

AGENDA

FLOWER MOUND PLANNING AND ZONING COMMISSION REGULAR MEETING

09/27/2021

FLOWER MOUND TOWN HALL, 2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

6:30 P.M.

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Please silence or turn off all electronic devices.

Meeting participants may be asked to wait in the lobby until their name is called.

Comments regarding any agenda item can be sent to the Commission by emailing pz@flower-mound.com.

A. CALL MEETING TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

To speak to the Planning & Zoning Commission during public comment, please fill out a comment form which is located in the lobby near Jody Smith Hall.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired.
- Please state your name and address when speaking.

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

E. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

F. DIRECTOR'S REPORT

1. Development Update

G. CONSENT ITEMS

This part of the agenda consists of non-controversial or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of September 13, 2021: Consider approval of the minutes of the September 13, 2021, Planning and Zoning Commission Regular Session.

H. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

2. MPA21-0006 – Spinks Road Tract: Public Hearing to consider an ordinance amending the Master Plan (MPA21-0006 – Spinks Road Tract) to amend Section 1.0, Land Use Plan, of the Master Plan, and Section 2.0 Area Plans, of the Master Plan, to change the current land use designation from Estate Residential and Lakeside Business District with Campus Commercial uses to Low Density Residential uses. The property is generally located east of Long Prairie Road and north of Spinks Road.
3. ZPD21-0004 – Spinks Road Tract PD-182: Public Hearing to consider an ordinance for rezoning (ZPD21-0004 – Spinks Road Tract) from Agricultural District uses to Planned Development District No. 182 (PD-182) with Single Family District-15 uses and with certain exceptions and modifications to the Code of Ordinances, including but not limited to an exception to ‘Underground Utilities’ pursuant to Section 82-377, Exceptions, and an exception to ‘Depth’ pursuant to Section 90-272, Lot depth, lines, and frontage. The property is generally located east of Long Prairie Road and north of Spinks Road.
4. LDR21-0001 – Parking and Accessory Structures: Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0001 – Parking and Accessory Structures) by amending Chapter 74 entitled “General Provisions,” Chapter 82 entitled “Development Standards,” and Chapter 98 entitled “Zoning,” of the Town's Code of Ordinances to amend and propose new standards for accessory buildings, and off-street parking and stacking standards for the purpose of clarifying and updating certain sections.
5. LDR21-0002 – Legislative Updates: Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0002 – Legislative Updates) by amending Chapter 78 entitled “Administration,” and Chapter 90 entitled “Subdivisions,” of the Town's Code of Ordinances to amend and propose new regulations for variances considered by the Board of Adjustment, construction signs, and traffic signs for the purpose of meeting new state law requirements and creating sign requirements for future stub-outs.

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town's website in accordance with GC Section 551.056 on the following date and time: September 23, 2021, at 5:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at 972-874-6350.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: September 27, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the September 13, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on September 13, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 13TH DAY OF SEPTEMBER 2021, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
James Naylor	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Tim Fink	Commissioner, Place 7
Robert Cox	Commissioner, Place 8
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

Vacant	Place 2
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(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Poornima Kashyap	Principal Planner
Chuck Russell	Principal Planner
LauriAnn Cash	Executive Assistant

- A. **CALL REGULAR SESSION TO ORDER: 6:30 P.M.**
- B. **INVOCATION**
- C. **PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG**
- D. **PUBLIC COMMENT**

None
- E. **FUTURE AGENDA ITEMS**

Chair Ruthrauff wanted to know if Town Staff can look into more training opportunities for the Commission. Commissioner Werner, Commissioner Fink, Commissioner Gilmore, Vice-Chair Rawson, and Commissioner Cox agreed. Lexin Murphy, Director of Planning Services said Staff would research options and present them to the Commission at a future date.

F. DIRECTOR'S REPORT

1. Flower Mound Ranch Applications

G. CONSENT ITEMS

1. Consider approval of the minutes of the August 30, 2021, Planning and Zoning Commission Regular Session.

Commission Deliberation

Vice-Chair Rawson moved to approve Consent Item 1. Commissioner Del Vecchio seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Cox

NAYS: None

ABSTAIN: Rawson

The motion to approve passed by a vote of 5 to 0 to 1.

H. NON-DISCRETIONARY ITEMS

2. Consider a request for a Site Plan (SP21-0005 – Car Dealership Landscaping) to amend a portion of the approved landscape plan. The property is generally located south of Justin Road and east of Stone Hill Farms Parkway.

Staff Presentation

Poornima Kashyap, Principal Planner

Applicant Presentation

Applicant not present

Commission Deliberation

Vice-Chair Rawson moved to approve of SP21-0005 – Car Dealership Landscaping as presented. Commissioner Naylor seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Rawson, Fink, Gilmore, Del Vecchio, Naylor

NAYS: None

The motion to approve passed by a vote of 6 to 0.

I. REGULAR ITEMS

- 3. Public Hearing to consider an ordinance amending the Master Plan (MPA21-0003 – 1600 Arrowhead) to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Office uses to Retail uses. The property is generally located south of Cross Timbers Road and west of Fireside Drive.**

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Carlos Cabre, Cabre & Associates; present for questions, no presentation
Joe Northern, Transit Center Properties; present for questions, no presentation

Spoke In Favor:

None

Spoke In Opposition:

None

Had Questions of Informational Nature or Concerns:

Jeffrey Bevers, 1100 Oak Drive; traffic concerns
Kathy O'Donnell, 910 Oak Drive; traffic concerns
Charles Young, 909 Oak Drive; traffic concerns
Diane Preston, 1124 Lopo Road; traffic concerns
Cindy Bocksell, 1104 Oak Drive; traffic concerns

Commission Deliberation

Commissioner Fink moved to recommend approval of MPA21-0003 – 1600 Arrowhead Drive as presented. Commissioner Cox seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Rawson, Cox

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 4. Public Hearing to consider an ordinance amending the zoning (ZPD21-0007 – 1600 Arrowhead) from Office (O) District uses to Planned Development District No.185 (PD-185) with Retail (R) District uses, with certain waivers, exceptions and modifications to the Code of Ordinances. The property is generally located south of Cross Timbers Road and west of Fireside Drive.**

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Carlos Cabre, Cabre & Associates; present for questions, no presentation
Joe Northern, Transit Center Properties; present for questions, no presentation

Spoke In Favor:

None

Spoke In Opposition:

None

Had Questions of Informational Nature or Concerns:

Jeffrey Bevers, 1100 Oak Drive; traffic concerns
Kathy O'Donnell, 910 Oak Drive; traffic concerns
Charles Young, 909 Oak Drive; traffic concerns
Diane Preston, 1124 Lopo Road; traffic concerns
Cindy Bocksell, 1104 Oak Drive; traffic concerns

Commission Deliberation

Commissioner Fink moved to recommend approval of ZPD21-0007 – 1600 Arrowhead PD-185 as presented. Commissioner Cox seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Rawson, Fink, Gilmore, Del Vecchio, Naylor

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 5. Public Hearing to consider an ordinance amending the Master Plan (MPA21-0007 – Emerald Place) to amend Section 1.0 Land Use Plan, of the Master Plan to change the current land use designation from Estate Residential to Medium Density Residential uses. The property is generally located west of Wager Road and south of Kirkpatrick Lane.**

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Reginald Rembert, Rembert Enterprises; present, no presentation; and requested to table item to the September 27, 2021, meeting.

The Planning & Zoning Commission declined to table the item and moved forward with the public hearing.

Spoke In Favor:

None

Spoke In Opposition:

Mitch Waters, 3030 Wager Road
Emily Brown-Ighege, 3400 Wager Road
Jeffrey Bevers, 1100 Oak Drive

In Opposition, Did Not Wish To Speak:

Kathy O'Donnell, 910 Oak Drive
Cindy Waters, 3030 Wager Road (present and donated time to Mitch Waters)
Al McDonald, 3813 Simmons Creek Lane
Toni Moffitt, 516 Newport Drive
Donna Poplawski-Kreie, 901 Sugarberry Lane
Cindy Bocksell, 1104 Oak Drive
Diane Preston, 1124 Lopo Road
Bill Preston, 1124 Lopo Road
Randy Soderberg, 3100 Wager Road
Amy Watkins, 2004 Reserve Court
Beth Soderberg, 3100 Wager Road
Stacy Manning, 3706 Bluebonnet Court
Charles Young, 909 Oak Drive
Bebbly Young, 909 Oak Drive
Brady Kilpper, 1712 Southwicke Drive
Barbara McDonald, 3813 Simmons Creek Lane

Commission Deliberation

Commissioner Gilmore moved to recommend denial of MPA21-0007 – Emerald Place to as presented. Commissioner Del Vecchio seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Rawson, Cox

NAYS: None

The motion to recommend denial passed by a vote of 6 to 0.

- 6. Public Hearing to consider an ordinance amending the zoning (ZPD21-0005 – Emerald Place) from Agricultural District uses to Planned Development District No. 183 (PD-183) with Single Family District-10 (SF-10) uses and with certain modifications to the Code of Ordinances. The property is generally located west of Wager Road and south of Kirkpatrick Lane.**

Staff Presentation

Chuck Russell, Principal Planner

Applicant Presentation

Reginald Rembert, Rembert Enterprises; present, no presentation; and requested to table item to the September 27, 2021, meeting.

The Planning & Zoning Commission declined to table the item and moved forward with the public hearing.

Spoke In Favor:

None

Spoke In Opposition:

Mitch Waters, 3030 Wager Road
Emily Brown-Ighege, 3400 Wager Road
Jeffrey Bevers, 1100 Oak Drive

In Opposition, Did Not Wish To Speak:

Kathy O'Donnell, 910 Oak Drive
Cindy Waters, 3030 Wager Road (present and donated time to Mitch Waters)
Al McDonald, 3813 Simmons Creek Lane
Toni Moffitt, 516 Newport Drive
Donna Poplawski-Kreie, 901 Sugarberry Lane
Cindy Bocksell, 1104 Oak Drive
Diane Preston, 1124 Lopo Road
Bill Preston, 1124 Lopo Road
Randy Soderberg, 3100 Wager Road
Amy Watkins, 2004 Reserve Court
Beth Soderberg, 3100 Wager Road
Stacy Manning, 3706 Bluebonnet Court
Charles Young, 909 Oak Drive
Bebbly Young, 909 Oak Drive
Brady Kilpper, 1712 Southwicke Drive
Barbara McDonald, 3813 Simmons Creek Lane

Commission Deliberation

Commissioner Gilmore moved to recommend denial of ZPD21-0005 – Emerald Place PD-183 as presented. Commissioner Del Vecchio seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Rawson, Fink, Gilmore, Del Vecchio, Naylor

NAYS: None

The motion to recommend denial passed by a vote of 6 to 0.

J. **ADJOURNMENT – REGULAR SESSION: 8:08 P.M.**

TOWN OF FLOWER MOUND, TEXAS

Lexin Murphy, Director of Planning Services

ATTEST:

LauriAnn Cash, Executive Assistant

DRAFT



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

REGULAR ITEM

DATE: September 27, 2021

FROM: Claire Barnes, Planner

ITEM: **Public Hearing to consider an ordinance amending the Master Plan (MPA21-0006 – Spinks Road Tract) to amend Section 1.0, Land Use Plan, of the Master Plan, and Section 2.0 Area Plans, of the Master Plan, to change the current land use designation from Estate Residential and Lakeside Business District with Campus Commercial uses to Low Density Residential uses. The property is generally located east of Long Prairie Road and north of Spinks Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion application, Zoning Planned Development (ZPD21-0004), for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The applicant is requesting a Master Plan Amendment to change the Land Use designation of the subject property from Lakeside Business District with Campus Commercial uses and Estate Residential to Low Density Residential uses on approximately 76.02 acres of land. The proposed Master Plan Amendment would allow the applicant to proceed with the companion zoning application to develop the property with 132 low density homes. The accompanying zoning application provides details about the proposed project and specific development standards for the subject site.

The Town's Master Plan (Section 1.0 Land Use Plan) defines Estate Residential as "residential development, typically being single family detached residential development with minimum 1-acre lots (43,560 square feet) or greater".

The Town's Master Plan (Section 1.0 Land Use Plan) defines the Lakeside Business District as "high quality, regional commercial development."

The Town's Master Plan (Section 2.0 Area Plans) defines the Campus Commercial portion of the Lakeside Business District as follows:

Campus Commercial means a mixture of uses which includes corporate offices, office parks, hotels, commercial, similar uses, and may include limited residential development. The intent is to create a vibrant area that encourages dynamic economic development focused around live, work, and play opportunities. A mixture of uses is important as well as its design details, amenity quality, and the use of natural areas and open spaces to provide a unique quality of life and sense of place.

The requested Low-Density Residential designation is defined as “residential development, typically being single family detached residential development with minimum 15,000 square foot lots (nominally 1/3 acre) or greater.”

Properties to the north are designated for Retail, Estate Residential, and Medium Density Residential. Properties to the west (across Long Prairie/FM 2499) are designated for High Density Residential. Properties to the east are designated for Institutional uses (LISD property). Properties to the south are designated for Lakeside Business District with Campus Commercial uses.

Section 2.0 Area Plans also includes the following:

Buffers will also be necessary between the Office/Retail area at the northeast corner of the International Parkway/Spinks Road intersection and the adjacent Estate Density Residential District to its east and north. Since neither of these developments has yet been planned, the buffer between the uses needs to be incorporated into the land development planning for this area.

Since this project is requesting to pull the property from the Lakeside Business District, the referenced section of the Master Plan would require amendment.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Master Plan Amendment requests. Project No. MPA21-0006 had a total of 43 Property Owner Notifications mailed. At the time this report was written, staff had received no items of correspondence in support or in opposition to the request. All written correspondence was sent directly to the Planning and Zoning Commission according to the new public communication process.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

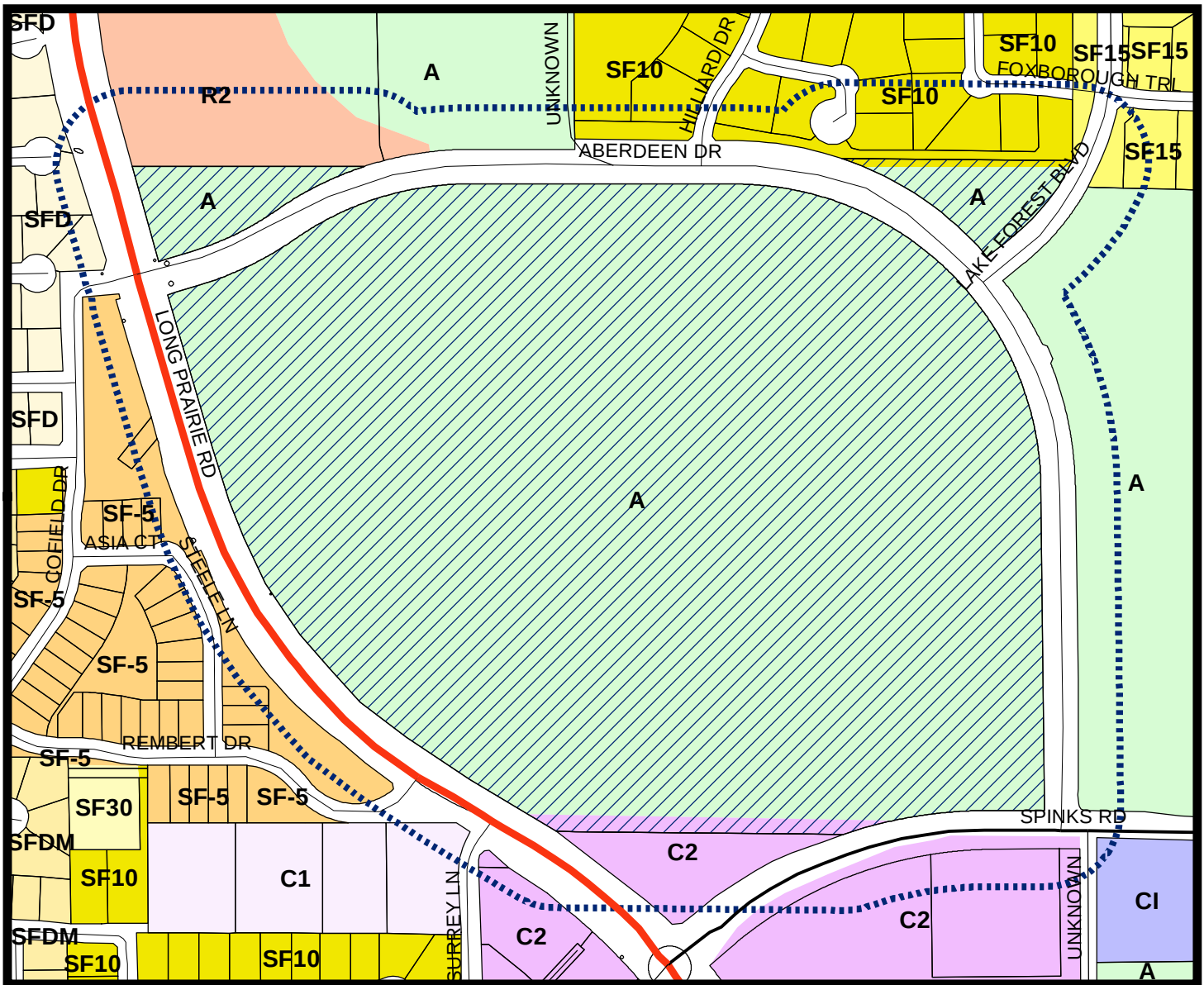
B. Application Details

1. Master Plan Exhibit Package

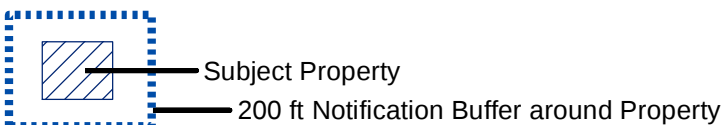
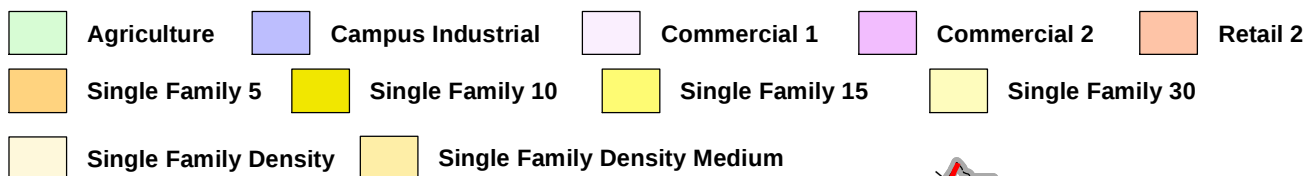


Vicinity Map

Reference Project: MPA21-0006 & ZPD21-0004

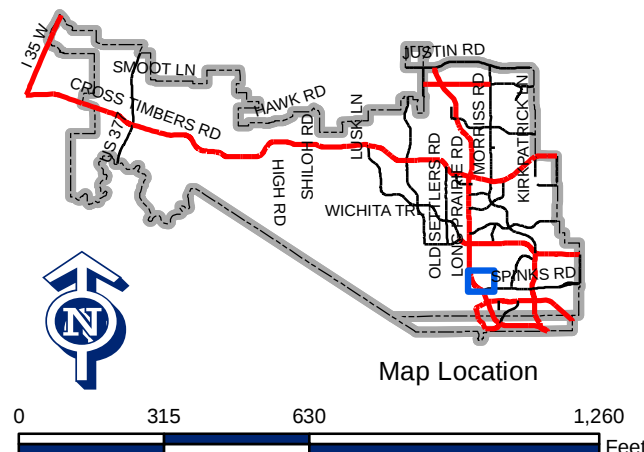


LEGEND



Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



Toll Brothers **LAND DEVELOPMENT**

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

June 14, 2021

Chuck Russell
Principal Planner
Town of Flower Mound
1001 Cross Timbers Road #2330
Flower Mound, TX 75028

RE: LISD Tract at Spinks & Aberdeen (Toll Brothers No. AEC19195)
Flower Mound, Texas

Dear Mr. Russell,

With the consent of the current property owner, Lewisville Independent School District, Toll Brothers is pleased to submit this Letter of Intent to describe and explain the requested Master Plan Amendment.

The tract is currently identified on the Town's Master Land Use Plan as Estate Residential and Lakeside Business District. The existing zoning is Agriculture and the existing use is consistent with the existing zoning.

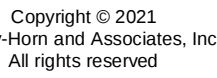
This Master Planned Amendment requests Lots 2 and 4 of the property be removed from the Lakeside Business District. This request is to remove the site from the requirements of the area plan and urban design plan for the Lakeside Business District. This amendment also proposes a land use of Low Density Residential on both the Lakeside Business District and Estate Residential tracts. The proposition is compatible with the existing land use of surrounding developments. The closest development to the north is a master plan community known as Oakbridge which has Low Density land use, and to the west of FM 2499 are Low and Medium Density land uses. The closest retail development is located south of the subject tracts.

