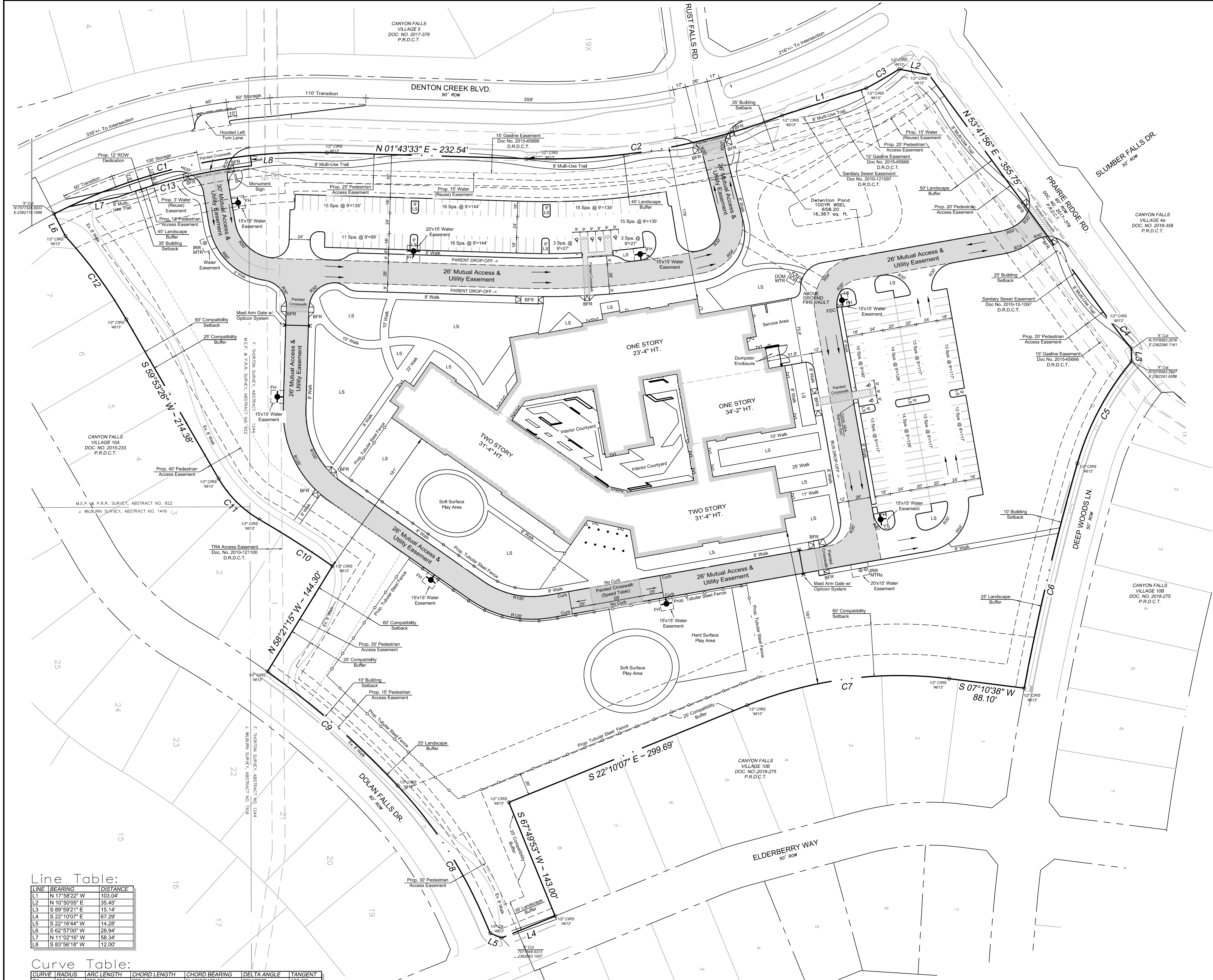




Site Generated Peak Hour Traffic Volumes

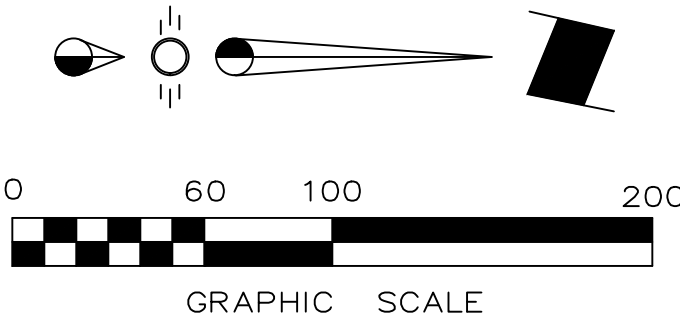
Figure 4





Vicinity Map

N. t.s.



Site Data Summary:

Physical Address	SEC of Denton Creek Blvd. & Prairie Creek Rd
Gross Site Area	16,152 Ac (703,598 sf)
Net Site Area	16,099 Ac (701,283 sf)
Zoning	PD-98
Current Use	Undeveloped
Lot Coverage Data	
-Building Coverage	10% / 71,149 s.f.
-Impervious Area	41% / 285,361 s.f.
-Pervious Area	49% / 347,088 s.f.
Parking Required	
-Classroom (1/1 per room: 58)	58
-Gym (1/1 per 3 seats: 171)	57
Total Parking Required	115
Parking Provided	188
Accessible Stalls Required	6
Accessible Stalls Provided	6
Excess Parking Mitigation	
Spaces Over Required Amount	188 - 115 = 73
Allowed Excess Parking	115 x 0.2 = 23
Excess Parking Spaces	73 - 23 = 50
Building Data	
-Building	2 Story (71,149s.f/1st - 33,648s.f/2nd)
-Peak Height	34'-2"
-Mean Height	17'-1"
-Total Square Footage	104,797s.f.

Legend:

Fire Lane	
LS	Landscape Area
ROW	Right-Of-Way
BFR	Barrier Free Ramp

City Notes:

- According to Flood Insurance Rate Map (FIRM) Map No. 48121C0505G, dated April 18th, 2011, prepared by the Federal Emergency Management Agency (FEMA) for Collin County, Texas, this property is within the unshaded Zone X.
- Town of Flower Mound Construction Standards Apply Whether Indicated On These Plans Or Not.
- A. All retaining/detaining walls, turn-down curbs, tree, retaining walls shall be clad in a material to complement the materials and colors within this development.
- B. All ground based HVAC shall be screened with live screening or a masonry enclosure. Any masonry enclosure shall be clad in the same material as the main building.
- C. All roof-mounted mechanical units and/or equipment shall be screened from view.
- D. Dumpster screening wall shall be clad in a material to match the materials on the main building.
- E. Dumpster screening wall requires a separate building permit.
- F. Signs require a separate building permit. Any signs depicted on the site plan or elevations are not approved as a part of this review and must comply with all applicable Town regulations.

Master Plan Features:

Land Use Plan	Medium Density Uses within Denton Creek Dist.
Urban Design Plan	Denton Creek District
Parks and Trails	8' Trail Along Denton Creek & Prairie Ridge
Open Space Plan	N/A
Thoroughfare Plan	Denton Creek Blvd. - Urban Minor Arterial, 90' ROW (Exist.)
Water Plan	Ex-12" Water East Side of Denton Creek
Wastewater Plan	Receiving Point TRA Segment C-1 Manhole 15" Sewer-East Side of Denton Creek Blvd.
Economic Impact	Prop. Elementary School

SITE PLAN
**ARGYLE ELEMENTARY
SCHOOL No. 3**
LOT 1, BLOCK A
16.152 Acres Situated In The
M.E.P. & P.R.R. SURVEY ~ ABST. 922
F. THORNTON SURVEY ~ ABST. 1244
J. WILBURN SURVEY ~ ABST. 1416
FLOWER MOUND, DENTON COUNTY, TEXAS

Owner
Argyle Independent School District
800 Eagle Drive
Argyle, Texas 76266
Telephone 940 464-7241

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200
May 3, 2021

Line Table:

LINE	BEARING	DISTANCE
L1	N 17°58'22" W	103.04'
L2	N 10°50'05" E	35.45'
L3	S 89°59'21" E	15.14'
L4	S 22°10'07" E	67.29'
L5	S 22°16'44" W	14.28'
L6	S 62°57'00" W	28.94'
L7	N 11°02'18" W	58.34'
L8	S 83°56'18" W	12.00'

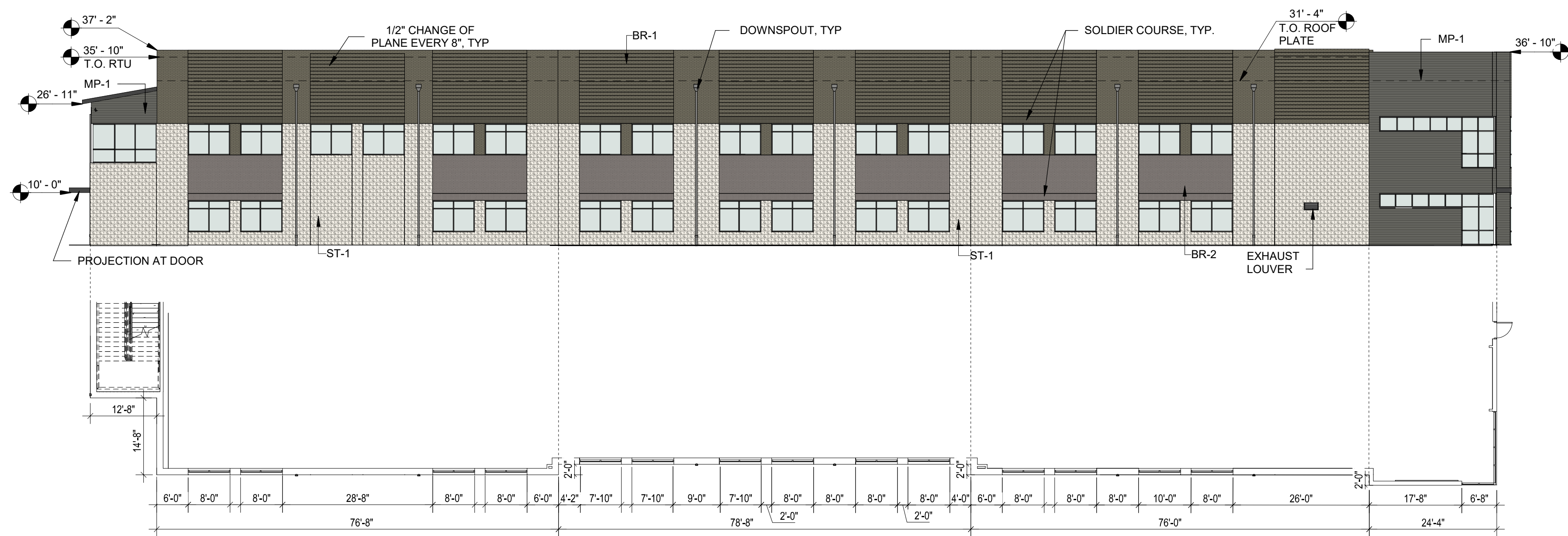
Curve Table:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	655.00'	329.96'	301.64'	N 12°39'43" W	28°46'32"	168.03'
C2	770.00'	393.60'	301.64'	N 09°34'10" W	22°35'28"	153.80'
C3	782.00'	44.45'	44.44'	N 30°03'18" W	3°15'23"	22.23'
C4	580.00'	40.43'	40.42'	N 51°42'07" E	3°59'38"	20.22'
C5	325.00'	135.54'	134.56'	S 62°01'41" E	23°53'42"	68.77'
C6	2830.00'	268.90'	268.80'	S 76°41'51" E	5°26'39"	134.55'
C7	468.00'	239.70'	237.09'	S 07°29'45" E	29°20'45"	122.54'
C8	525.00'	182.26'	181.34'	S 56°46'51" W	19°53'26"	92.05'
C9	1025.00'	201.86'	201.36'	S 41°11'56" W	1°16'26"	101.17'
C10	1168.00'	100.82'	100.78'	S 32°36'30" W	4°56'28"	50.44'
C11	131.00'	68.03'	67.26'	S 45°00'51" W	29°45'11"	34.80'
C12	569.00'	120.33'	120.10'	S 53°49'57" W	12°06'59"	60.39'
C13	643.00'	160.63'	160.21'	N 13°13'05" W	14°18'46"	80.73'

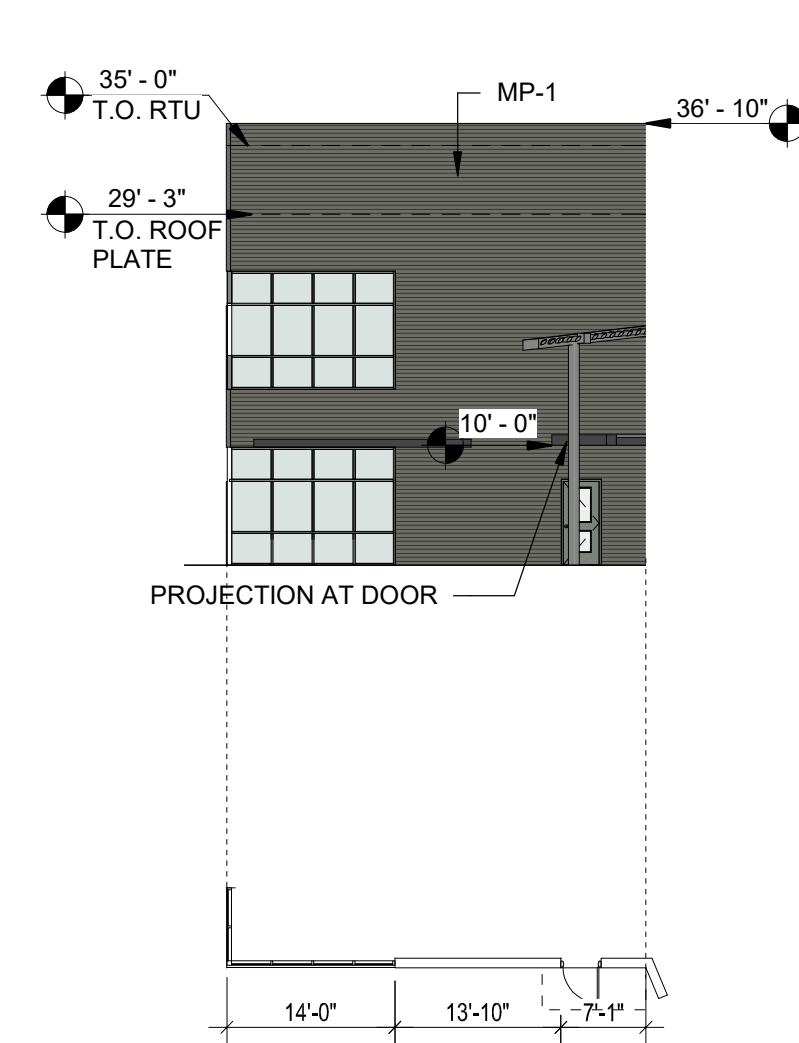
Submittals/Revisions:

City Submittal	10-28-2020	RM

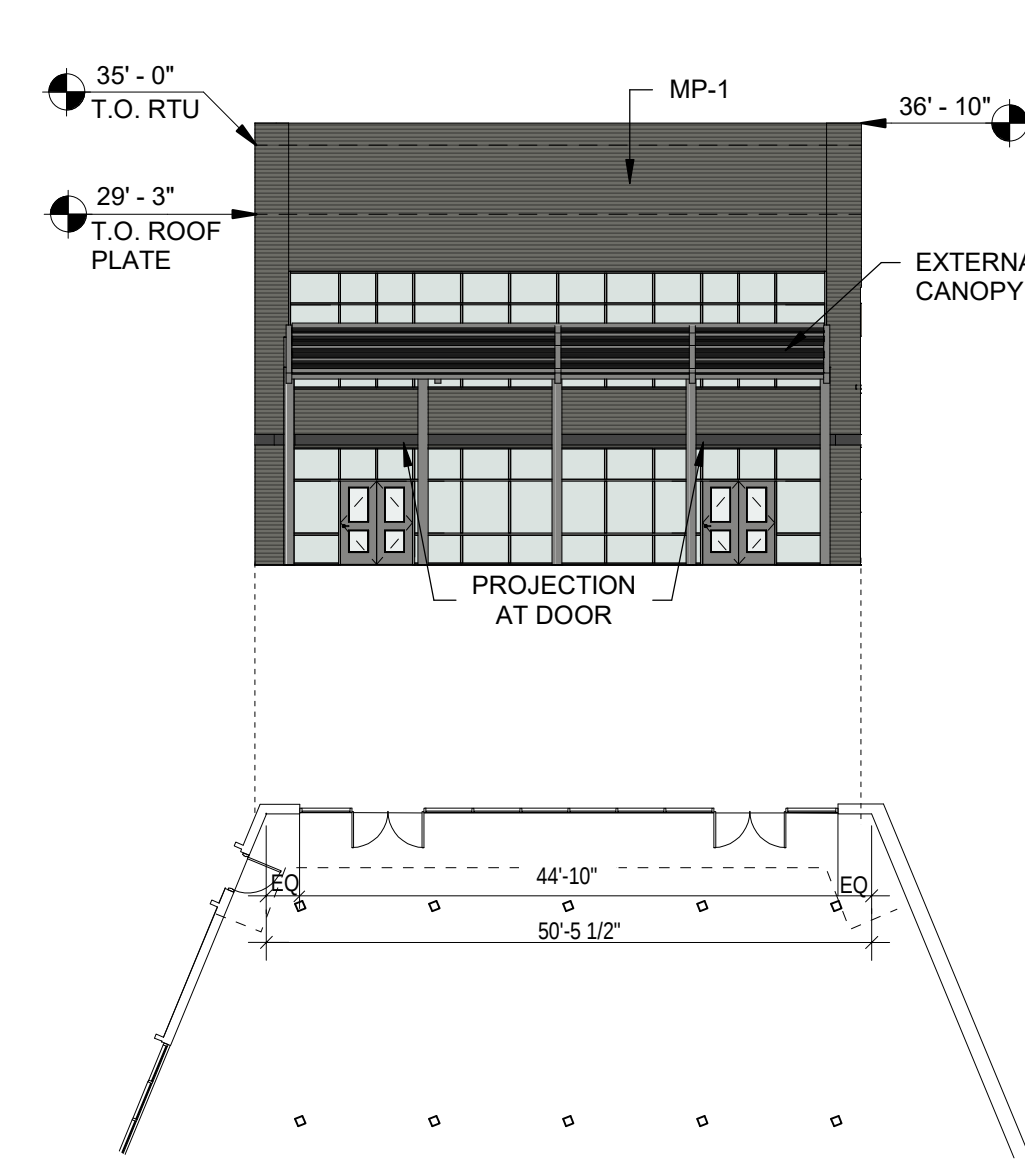
Water Meter & Sewer Schedule				
I.D.	Type	Size	No.	Sewer
①	Domestic	4"	1	6"
②	Irrigation	2"	1	NA
③	Irrigation	2"	1	NA



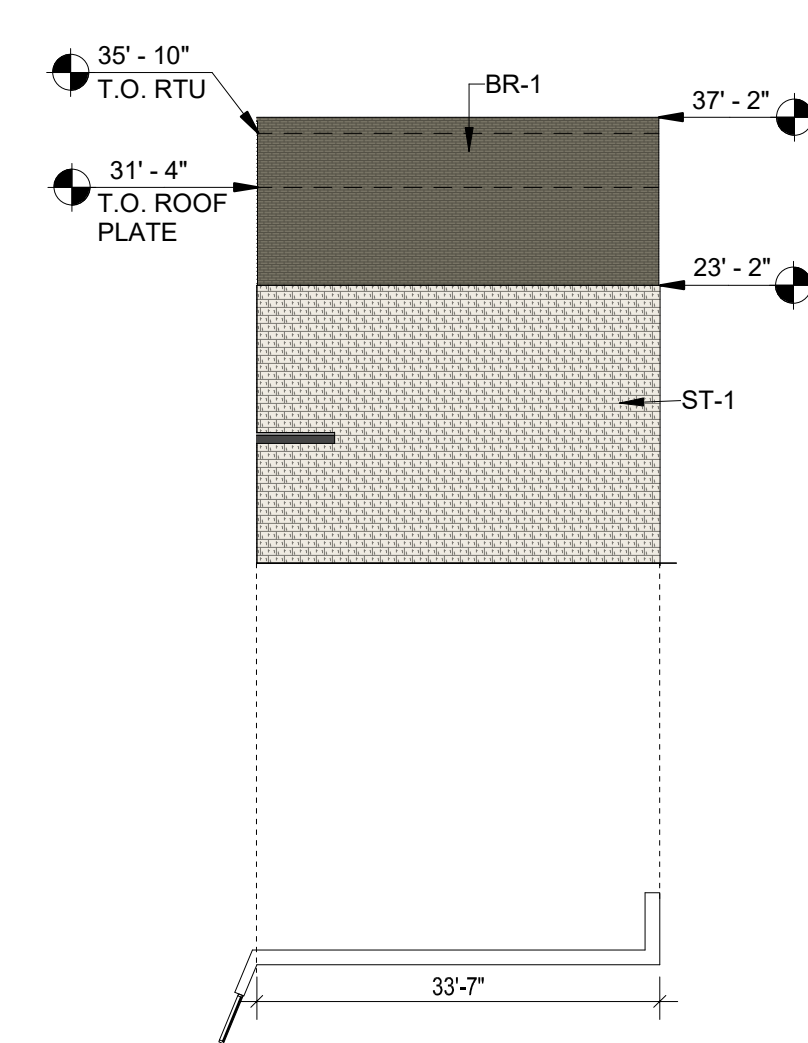
08 EXTERIOR ELEVATION - CR BLOCK SOUTH/EAST
1/16" = 1'-0"