Please call me should you have any questions regarding our request.

Sincerely,



Mike Boswell, VP of Land Development
Dallas/Austin Land Development
Toll Brothers, Inc.
(817) 329-7973





PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 3

REGULAR ITEM

DATE: September 27, 2021

FROM: Claire Barnes, Planner

ITEM: Public Hearing to consider an ordinance for rezoning (ZPD21-0004 – Spinks Road Tract) from Agricultural District uses to Planned Development District No. 182 (PD-182) with Single Family District-15 uses and with certain exceptions and modifications to the Code of Ordinances, including but not limited to an exception to 'Underground Utilities' pursuant to Section 82-377, Exceptions, and an exception to 'Depth' pursuant to Section 90-272, Lot depth, lines, and frontage. The property is generally located east of Long Prairie Road and north of Spinks Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

The project has a companion application, Master Plan Amendment (MPA21-0006), for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to rezone approximately 76.02 acres of land in order to develop residential lots in conformance with the proposed Master Plan designation of Low-Density Residential uses. The existing Agricultural zoning permits residential lots containing a minimum of two acres in size. As part of the request, the applicant has asked for certain modifications to the Code of Ordinances, the modifications are listed in Section III of the staff report below.

The applicant plans to develop 132 single-family residential lots and at least two non-buildable lots to be dedicated as HOA-maintained x-lots, including the landscape buffer. The applicant is proposing to develop the low-density subdivision in three phases. Two points of access are proposed along Aberdeen Drive. The proposed development is in compliance with the Town's landscaping standards.

III. REQUESTED MODIFICATIONS

As a component of the project, the applicant is requesting the following modifications to the minimum and maximum dimensional regulations of the SF-15 zoning district:

TOWN STANDARD	EXISTING ZONING- AGRICULTURAL DISTRICT	TOWN'S LAND DEVELOPMENT REGULATIONS FOR AN SF-15 DISTRICT	PROPOSED PD-182 BASED ON THE SF-15 DISTRICT
MINIMUM LOT AREA	TWO ACRES	15,000 SF	15,000 SF
MINIMUM LOT WIDTH	200 FEET	80 FEET	80 FEET
MINIMUM FLOOR AREA/DWELLING UNIT	1,800 SF	1,800 SF	1,800 SF
MINIMUM FRONT YARD	40 FEET	25 FEET	25 FEET
MINIMUM SIDE YARD	25 FEET	12 FEET	10 FEET
MINIMUM REAR YARD	20 FEET	30 FEET	30 FEET
MAXIMUM LOT COVERAGE	25 PERCENT	35 PERCENT	40 PERCENT
MAXIMUM STORIES/ STRUCTURE HEIGHT	3 STORIES/ 35 FEET	3 STORIES/ 35 FEET	3 STORIES/ 35 FEET

The applicant has also requested to modify the fences adjacent to open space. The ordinance requires open space fencing to be a minimum of four feet tall and constructed of either tubular steel or wrought iron. The applicant is proposing for certain sections of the fencing adjacent to open space to instead be comprised of a 2'6" knee wall with 3'4" wrought iron and masonry columns. The fence exhibit is provided on sheet L-3.01 in the attached Zoning Package.

IV. EXCEPTIONS

A. Exception to Section 82-376, Underground Utilities

Section 82-376 states that all existing overhead utilities, save and except transmission facilities identified in the Town Code, shall be placed underground in conjunction with the development of property, and prior to the Town's acceptance of the subdivision, subject to the certain provisions. The applicant is requesting an exception to burying approximately 2,250 linear feet of overhead utility lines located along the Long Prairie Road (FM 2499) frontage.

As required by Section 83-377, the applicant has provided perspectives of the development along Long Prairie Road (FM 2499) to illustrate how the development would appear with and without the overhead lines. The applicant has also provided correspondence from CoServ detailing what would be required if the lines were buried, including but not limited to a 20' wide easement. The applicant estimates that the line burial would cost approximately \$900,000 based on CoServ's preliminary estimate of \$400 per linear foot. The applicant plans to

bury the lines located along Aberdeen, Spinks, and the south end of the property as detailed in Attachment B2 of this packet.

B. Exception to Section 90-272, Lot depth, lines, and frontage

Section 90-272 states that lot depth shall not exceed two and one-half times the lot width. The developer has identified two lots (Lots 34 & 35, Block G of Phase One) that will require this exception.

	Lot 34	Lot 35
Width (ft)	85	80
Length (ft)	218	226

V. PARKS BOARD

On July 1, 2021, Parks Board tabled the project to the August 5, 2021, meeting. The Parks Board asked for the developer to bring back a plan that shows where a park might fit into the development. The development was required to dedicate or pay fees in lieu of 4.4352 acres. The July 1, 2021 Parks Board meeting can be viewed here:

<https://flowermoundtx.swagit.com/play/07012021-793/7/>

On August 5, 2021, Parks Board recommended approval of the following: Park Land Dedication of 4.2 acres and Park Development fees in the amount of \$1,388.00 per lot. In addition, Parks Board recommended to Town Council that the developer be allowed reimbursement of Park Development fees following final approval by the Parks Board with the caveat and the recommendation that final location and use of the park be developed through a joint venture between Parks and Rec staff and the developer. The August 5, 2021, Parks Board meeting can be viewed here:

<https://flowermoundtx.swagit.com/play/08052021-917>

VI. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Zoning Amendment requests. Project No. ZPD21-0004 had a total of 43 Property Owner Notifications mailed. At the time this report was written, staff had received no items of correspondence in support or in opposition to the request. All written correspondence was sent directly to the Planning and Zoning Commission according to the new public communication process.

VII. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

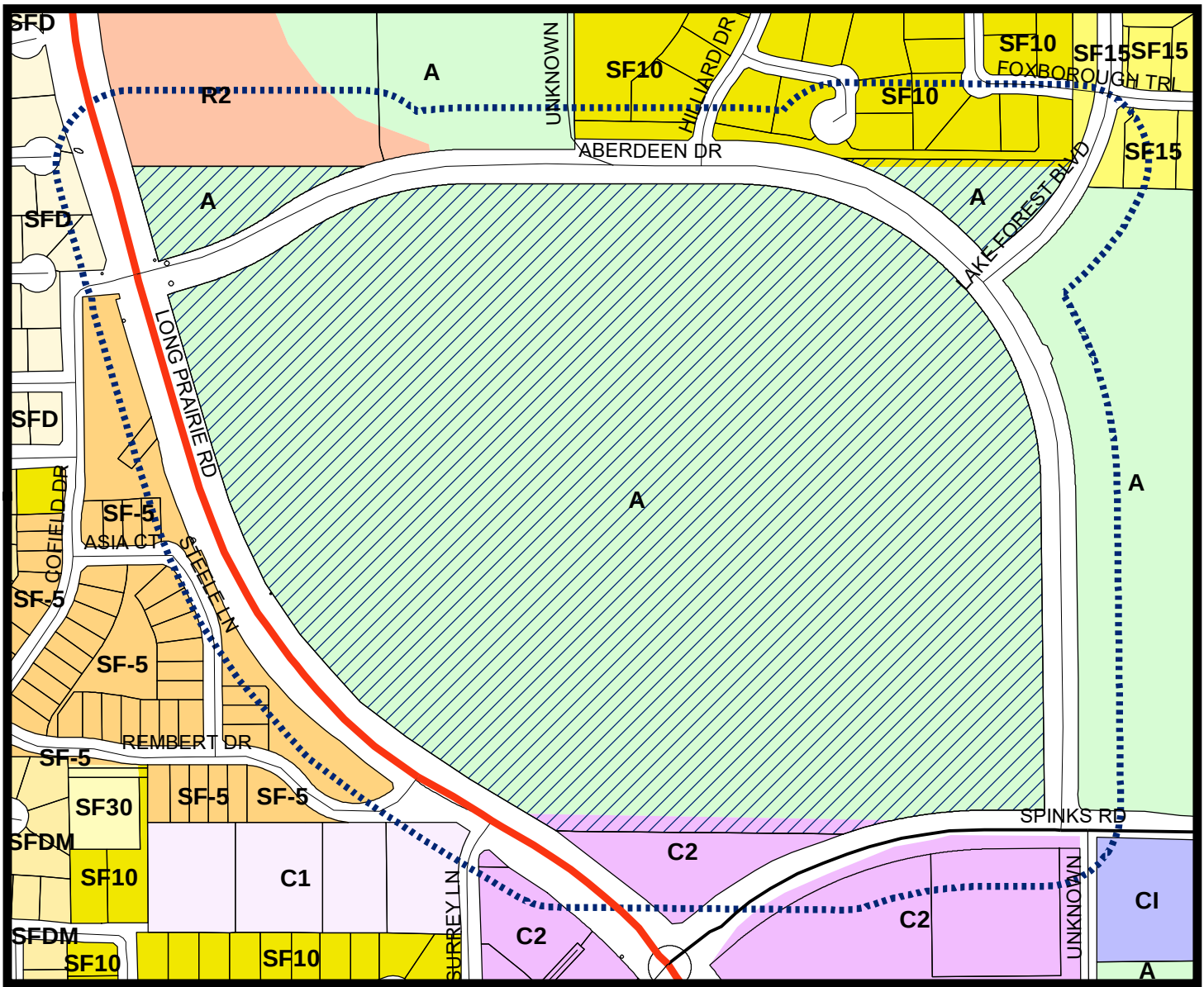
B. Application Details

1. Zoning Planned Development Package
2. Underground Utility Exception Package
3. Draft Planned Development (PD) Standards

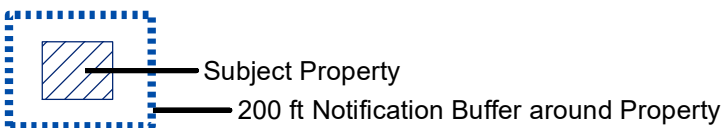
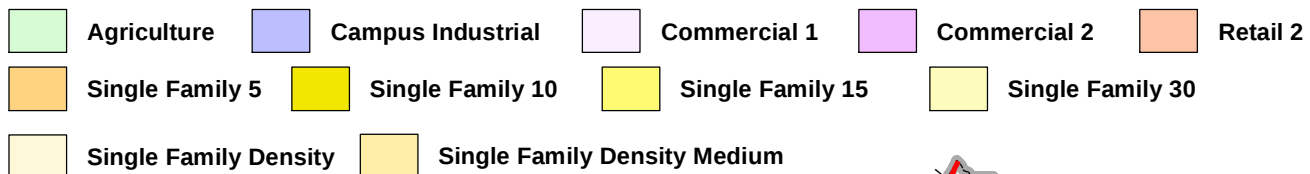


Vicinity Map

Reference Project: MPA21-0006 & ZPD21-0004

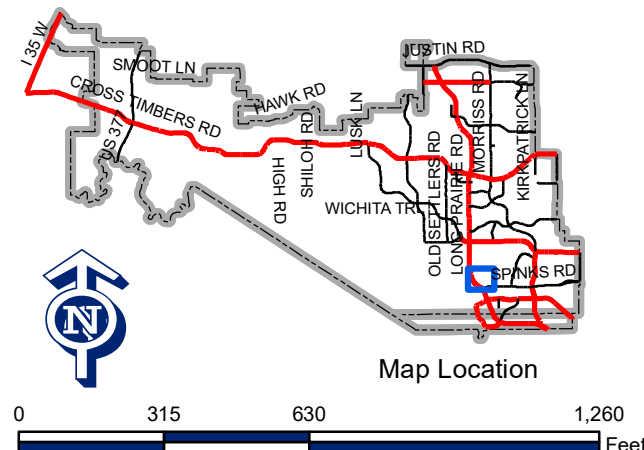


LEGEND



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Toll Brothers **LAND DEVELOPMENT**

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

August 23, 2021

Chuck Russell
Principal Planner
Town of Flower Mound
1001 Cross Timbers Road #2330
Flower Mound, TX 75028

**RE: LISD Tract at Spinks & Aberdeen (Toll Brothers No. AEC19195)
Flower Mound, Texas**

Dear Mr. Russell,

With the consent of the current property owner, Lewisville Independent School District, Toll Brothers is pleased to submit this Letter of Intent to describe and explain the requested Zoning Planned Development. The rezoning is to provide a new single-family development consistent with the project due north, Oakbridge at Flower Mound. The accompanying Master Plan Amendment is consistent with this rezoning request.

The subject tracts total 76.020 acres and are currently identified on the Town's Master Land Use Plan for Estate Residential and Lakeside Business District. The existing zoning is Agriculture and the current use is consistent with the existing zoning.

The proposed ZPD use for Lots 2 and 4 of Block A of the Middle School #14 Addition is SF-15 base zoning. This base zoning shall include two modifications: minimum side yard of 10 feet and maximum lot coverage of 40%.

There are two requested exceptions: lot depth versus width for two residential lots and burial of overhead facilities. Currently there are two residential lots exceeding the 2.5x lot width versus lot depth which are 34 and 35 of Block G as shown on the Concept Plan. There is an existing Coserv overhead power line along the east side of FM 2499 within TxDOT's existing right-of-way. Coserv has informed us that burying that line is not feasible.

This proposed ZPD has provided for landscape buffers, future right-of-way dedications and two points of access for safety considerations.

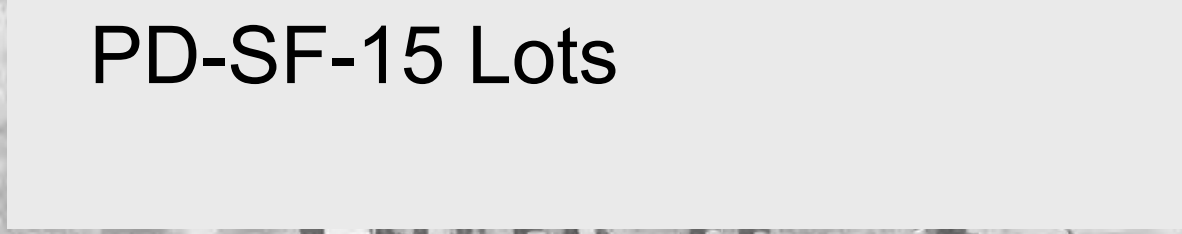
This project will be developed in three phases. This project will also process a vacation plat at a later date to remove the existing 60-foot building line adjacent to Aberdeen, FM 2499, and Spinks Road.

Please contact me at 817-329-7973 should you have any questions regarding our request.

Thank you,



Mike Boswell, VP of Land Development
Dallas/Austin Land Development



LISD SPINKS TRACT

TOWN OF FLOWER MOUND

C O N C E P T U A L L A N D S C A P E / S C R E E N I N G P L A N

PROJECT TEAM

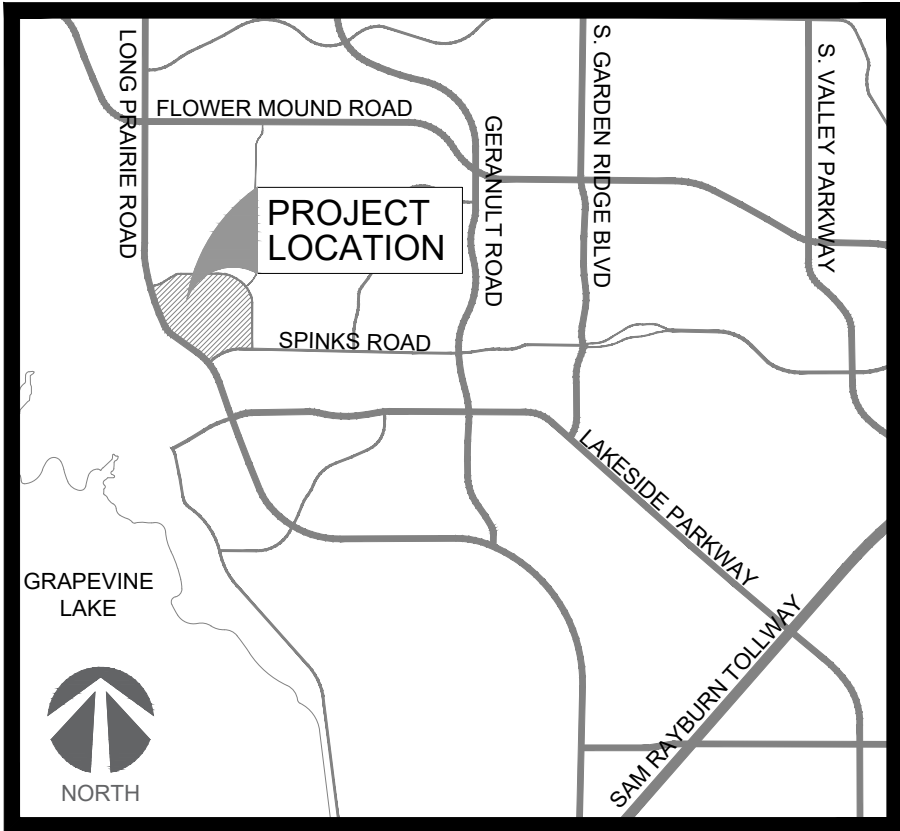
OWNER

Toll Brothers
Contact:
Mike Boswell
Demerius Seals
2555 SW Grapevine Parkway, Suite 100
Grapevine, TX 76051
832.470.2955

LANDSCAPE ARCHITECT

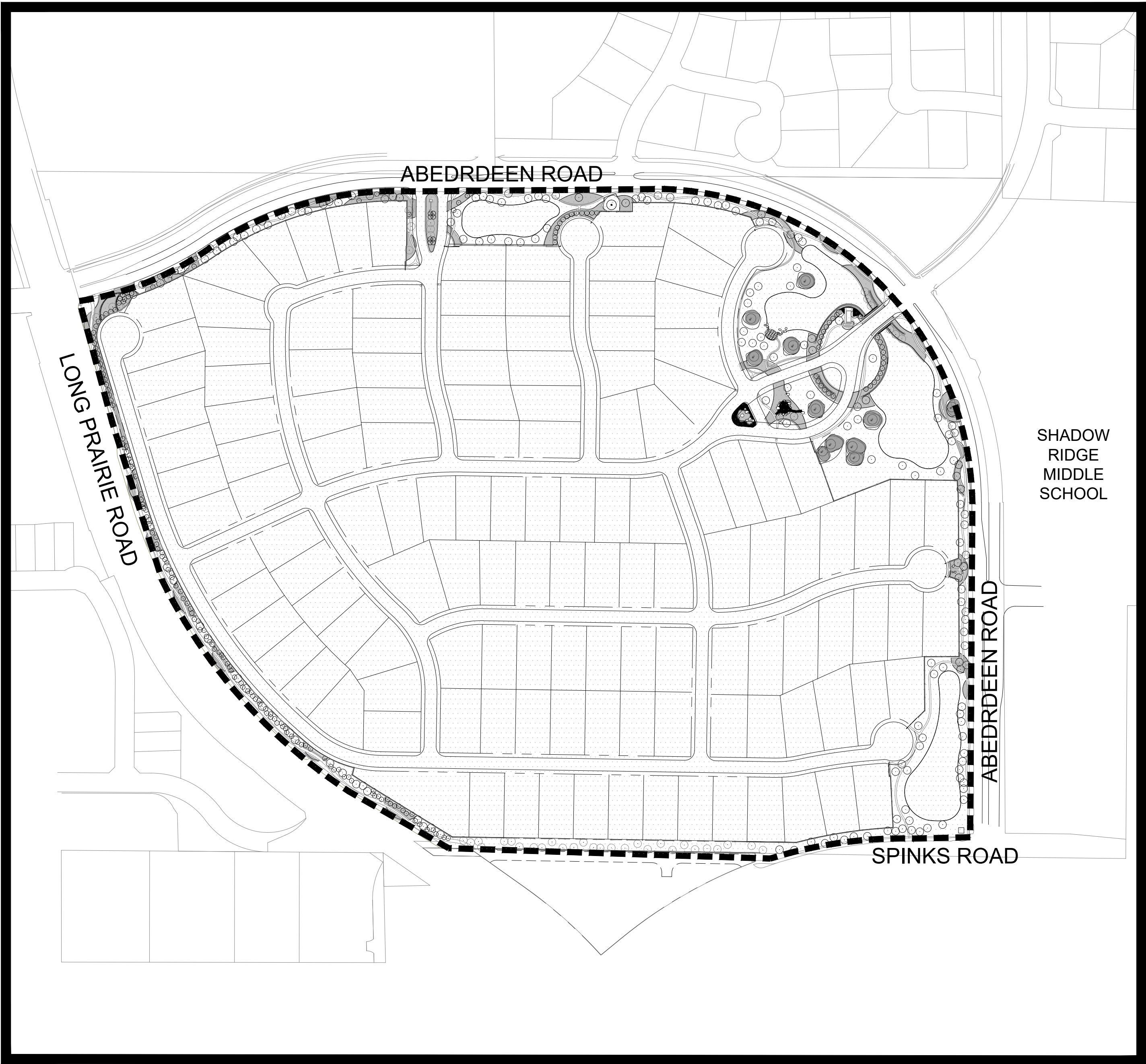


Green Door Studio
Contact:
Paul Cozzolino
PO Box 38415
Dallas, TX 75238
O: 972.855.8705



VICINITY MAP

N.T.S.



SITE MAP

NOT FOR REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION

Paul Cozzolino
8/19/2021

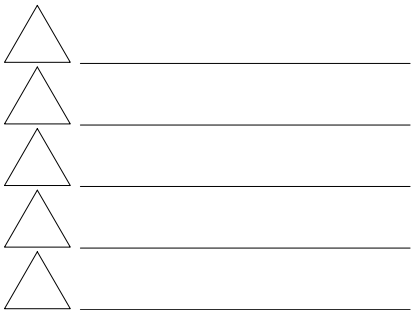
Sheet List Table

Sheet Number	Sheet Title
--	Cover
G-1.01	General Construction Notes
G-1.02	Overall Screening Plan
G-1.03	Overall Key Plan
LC-1.01	Conceptual Landscape and Screening
LC-1.02	Conceptual Landscape and Screening
LC-1.03	Conceptual Landscape and Screening
LC-1.04	Conceptual Landscape and Screening
LC-1.05	Conceptual Landscape and Screening
LC-1.06	Conceptual Landscape and Screening
L-3.01	Hardscape Details
L-3.02	Hardscape Details
L-3.03	Hardscape Details
L-4.01	Planting Details Schedule and Notes
L-4.02	Planting Details Schedule and Notes

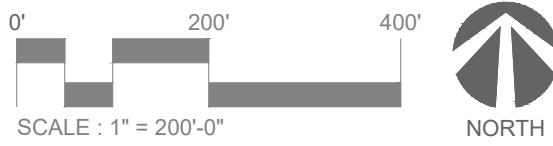
ISSUED

03/22/2021 City Submittal
05/10/2021 City Submittal - Comment Response
06/14/2021 City Submittal - Comment Response
08/19/2021 City Submittal - Comment Response

REVISIONS



PROJECT NO.: 210001
DRW: P.C., F.Y.
RVW: P.C.



GENERAL CONSTRUCTION NOTES

- Unless otherwise indicated, the Owner's Representative for this project shall be a specifically designated landscape architect from Green Door Studio. The Contractor will be required to coordinate and correspond with the landscape architect from Green Door Studio and key consultants for the Owner.
- These drawings supplement other contractual information which may include Bid Instructions and Project Specifications. Anything mentioned in the Project Specifications and not in the drawings, or vice-versa, shall be of like effect as if shown on or mentioned in both. In case of a discrepancy between Drawings or Project Specifications, the matter shall be immediately submitted to the Owners Representative; without his decision said discrepancy shall not be adjusted by the Contractor, save only at his own risk and expense. The Landscape Contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Contractor discovers such error or omission, he shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the Contract.
- The intent of these drawings, details and associated specifications is for the Contractor to provide the Owner with a complete, accurate, functionally and technically sound project as generally described in these documents. In most cases, unless explicitly noted otherwise, drawing symbols are used to represent complete-in-place systems to be provided as part of the base bid. All elements shown or implied by the drawings, if not specifically detailed or specified, shall be installed per building codes, manufacturer's recommendations, state highway department standards, city standards and specifications and standard industry practices.
- All work within this project shall conform to current local codes, ordinances, as well as all other applicable governing regulations in effect.
- The Contractor shall obtain, at his expense, all specialty permits needed for specific items included with the work, unless otherwise indicated in the Contract Documents. Contractor shall comply with all notifications and inspection requirements.
- Unless specifically noted otherwise in the Contract Documents, the Contractor shall obtain and coordinate all technical tests and reports by a certified independent laboratory or agency as outlined in the Specifications or these Drawings. The Owner may, at the Owner's sole discretion, provide separate testing and/or inspection service and the Contractor is required to fully coordinate with those consultants/contractors. Owner is to pay for all soils and materials testing.
- An Existing Condition Survey has been provided to the Owner by registered surveyors under separate contracts for the basis of design. It is not to be considered as part of these Contract Documents. These survey plans have been reformatted and included in these documents. The Contractor is required to visit the site to verify information. Without exception, any deviations or omissions found between these plans and existing site conditions shall immediately be brought to the attention of the Owner's Representative.
- Existing utility information and utility information for proposed work by others that is shown in these documents is approximate and for general information only. It is not intended to depict exact locations of all utilities. The Contractor shall notify all utility companies to stake and field verify the locations including depths of all utilities (existing, proposed by others, or currently under construction), prior to commencing any related operations. Contractor shall maintain utility locations/structures during all remaining phases of work. The Contractor shall report to the Owner's Representative any utilities that may conflict with proposed work. The Contractor shall explore, understand, and coordinate (with other Sub-Contractors) all utilities impacts prior to submitting bid and shall be responsible for any modifications or damages to utility lines, structures or injuries therefrom. For existing utility information contact The One-Call Board of Texas (OCB) at 811 or 800-545-6005. A minimum notice of 3 business days in advance of locational needs is required.
- These drawings do not specify safety materials, staffing, equipment, methods or sequencing to protect persons and property. It shall be the Contractor's sole responsibility to direct and implement safety operations, staffing, procedures to protect the Owner and his representatives, new improvements, property, other Landscape Contractors, the public and others.
- The Contractor shall meet periodically with the Owner's Representative to determine marshalling areas, on-site storage, and Contractor staff parking and to coordinate security issues, construction sequencing/phasing, scheduling, and maintaining public, emergency, handicapped or operations access before starting the related work. The Contractor shall meet any "Construction Criteria" or requirements shown on any Contract Documents, phasing plans or any imposed plan by the Owner as a part of the Base Bid.
- Some work in this Contract may occur concurrent with work by others. Phasing, sequencing and coordination, with work by others, and on-going facility operations in and around the site area, is a part of the scope of work for this project. Notice to proceed with work in any general area shall be obtained from the Owner.
- The Contractor will be required to complete all the work of this project according to these proposed drawings or subsequent clarification. A strict period of performance, including dates of substantial completion (for all and/or portions) and liquidation damages may be an integral element of the Contract.
- Any site improvements requiring removal under this contract shall be properly and legally disposed off-site or, at the Owner's option, surrendered/stockpiled in an approved on-site location per the direction of the Owner's Representative.
- The Contractor is required to maintain a complete and "up-to-date" set of all Contract Documents, including clarifications, change orders, etc., in good condition, at the construction site at all times. This set of documents will be made immediately available for review by the Owner's Representative and/or authorized Consultants upon request. Complete "As-Built" drawings and document submittals are also a requirement of this contract.
- Maintenance, warranties and performance guarantees may be a requirement of this contract - see specifications.
- Notes and details on specific drawings shall take precedence over general notes and typical details. The Contractor shall refer to all other Division Notes, Sheets Notes, Drawings and Project Contract Documents for additional information.
- The Contractor shall refer to other related drawings for all other related improvements that will impact this project and require coordination.

GRADING AND PLANTING PREPARATION NOTES

- These grading plans are intended to show vertical control of the site and are based upon the benchmarks, existing elevations and topography as provided by the Owner's surveyor. However, the Contractor, upon submittal of bid, agrees to accept the site grades and make all adjustments required to accomplish the work as proposed. Additionally proposed design elevations for adjacent construction projects may have to be incorporated if necessary. (Construction drawings for work by others, if applicable, are available upon request). Staking of future adjacent improvements, by this contract phase or by others, may be required if directed by the Owner's Representative to ensure proper coordination and requested staking is to be provided as part of this Base Bid.
- This Contractor shall verify all existing grades to remain and all adjacent new construction grades for compliance with those shown, prior to bid and construction. All deviations or conflicts with proposed work shall be reported immediately (with follow-up written) notice within 24 hours to the Owner's Representative for direction to proceed.
- It is this Contractor's responsibility to provide proper positive drainage throughout this contract area. Field conditions shall be verified in conjunction with the proposed elevations to ensure that adequate drainage is provided. Report deviations or conflicts to Owner's Representative.
- All design elevations shown are "finished grades" unless otherwise indicated. Contractors shall refer to drawings, details and specifications regarding depth of sub-grade materials required to construct project improvements.
- All topsoil and/or drainage way muck excavation shall be saved and stockpiled in approved locations for future use.
- The Contractor shall be responsible for finished grading of the project. The Contractor and Owner's Representative shall review the extent of grading prior to commencing work.
- The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout site, with accurately set flow lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are +/-0.1 foot maximum.
- Prior to post-emergent herbicide such as "Round-Up" applied by licensed personnel following manufacturers recommendations and taking all necessary precautions. After weed eradication and removal and the specified waiting period apply 10 lb of MicroLife Hummates Plus per 1,000 sq ft to restore soil health.
- Turf Sod and Turf Seed areas shall be raked smooth, removing and disposing of stones over 1" diameter and fine graded to feather into natural grade.
- Plant Beds to be prepared to a 6" depth to accommodate 4" depth of compost tilted and thoroughly blended with the native soil and 2" mulch layer. Bed preparation to include a minimum of (3) tilling's. Provide a 6' x 6' mockup of the bed preparation for Owner's Representative review and approval.

1st Till-
Till the soil surface to a minimum depth of 6". Stones larger than 1" diameter shall be removed and disposed of off-site.

2nd Till-
Spread 2" of compost on the surface of the tilled soil. Till the compost into the tilled soil to a minimum depth of 6" thoroughly blending the native soil with the compost. Smooth out the grade, rake and remove clods, stones larger than 1" diameter, and debris and dispose of off-site.

3rd Till-
Spread 2" of compost and organic fertilizer (2 lbs. per 100 sf) on the surface of the thoroughly blended/ tilled soil. Till the compost and the fertilizer into the blended/ tilled soil to a depth of 3". Smooth out the grade. Rake soil back from the edges to accommodate 2" mulch depth. In Bid Proposal furnish a unit price per cubic yard of placed compost. This unit price will be used in the adjustment of bed areas.

LAYOUT NOTES

- All work shown shall be field staked or otherwise denoted and subject to field verification, review and approval by the Owner's Representative prior to any constructions or demolition. Field staking of all proposed work and adjacent construction (even if future work by others) may be required by the Owner's Representative prior to approval of all improvements and adequate stakes shall be provided by Contractor's surveyor.
- To expedite the layout of the site layout coordinates and/or grids may have been established in the Drawings. These points shall be field staked by the Contractor's surveyor as a part of this contract. The establishment of these points shall be approved by the Owner's Representative prior to any construction in those areas and will assist the Contractor in the layout of all site improvements as shown on drawing or otherwise.
- The construction tolerances for this project are minimal and the dimensions shown are to be strictly adhered to.
- Computed dimensions shall take precedence over scaled dimensions. Large scale drawings shall take precedence over small scale drawings. Dimensions shown with (+/-) shall be the only layout information allowed to vary, and may only vary to the tolerances given.
- The Contractor is responsible to provide complete-in-place systems and a complete project, and any intermittent or periodic approvals received for portions of work, stakes, grades, or forms (by the Owner's Representative, architects, engineers, or others) shall not waive the Contractor's requirements to comply with the intent of any and all portions of this contract.
- Field staked locations for walks, roads, swales, walls, curbs, structures etc. may be requested by the Owner's Representative. Specific layout information will be provided to the Contractor by the Owner's Representative in AutoCAD (.dwg) format when requested.
- It is the intent and requirement of this contract to provide curvilinear walks, walls and curbs with smooth transitions and arcs (both horizontal and vertical). Straight segments and abrupt transitions will not be accepted unless shown as such on the plans. Wood curving forms may be required to obtain the proper effects.
- When indicated on the Drawings, improvements that are to be coordinated on site with the Owner's Representative will be field staked or painted for approval of layout by the Owner's Representative prior to installation. Notify the Owner's Representative a minimum of 24 hours in advance for review. Improvements installed without field approval by Owner's Representative may be rejected. Rejected work must be removed and replaced.

IRRIGATION NOTES

- It is the intent of this Contract for the Contractor to design and install a complete automatic 2-wire Weathermatic controlled irrigation system based on the information, details and specifications provided in these documents.
- The Contractor shall submit an irrigation plan for review and approval by the Owner's Representative prior to commencing work. Work completed before the approval of the plan may be rejected.
- The irrigation system shall be capable of applying full head to head coverage of 1" of water per week. Irrigation times shall be limited to two days per week between the hours of 7pm and 10am.
- The Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the installation of the irrigation system and related operations. Refer to the Planting Plans for locations of trees, beds, edging, etc.
- Coordinate installation of irrigation system with installation of all adjacent planting, pavements, curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- The Contractor shall be a registered Landscape Irrigator in the State of Texas.
- It is the design and the final installation of the irrigation system shall conform to all TCEQ and local rules and regulations.
- It is the Contractor's responsibility to coordinate final locations of irrigation equipment with the Owner's Representative to avoid paving, utilities, etc.
- It is the responsibility of the Contractor to be familiar with grade differences, location of walls, structures and utilities. The Contractor shall replace or repair all items damaged by his work.
- It is the intent of these documents to have the Contractor provide a complete operational irrigation system. The Contractor shall verify water pressure prior to construction. The Contractor shall report any discrepancy between design pressure and actual pressure to the Owner's Representative prior to commencing work.
- The Contractor shall obtain all permits and licenses, pay all charges and fees and file all notices required and necessary to provide a complete and operational irrigation system.
- The Contractor shall supply the Owner's Representative complete "as-built" record drawings showing the location of all mainlines, valves (manual and electric), controllers and control and monitoring devices. "As-built" drawings shall include a complete schedule outlining each zone by controller, type of zone (rotor, spray, drip, bubbler, etc.), flow rate, precipitation rate and general location.
- The Contractor shall provide a typed and laminated schedule outlining each zone by controller, type of zone (rotor, spray, drip, bubbler, etc.), flow rate, precipitation rate and general location. A copy of this schedule shall be affixed to the inside door of each controller.
- Each controller shall be equipped with an approved rain sensor device. Mounting location of sensor shall be approved by Owner's Representative.
- Install all backflow prevention devices and piping between the point of connection and the backflow prevention devices per local codes and ordinances.
- Final location of backflow prevention devices and system controllers shall be approved by Owner's Representative.
- Electrical service will be provided at the location of the controller by others. It is the responsibility of the Contractor to make the final connection from the service to the controller.
- All sleeving under proposed walks, walls and other like improvements shall be located by a mark in the concrete at each end of sleeve locations. The mark shall be a "V" 4" long x 1/8th" deep pointing to the sleeve ends.
- All piping and wiring shall be installed in SCH 40 PVC sleeves. Install sleeving based on sleeve sizing guide below:

Pipe Size or Wire Quantity	Required Sleeve
3/4" - 1-1/4" Piping	2" PVC Sleeve
1 1/2" - 2" Piping	4" PVC Sleeve
2 1/2" - 3" Piping	6" PVC Sleeve
4" - Piping	8" PVC Sleeve
6" - Piping	10" PVC Sleeve
1 to 25 Control Wires	2" PVC Sleeve
26 to 75 Control Wires	3" PVC Sleeve
- Pipe velocity shall not exceed 5 feet per second. Minimum pipe sizes shall be as follows:

0-10 gpm use 3/4"
10-15 gpm use 1"
15-25 gpm use 1-1/4"
25-35 gpm use 1-1/2"
35-50 gpm use 2"
50-80 gpm use 2-1/2"
80-120 gpm use 3"
- All sprinkler heads shall be set perpendicular to the finished grade unless noted otherwise.
- The Contractor will be required flush and adjust all sprinkler heads and valves as necessary to provide optimal coverage with minimal overspray on to walks, streets, walls, fences, etc.
- All control wires are to be 14 AWG solid copper, insulated, direct burial wire, UF and UL listed. All wire connections between wires and to valves are to be made inside valve boxes using "King Brothers Snap Tite" wire connectors or approved equal.
- All equipment not otherwise detailed or specified shall be installed in accordance with the manufacture's instructions, recommendations and specifications.
- Some areas in these plans require temporary (manual or piped) irrigation. Refer to plans for these locations. Contractor is responsible for watering for establishment 90 days. Plants in these areas are not included in warranty.

PLANTING NOTES

- Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's Representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
- Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
- If conflicts arise between size of areas and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
- It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.
- Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).
- Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
- The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.
- All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance. Plants shall be installed to present their best side facing the viewer.
- Warranty: Provide a one-year replacement warranty for all irrigated plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

PLANTING LAYOUT AND INSTALLATION NOTES

- The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Owner's Representative in the field. Changes affecting quantities will be covered by unit prices.
- Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
- Install edging where decomposed granite trail meets planting bed and where decomposed granite trail meets gravel following manufacturer's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed. Bed edges where edging is not specified shall have a "spade edge".
- Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
- Unless otherwise indicated:
 - All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).
 - All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.
 - Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be 3/4".
 - Specific plant bed areas may be called out to receive weed barrier fabric, see plans and details.
- All Plant Beds and pit planted plants shall receive a 2" depth layer of shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
- Planting pits for 1, 3, & 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 18" larger in diameter than the ball size.
- Plants shall be installed to present their best side facing the viewer.
- Owner's Representative shall have final approval of plant material layout.

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DEFINITION
APPROX.	APPROXIMATE
B.O.C.	BACK OF CURB
B.W.	BOTTOM OF WALL = FINISHED GRADE
C.L.	CENTER LINE
CONC.	CONCRETE
DIA.	DIAMETER
D.I.	DRAIN INLET
DWG.	DRAWING
E.J.	EXPANSION JOINT
ESMT.	EASEMENT
E.Q.	EQUAL
F.O.C.	FRONT OF CURB
F.F.E.	FINISH FLOOR ELEVATION
F.G.	FINISH GRADE
HP	HIGH POINT
L.O.C.	LIMIT OF CONSTRUCTION
O.C.	ON CENTER
O.C.E.W.	ON CENTER EACH WAY
P.O.B.	POINT OF BEGINNING
P.O.T.	POINT OF TANGENT
QTY.	QUANTITY
R	RADIUS
REF.	REFERENCE
R.O.W.	RIGHT OF WAY
SAN	SANITARY SEWER
S.G.	SUB GRADE
S.J.	SCORE JOINT
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STRM.	STORM
T.B.D.	TO BE DETERMINED
T.C.	TOP OF CURB
T.O.B.	TOP OF BANK
T.O.C.	TOP OF CURB
T.R.	TOP OF RAMP
T.S.	TOP OF STEP
T.W.	TOP OF WALL
TYP.	TYPICAL
VAR.	VARIES
W/	WITH
W/O	WITHOUT
W.L.	WATER LINE



landscape architecture

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NOT FOR REGULATORY
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PERMITTING, OR
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Paul Cozzolino
8/19/2021