07 EXTERIOR ELEVATION - CR BLOCK SOUTH/ WEST
1/16" = 1'-0"



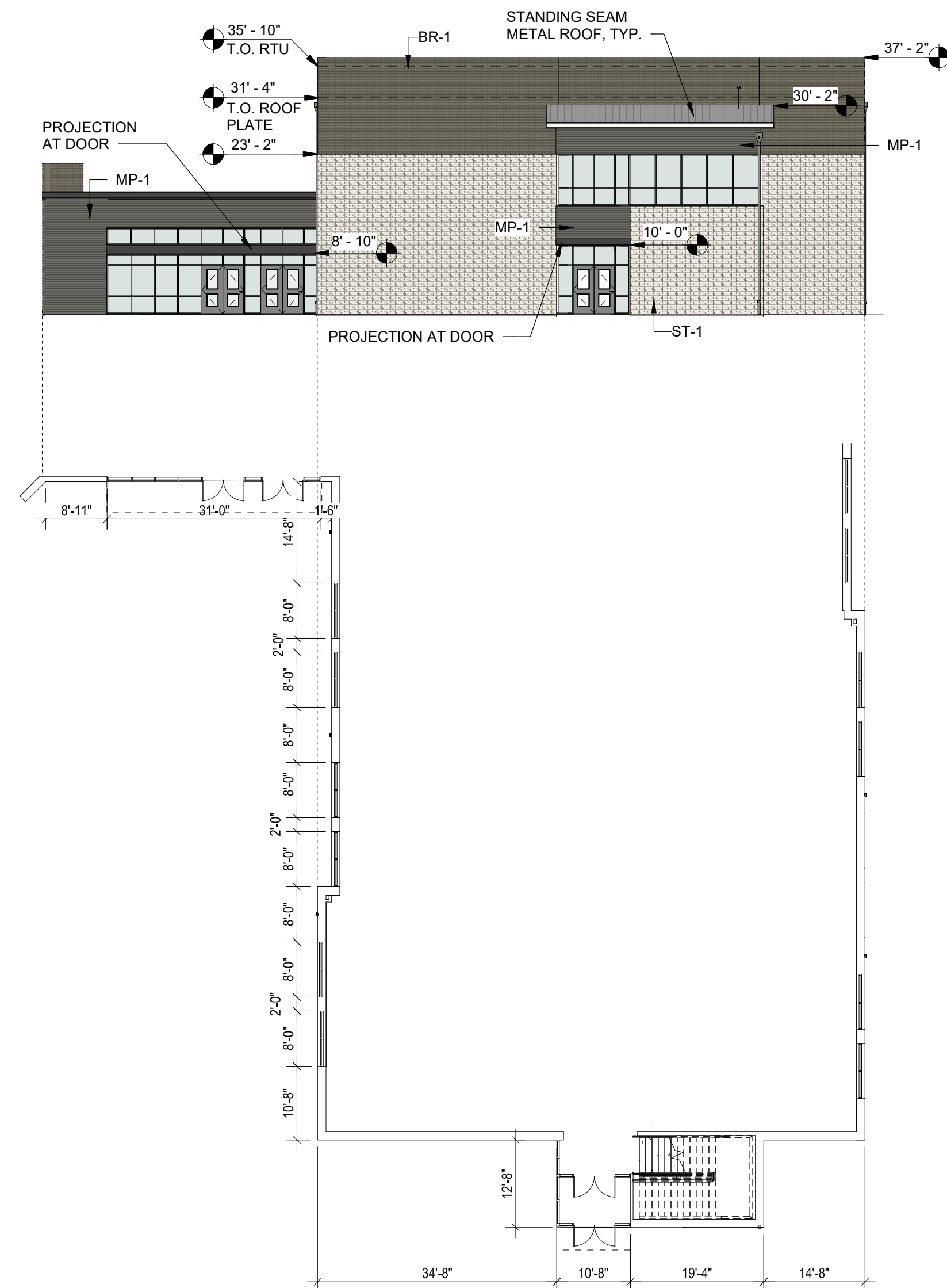
06 EXTERIOR ELEVATION- CR BLOCK SOUTH/EAST 03
1/16" = 1'-0"



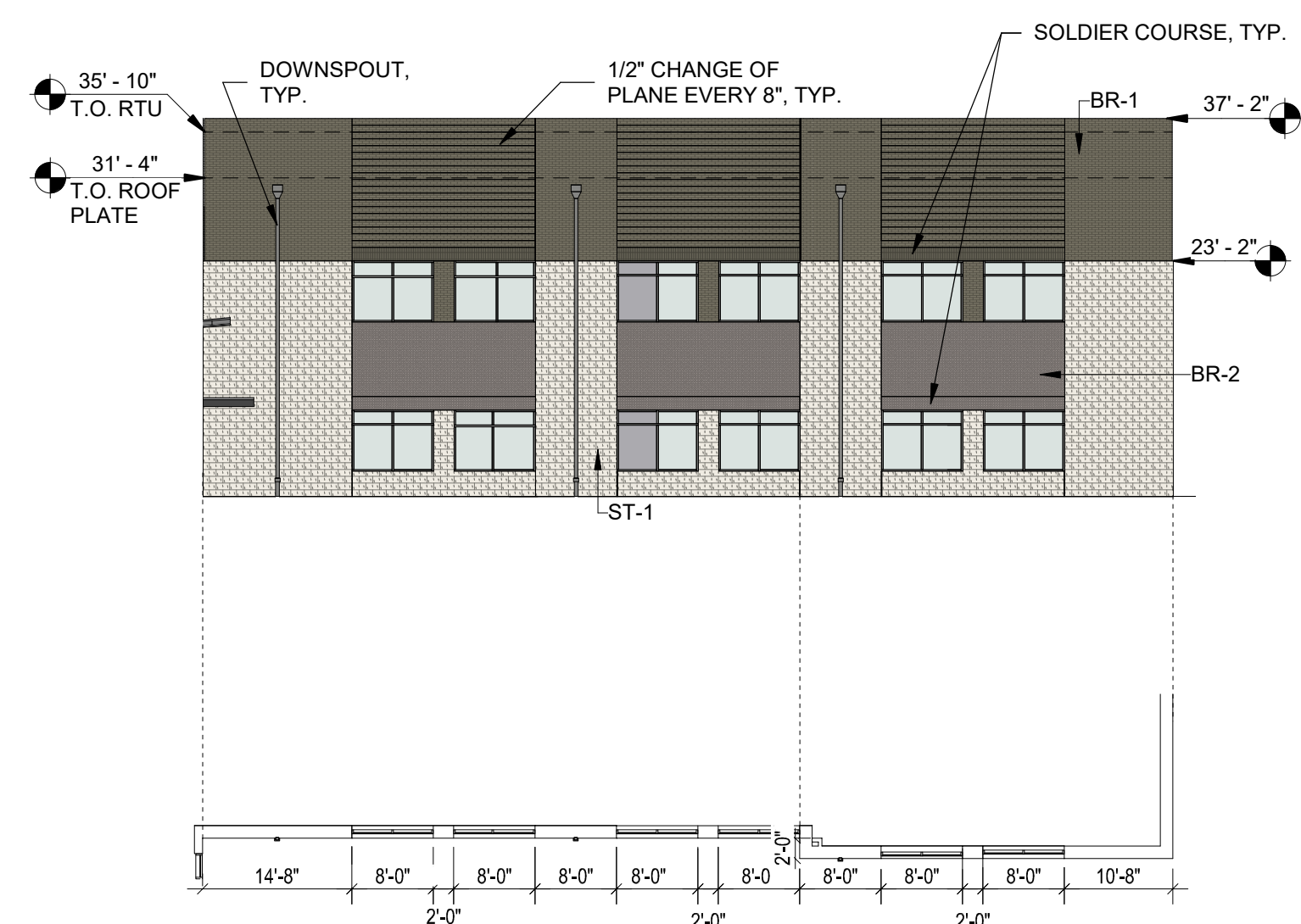
05 EXTERIOR ELEVATION- CR BLOCK EAST
1/16" = 1'-0"



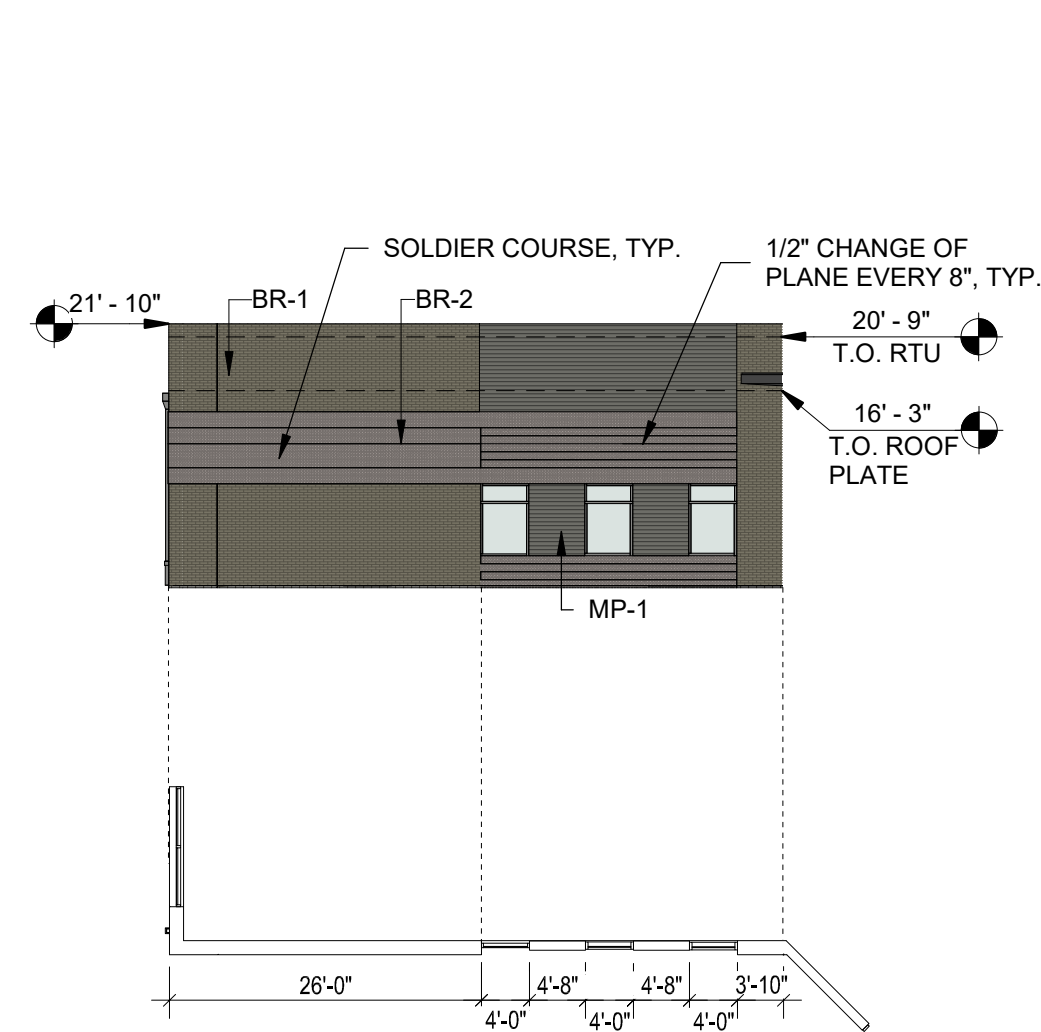
04 EXTERIOR ELEVATION- CR BLOCK SOUTH
1/16" = 1'-0"



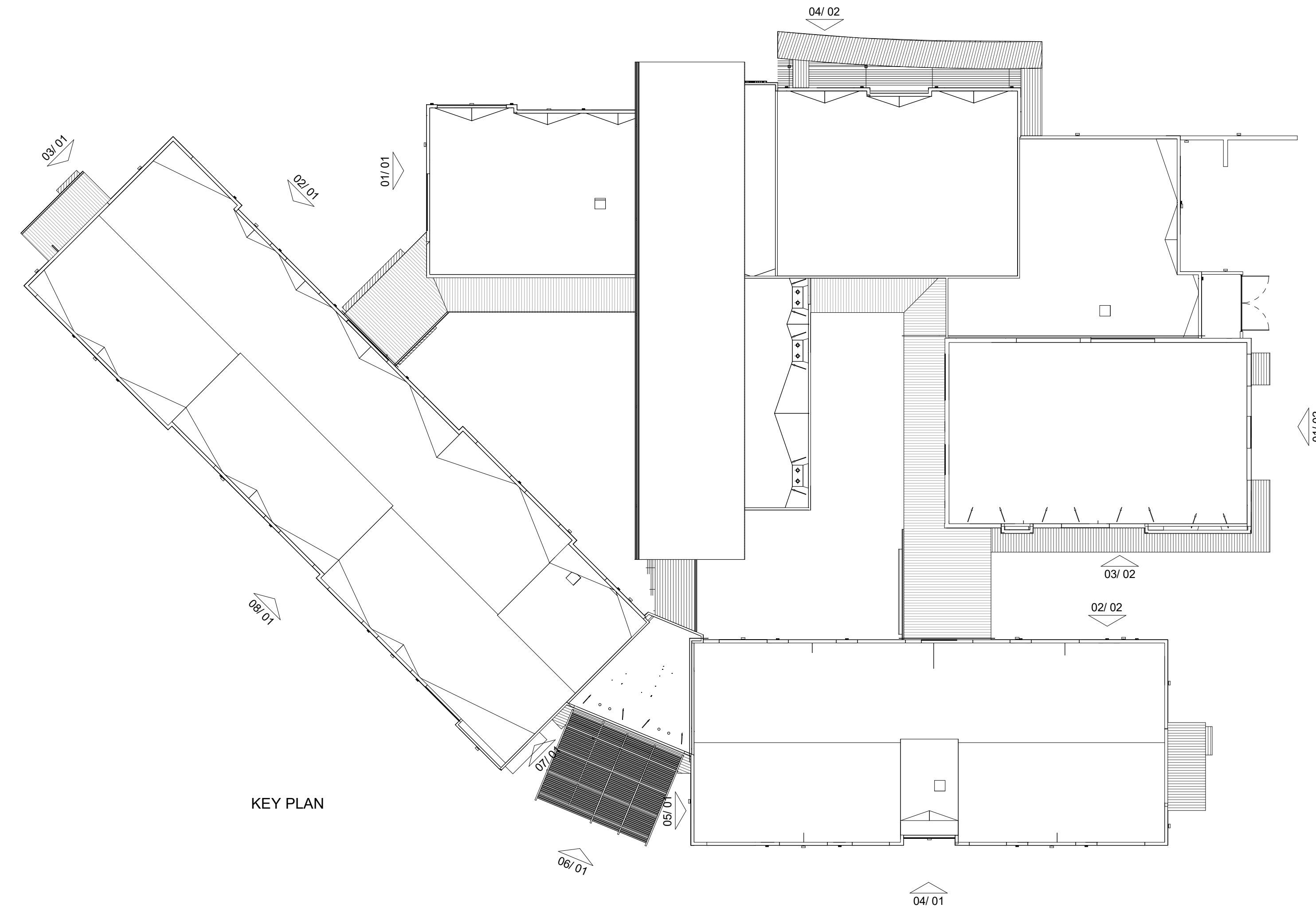
03 EXTERIOR ELEVATION - CR BLOCK NORTH/ EAST
1/16" = 1'-0"



02 Elevation 91 - a
1/16" = 1'-0"



01 EXTERIOR ELEVATION - ADMIN EAST
1/16" = 1'-0"



KEY PLAN

MATERIAL CALCULATION TABLE

	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQUARE FOOTAGE	13660 S.F.	12183 S.F.	12694 S.F.	11797 S.F.
FACADE SQUARE FOOTAGE (EXCLUSIVE OF DOORS/WINDOWS)	10881 S.F. 80%	10632 S.F. 87%	10594 S.F. 83%	9975 S.F. 85%
DOORS AND WINDOWS SQ. FT.	2779 S.F. 20%	1551 S.F. 13%	2100 S.F. 17%	1822 S.F. 15%
PRIMARY MASONRY TOTALS (%)	85%	89%	85%	91%
BRICK SQ. FT.	6792 S.F.	5973 S.F.	5718 S.F.	6039 S.F.
STONE SQ. FT.	2451 S.F.	3445 S.F.	3241 S.F.	3041 S.F.
SECONDARY MATERIAL TOTALS (%)	15%	11%	15%	9%
PHENOLIC WOOD PANEL SQ. FT.	535 S.F.	N/A	N/A	N/A
METAL SQ. FT.	1103 S.F.	734 S.F.	1635 S.F.	895 S.F.

MATERIAL TABLE

BR-1	BLACKSON BRICK	MANGANESE BROWN VELOUR MODULAR
BR-2	BLACKSON BRICK	SILOUX CITY BRICK SANTA FE MODULAR
MP-1	IMETCO	UMBER GLAZE
MTL-1	IMETCO	FLUSH SOFFIT/ DOWNSPOUT: SILVER CLOUD
WD-1	FUNDERMAX	0923 INIGMA
ST-1	BLACKSON BRICK	ANTIQUE WHITE CHOPPED/ WHITE CHOPPED

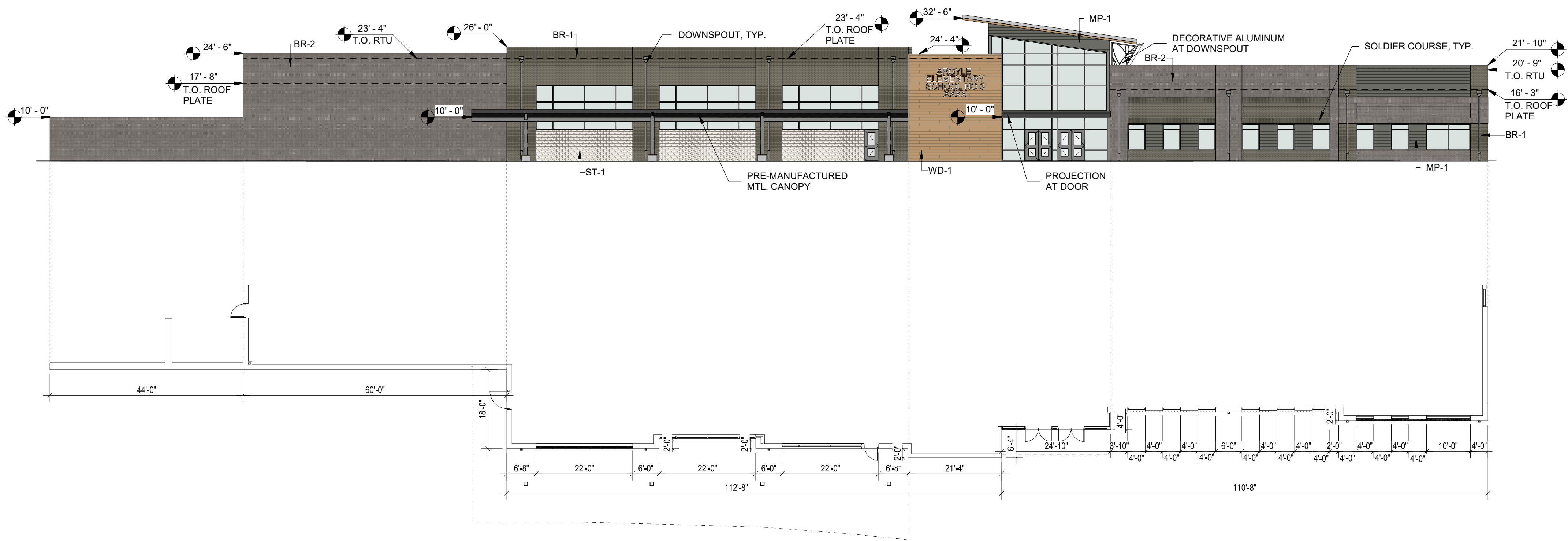
NOTES:

- THE HEIGHT OF PARAPETS WILL COMPLETELY SCREEN THE MECHANICAL EQUIPMENT
- ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/ TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING

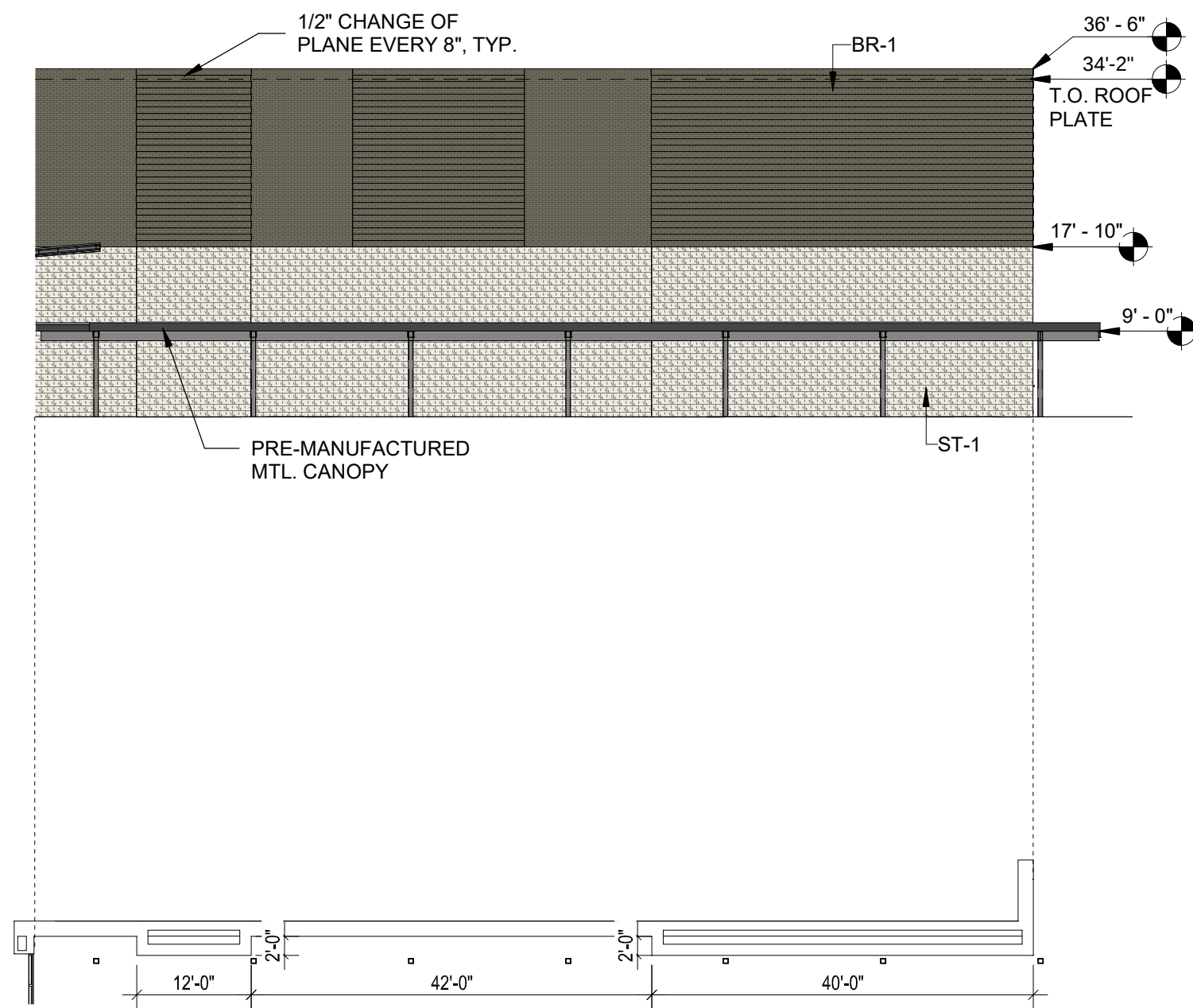
01 - EXTERIOR ELEVATIONS

AS INDICATED
03/03/2021

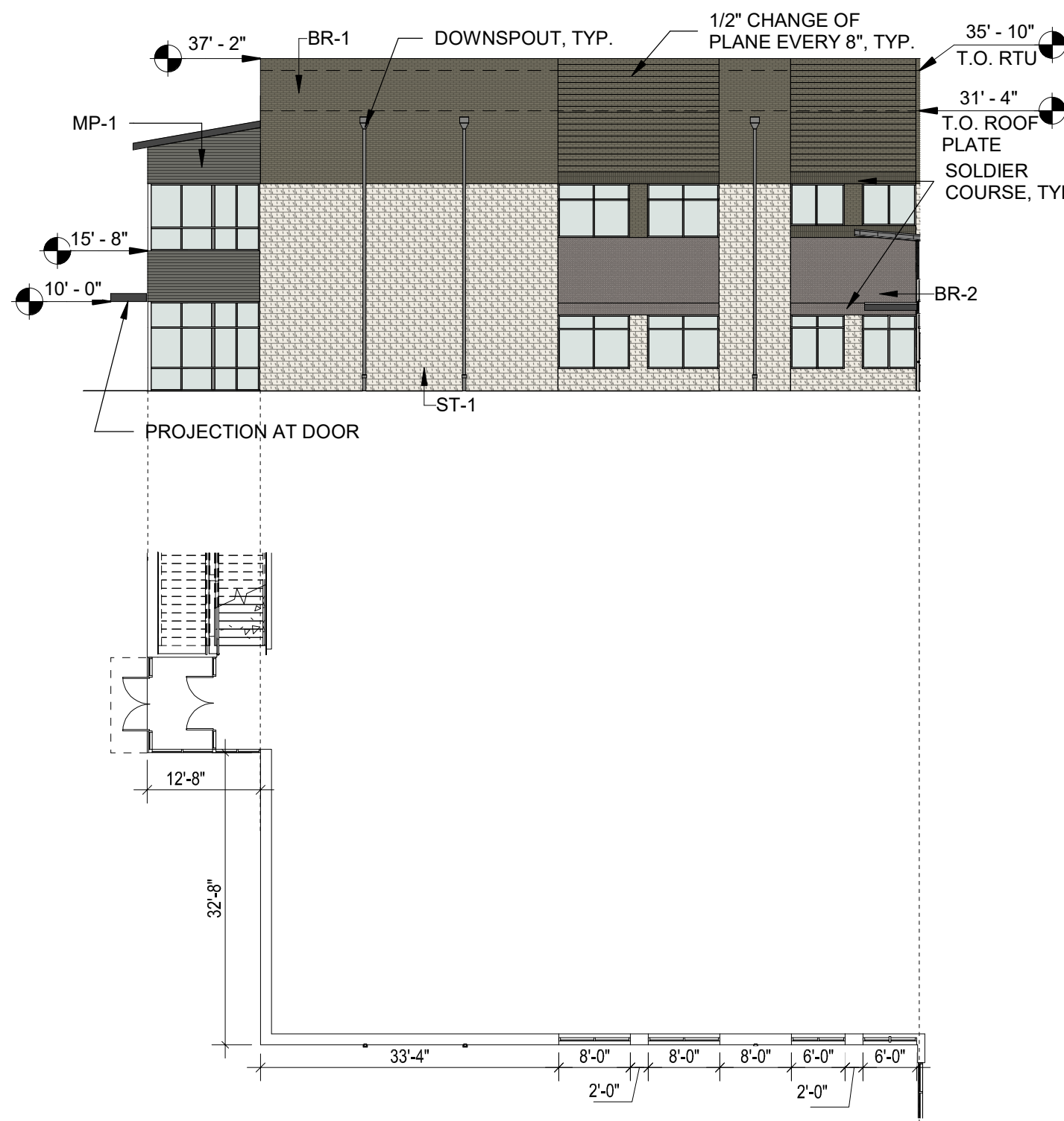




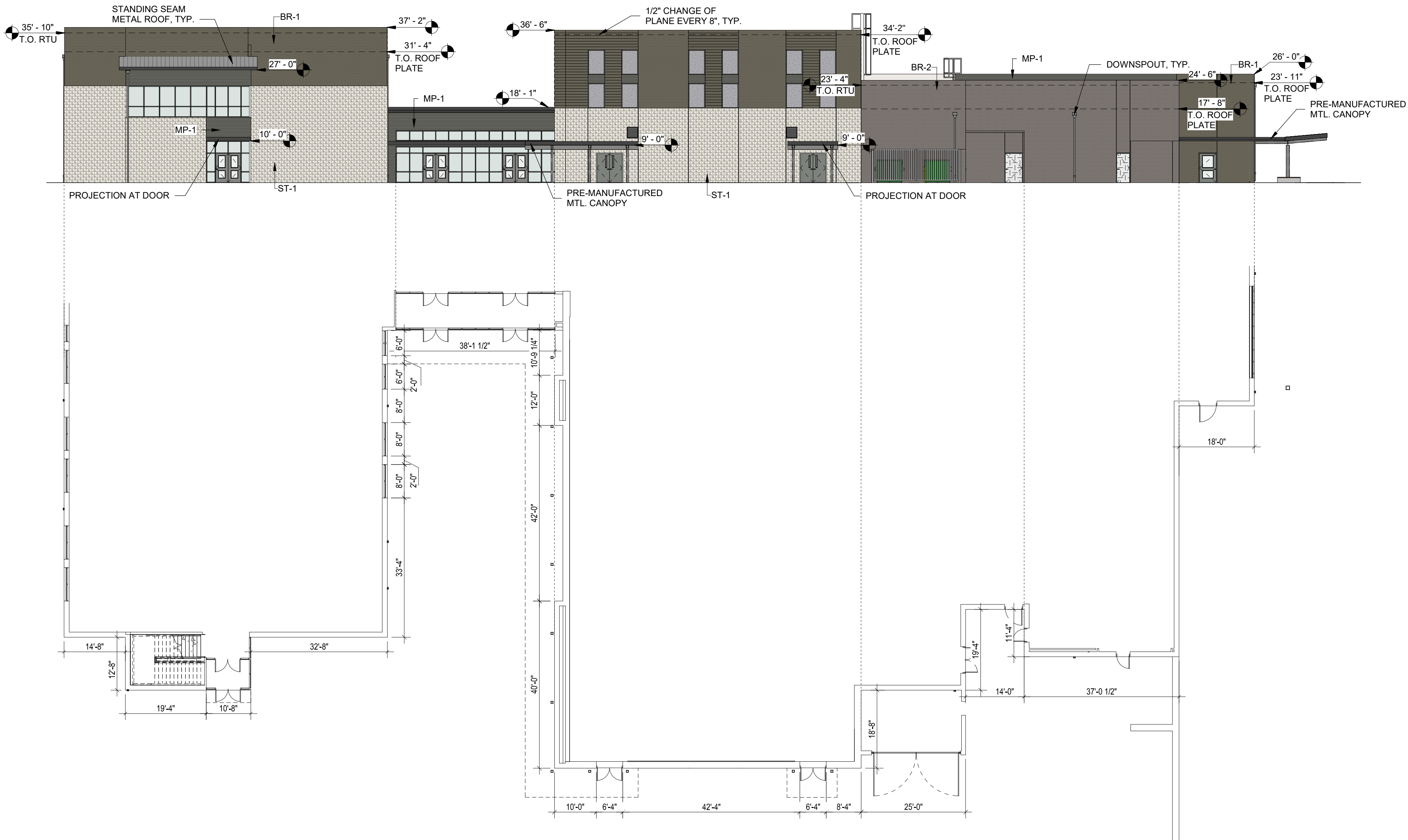
04 NORTH - OVERALL ELEVATION
1/16" = 1'-0"



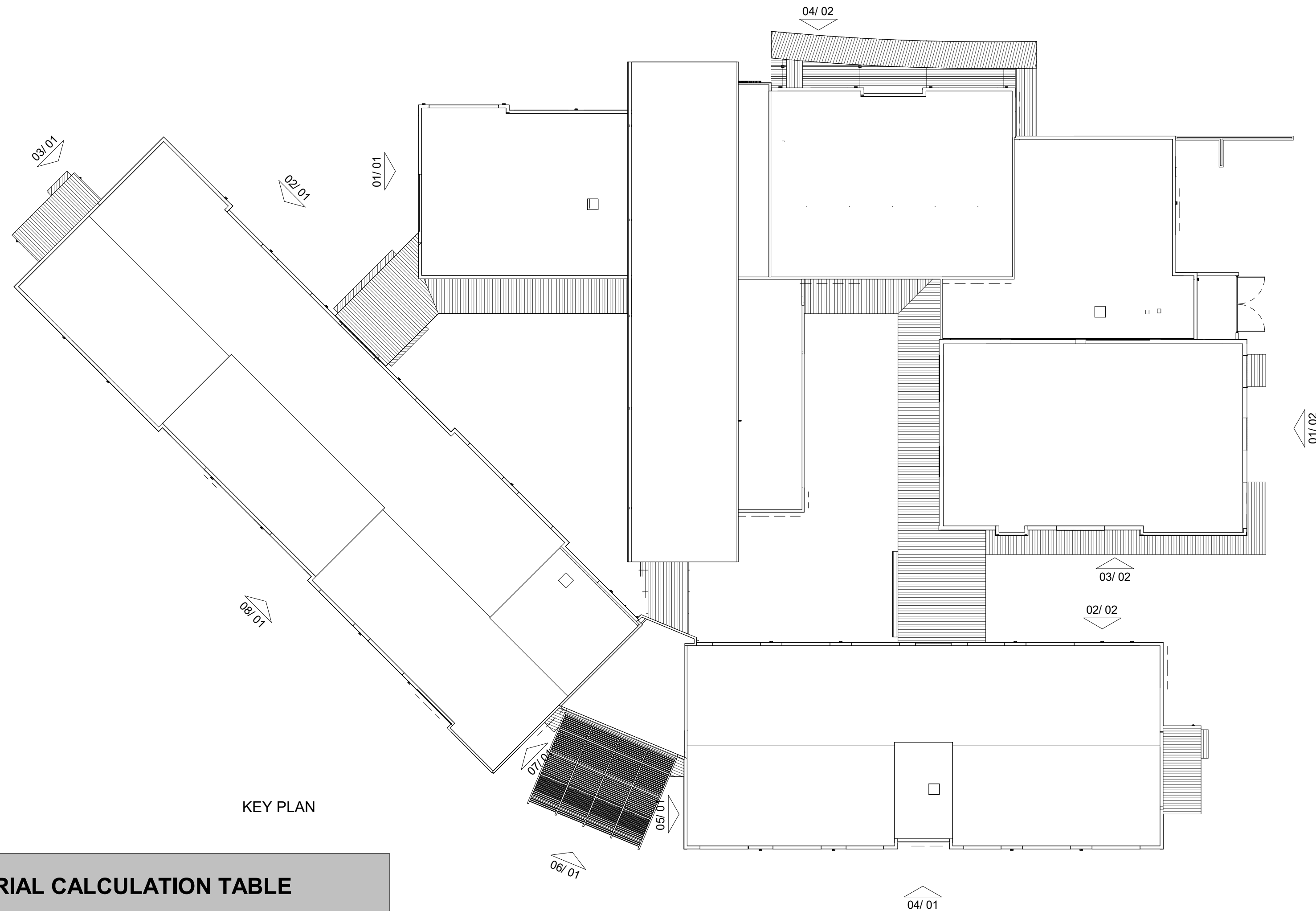
03 EXTERIOR ELEVATION- GYM SOUTH
1/16" = 1'-0"



02 EXTERIOR ELEVATION- CR BLOCK NORTH
1/16" = 1'-0"



01 WEST - OVERALL ELEVATION
1/16" = 1'-0"



KEY PLAN

MATERIAL CALCULATION TABLE				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQUARE FOOTAGE	13660 S.F.	12183 S.F.	12694 S.F.	11797 S.F.
FACADE SQUARE FOOTAGE (EXCLUSIVE OF DOORS/WINDOWS)	10881 S.F. 80%	10632 S.F. 87%	10594 S.F. 83%	9975 S.F. 85%
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STONE SQ. FT.	2451 S.F.	3445 S.F.	3241 S.F.	3041 S.F.
SECONDARY MATERIAL TOTALS (%)	15%	11%	15%	9%
PHENOLIC WOOD PANEL SQ. FT.	535 S.F.	N/A	N/A	N/A
METAL SQ. FT.	1103 S.F.	734 S.F.	1635 S.F.	895 S.F.

MATERIAL TABLE		
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BR-2	BLACKSON BRICK	SIOUX CITY BRICK SANTA FE MODULAR
MP-1	IMETCO	UMBER GLAZE
MTL-1	IMETCO	FLUSH SOFFIT/ DOWNSPOUT: SILVER CLOUD
WD-1	FUNDERMAX	0923 INIGMA
ST-1	BLACKSON BRICK	ANTIQUE WHITE CHOPPED/ WHITE CHOPPED

NOTES:
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- ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/ TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING



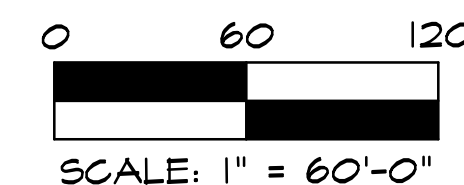
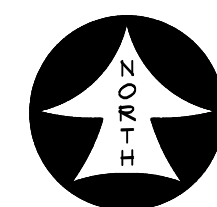
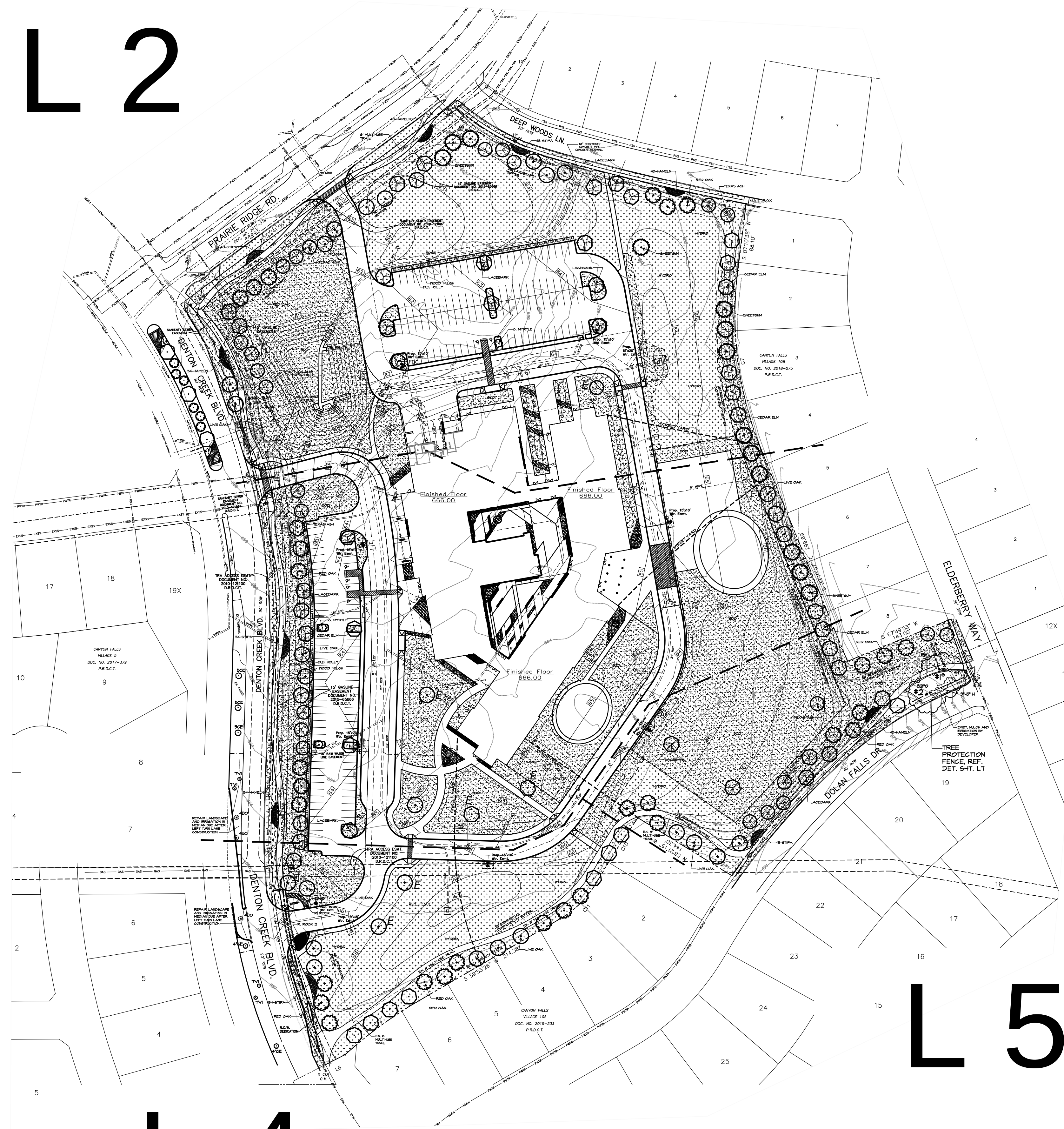
ARGYLE ELEMENTARY
NO.3
OVERALL LANDSCAPE PLAN

ISSUES/
REVISIONS

DATE: 01/21/2021
SCALE: 1"=60'

SHEET No.

L 1



SCALE: 1" = 60'-0"

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

ARGYLE ELEMENTARY
NO.3
LANDSCAPE PLAN AREA 'A'



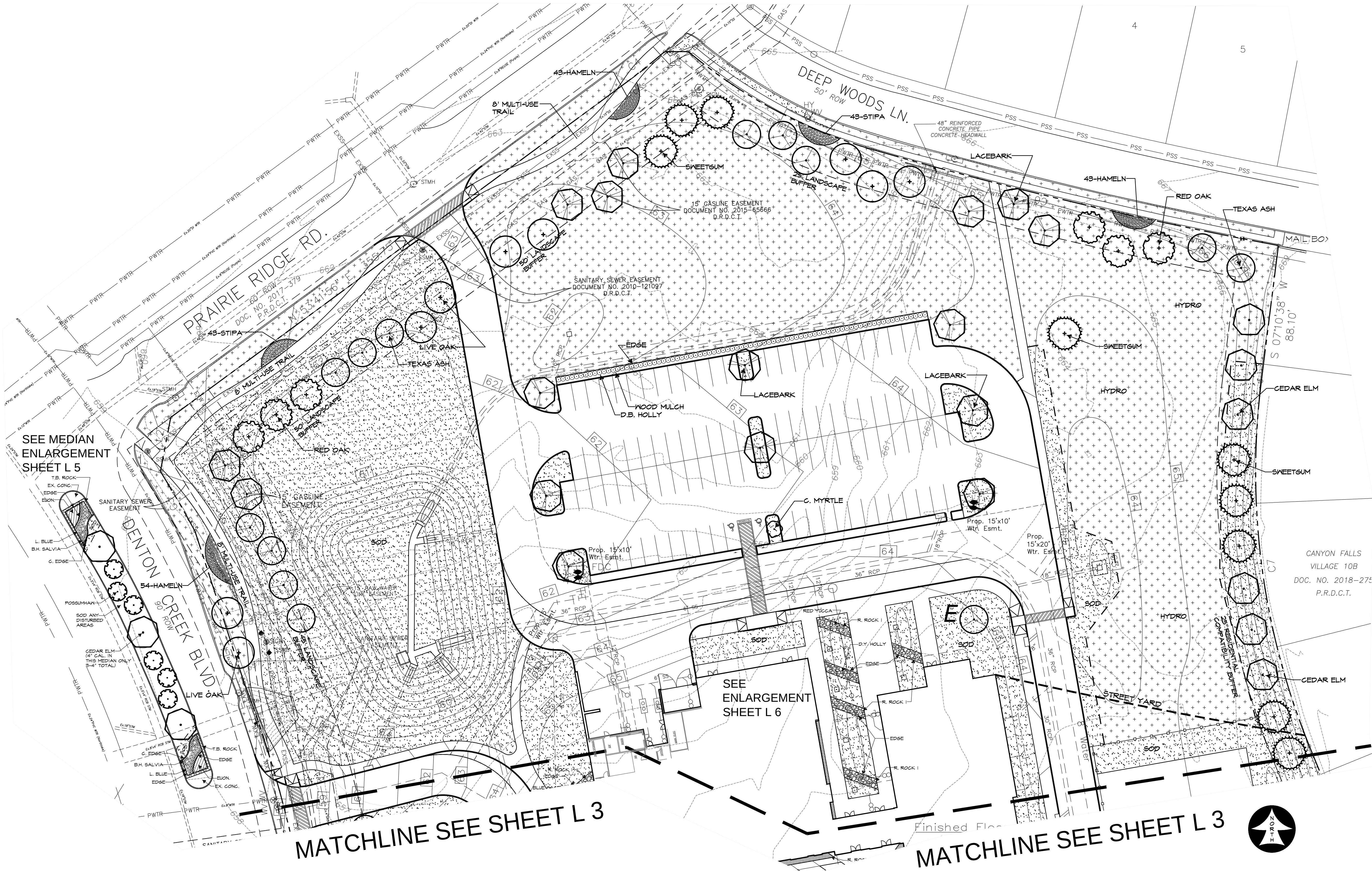
4-28-21

ISSUES/
REVISIONS

DATE: 01/21/2021
SCALE: 1"=30'

SHEET No.