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LISD SPINKS TRACT

TOWN OF FLOWER MOUND
DENTON COUNTY, TX

CONCEPTUAL LANDSCAPE/SCREENING PLAN

issue

03/22/2021 City Submittal
05/10/2021 City Submittal -
Comment Response
06/14/2021 City Submittal -
Comment Response
08/19/2021 City Submittal -
Comment Response

revisions



title

General
Construction Notes

project number 210001

date 8/19/2021

sheet

G-1.01



landscape architecture

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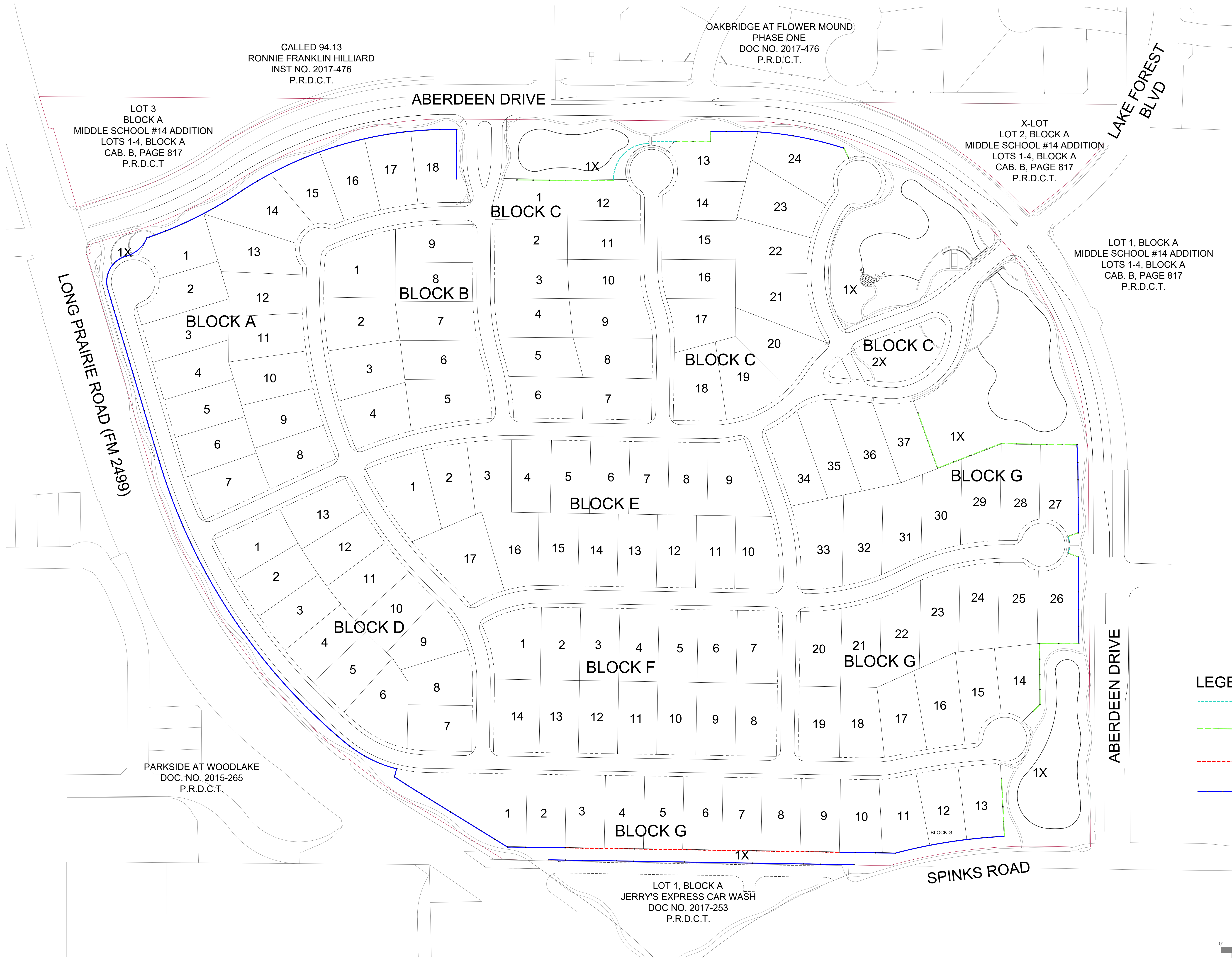
Overall Screening
Plan

project number 210001

date 8/19/2021

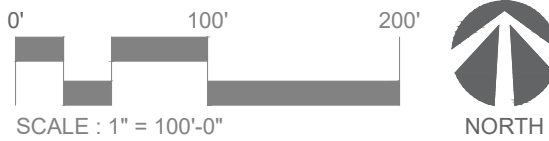
sheet

G-1.02



LEGEND

- 4'-0" HEIGHT ORNAMENTAL METAL FENCE. REF TO 03/L-3.01
- 2'-6" HEIGHT KNEE WALL WITH 3'-6" HEIGHT ORNAMENTAL METAL FENCE. REF TO 02/L-3.01
- 6'-0" HEIGHT ORNAMENTAL METAL FENCE BUILT BY HOMEBUILDER. REF TO 03/L-3.01
- 6'-0" HEIGHT MASONRY WALL WITH ENHANCED COLUMNS AT LOT CORNERS AND ENDS OF WALL BY HOMEBUILDER. REF TO 01/L-3.01





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8/19/2021

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Demetrius Seals
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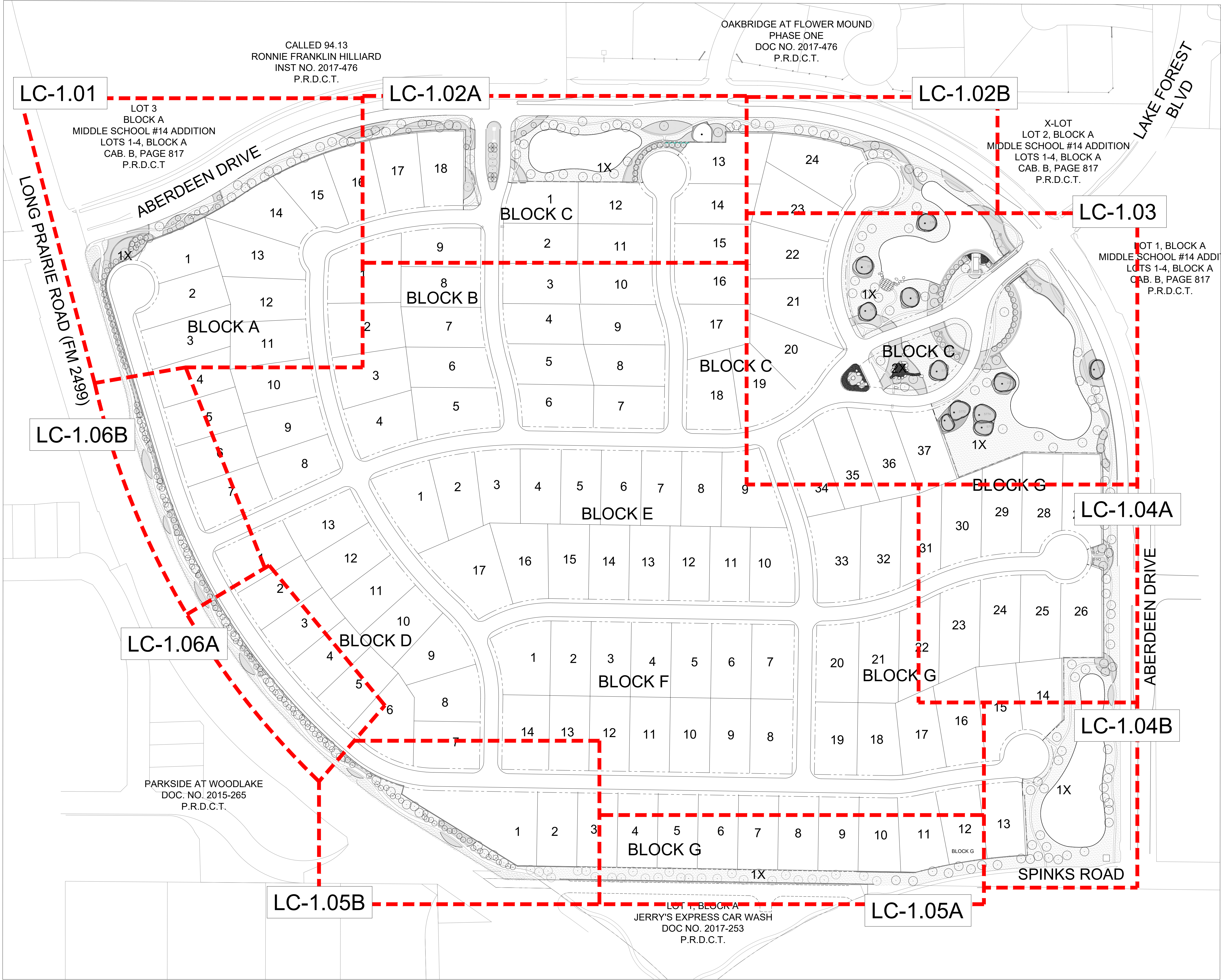
Overall Key Plan

project number 210001

date 8/19/2021

sheet

G-1.03





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Landscape and
Screening

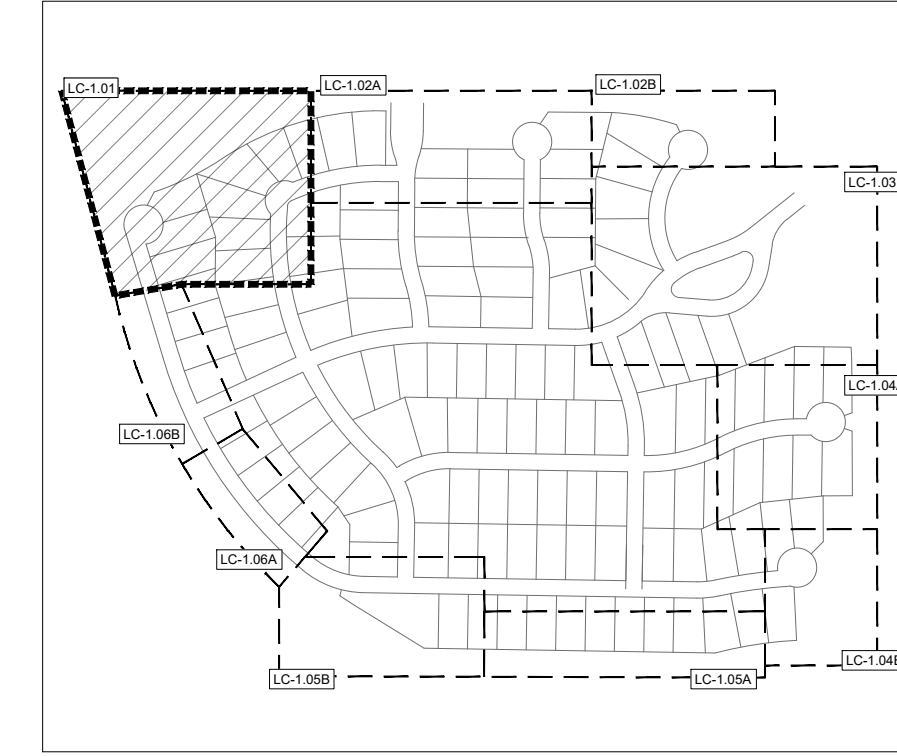
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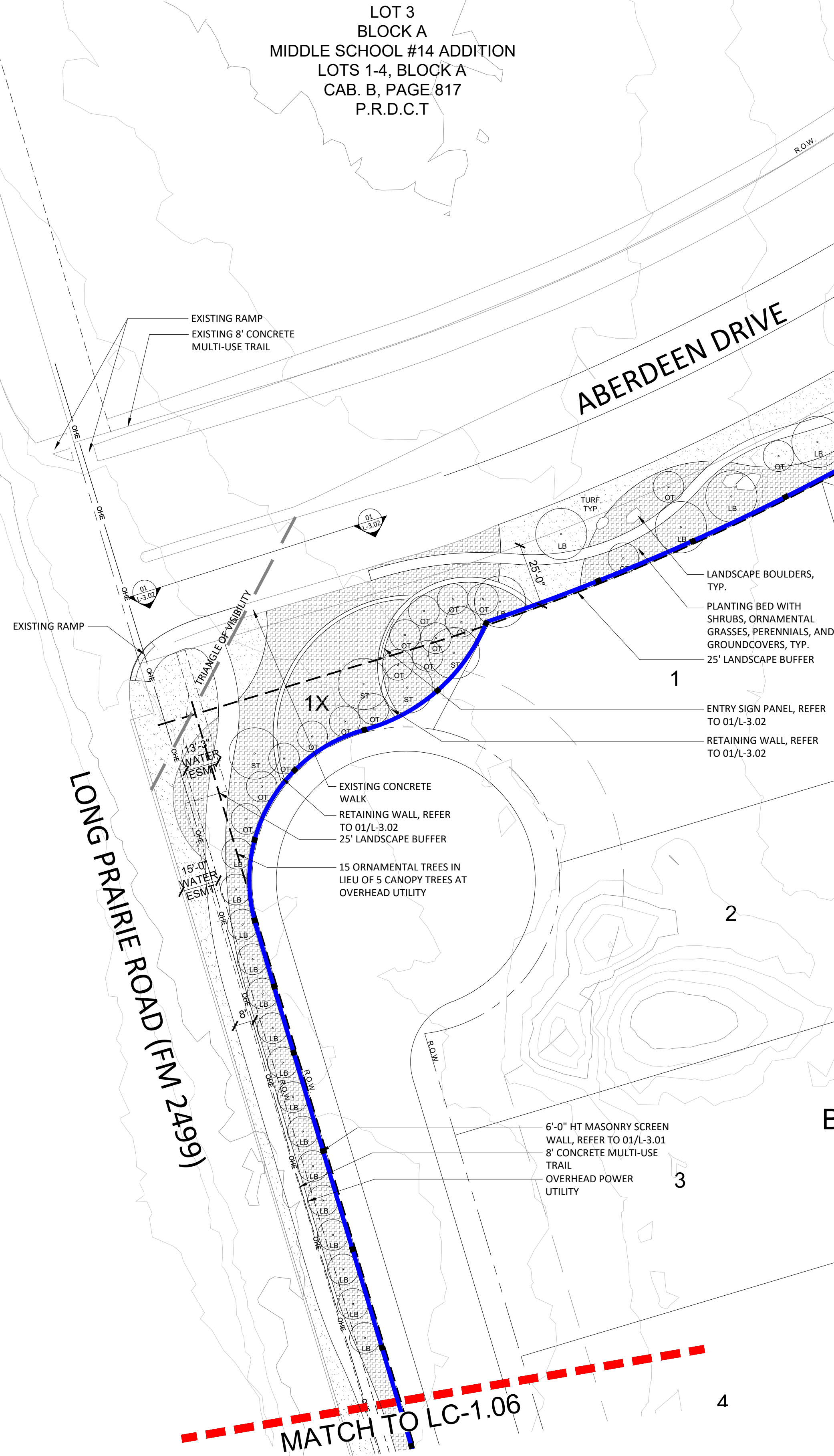
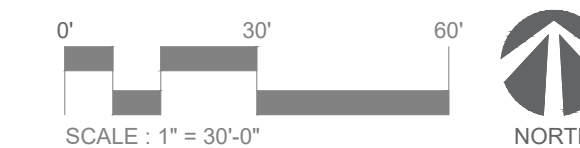
LC-1.01

KEYMAP



LEGEND

- EXISTING SPECIMEN TREE
- REQUIRED MITIGATION TREE
- SHADE TREE
- REQUIRED LANDSCAPE BUFFER - SHADE TREE
- REQUIRED LANDSCAPE BUFFER- ORNAMENTAL TREE
- ORNAMENTAL TREE





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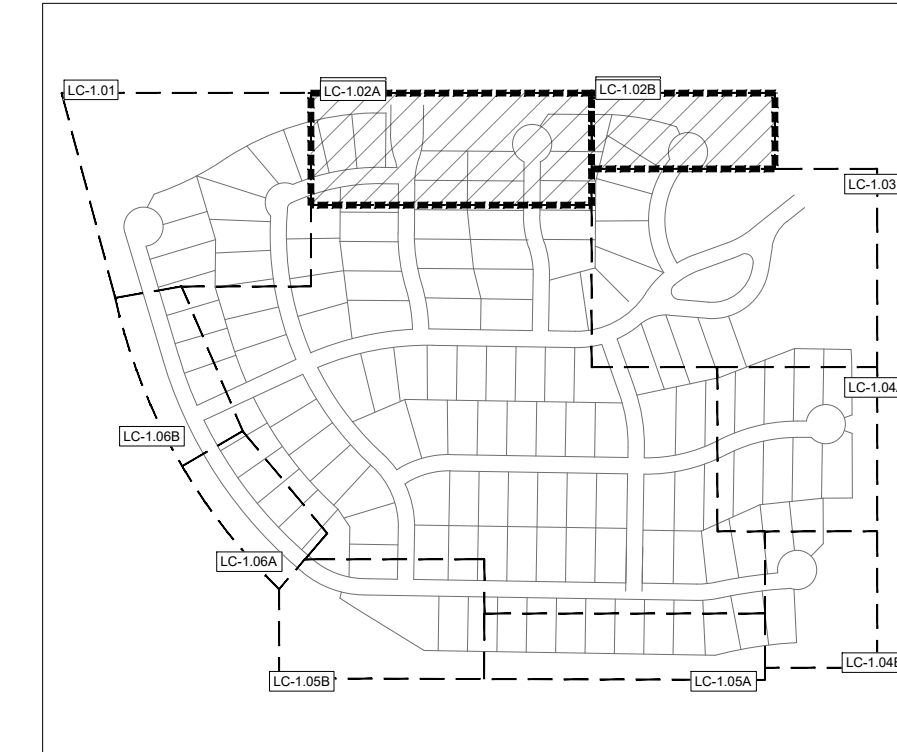
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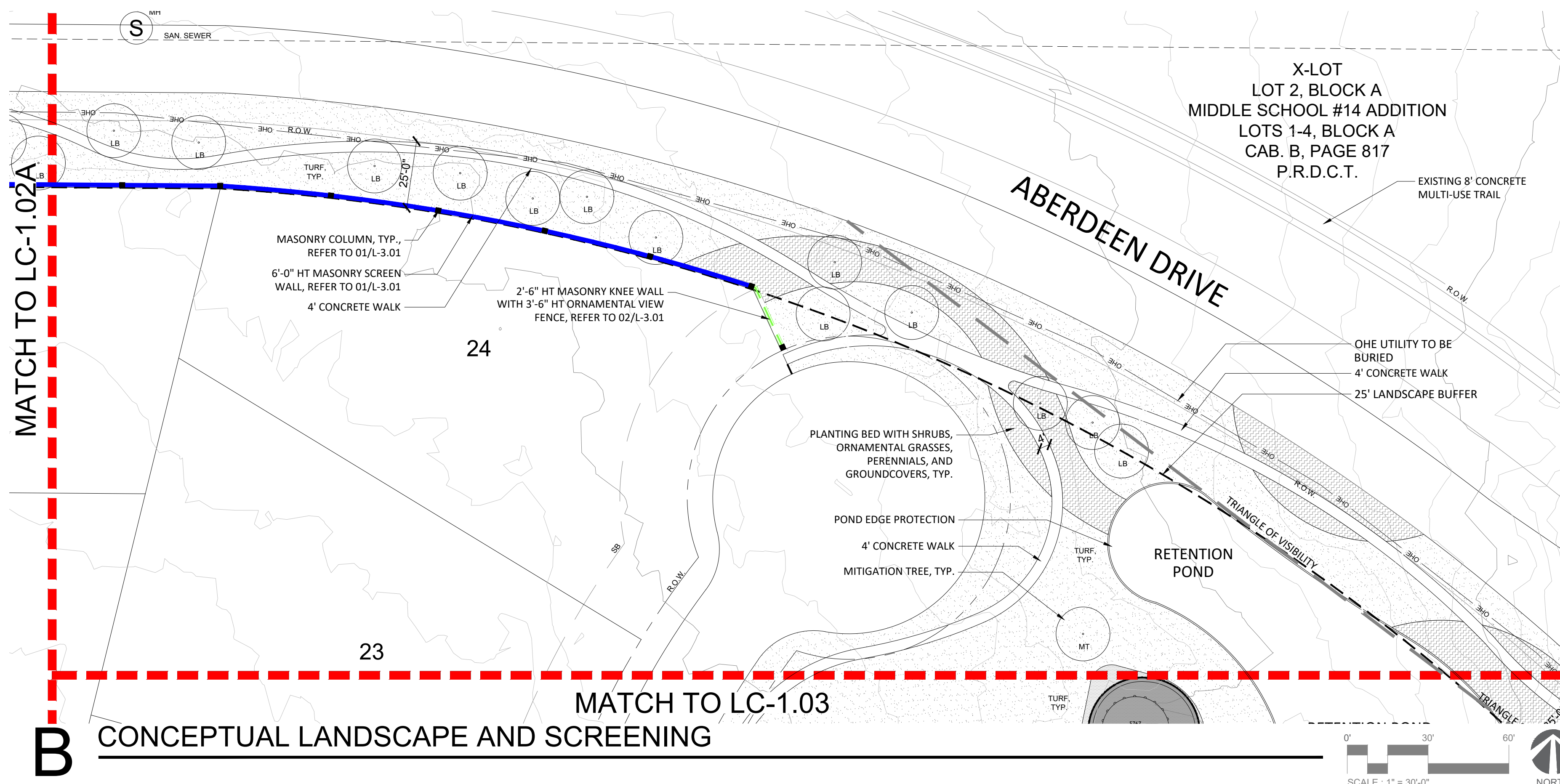
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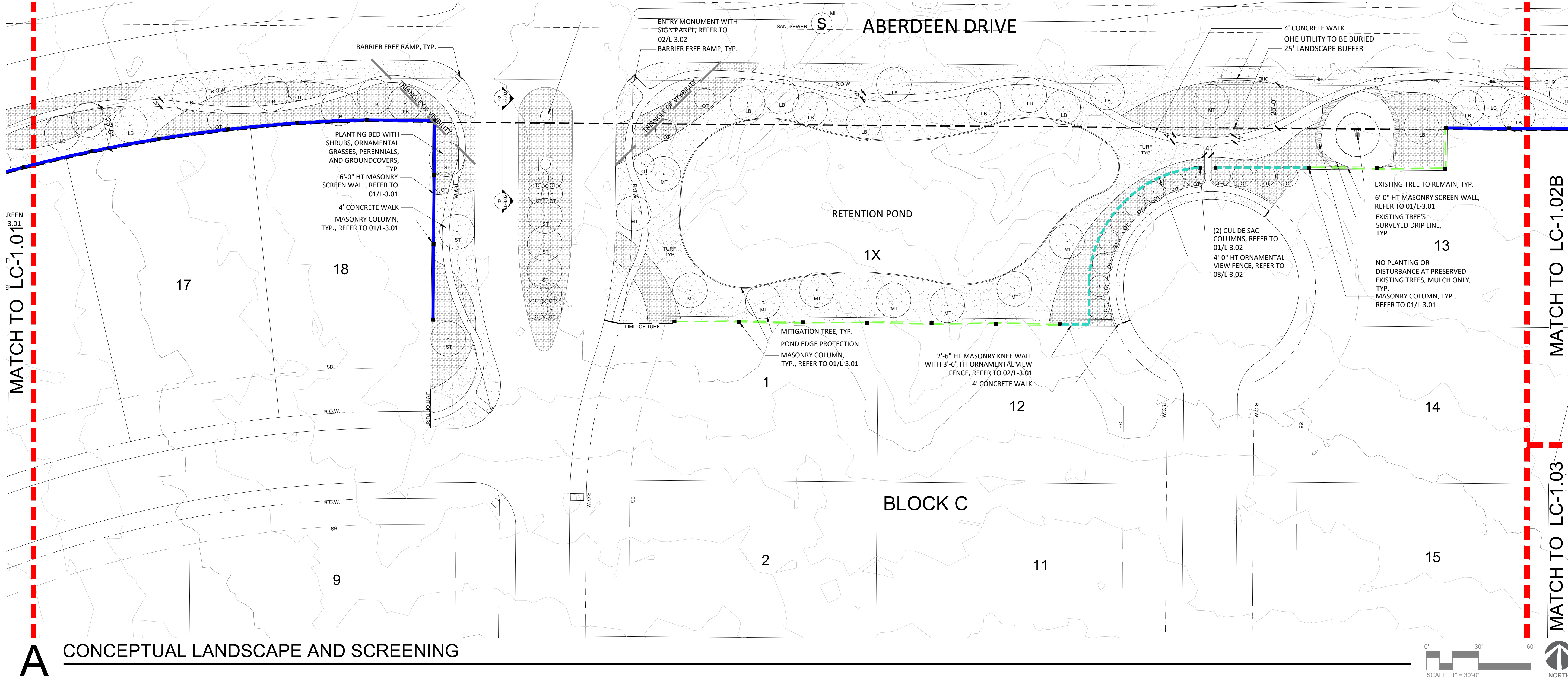
LEGEND

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B

CONCEPTUAL LANDSCAPE AND SCREENING



A

CONCEPTUAL LANDSCAPE AND SCREENING



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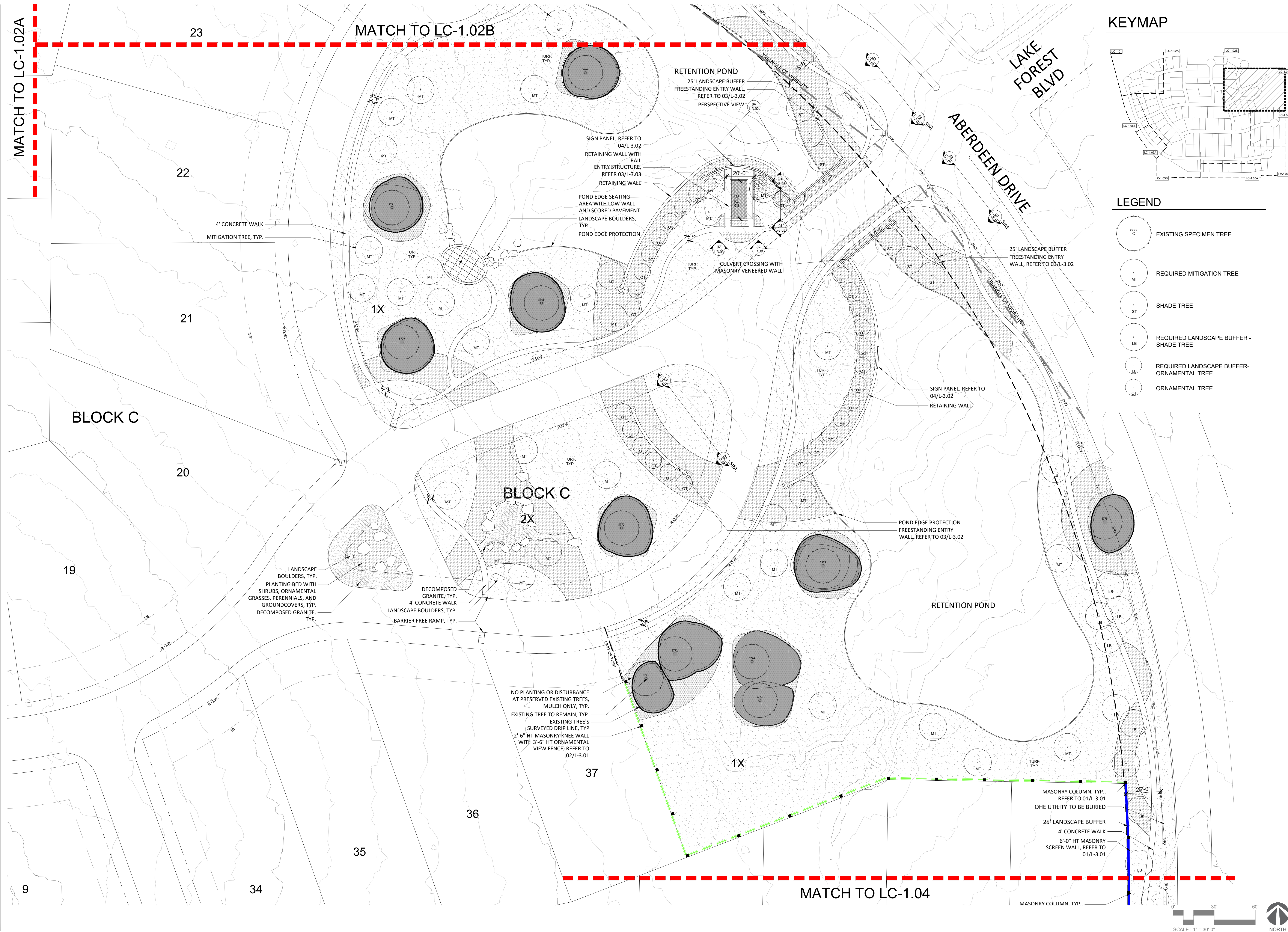
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LC-1.03



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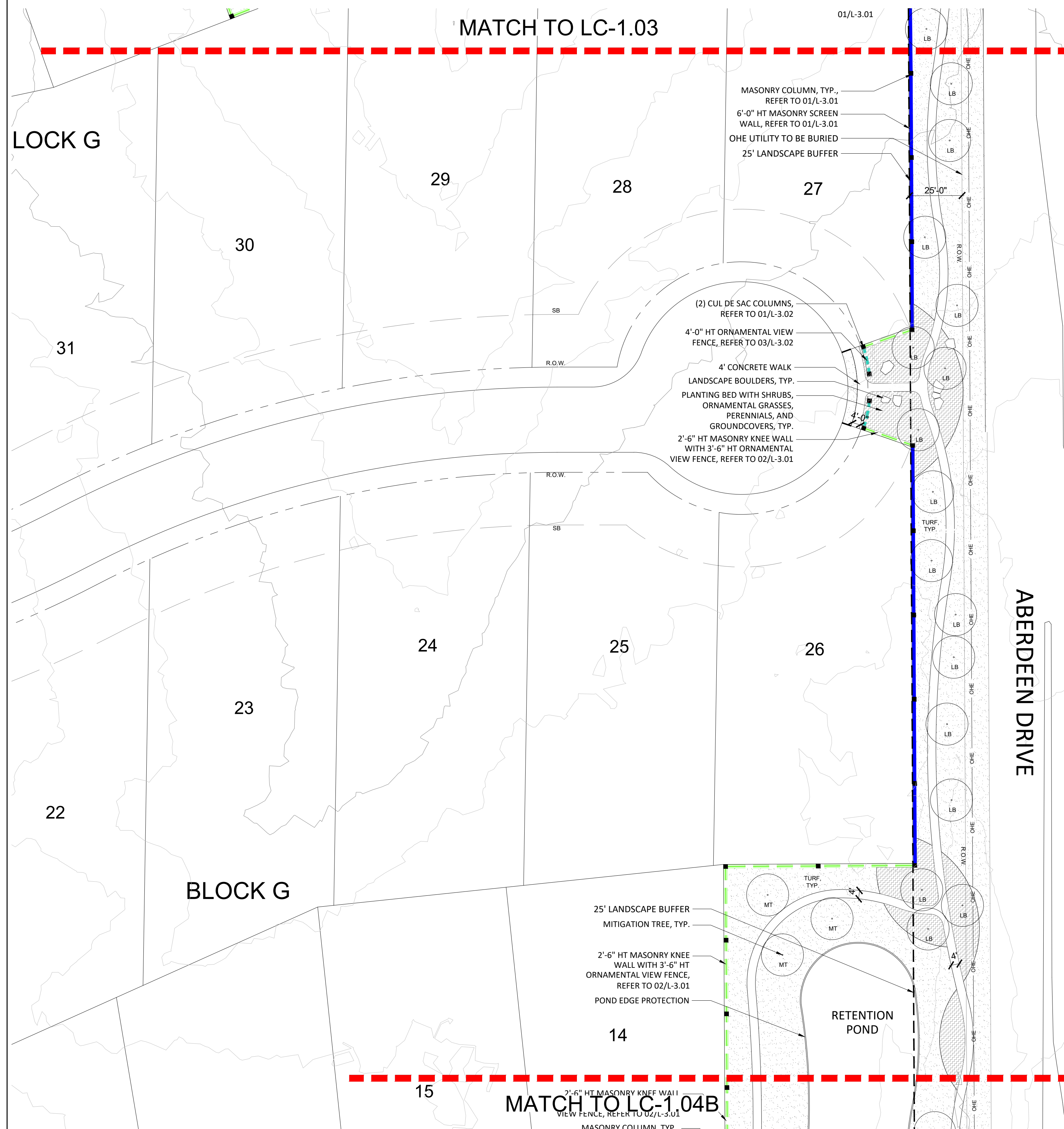
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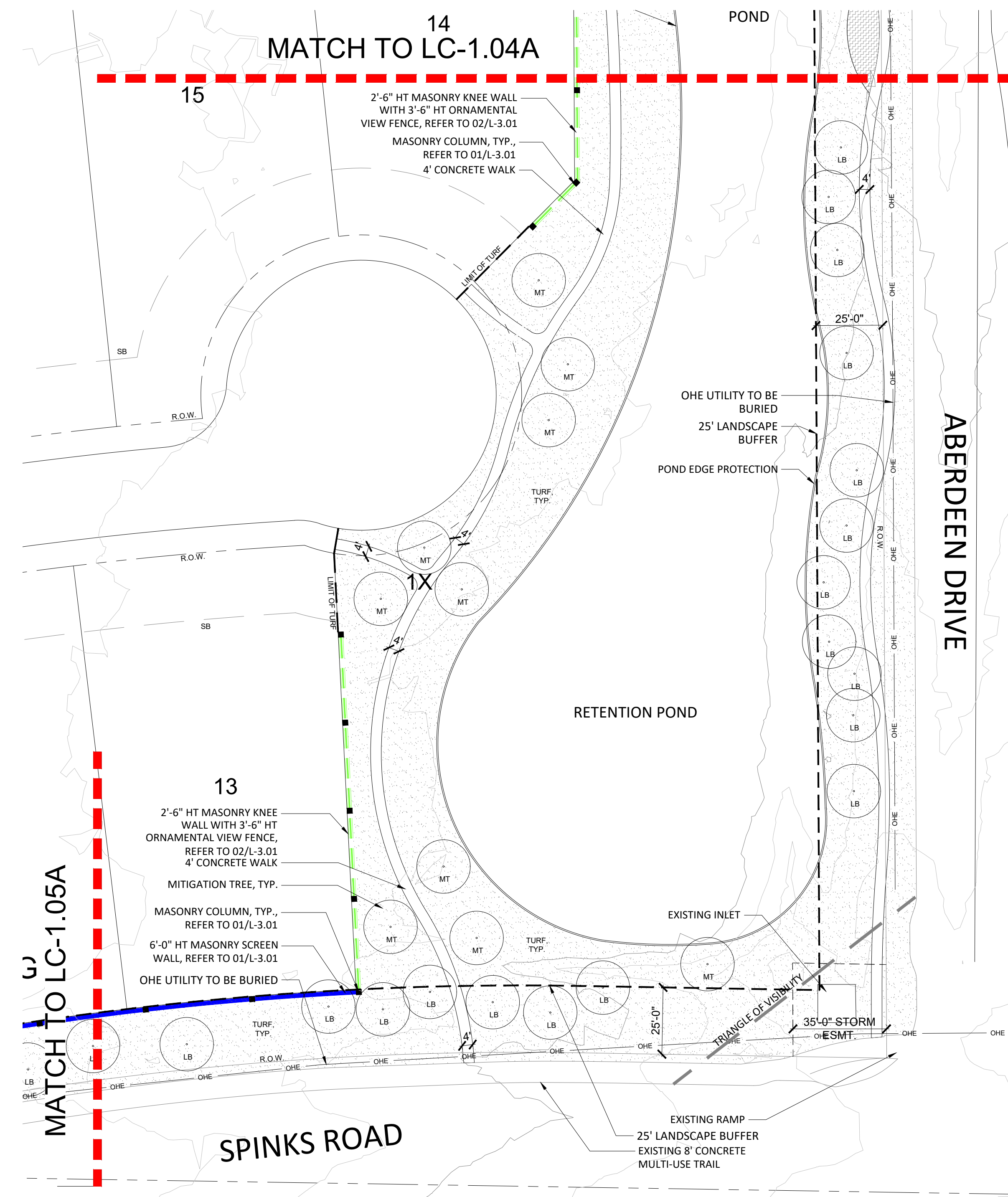
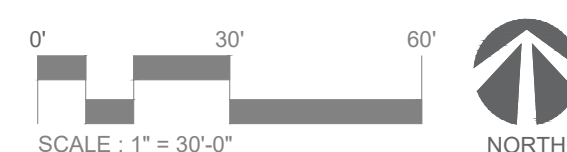
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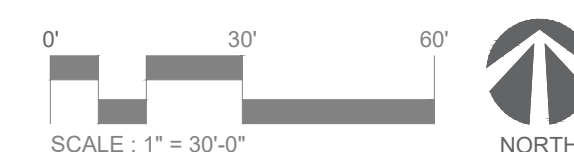
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A CONCEPTUAL LANDSCAPE AND SCREENING



B CONCEPTUAL LANDSCAPE AND SCREENING





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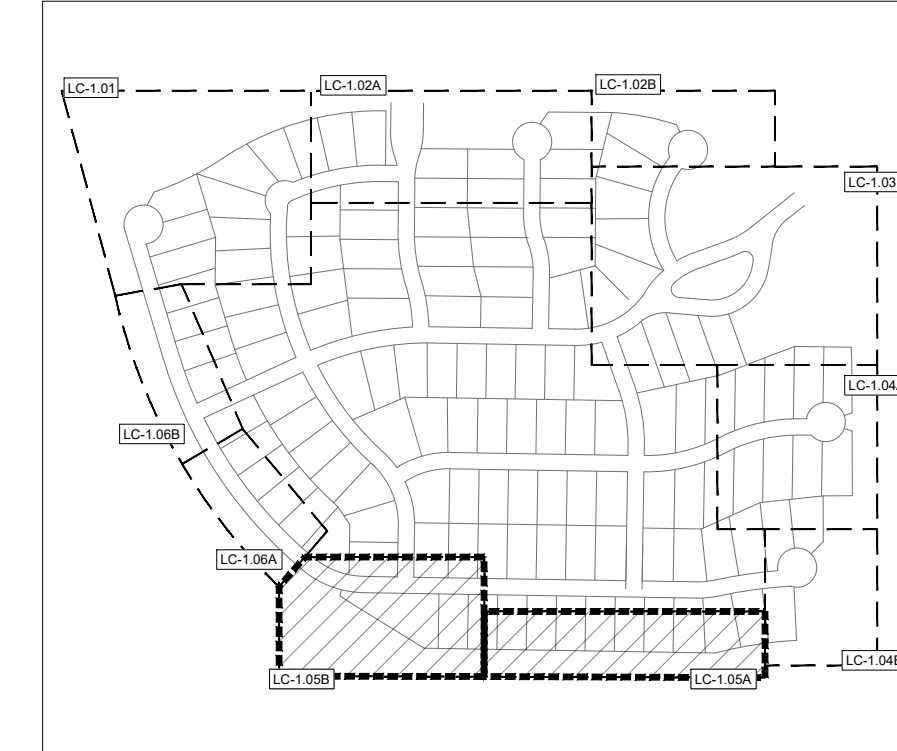
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sheet

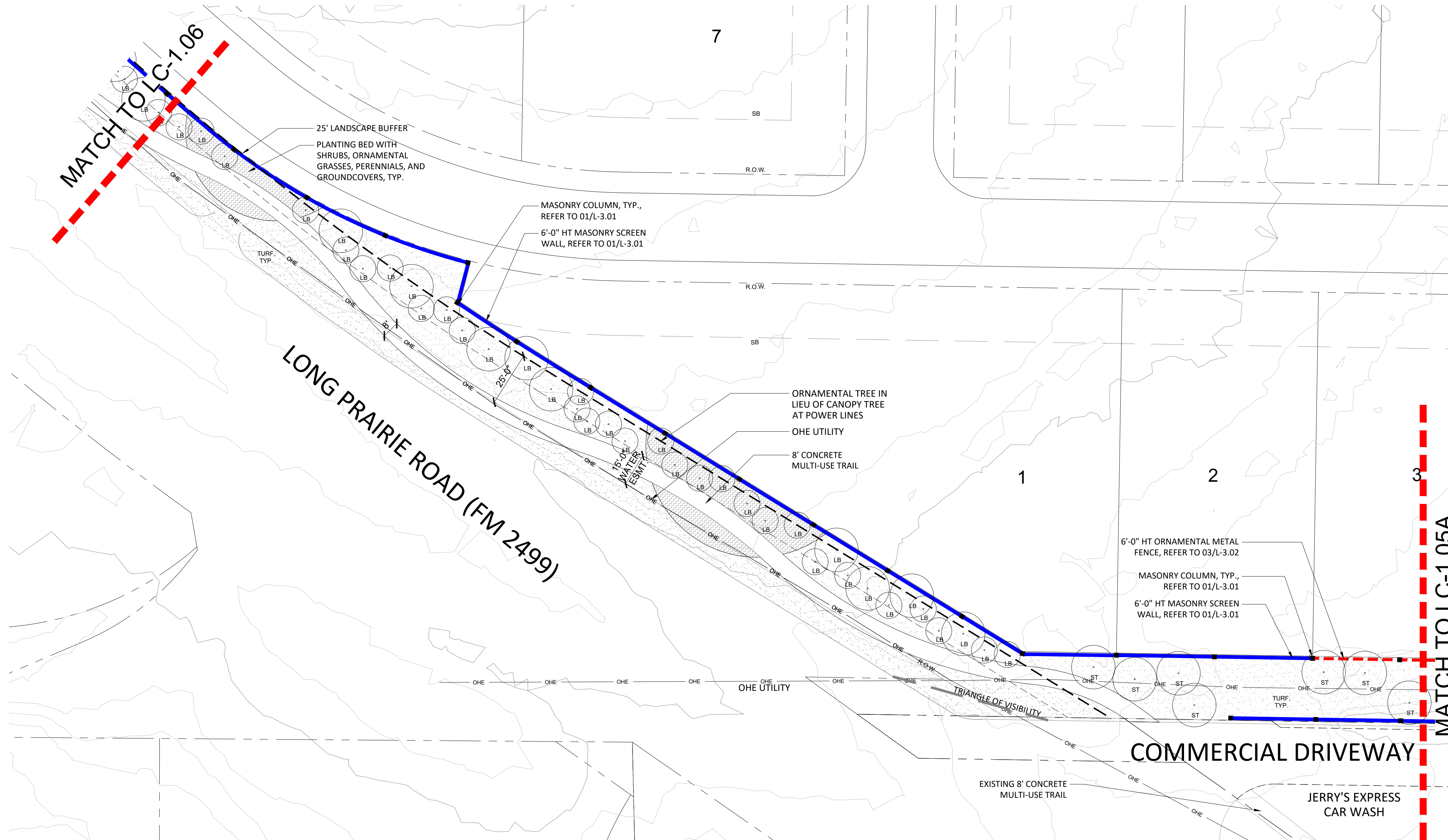
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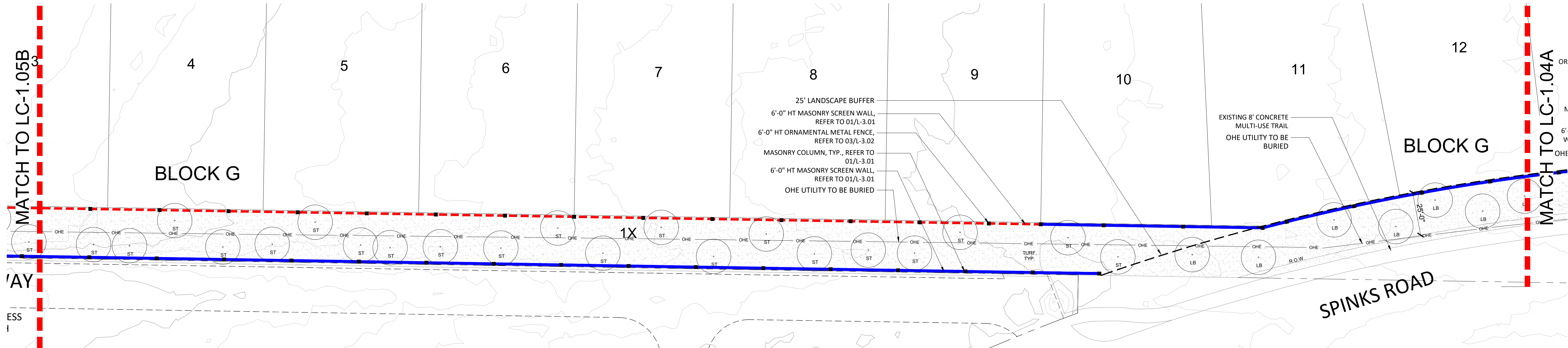
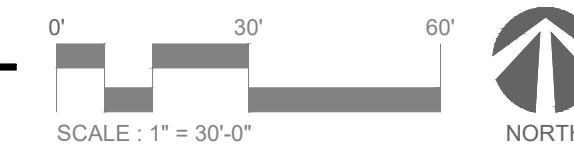