L 2



ARGYLE ELEMENTARY
NO.3
LANDSCAPE PLAN AREA 'B'



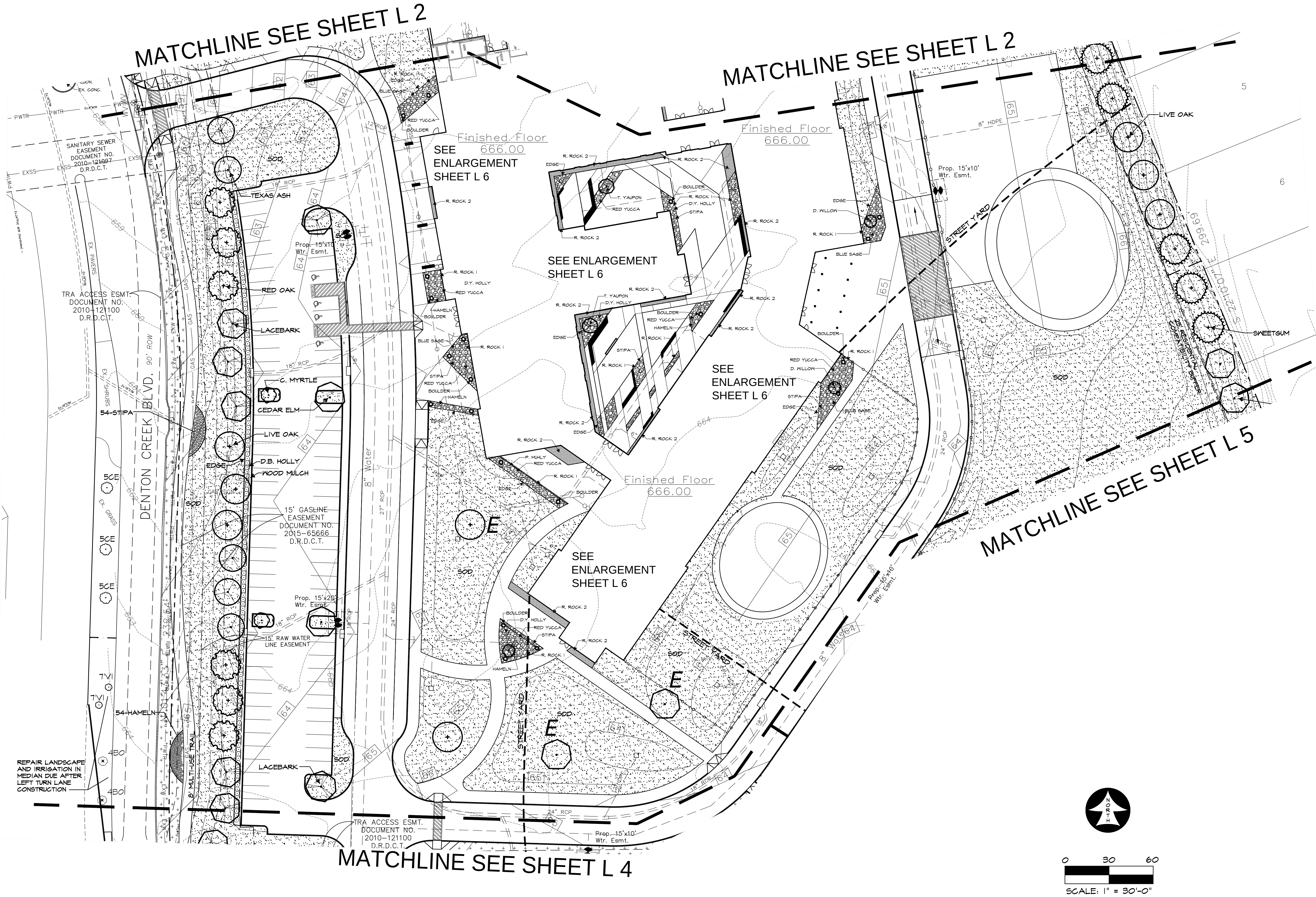
ISSUES/
REVISIONS

DATE: 01/21/2021

SCALE: 1"=30'

SHEET No.

L 3



RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

ARGYLE ELEMENTARY
NO.3
LANDSCAPE PLAN AREA 'C'

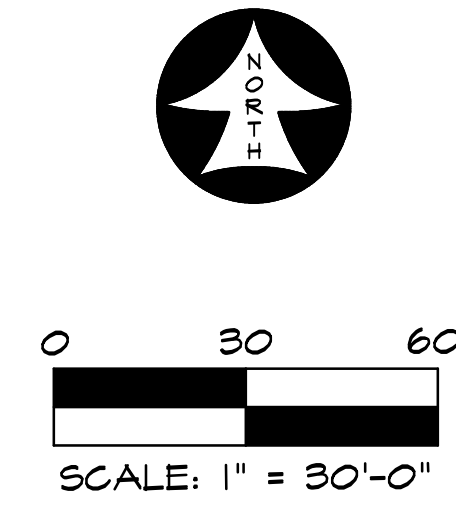
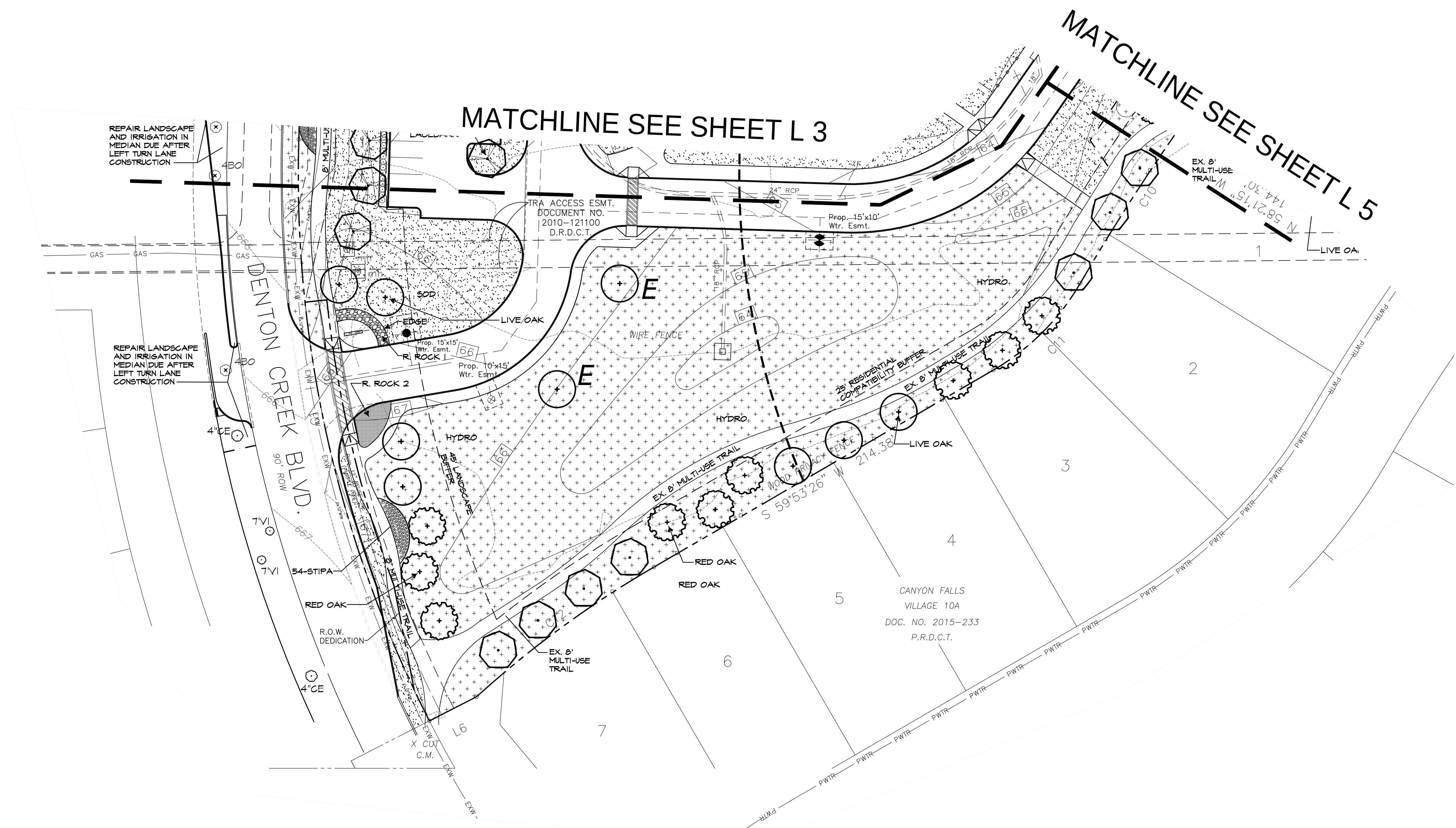


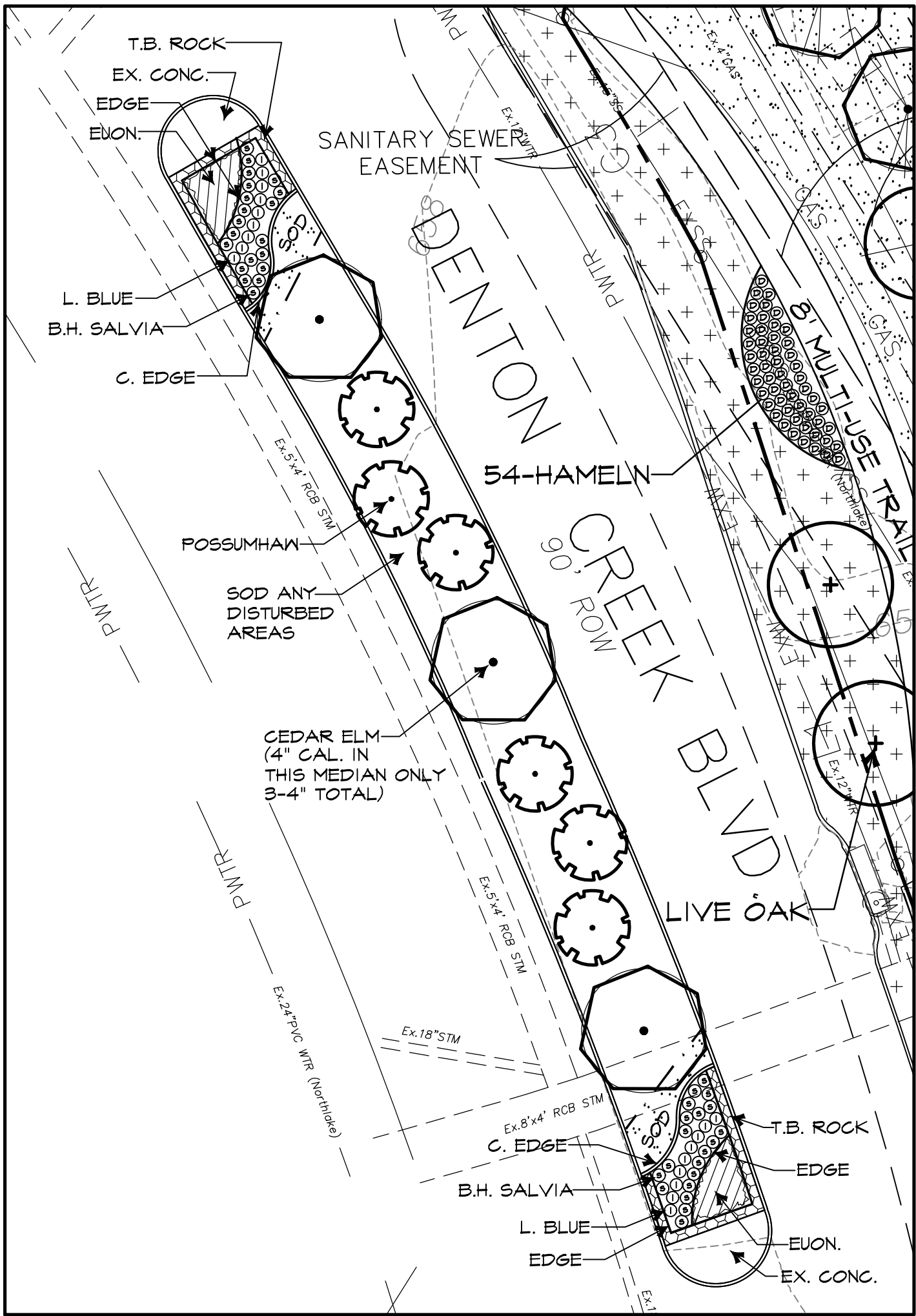
ISSUES/
REVISIONS

DATE: 01/21/2021
SCALE: 1"=30'

SHEET No.

L 4





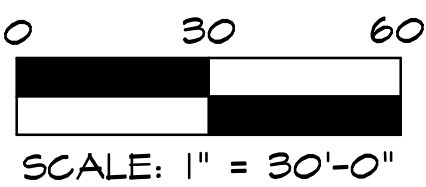
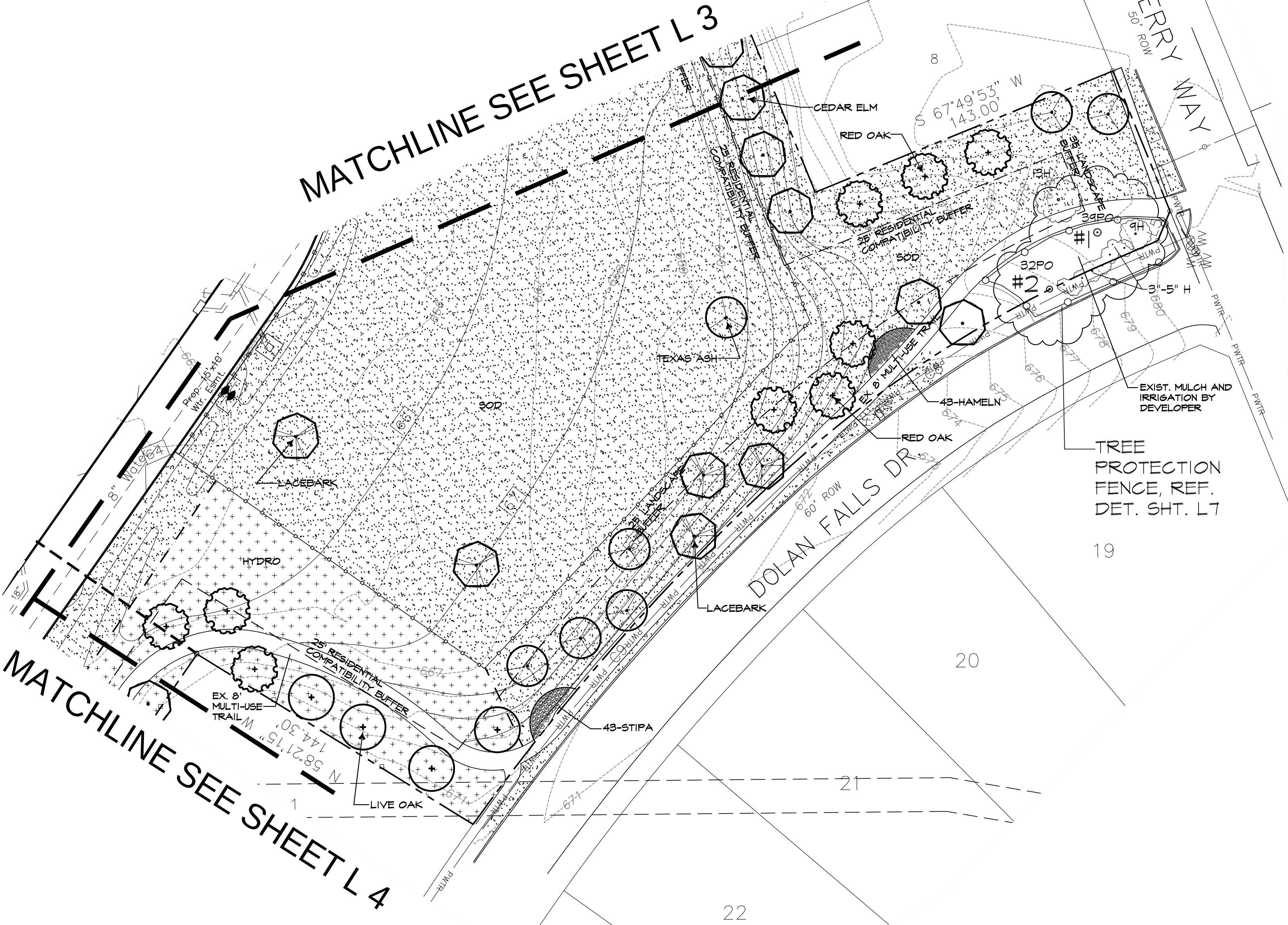
DENTON CREEK BLVD.
MEDIAN PLANTING ENLARGEMENT
SCALE: 1" = 20'-0"



STREET MEDIAN ONLY (NORTH END OF DENTON CREEK BLVD.)

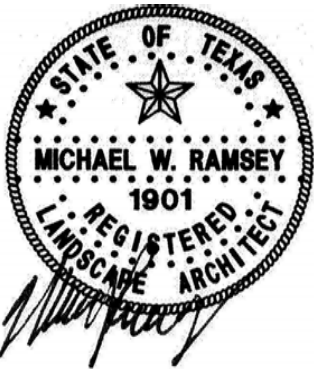
TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
3		CEDAR ELM	Cedar Elm	Ulmus crassifolia	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
6		POSSUMHAW	Possumhaw	Ilex decidua	3/4" caliper per trunk, 5 trunk minimum, 6' Ht./4' spread, B&B or container, tree form, limbed to 4'
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
18	①	L. BLUE	Little Bluestem	Schizachyrium scoparium	5 gallon
40	②	B.H. SALVIA	Blue Hill Salvia	Salvia sylvestris 'Blue Hill'	5 gallon
GROUND COVER / VINES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN		SOD	Common Bermuda Grass	Cynodon dactylon	Hydromulch refer to specifications
AS SHOWN		EVON.	Purple Leaf Winter Creeper	Evonymus fortunei 'Coloratus'	1 gallon pots, 18" o.c.
MISCELLANEOUS					
AS SHOWN		EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color		Separate ground cover from shrubs in street median planting
AS SHOWN		T.B. ROCK	Tejas Black rock, 1" nominal size, 18" wide band, 3" depth. Provide weed barrier mat below rock. Separate at bed areas with edging.		PROVIDE SAMPLE FOR APPROVAL PRIOR TO DELIVERY. DEVELOPER TO APPROVE
AS SHOWN		C. EDGE	12" X 12" Concrete curb planter edge. #3 rebar top and bottom, centered, 3" clear.		Install to separate street median bed areas from grass areas

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

ARGYLE ELEMENTARY
NO.3
LANDSCAPE PLAN AREA 'D'