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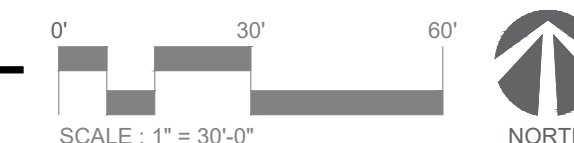
- EXISTING SPECIMEN TREE
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B CONCEPTUAL LANDSCAPE AND SCREENING



A CONCEPTUAL LANDSCAPE AND SCREENING





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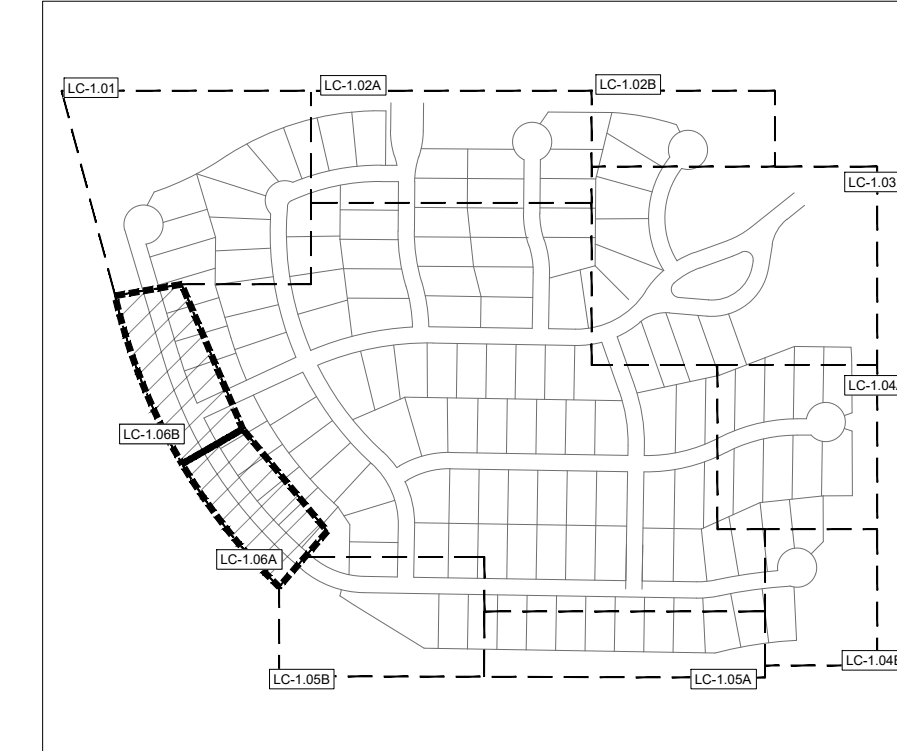
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LC-1.06

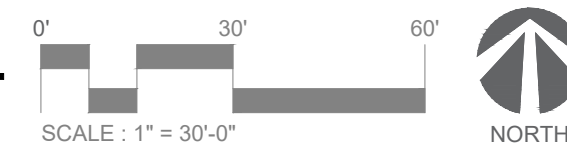
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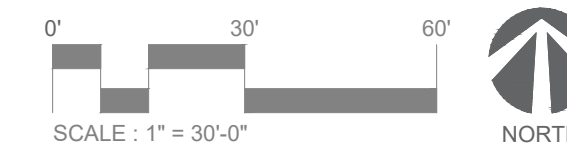
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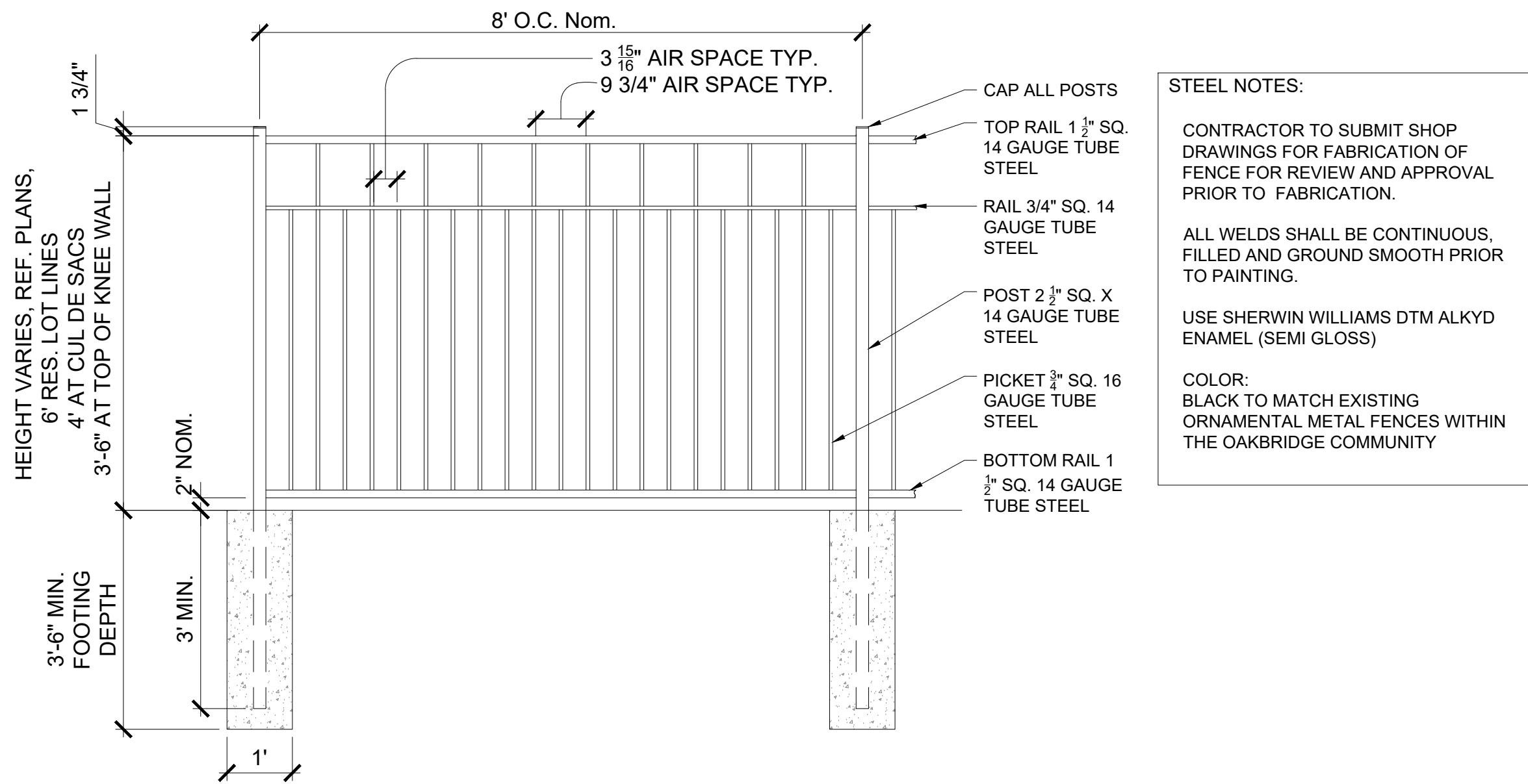
- EXISTING SPECIMEN TREE
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A CONCEPTUAL LANDSCAPE AND SCREENING



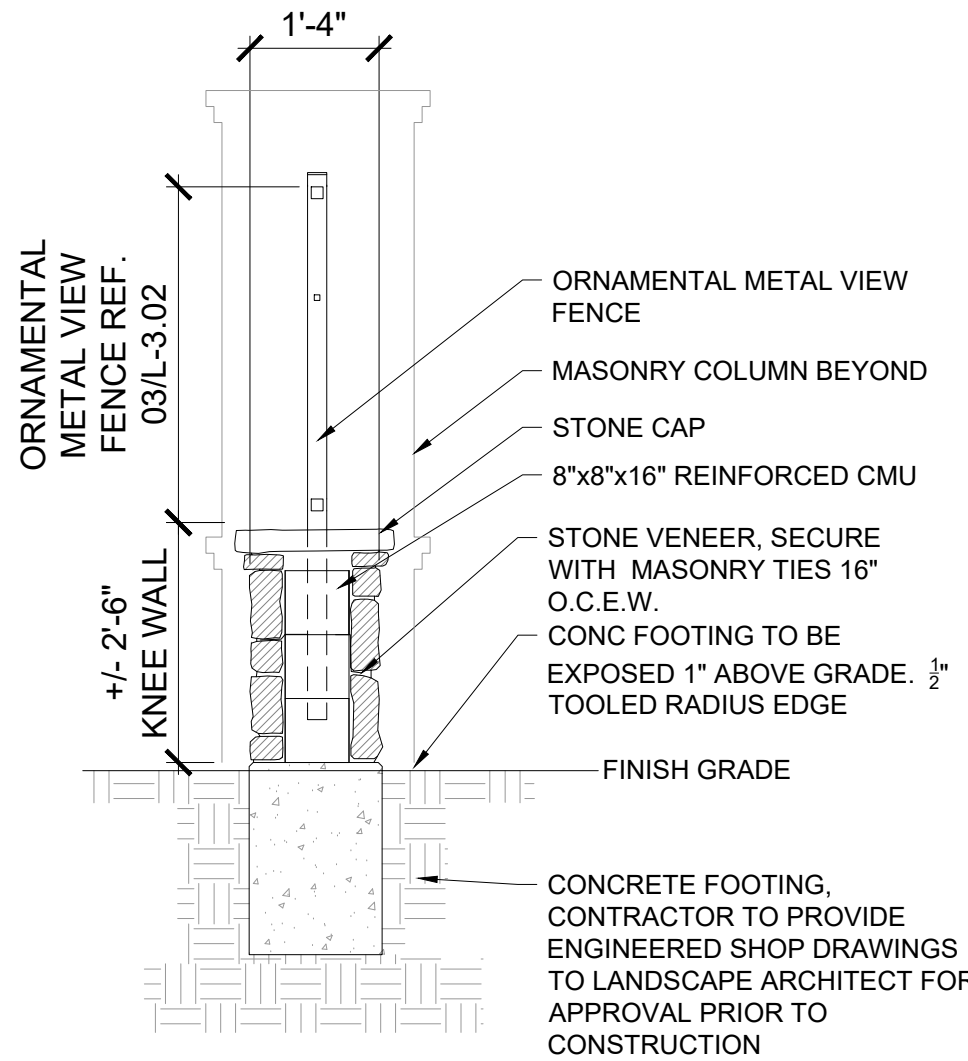
B CONCEPTUAL LANDSCAPE AND SCREENING



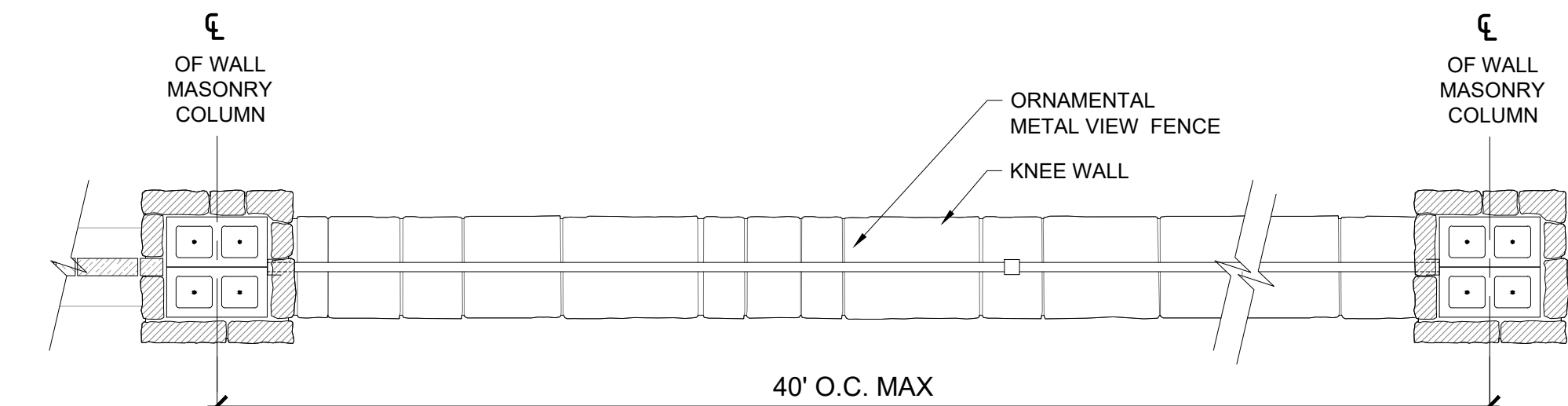


03 ORNAMENTAL METAL VIEW FENCE

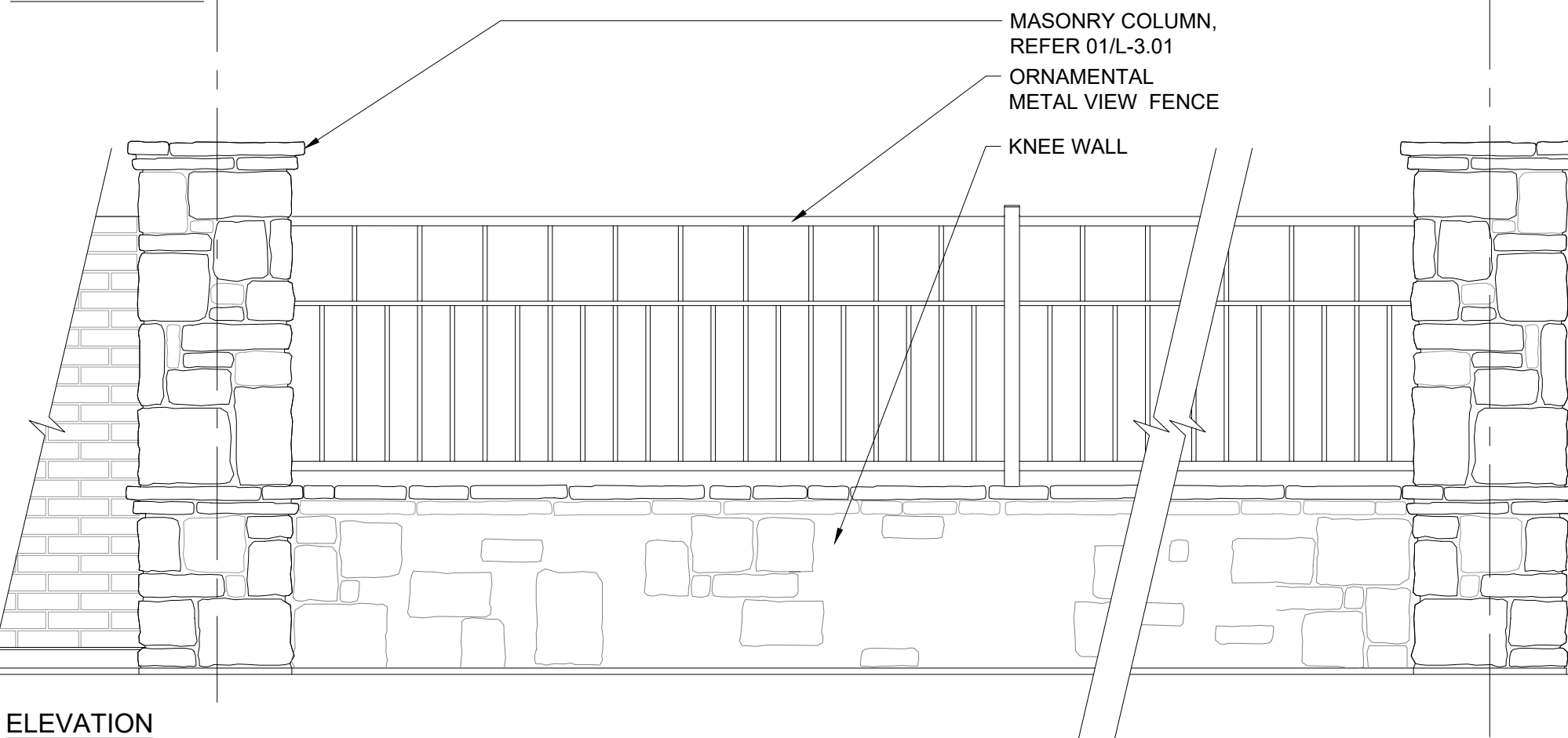
SCALE: 1/2" = 1'-0"