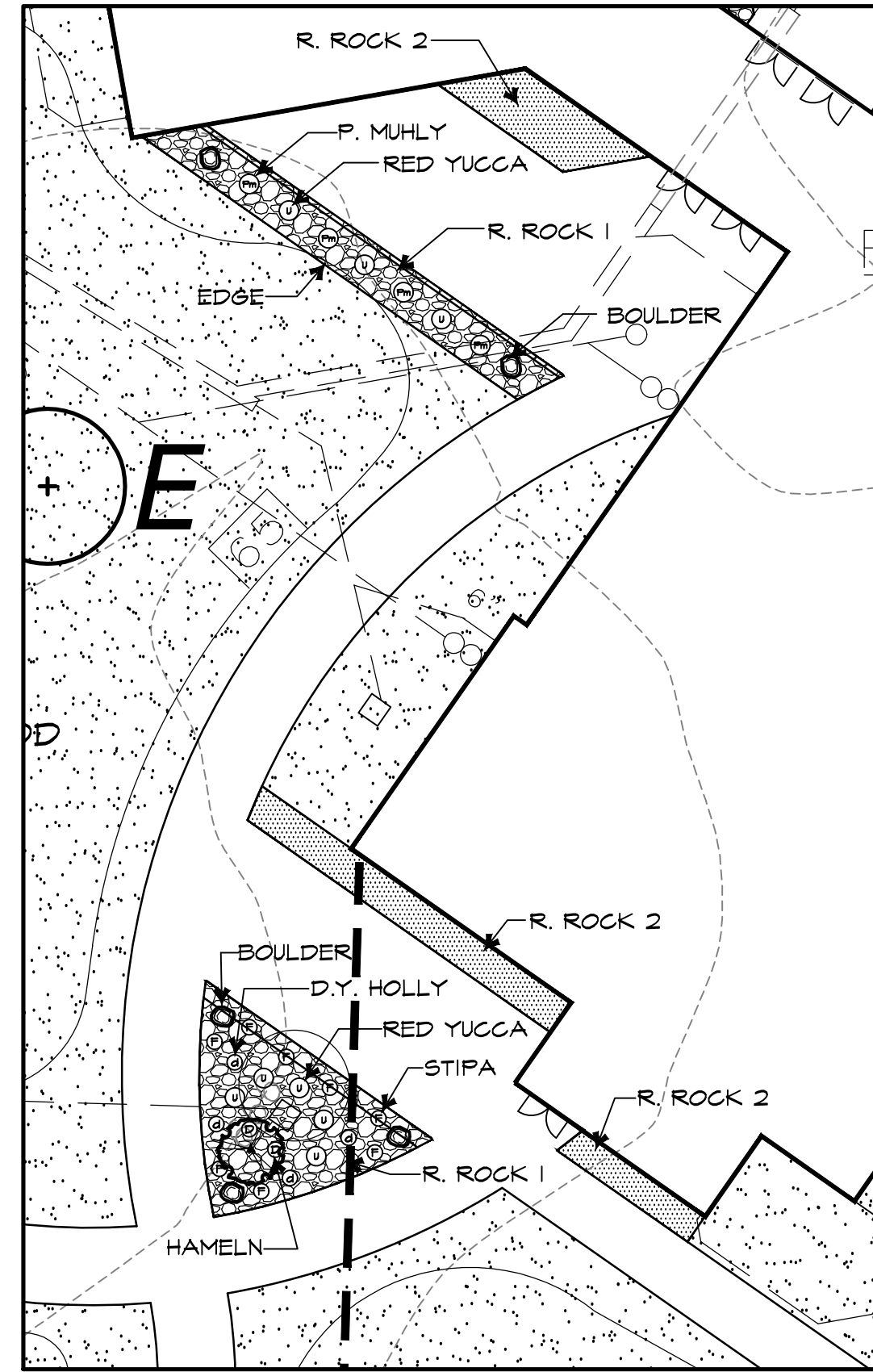


ISSUES/
REVISIONS

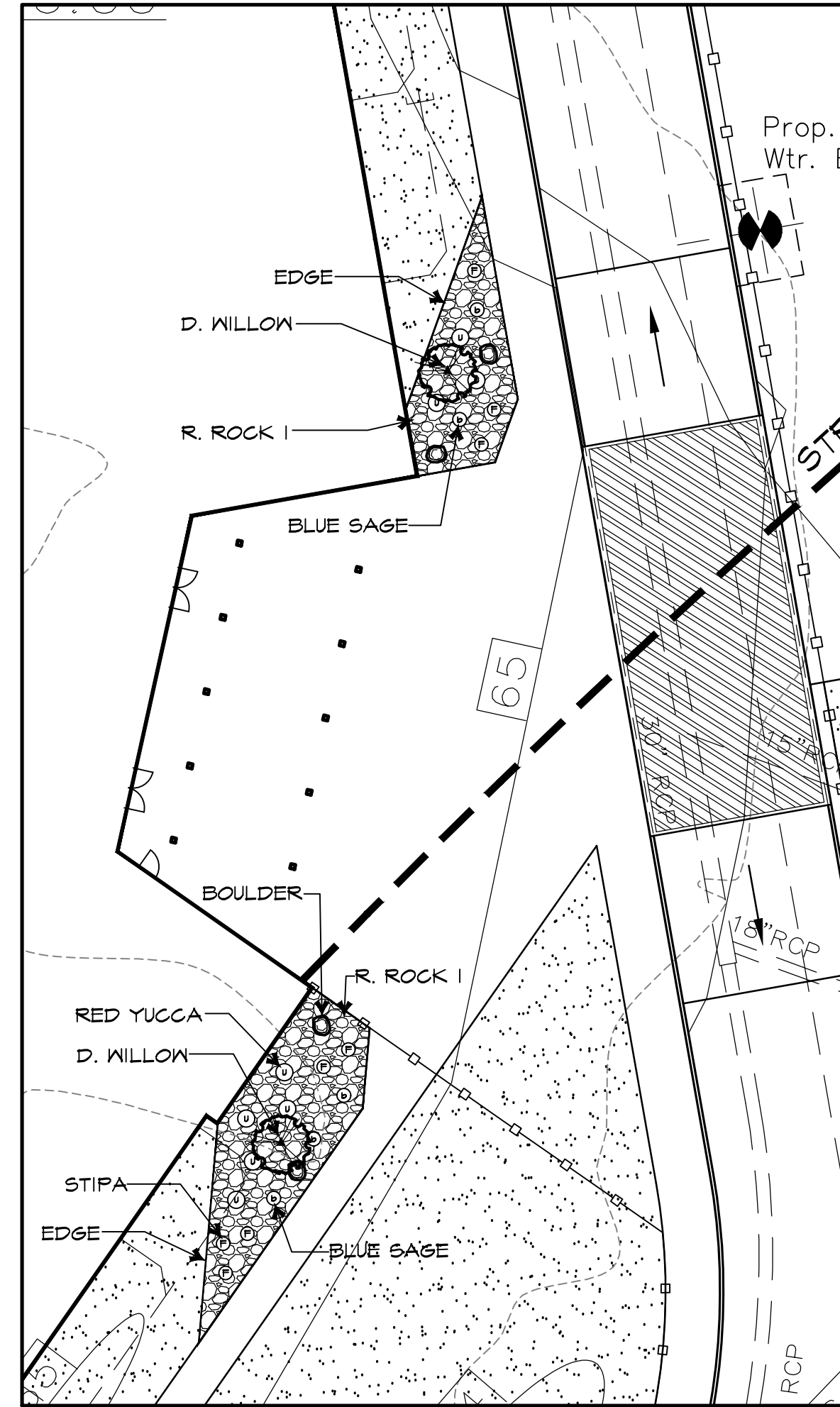
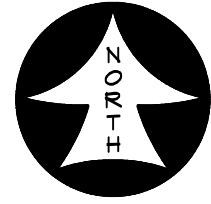
DATE: 01/21/2021
SCALE: 1"=30'

SHEET No.

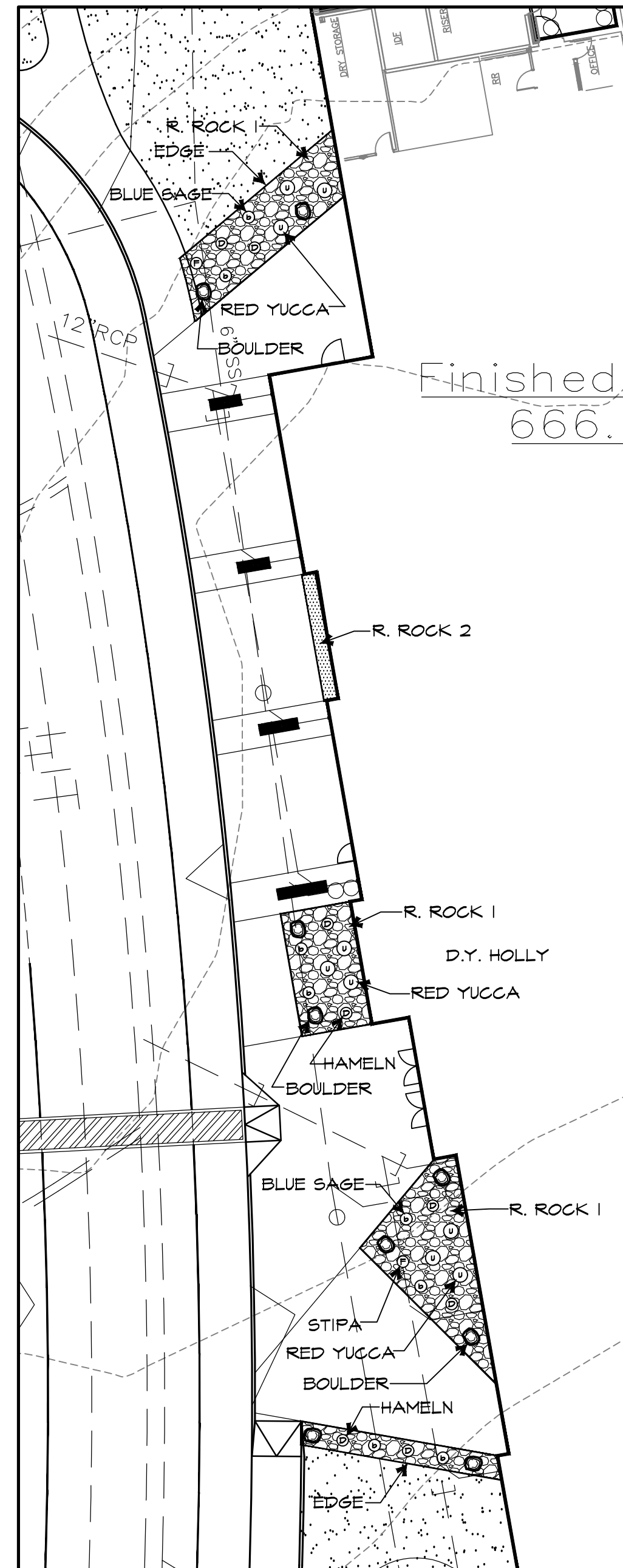
L 5



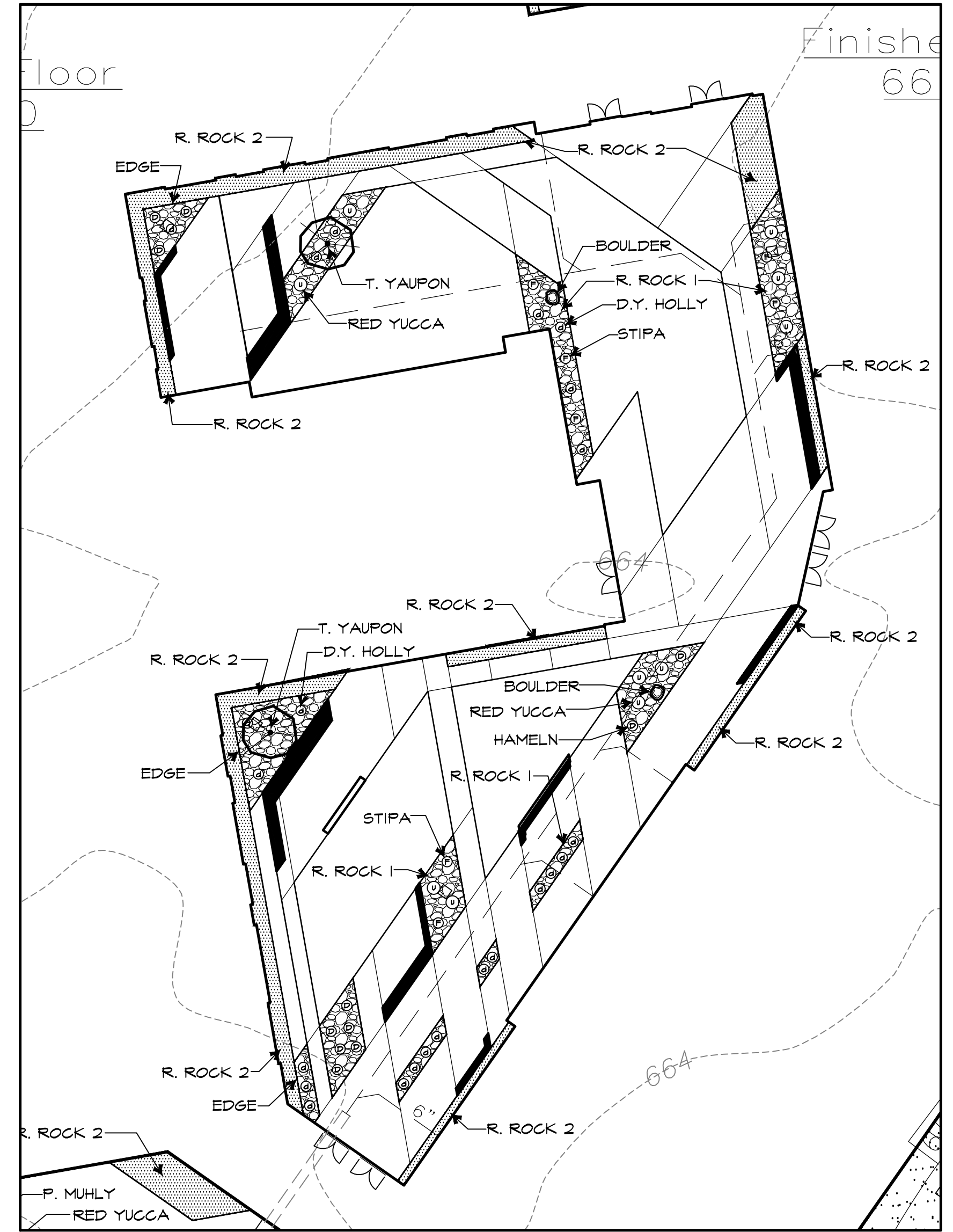
SOUTH ENTRY ENLARGEMENT
SCALE: 1" = 20'-0"



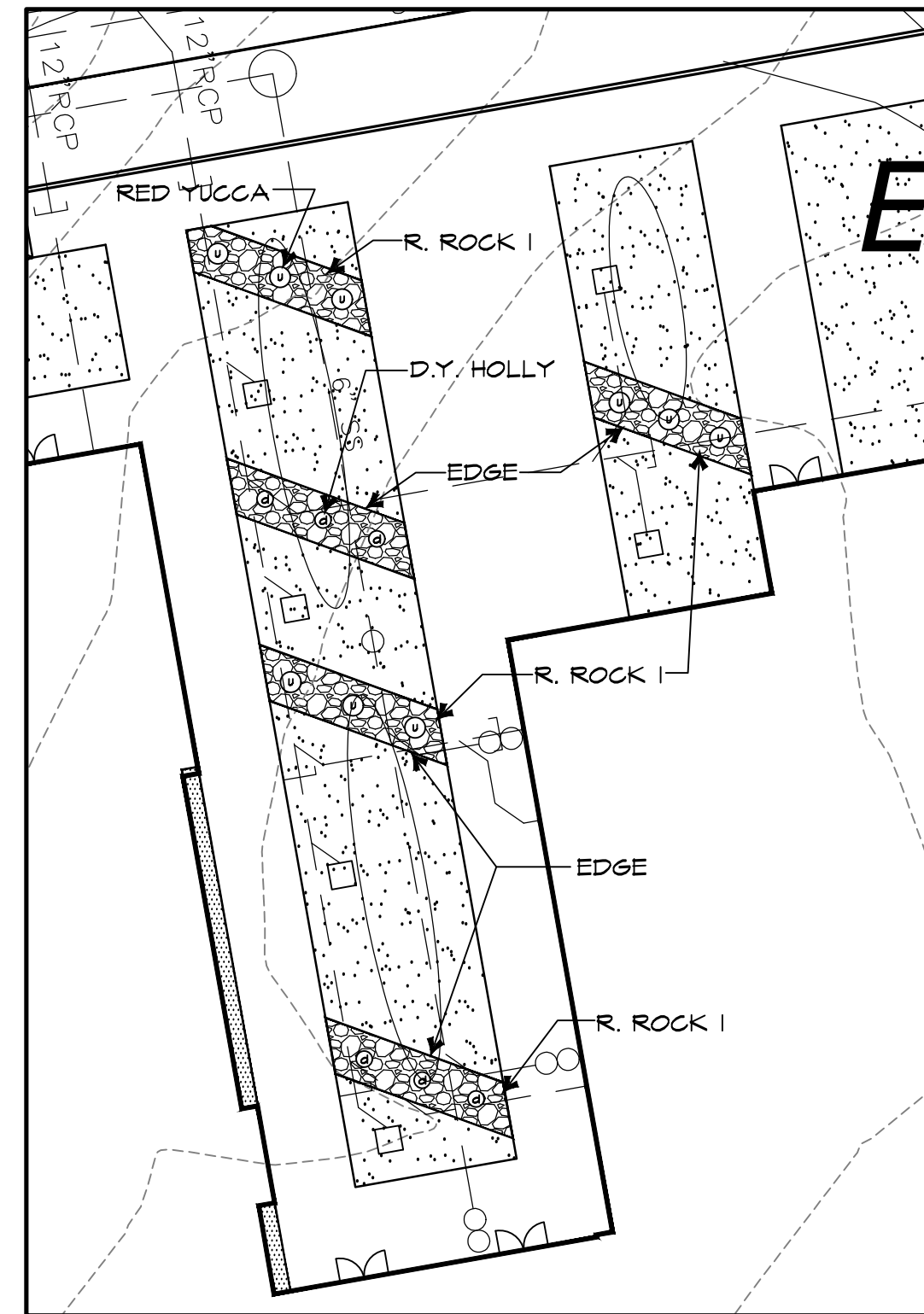
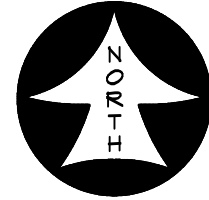
EAST ENTRY ENLARGEMENT
SCALE: 1" = 20'-0"



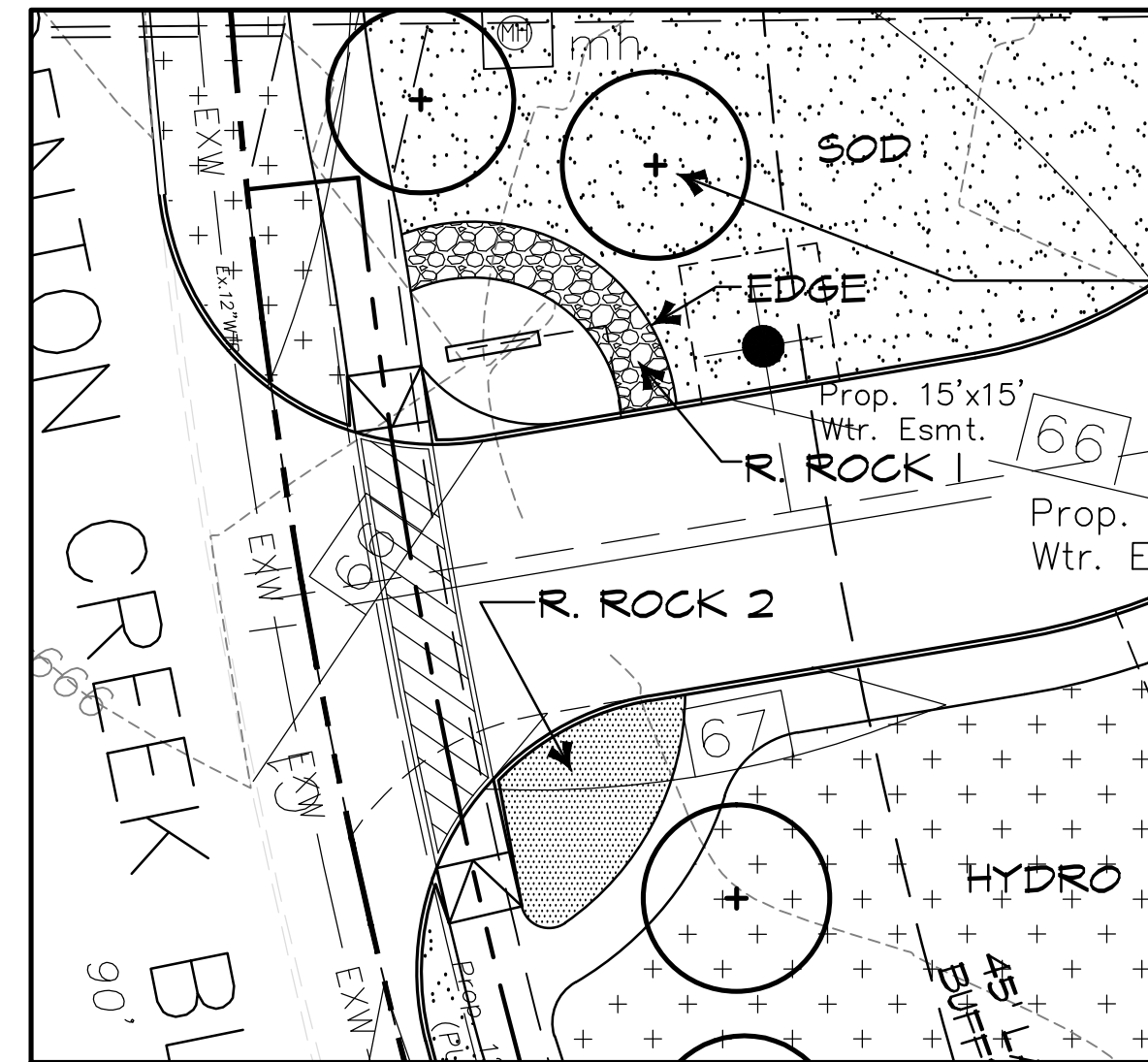
WEST ENTRY ENLARGEMENT
SCALE: 1" = 20'-0"



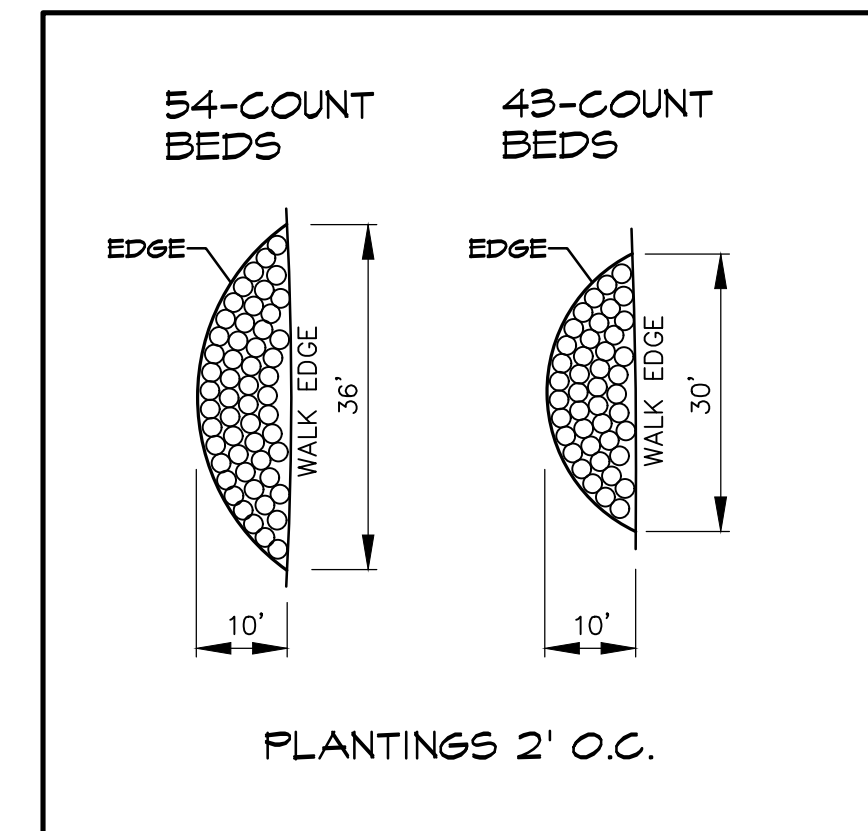
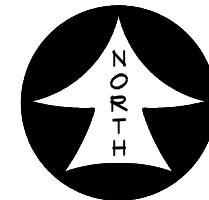
INTERIOR COURTYARD ENLARGEMENT
SCALE: 1" = 20'-0"



NORTH ENTRY ENLARGEMENT
SCALE: 1" = 20'-0"



SITE ENTRY AT MONUMENT SIGN
SCALE: 1" = 20'-0"



SITE PERIMETER PLANTING BEDS
SCALE: 1" = 20'-0"



RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE@RAMSLA.COM

ARGYLE ELEMENTARY NO.3 LANDSCAPE ENLARGEMENTS



ISSUES/
REVISIONS

DATE: 01/21/2021
SCALE: AS SHOWN

SHEET No.

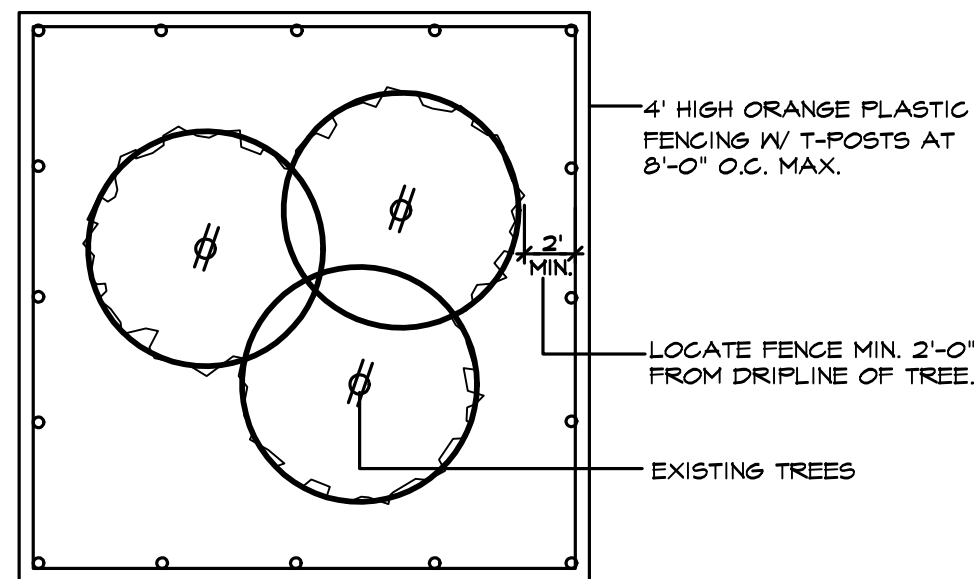
L 6

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD OR HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

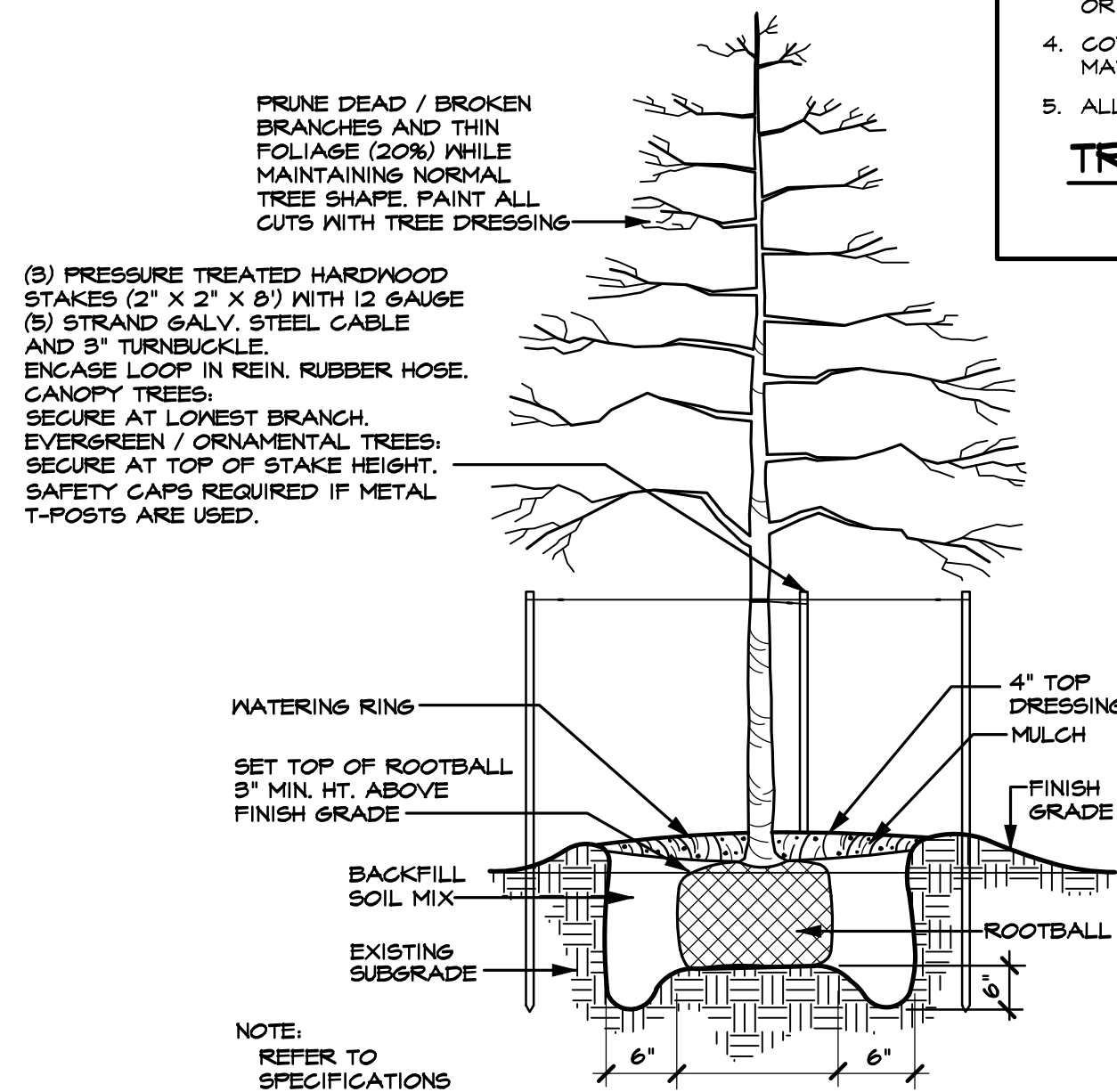
REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

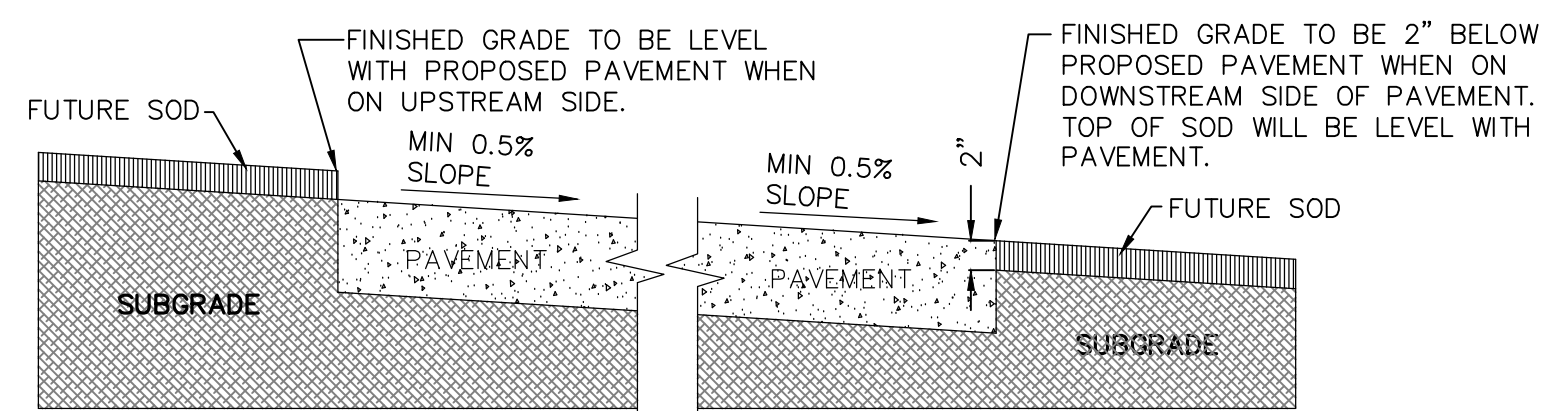
TREE PROTECTION FENCE AND NOTES

SCALE: N.T.S.



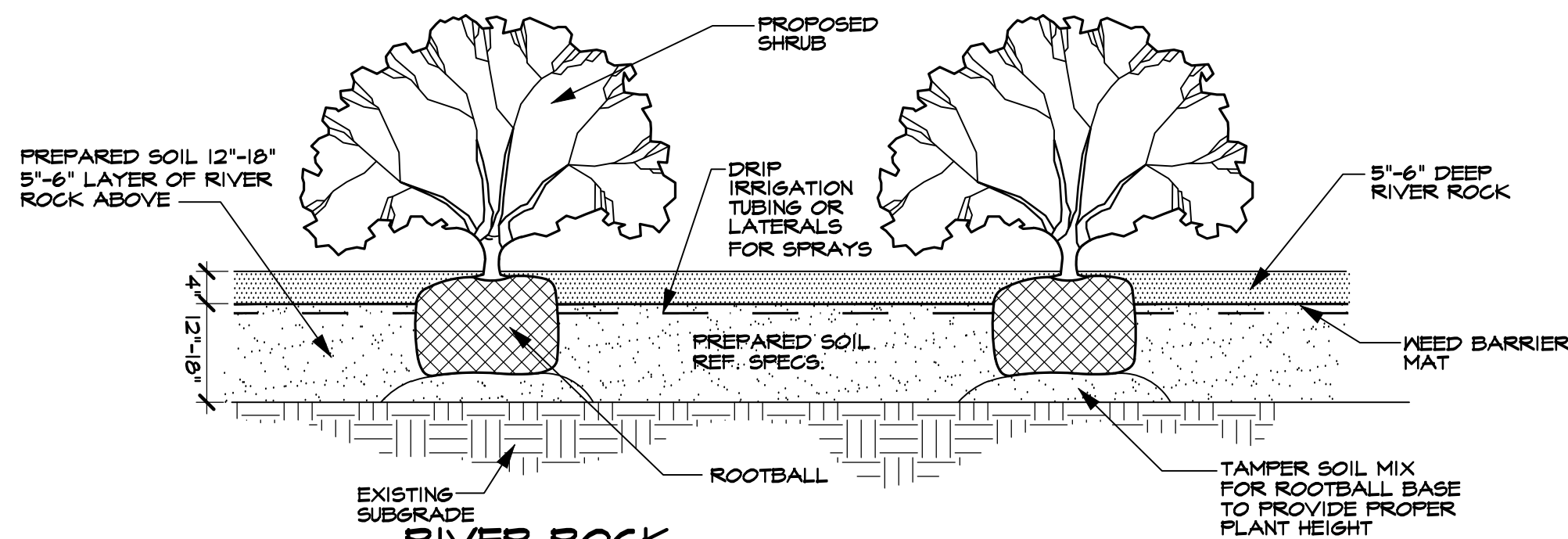
TREE PLANTING DETAIL (TYPICAL)

SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB

SCALE: N.T.S.



RIVER ROCK SHRUB PLANTING DETAIL (TYPICAL)

SCALE: N.T.S.

LANDSCAPE TABULATIONS

STREET YARD LANDSCAPE

20% OF STREET YARD TO BE LANDSCAPED

STREET YARD AREA	540,460 SF
STREET YARD LANDSCAPE REQUIRED (540,460 SF X 20% =)	108,092 SF
STREET YARD LANDSCAPE PROVIDED	210,310 SF

STREET YARD TREES REQUIRED (540,460 SF - 110,000 SF = 430,460 SF / 5,000 SF = 87 + 50 TREES =)	137 TREES
STREET YARD TREES PROVIDED	140 TREES
STREET YARD ONLY (138 PROP., 2 EXIST. =)	

STREET BUFFER

25' WIDE BUFFER REQUIRED MINIMUM, 1 TREE PER 30 LF

PRAIRIE RIDGE ROAD - 422 LF	50' BUFFER PROVIDED
STREET BUFFER TREES REQUIRED (422 LF / 30 LF =)	15 TREES
STREET BUFFER TREES PROVIDED (15 PROP.)	15 TREES
DEEP WOODS LANE - 412 LF	25' BUFFER PROVIDED
STREET BUFFER TREES REQUIRED (412 LF / 30 LF =)	14 TREES
STREET BUFFER TREES PROVIDED (14 PROP.)	14 TREES
ELDERBERRY WAY - 78 LF	35' BUFFER PROVIDED
STREET BUFFER TREES REQUIRED (78 LF / 30 LF =)	3 TREES
STREET BUFFER TREES PROVIDED (2 PROP., 1 EXIST.)	3 TREES
DOLAN FALL DRIVE - 413 LF	25' BUFFER PROVIDED
STREET BUFFER TREES REQUIRED (413 LF / 30 LF =)	14 TREES
STREET BUFFER TREES PROVIDED (13 PROP., 1 EXIST.)	14 TREES
DENTON CREEK BOULEVARD - 1,030 LF	45' BUFFER PROVIDED
STREET BUFFER TREES REQUIRED (1,030 LF / 30 LF =)	35 TREES
STREET BUFFER TREES PROVIDED (35 PROP.)	35 TREES

FRONTAGE SHRUBS

10 SHRUBS PER 50 LF

PRAIRIE RIDGE ROAD - 422 LF	
STREET BUFFER SHRUBS REQUIRED (422 LF/50 LF=8.4 X 10=84)	84 SHRUBS
STREET BUFFER SHRUBS PROVIDED	86 SHRUBS
DEEP WOODS LANE - 412 LF	
STREET BUFFER SHRUBS REQUIRED (412 LF/50 LF= 8.2 X 10=82)	82 SHRUBS
STREET BUFFER SHRUBS PROVIDED	86 SHRUBS
ELDERBERRY WAY - 78 LF	
STREET BUFFER SHRUBS REQUIRED (78 LF/50 LF=1.6 X 10=16)	16 SHRUBS
STREET BUFFER SHRUBS PROVIDED (SPREAD OUT OVER OTHER STREETS)	16 SHRUBS
DOLAN FALLS DRIVE - 413 LF	
STREET BUFFER SHRUBS REQUIRED (413 LF/50 LF=8.3 X 10=83)	83 SHRUBS
STREET BUFFER SHRUBS PROVIDED	86 SHRUBS
DENTON CREEK BOULEVARD - 1,030 LF	
STREET BUFFER SHRUBS REQUIRED (1,030 LF/50 LF=20.6 X 10=206)	206 SHRUBS
STREET BUFFER SHRUBS PROVIDED	216 SHRUBS

PARKING AREA LANDSCAPE

SCHOOL 45 SF PER 12 SPACES, 1 TREE PER 20 SPACES, SPACES 100' OF TREE	
TOTAL NEW PARKING SPACES	188 SPACES
PARKING LANDSCAPE REQUIRED 188 / 12 = 15.67 X 45 SF =)	706 SF
PARKING LANDSCAPE AREA PROVIDED	2,215 SF

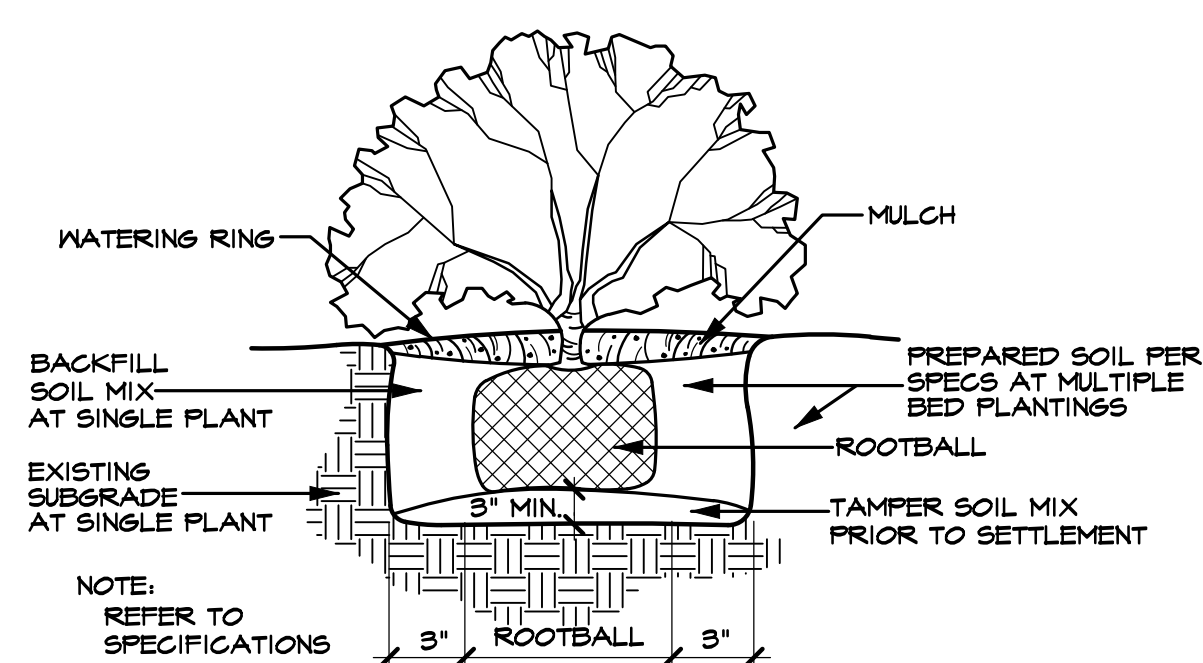
PARKING TREES REQUIRED (188 SPACES / 20 =)	10 TREES
PARKING TREES PROVIDED	10 TREES

EXCESS PARKING BEYOND 20% OVER MIN. REQ. (1 TREE PER 10 SPACES)

115 SPACES REQ +20% = 138 SPACES, 188 SPACES PROVIDED	
EXCESS PKG TREES REQUIRED (188 SPACES - 138 = 50 / 10 =)	5 TREES
EXCESS PARKING TREES PROVIDED	6 TREES

COMPATIBILITY BUFFER

STANDARDS	S.F.	REQUIRED	PROVIDED
25' COMPATIBILITY BUFFER (EAST PROPERTY LINE)	N/A	25'	25'
1 SHADE TREE PER 800 S.F. OF BUFFER	20,045 S.F.	25 TREES	25 TREES
6' MASONRY WALL	N/A	771 L.F.	EXCEPTION
COMPATIBILITY SETBACK (EAST)	N/A	60'	181'
25' COMPATIBILITY BUFFER (SOUTH PROPERTY LINE)	N/A	25'	25'
1 SHADE TREE PER 800 S.F. OF BUFFER	17,358 S.F.	22 TREES	22 TREES
6' MASONRY WALL	N/A	677 L.F.	EXCEPTION
COMPATIBILITY SETBACK (SOUTH)	N/A	60'	181'



SHRUB PLANTING DETAIL (TYPICAL)

SCALE: N.T.S.

LARGE TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
30		LIVE OAK	Live Oak	<i>Quercus virginiana</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
30		RED OAK	Shumard Red Oak	<i>Quercus shumardii</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
29		LACEBARK	Lacebark Elm	<i>Ulmus parvifolia</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
25		TEXAS ASH	Texas Ash	<i>Fraxinus texensis</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
23		CEDAR ELM	Cedar Elm	<i>Ulmus crassifolia</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
13		SWEETGUM	Sweetgum	<i>Liquidambar styraciflua 'Rotundiloba'</i>	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk full rounded canopy
3		C. MYRTLE	Red flowering Grape Myrtle	<i>Lagerstroemia indica 'Dynamite'</i>	1" caliper per trunk, 5 trunk minimum, 8' Ht./5' spread, B&B
3		D. WILLOW	Desert Willow	<i>Chilopsis linearis</i>	4'-5' ht, 3'-4' spread, container
2		T. YAUPON	Yaupon Holly	<i>Ilex vomitoria</i>	3/4" caliper per trunk, 5 trunk min., 8' Ht./4' spread, container, Female - heavy berried tree form, limited to 4'

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
224		D.B. HOLLY	Dwarf Burford Holly	<i>Ilex cornuta 'Nana'</i>	30" Ht./14" spread, bushy, full to ground
261		STIPA	Mexican Feathergrass	<i>Stipa tenuissima</i>	5 gallon
258		HAMELN	Hameln Grass	<i>Pennisetum alopecuroides</i>	5 gallon
33		D.Y. HOLLY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gallon, 16" Ht./14" spread, bushy, full to ground
44		RED YUCCA	Brakelights Red Yucca	<i>Hesperaloe parviflora 'Perla Patent #21,724'</i>	5 gallon
4		P. MUHLY	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	5 gallon
13		BLUE SAGE	Mealy Blue Sage	<i>Salvia Farinacea</i>	1 gallon

GROUNDCOVER / VINES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN		HYDRO	Common Bermuda Grass	<i>Cynodon dactylon</i>	Solid Rolled Sod refer to specifications
AS SHOWN		SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Hydromulch refer to specifications

MISCELLANEOUS

AS SHOWN		EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color	Separate all beds and river rock from all grass areas and different rock types.
AS SHOWN		R. ROCK 1	3"-4" size native blend river rock, 5'-6" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging.	PROVIDE SAMPLE FOR APPROVAL PRIOR TO DELIVERY
AS SHOWN		R. ROCK 2	3"-4" size mexican beach pebble river rock, 5'-6" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging.	PROVIDE SAMPLE FOR APPROVAL PRIOR TO DELIVERY
20		BOULDER	400 to 600 pounds each BROWN MOSS BOULDERS	

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



4-28-21

ISSUES/

REVISIONS

DATE: 01/21/2021

SCALE: AS SHOWN

SHEET No.

L 7



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 5

REGULAR ITEM

DATE: May 10, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Public Hearing to consider a Site Plan (SP21-0001 – Lakeside Center) with a request for an exception to 'Underground Utilities' pursuant to Section 82-377, Exceptions, of the Code of Ordinances. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There is an exception request to the Town's regulation which necessitate special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the application is to request an exception to allow an existing power pole to remain on the subject property. The utility providers have a blanket easement along the southern property line of the Lakeside Center development and along the northern property line of the Mobile Home Park subdivision located to the south of this development. Due to this blanket easement, the power poles and lines straddle the property lines, and as a result, one of the poles that serves the Mobile Home Park is located within the open space lot within the Lakeside Center development.