SECTION

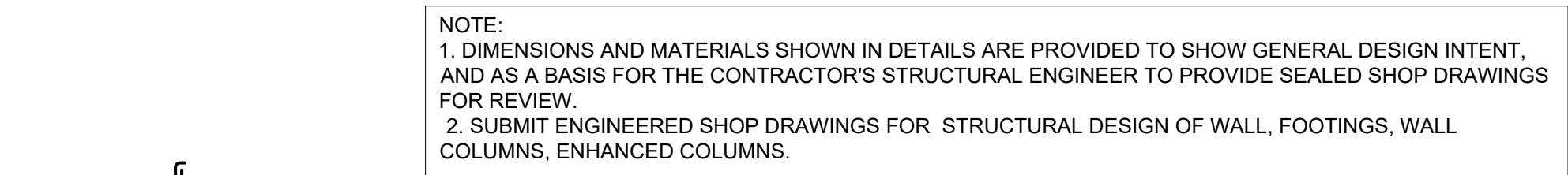


PLAN SECTION

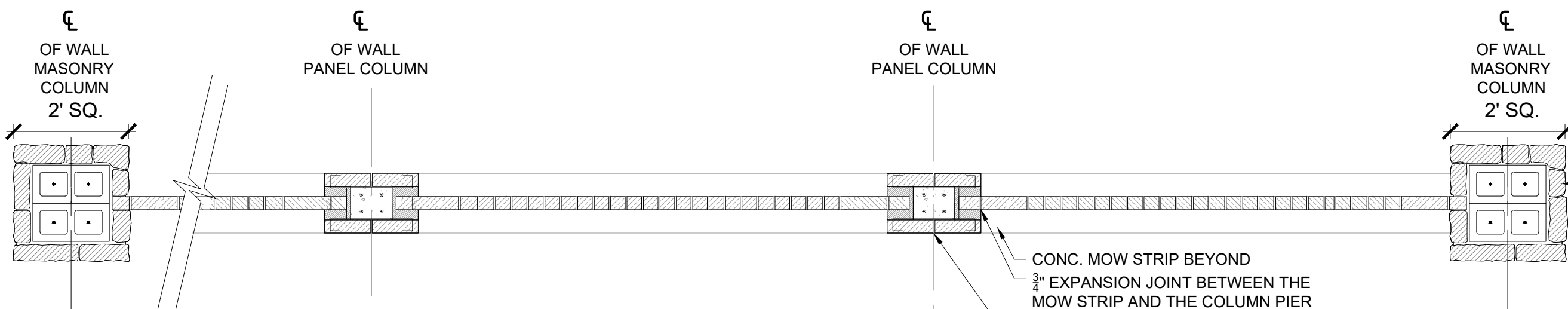


02 MASONRY KNEE WALL WITH ORNAMENTAL METAL VIEW FENCE

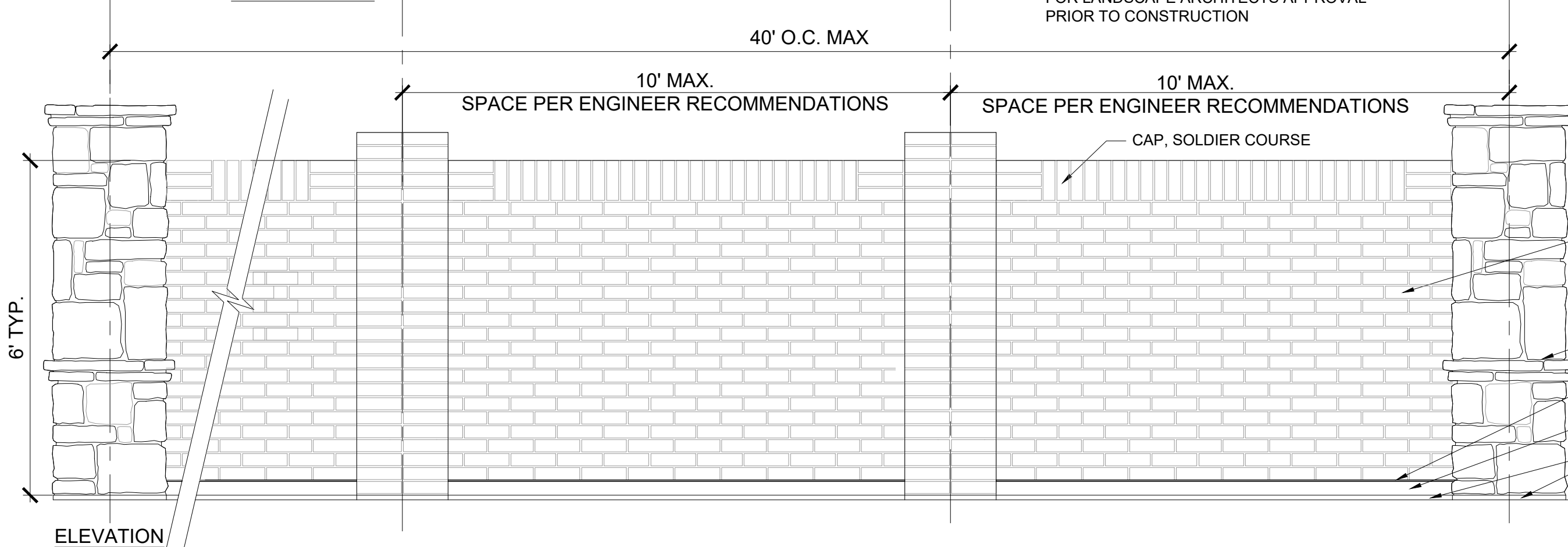
SCALE: 1/2" = 1'-0"



SECTION- WALL PANEL

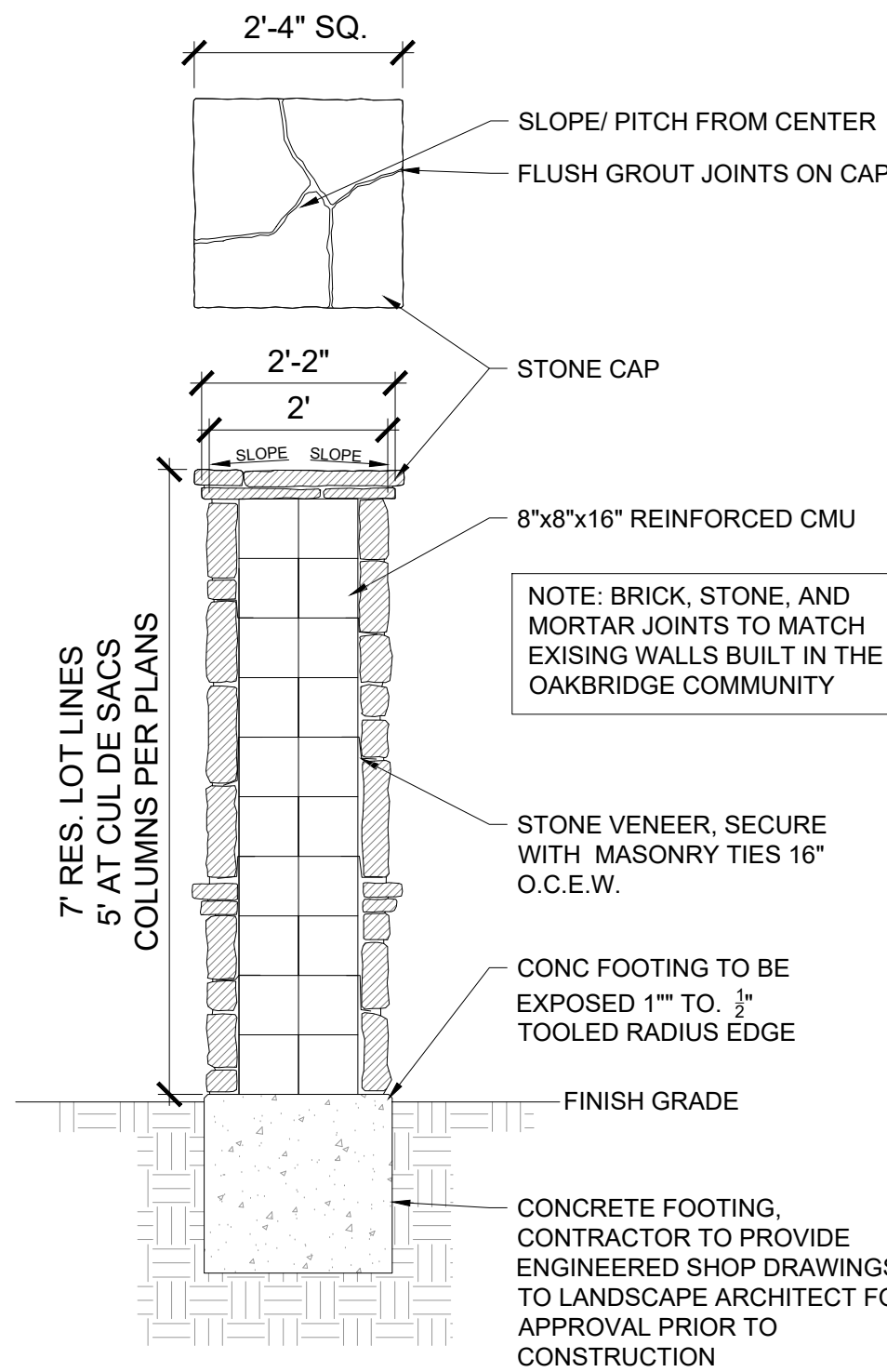


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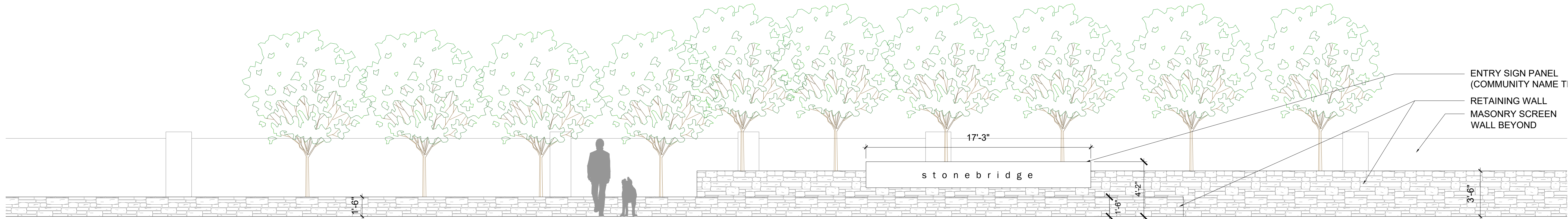
01 MASONRY SCREEN WALL WITH MASONRY COLUMNS

SCALE: 1/2" = 1'-0"

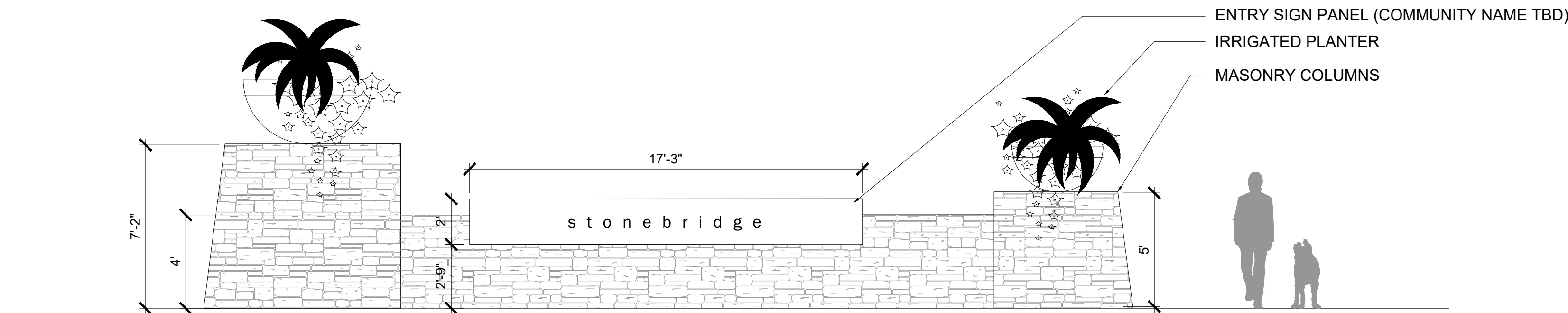


SECTION- MASONRY COLUMN

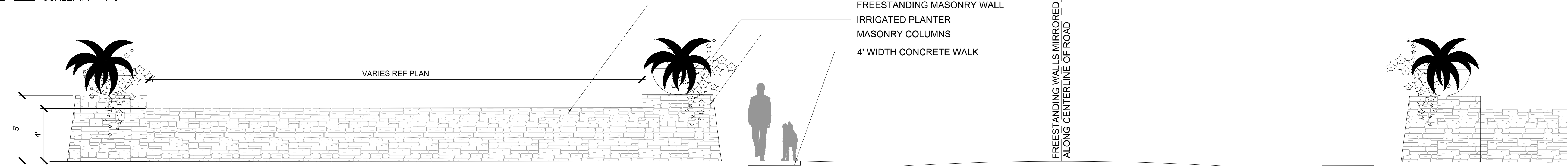
7' RES. LOT LINES
5' AT CUL DE SACS
COLUMNS PER PLANS



01 ABERDEEN + 2499 RETAINING WALLS AND ENTRY SIGN PANEL
SCALE: 1/4" = 1'-0"



02 ABERDEEN + PROPOSED ROAD ENTRY SIGN WITH SIGN PANEL
SCALE: 1/4" = 1'-0"



03 ABERDEEN + LAKE FOREST FREESTANDING WALLS
SCALE: 1/4" = 1'-0"



04 ABERDEEN + LAKE FOREST ENTRY STRUCTURE
SCALE: NTS

NOTE:
1. DIMENSIONS AND MATERIALS SHOWN IN DETAILS ARE PROVIDED TO SHOW GENERAL DESIGN INTENT, AND AS A BASIS FOR THE CONTRACTOR'S STRUCTURAL ENGINEER TO PROVIDE SEALED SHOP DRAWINGS FOR REVIEW.
2. SUBMIT ENGINEERED SHOP DRAWINGS FOR STRUCTURAL DESIGN OF WALL, FOOTINGS, WALL COLUMNS, ENHANCED COLUMNS.



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Hardscape Details

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date 8/19/2021

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L-3.02



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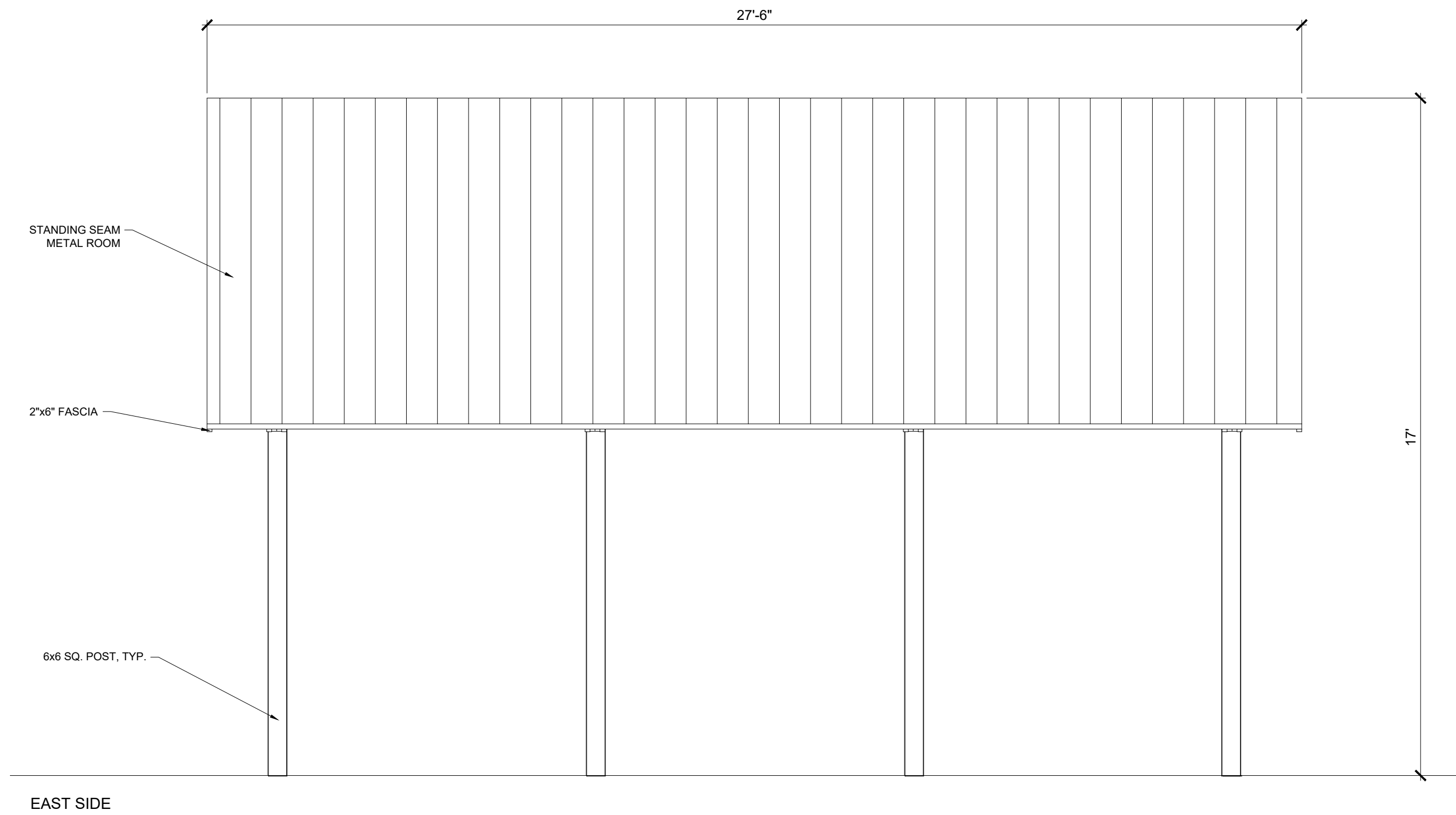
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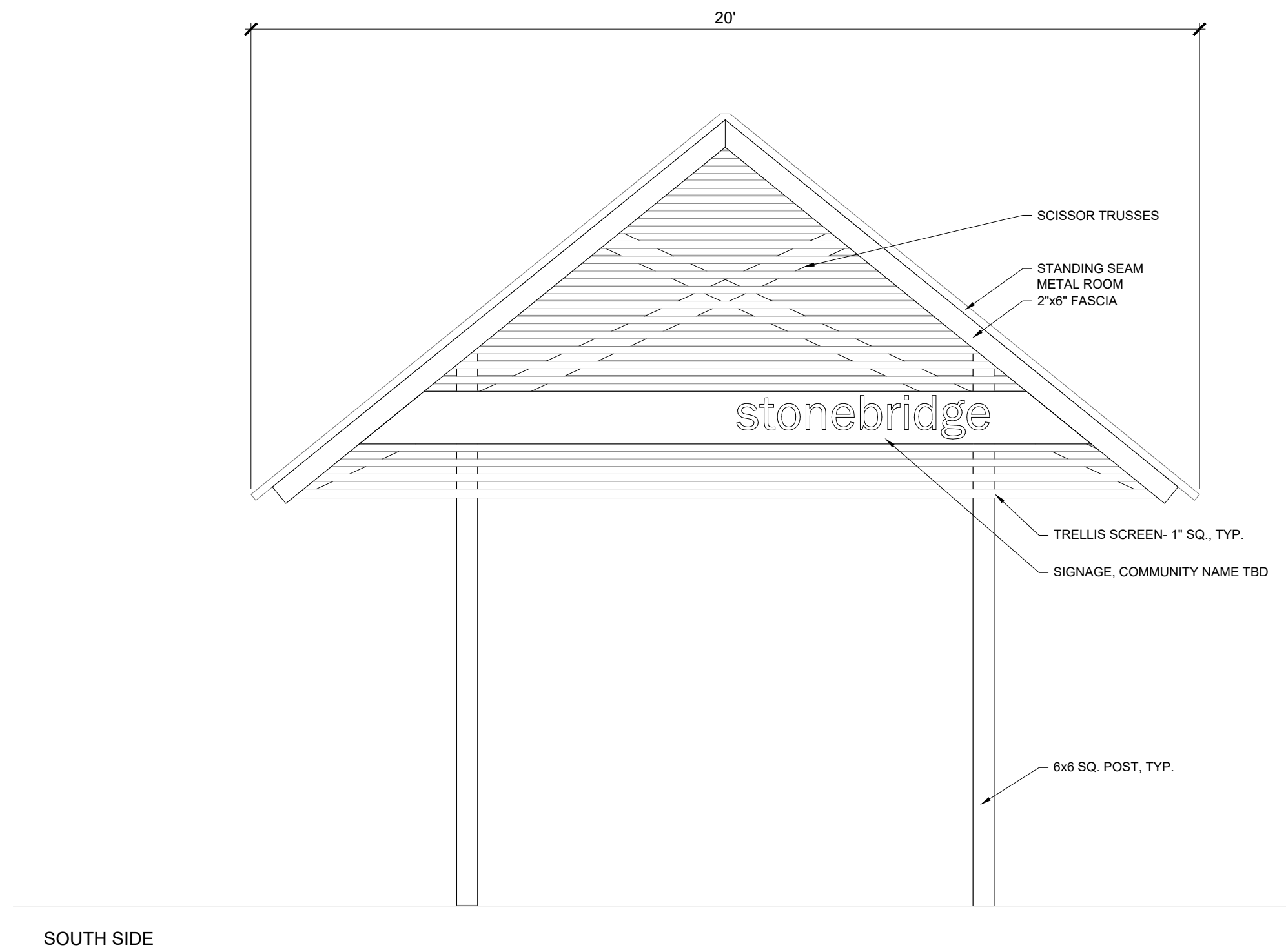
date 8/19/2021