Underground Utilities:

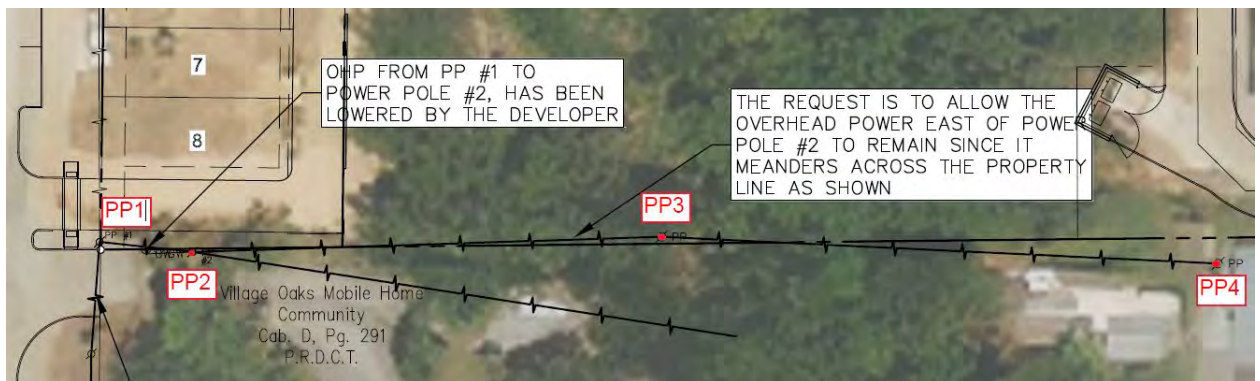
Section 82-377 of the Town's Code of Ordinances outlines the application requirements in order to request this exception.

Sec. 82-377. - Exceptions.

1. The developer may request an exception to the standards contained in this section subject to the following conditions:
 - a. Requests for an exception must be made in writing and detail the reasons for the exception.
 - b. The developer shall prepare exhibits that illustrate the impact of granting versus not granting the exception. Such exhibits shall include plan view and perspective drawings. The town manager, or their designee, may require additional exhibits or drawings that help illustrate the impact of the request.

- c. The town council, after a public hearing and upon receiving a recommendation by the planning and zoning commission, may grant an exception. However, town council may require additional development standards in consideration of the exception to mitigate the visual impact of overhead utilities. Additional development standards may include, but are not limited to, the installation of Additional Landscaping; relocation of the overhead utility poles and lines internal to the site in order to reduce visibility along roadways; and screening of associated equipment such as substations, switches, meters, and transformers

As required by the 'Underground Utilities' ordinance, the developer has removed the poles and placed approximately 505 linear feet of overhead power lines along Northwood Drive underground. The overhead power lines from the Lakeside Center property continue in southward and eastward directions to serve the Mobile Home Park property located to the south of Lakeside Center. In the screenshot below, Power Pole 1 (PP1) and PP3 are located on the Lakeside Center property, while PP2 and PP4 are located on the adjacent property. The developer has removed PP1 and the lines running between PP1 to PP2. The developer is requesting an exception to allow PP3 and approximately 162 linear feet of lines between PP2 and PP4 to remain on the subject property.



The developer has provided site exhibit and photographs of the pole and area around it to illustrate that PP3 is surrounded by existing trees and is not visible from Northwood Drive or the Lakeside Center residential development. PP3 is located within an open space lot which contains a creek and is heavily vegetated.

The developer has also provided quotes stating the relocation costs and utility relocation plans from Spectrum and CoServ. Both plans indicate the need to bore under the creek and trees to run their cables in a new conduit between the two poles PP2 and PP4 located on the Mobile Home Park property. In addition to placing conduits underground between the PP2 and PP4, the plan also indicates placements of transformers and pedestals to support the new lines. The applicant has indicated in the letter of intent that removal of existing trees would be necessary in order to place new conduit between the poles.

On February 4, 2019, Town Council approved a rezoning request (ZPD18-0009 – Lakeside Center) to create PD-169 with residential and non-residential. The area of the entire PD is approximately 10 acres containing 5.309 acres of non-residential

development, 0.621 acres of residential development and approximately 4.135 acres of open space area.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

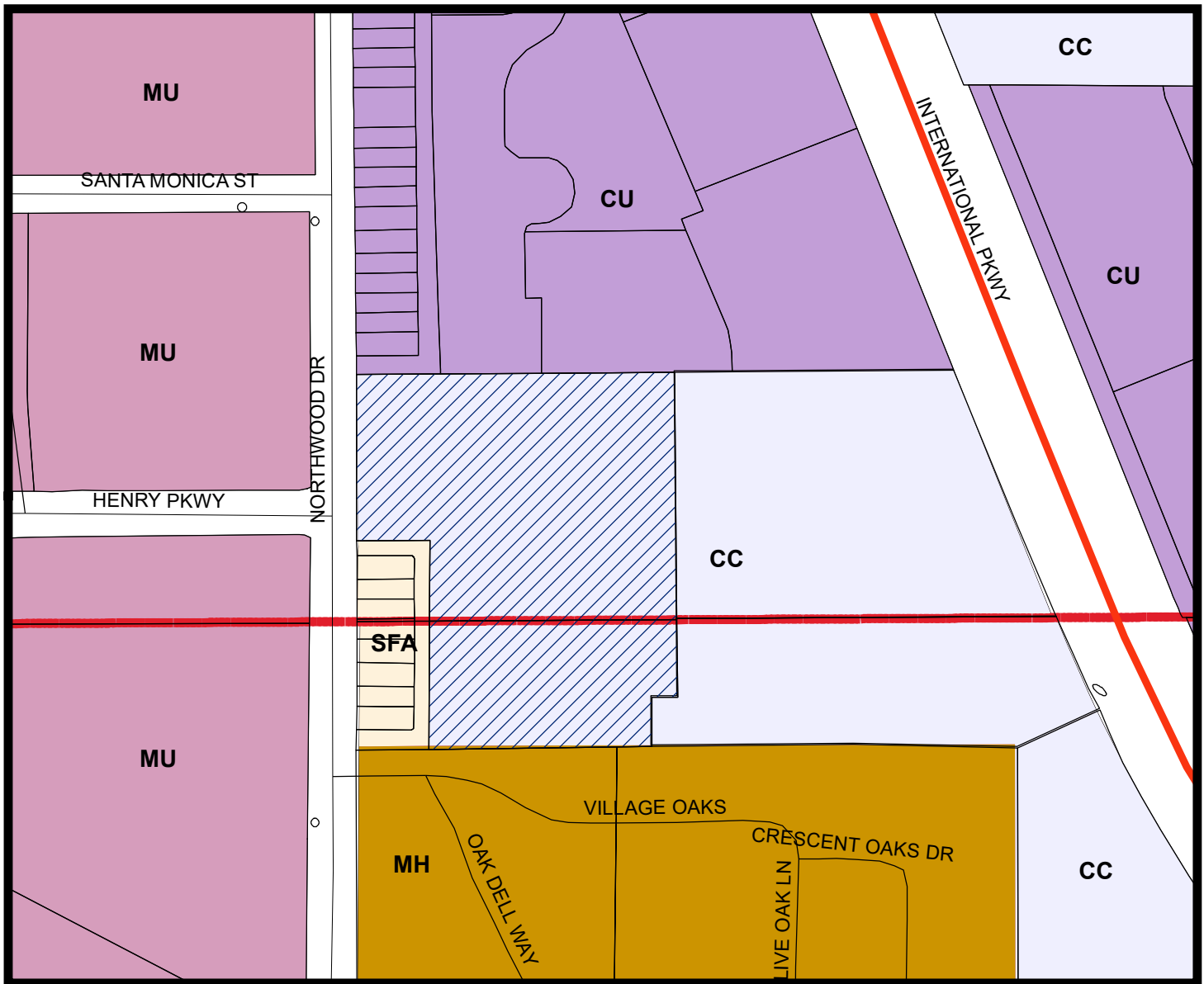
B. Application Details

1. Site Exhibit
2. Site Photographs
3. Spectrum and CoServ Supporting Documentation

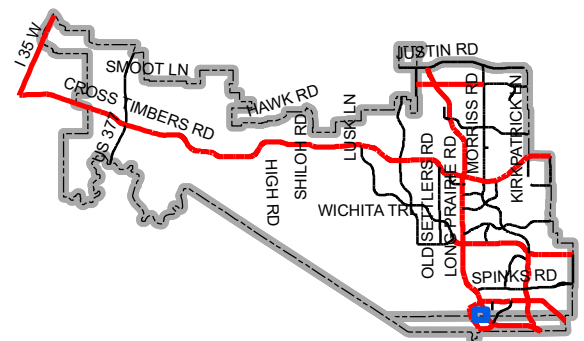
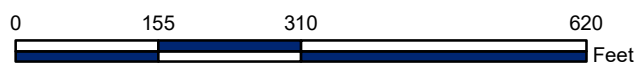
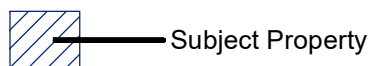
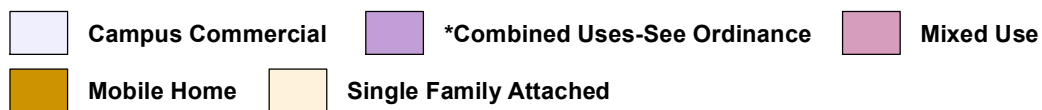


Vicinity Map

Reference Project: SP21-0001



LEGEND



Map Location



May 6, 2021

Principal Planner, Planning Services Division
Town of Flower Mound
2121 Cross Timbers Road

RE: Intent of Overhead Utility Exception

Flower Mound Planning Department:

FM 2499 Office Venture, LP, owner of the subject property, is requesting an amendment of the site plan to allow for an overhead utility exception. The pole in question is positioned within a thick grove of trees near a creek and not visible from any public ROW. Attempting to get equipment near the electric pole would be extremely damaging to the vegetation and require the removal of several large trees. This relocation is cost-prohibitive and aesthetically damaging for our project. We have previously relocated the visible overhead lines that ran across the front of the property along Northwood Drive to enhance the curb appeal of the property.

More significantly, none of the overhead lines connected to the subject pole serve our property nor are they transmission lines providing service to the general public. Rather, these lines strictly exist to serve the property to the south of us, and we don't believe our project should have to bear the cost to relocate their overhead electric service because a portion of it happens to cross over on to our property. When the neighboring property gets re-developed, all overhead lines, including the portion crossing over onto our property, will likely come down and that property will be served with an all-underground electric infrastructure system.

You may ask how this pole ended up on our property if it strictly serves the neighboring property. The reason is because CoServ has a fifty-year-old blanket easement covering both properties, so they did not have to be precise on each poles' location; however, all overhead cable and electric lines that serve our property have been relocated below ground.

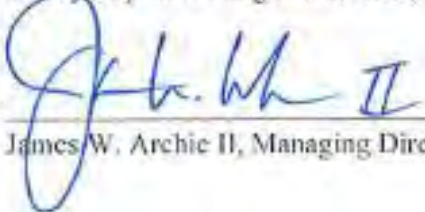
Thank you for considering this amended site plan request.

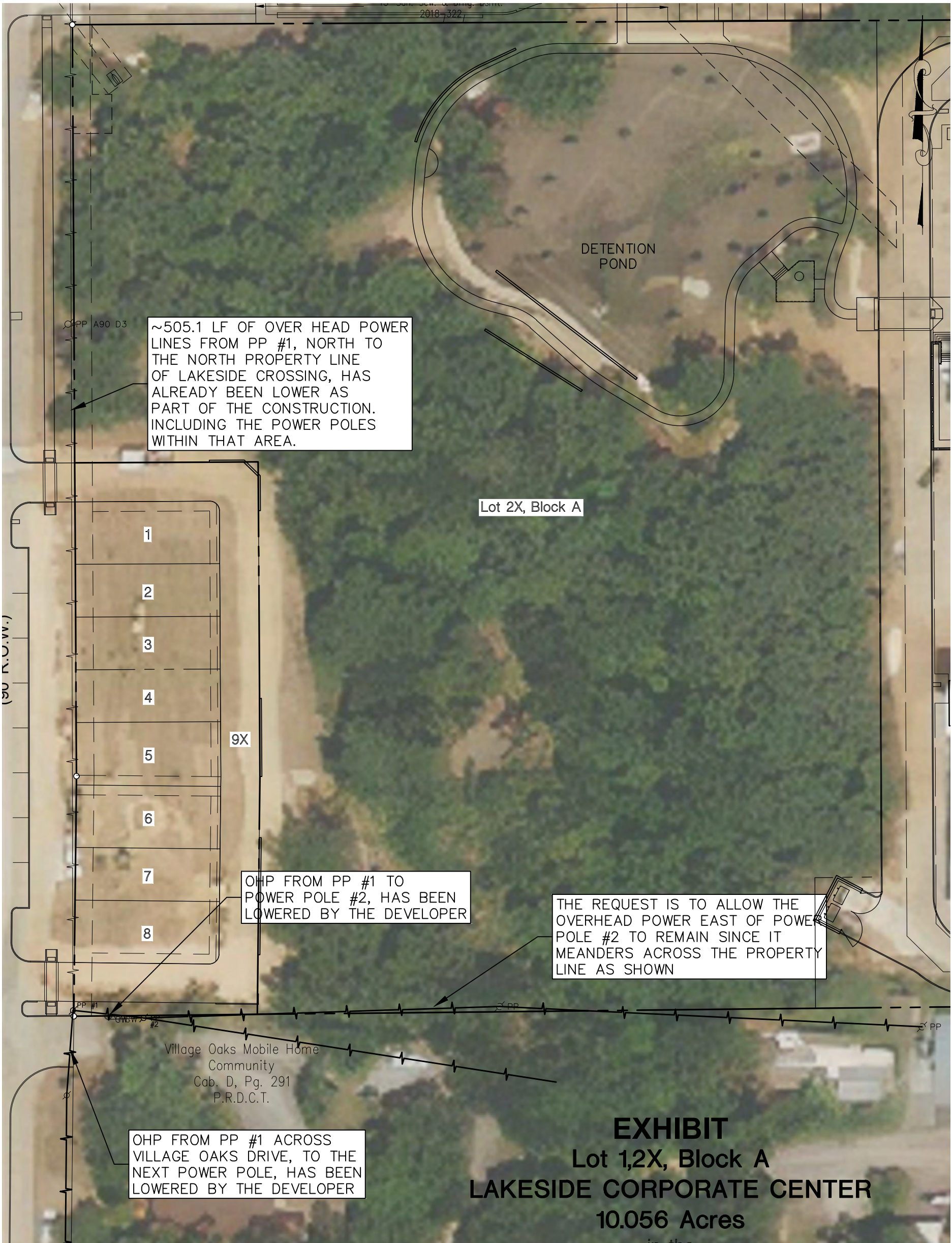
Signed,

FM 2499 OFFICE VENTURE, LP

By: RCM Genpar 2015, LLC, its general partner

By: Realty Capital Management, LLC, its sole member

By:  II
James W. Archie II, Managing Director



GENERAL NOTES

1. THE POWER POLE 1 IS LOCATED WITHIN THE RIGHT-OF-WAY OF NORTHWOOD DRIVE.
2. THE POWER POLE SOUTH OF VILLAGE OAKS DRIVE IS WITHIN THE RIGHT-OF-WAY OF NORTHWOOD DRIVE.
3. POWER POLE #2 IS ON THE VILLAGE OAKS MOBILE HOME COMMUNITY PROPERTY



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972. 436. 9712

201 Country View Drive
Roanoke, Texas 76262
940. 240. 1012

TBPE: 19762 TBPLS: 10194440
www.gacon.com
www.mcadamsco.com



Adjacent Property – Overhead electric and cable wires exclusively serve this community. Two of the three poles on adjacent property.



Westernmost Pole on Adjacent Property – Pole Transformer and cable lines exclusively serve adjacent property.



Middle of Three Utility Poles – Utility Pole is on Subject Property within heavily treed, vegetated, and zoning-protected open space.



Middle of Three Utility Poles – Utility Pole is on Subject Property within heavily treed, vegetated, and zoning-protected open space.



Creek running down middle of open space that electric and cable lines would need to run below.



Easternmost Pole on Adjacent Property. Pole Transformer exclusively serves adjacent property.



Photo of open space separating townhome lots from office building. Utility lines travel through heavily treed and vegetated open space.



North Texas Area

2019 RELOCATION PROJECT QUOTE

Origination Date: 2/16/2021

Start Date:

Completion Date:

NODE: 3820

PROJECT INFORMATION

Location Name: NTX Dallas Invoice #Activity Name: Forced RelocationProject Name: FR Northwood DR OH to UG PH2Job/ PRISM #: 2707922Line of Business: 408 - Forced RelocationsProject Driver: Replacement - IdentifiedProject Type: Forced RelocationBW/Fiber Activity: OtherPA Type: NewExisting Bandwidth: N/ACategory: Forced Plant Relo

BU	Project #	ID	OU	BS	Product	FA	Res Cat	Sub Cat
14900	#N/A		5105	###	n/a	601	#REF!	Multiple

Project Scope

Charter Spectrum will require 45-90 days to complete utility relocations once power is 100% complete and/or all the conduit is in place, if not being placed by TWC contractor, regardless of the requestor's contractual obligations to their customer. All conduit placed by the requestor must be accepted by TWC Coordinator before relocation can begin. Changes in design from the power company or the developer will result in a delay of completion of TWC's relocate. Unless otherwise noted or agreed upon in advance, no relocation efforts will commence until the requestor has remitted payment in advance for said relocations upon invoicing.

Please reference the Job/PRISM# above on your payment.

TOTALS

Total Labor	\$ 25,454.50
Total Material	\$ 1,298.37
GRAND TOTAL	\$ 26,752.87

APPROVALS

Requested By:

Name: Matthew BossartTitle: Forced Relo CoordinatorPhone: (972)670-1222

Date

Signature: Matthew Bossart2/16/2021

Client Approved By:

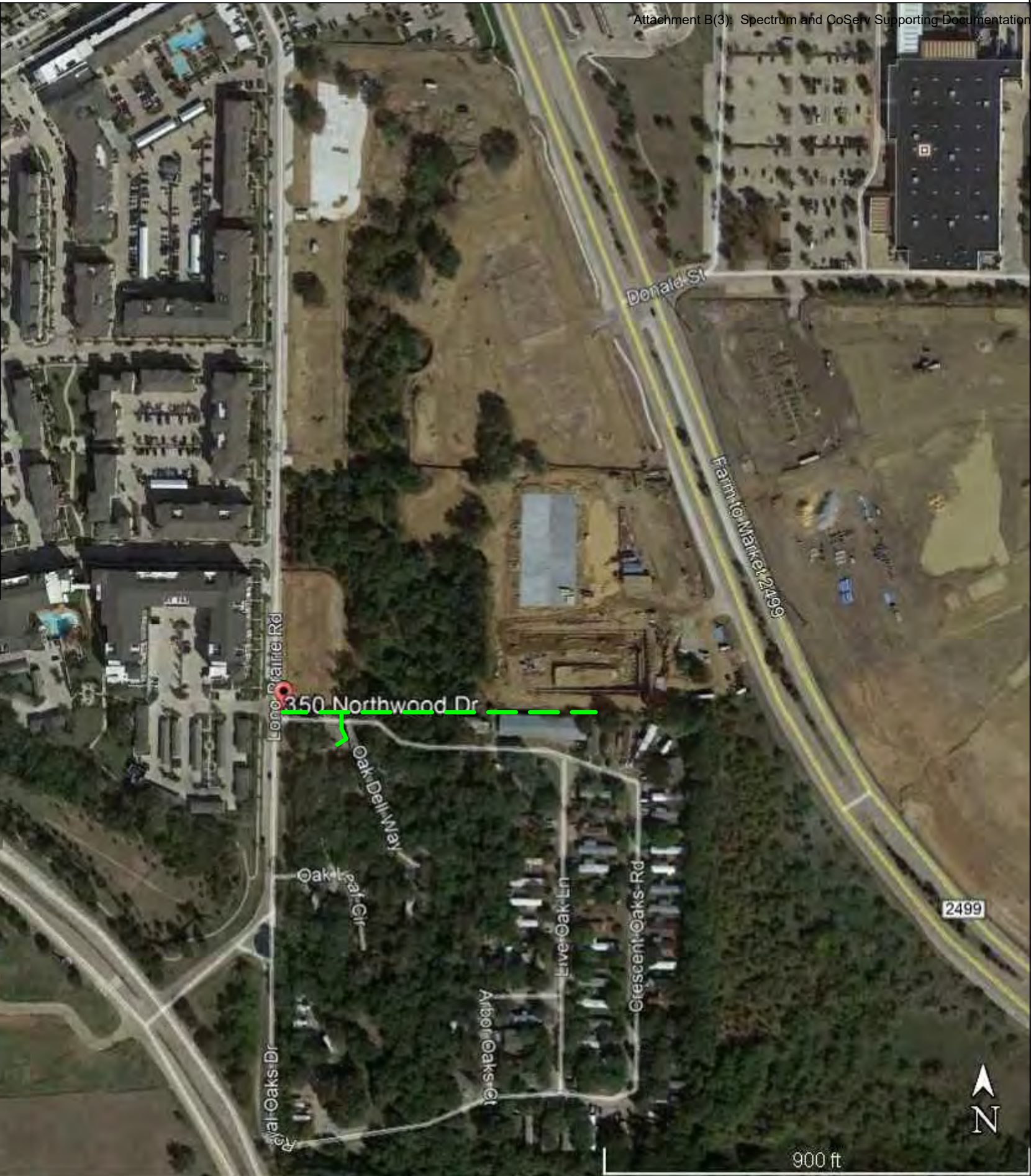
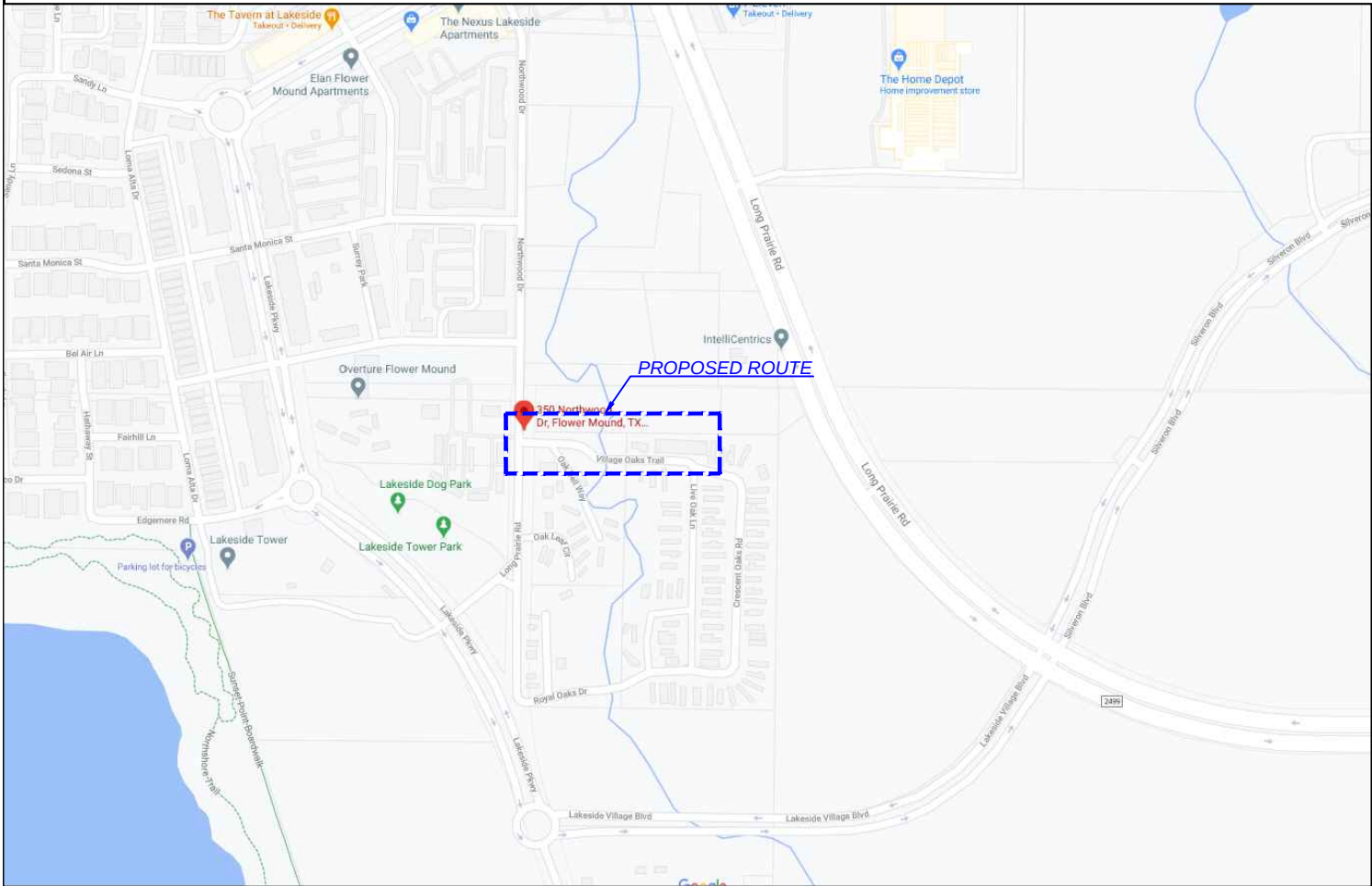
Name:

Title:

Phone:

Date

Signature:

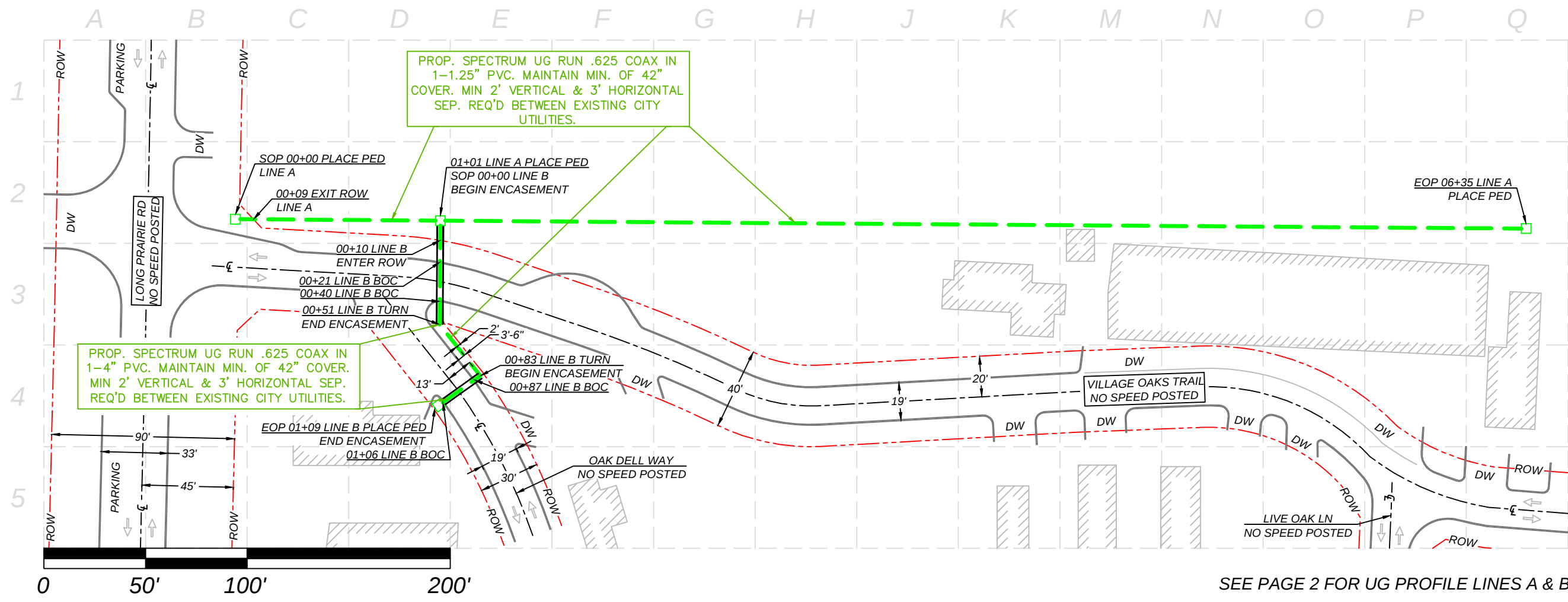
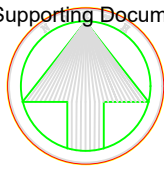


RAKE OFF	QTY	RAKE OFF	QTY	RAKE OFF	QTY
TRENCH & PLACE CONDUIT		PULL THRU EXSITING CONDUIT		R & R CONCRETE SIDEWALK	
BORE & PLACE CONDUIT		PLACE 3'X5'X3' HH		R & R CONCRETE PAVEMENT	
DIRECTIONAL BORE	667'	PLACE 4'X4'X4' MH		R & R ASPHALT PAVEMENT	
BORE & PLACE 4" PVC	77'	PLACE VAULT		AERIAL NEWBUILD	
BORE & PLACE 4" SCHED 80 PVC		PLACE PED	4	AERIAL OVERLASH	

PERMIT FOR RELOCATION
PR2707922
FR NORTHWOOD DR OH TO UG PH2
350 NORTHWOOD DR, FLOWER MOUND, 75022



KINETIC SOLUTIONS LLC.
1585 JAMESON RD.
VAN ALSTYNE TX. 75495
888-519-9188



SEE PAGE 2 FOR UG PROFILE LINES A & B

NOTE
FOR PERMIT PURPOSES ONLY.
DRAWINGS BASED ON RECORDS
CALL FOR UTILITY LOCATES
PRIOR TO DIGGING.

PERMIT FOR RELOCATION

PR2707922

FR NORTHWOOD DR OH TO UG PH2
350 NORTHWOOD DR, FLOWER MOUND, 75022



CITY:	FLOWER MOUND
COUNTY:	TARRANT
STATE:	TEXAS
DATE DRAFTED:	02/08/2021
	1 OF 2

DISCLAIMER

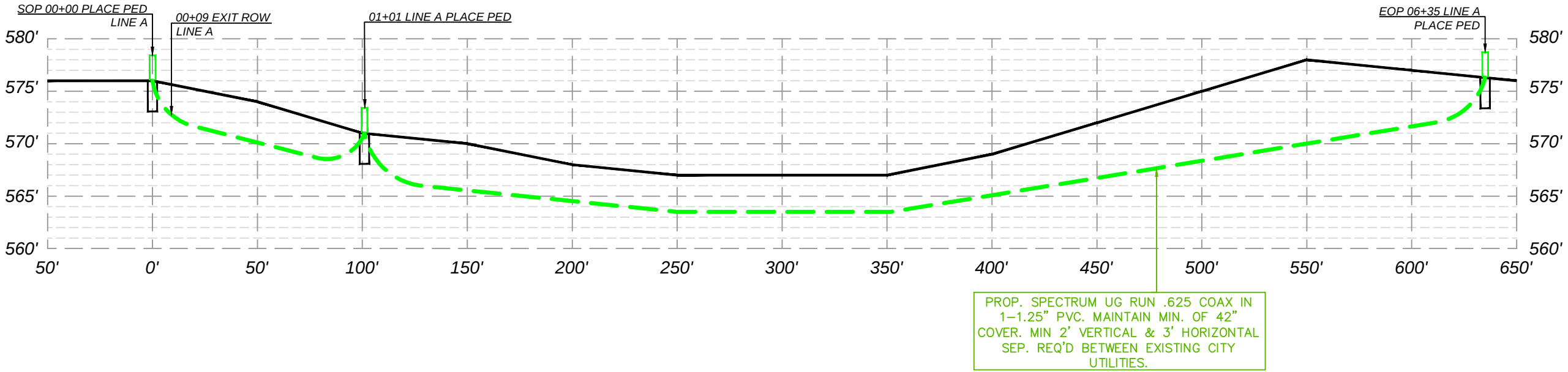
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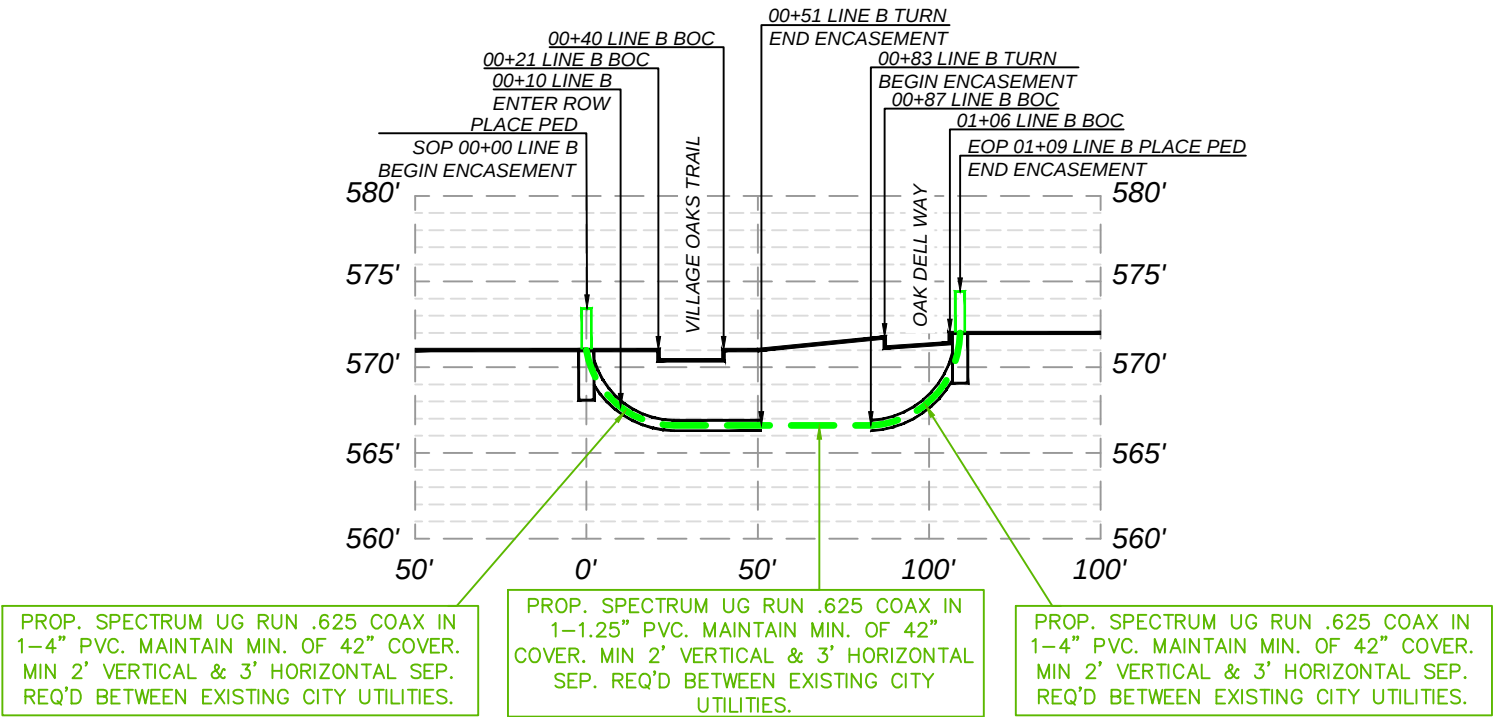
LEGEND			LINE TYPES		REVISIONS			
EXISTING ANCHOR	JOINT USE POLE	FIRE HYDRANT	AERIAL	UNDERGROUND	NO.	CHANGES	DATE	BY
NEW ANCHOR	25' RISER	WATER VALVE	GAS	U-GAS	1.)			
SIDEWALK GUY	PED	WATER METER	SS	SAN. SWR	2.)			
NEW SIDEWALK GUY	HAND HOLE	GAS METER	STM. SWR	WATER	3.)			
POLE TO POLE GUY	VAULT	TREE	W	ROW	4.)			
OVERHEAD GUY	100' AERIAL FOOTAGE	SHRUB	EASEMENT	SIDEWALK	5.)			
			FENCE		6.)			
					7.)			
					8.)			
					9.)			
					10.)			

RAKE OFF	QTY	RAKE OFF	QTY	RAKE OFF	QTY
TRENCH & PLACE CONDUIT		PULL THRU EXSITING CONDUIT		R & R CONCRETE SIDEWALK	
BORE & PLACE CONDUIT		PLACE 3'X5'X3' HH		R & R CONCRETE PAVEMENT	
DIRECTIONAL BORE	667'	PLACE 4'X4'X4' MH		R & R ASPHALT PAVEMENT	
BORE & PLACE 4" PVC	77'	PLACE VAULT		AERIAL NEWBUILD	
BORE & PLACE 4" SCHED 80 PVC		PLACE PED	4	AERIAL OVERLASH	

LINE A



LINE B



NOTE
FOR PERMIT PURPOSES ONLY.
DRAWINGS BASED ON RECORDS
CALL FOR UTILITY LOCATES
PRIOR TO DIGGING.

LEGEND			LINE TYPES		REVISIONS			
EXISTING ANCHOR	JOINT USE POLE	FIRE HYDRANT	AERIAL	NO.	CHANGES	DATE	BY	
NEW ANCHOR	25' RISER	WATER VALVE	UNDERGROUND	1.)				
SIDEWALK GUY	PED	WATER METER	GAS	2.)				
NEW SIDEWALK GUY	HAND HOLE	GAS METER	U-GAS	3.)				
POLE TO POLE GUY	VAULT	TREE	SAN. SWR	4.)				
OVERHEAD GUY	100' AERIAL FOOTAGE	SHRUB	STM. SWR	5.)				
			WATER	6.)				
			ROW	7.)				
			EASEMENT	8.)				
			SIDEWALK	9.)				
			FENCE	10.)				

RAKE OFF	QTY	RAKE OFF	QTY	RAKE OFF	QTY
TRENCH & PLACE CONDUIT		PULL THRU EXSITING CONDUIT		R & R CONCRETE SIDEWALK	
BORE & PLACE CONDUIT		PLACE 3'X5'X3' HH		R & R CONCRETE PAVEMENT	
DIRECTIONAL BORE		PLACE 4'X4'X4' MH		R & R ASPHALT PAVEMENT	
BORE & PLACE 4" PVC		PLACE VAULT		AERIAL NEWBUILD	
BORE & PLACE 4" SCHED 80 PVC		PLACE PED		AERIAL OVERLASH	

PERMIT FOR RELOCATION

PR2707922
FR NORTHWOOD DR OH TO UG PH2
350 NORTHWOOD DR, FLOWER MOUND, 75022



CITY: FLOWER MOUND
COUNTY: TARRANT
STATE: TEXAS
DATE DRAFTED: 02/08/2021 | 2 OF 2

DISCLAIMER

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KINETIC SOLUTIONS LLC.
1585 JAMESON RD.
VAN ALSTYNE TX. 75495
888-519-9188



7701 S Stemmons Fwy
Corinth, TX 76210
(940) 321-7800

ORDER: 2472

Order Date: 02/09/2021
Terms: 90 DAY ESTIMATE

Contact: STJOHNSON

MUCKLEROY FALLS
3200 RIVERFRONT DRIVE STE 200
FORT WORTH TX 76107

Account: 796
Description: WO 1025940

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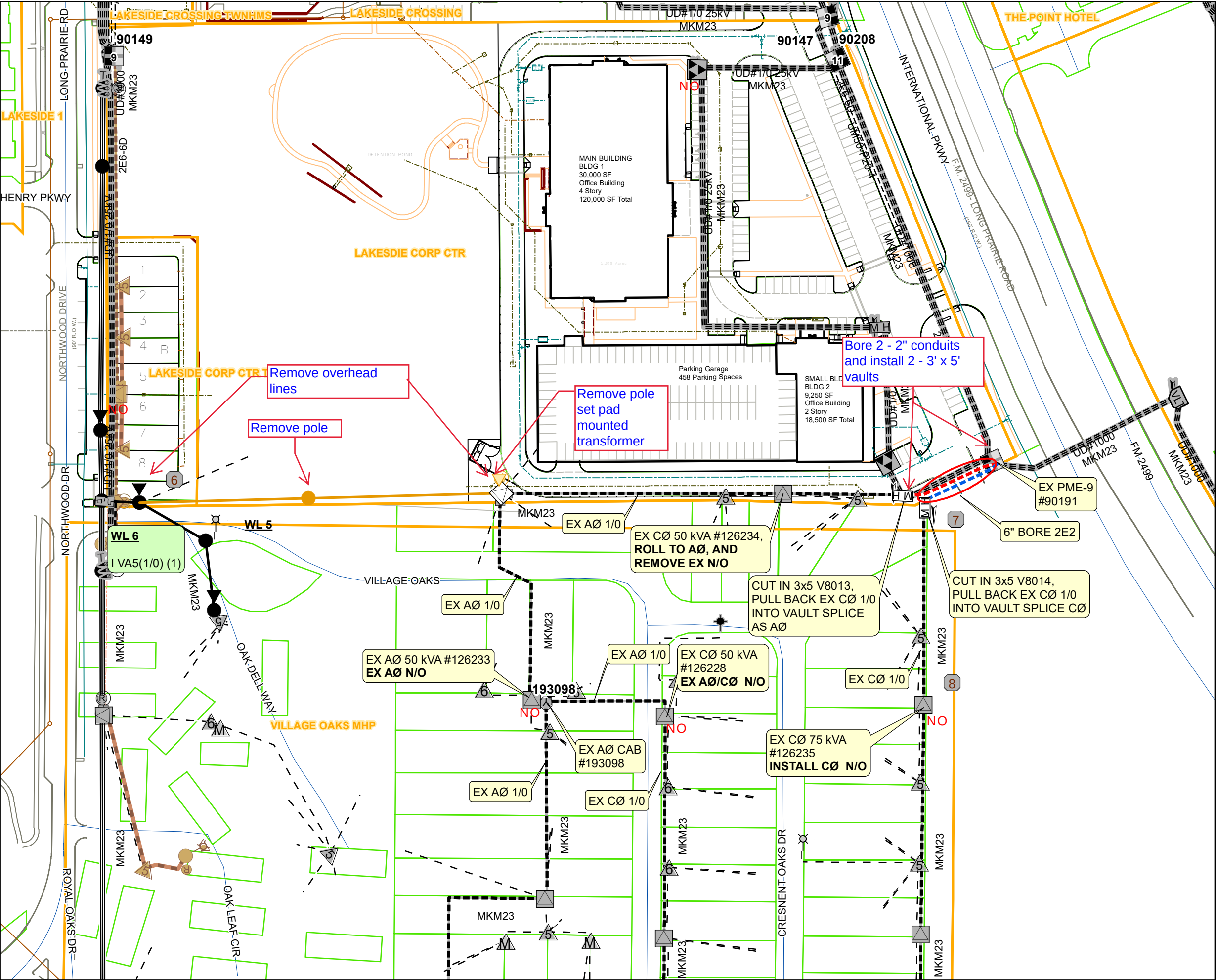
CATALOG ITEM	DESCRIPTION	QUANTITY	UOM	UNIT PRICE	AMOUNT	TAX
	REMOVE TWO POLES PER CITY AND BURY OH LINE @ LAKESIDE CTR NORTHWOOD & LAKESIDE S, FLOWER MOUND	1.000	EA	24,207.5300	24,207.53	√
	22-FRANCHISE FEE - FLOWER MOUND				968.30	

MESSAGES

****PAYMENTS ARE NO LONGER ACCEPTED IN THE OFFICE****
* PRICING IS VALID FOR 90 DAYS.
* NO CONSTRUCTION WILL COMMENCE UNTIL PAID IN FULL.
* THIS INVOICE IS FOR CONSTRUCTION ONLY.
* PLEASE REFER TO COVER LETTER FOR ADDITIONAL
INFORMATION.

REMIT TO:
COSERV
PO BOX 734852
DALLAS, TX 75373-4852

TOTAL ORDER AMOUNT: \$ 25,175.83



Notes:

11"x17"



LAKESIDE CTR - POLE REMOVAL

Designer:	G GWARTNEY	PM:	S JOHNSON	Scale	Lot Count
Date:	1/14/2021	1025940	Phone:	1" = 100'	
Date	Revisions				

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