sheet

L-3.03



01 ABERDEEN + LAKE FOREST ENTRY STRUCTURE: EAST SIDE ELEVATION
SCALE: 3/8" = 1'-0"



02 ABERDEEN + LAKE FOREST ENTRY STRUCTURE: SOUTH VIEW ELEVATION
SCALE: 3/8" = 1'-0"



03 ABERDEEN + LAKE FOREST ENTRY STRUCTURE
SCALE: NTS

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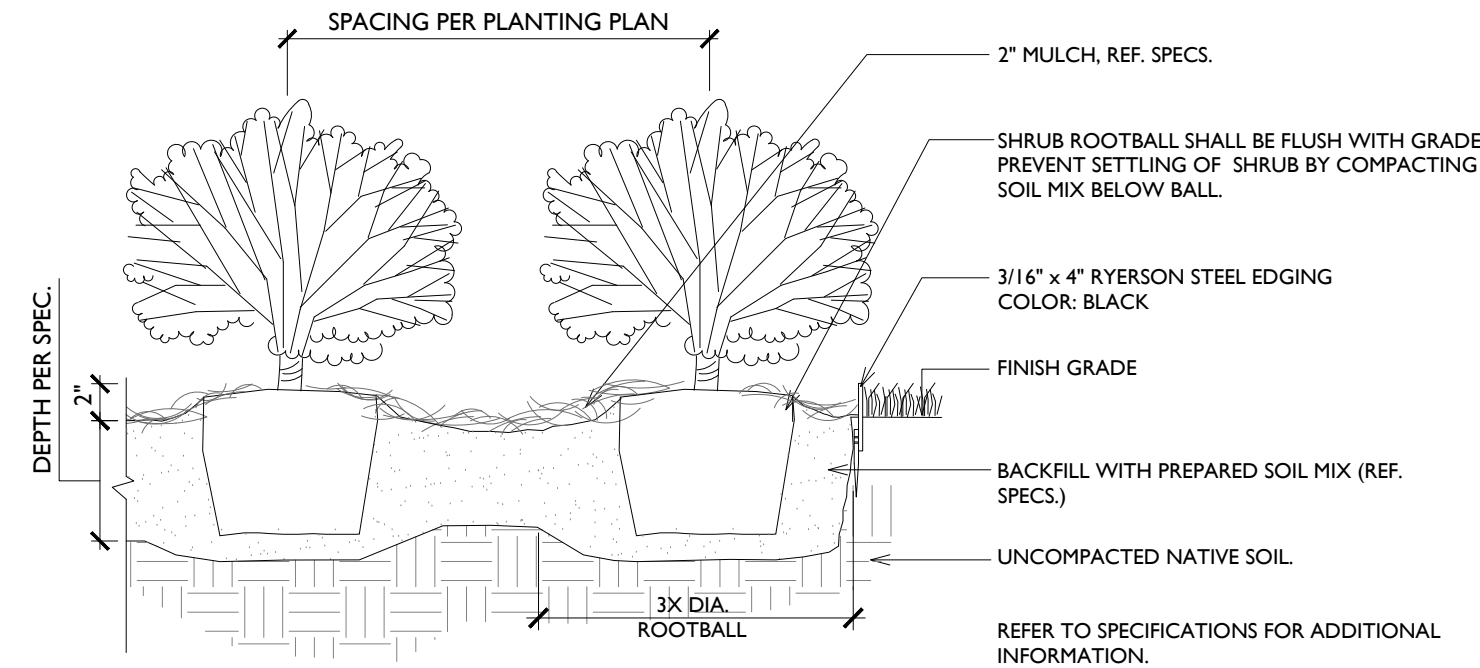
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Planting Details
Schedule and Notes

project number 210001

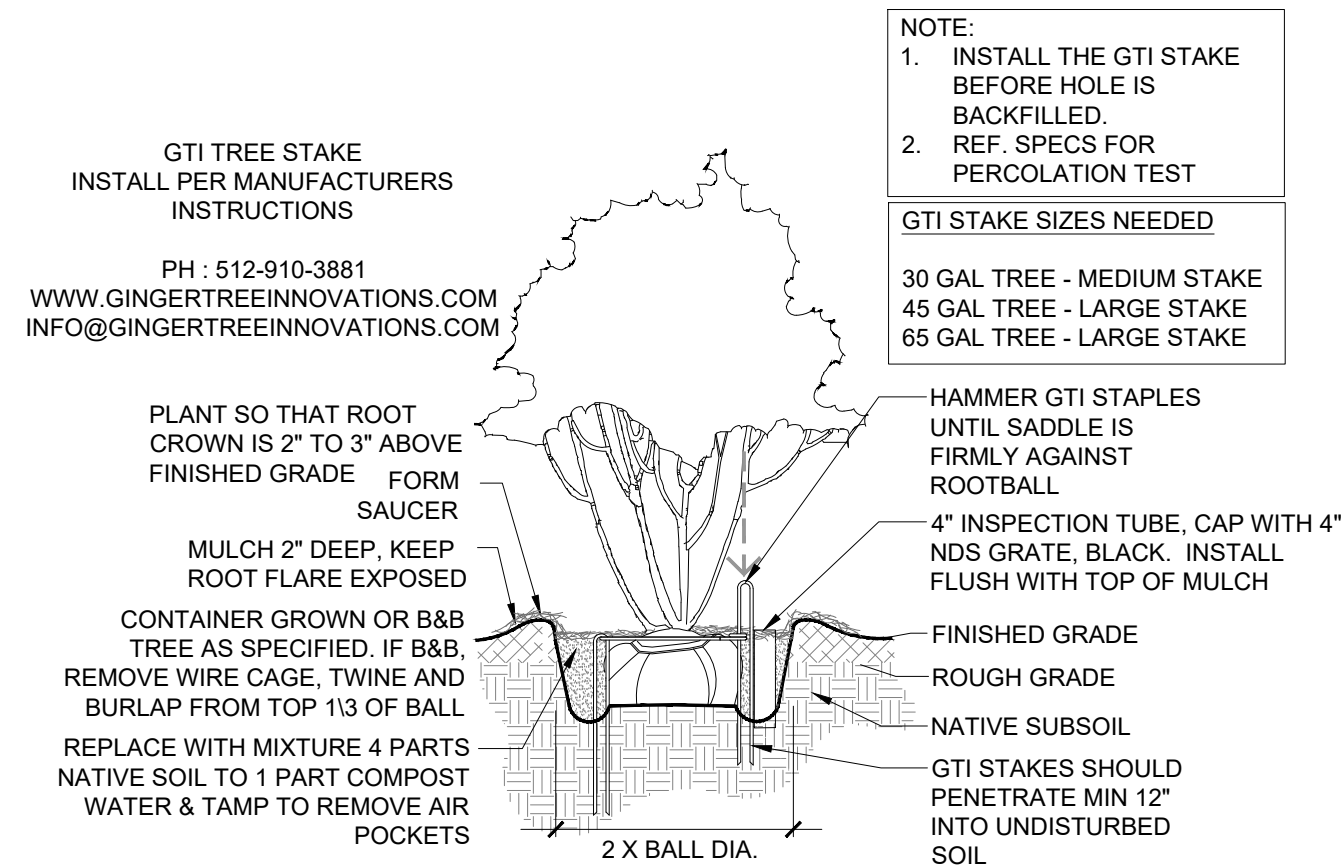
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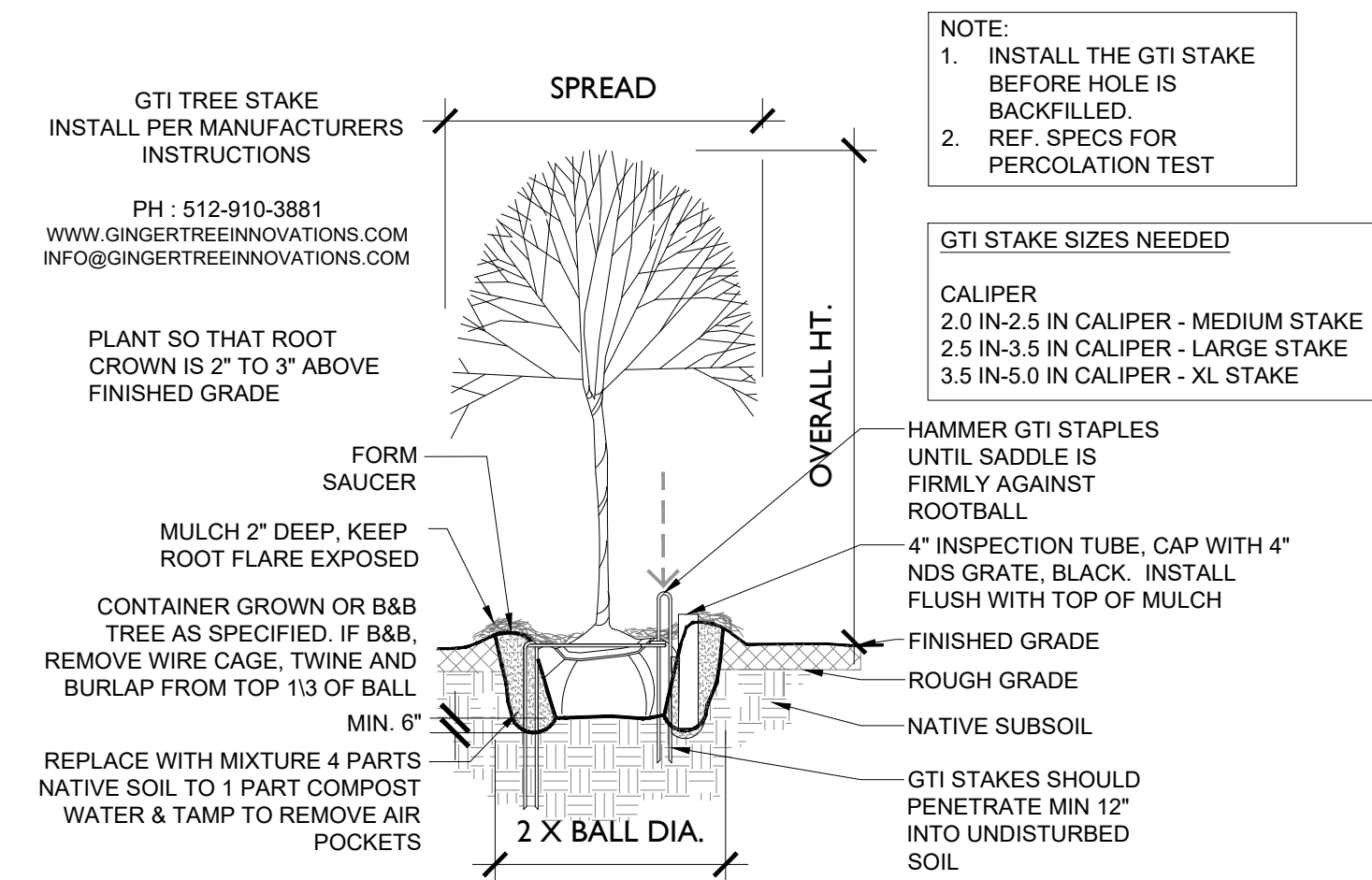
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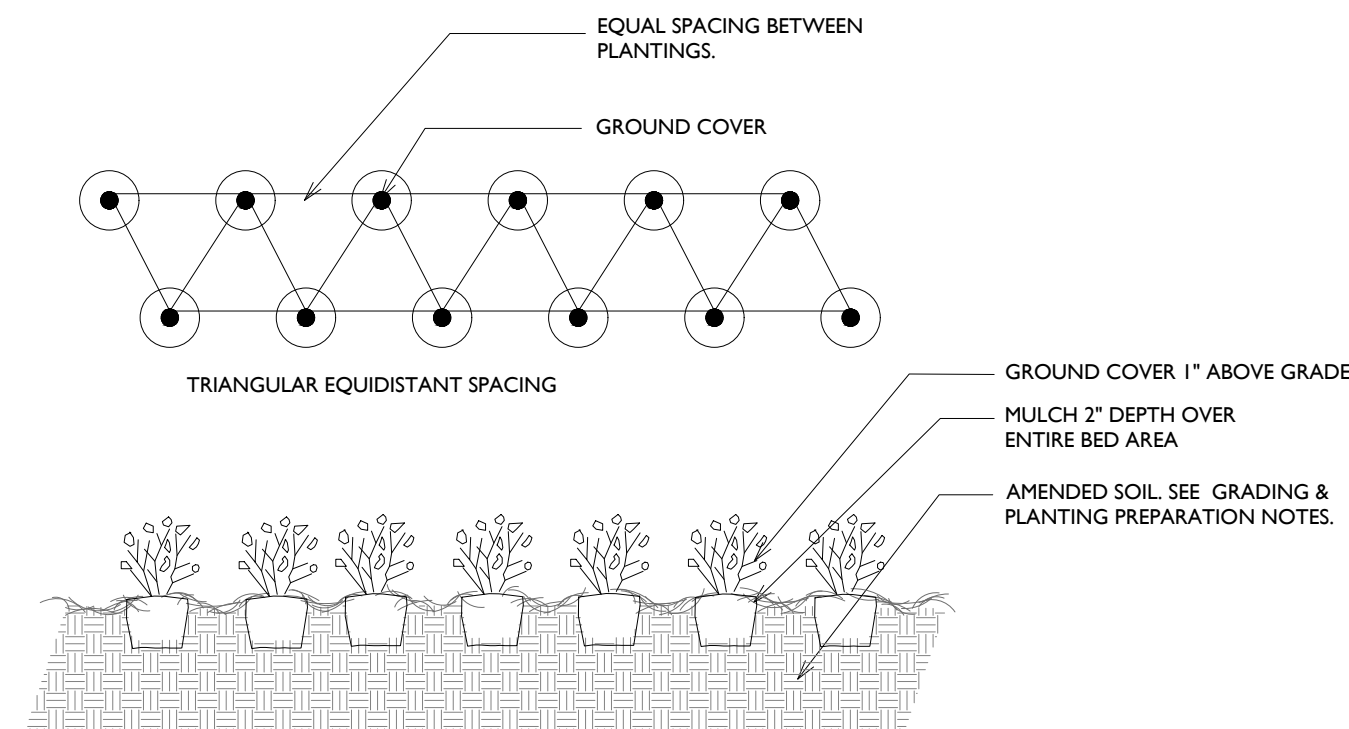
04 SHRUB & PERENNIAL BED PLANTING
N.T.S.



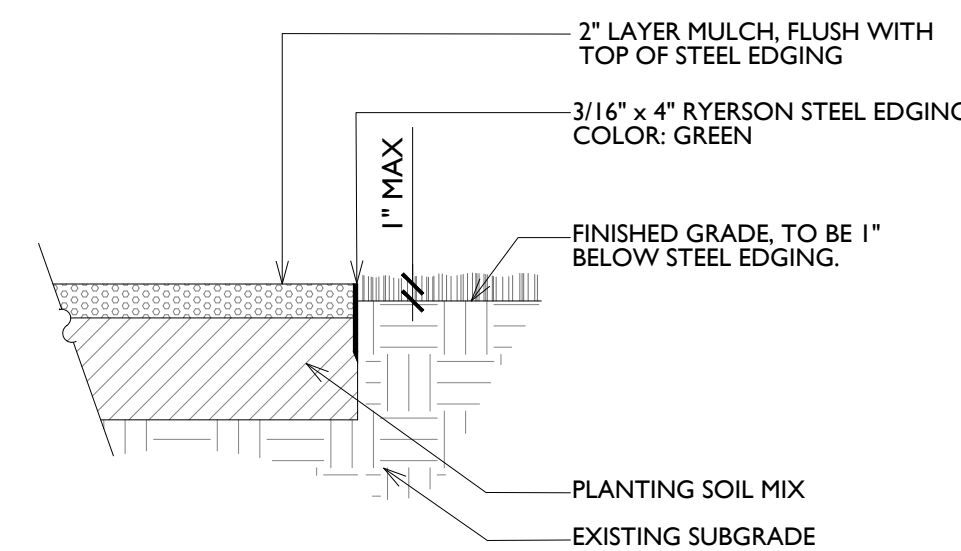
03 ORNAMENTAL TREE PLANTING
N.T.S.



02 CANOPY TREE PLANTING
N.T.S.



05 GROUNDCOVER PLANTING
N.T.S.



01 STEEL EDGE
N.T.S.



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PLANTING SHEDULE

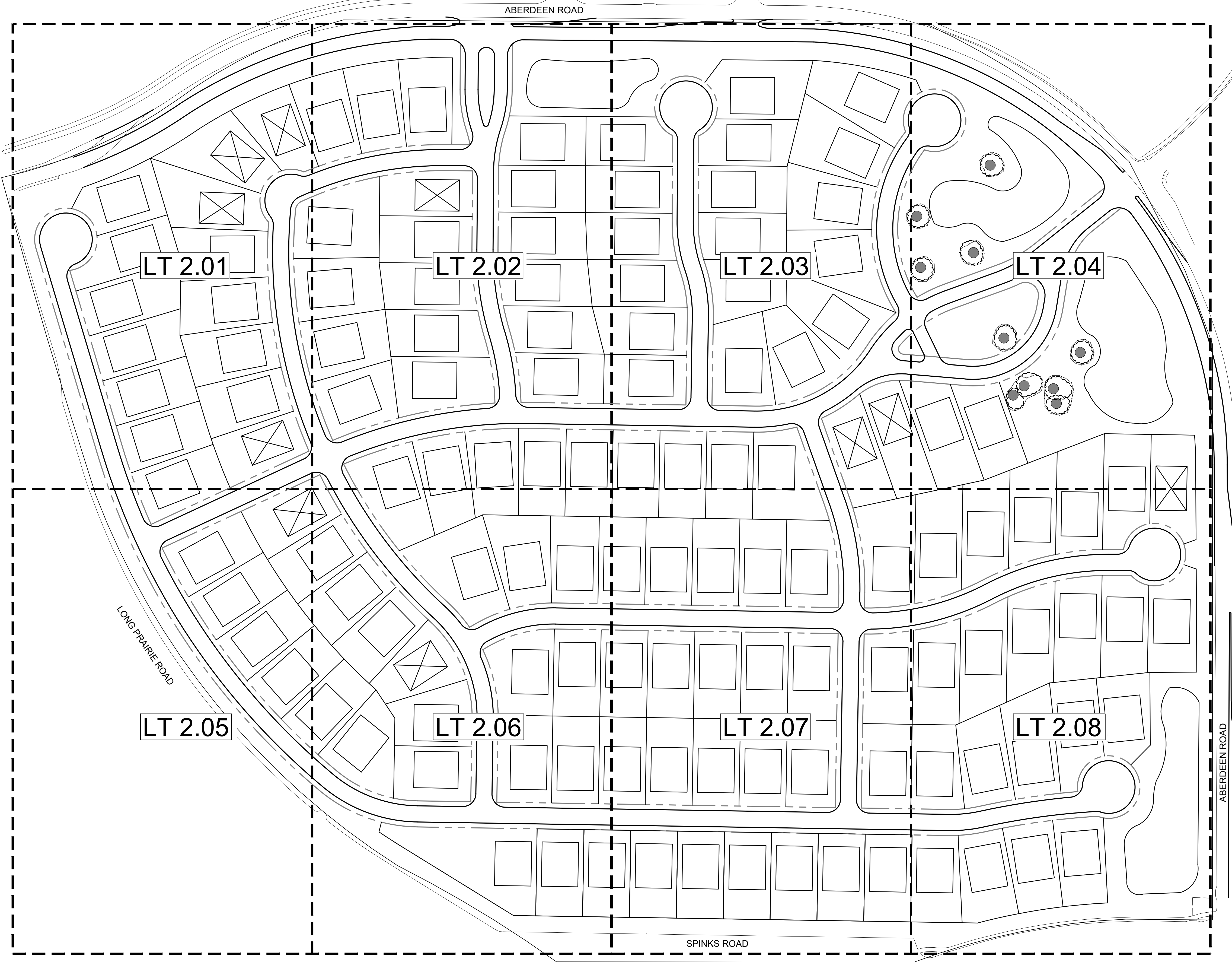
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MITIGATION TREES							
PE	Carya illinoensis/ Native Pecan		3"				Full & Matched, Straight Central Leader
BO	Quercus marcoparpa / Bur Oak		3"				Full & Matched, Straight Central Leader
WO	Quercus nigra / Water Oak		3"				Full & Matched, Straight Central Leader
SO	Quercus shumardi / Shumard Oak		3"				Full & Matched, Straight Central Leader
PO	Quercus stellata / Post Oak		3"				Full & Matched, Straight Central Leader
TRO	Quercus texana / Texas Red Oak		3"				Full & Matched, Straight Central Leader
WE	Ulmus alata / Winged Elm		3"				Full & Matched, Straight Central Leader
CE	Ulmus crassifolia / Cedar Elm		3"				Full & Matched, Straight Central Leader
SE	Ulmus rubra / Slippery Elm		3"				Full & Matched, Straight Central Leader
TOTAL:	56						
LANDSCAPE BUFFER TREES							
PEC	Carya illinoensis/ Native Pecan		3"				Full & Matched, Straight Central Leader
BC	Taxodium distichum / Bald Cypress		3"				Full & Matched, Straight Central Leader
JE	Juniperus virginiana/ Eastern Red Cedar		3"				Full & Matched, Straight Central Leader
EO	Quercus fusiformis / Escarpment Live Oak		3"				Full & Matched, Straight Central Leader
BO	Quercus marcoparpa / Bur Oak		3"				Full & Matched, Straight Central Leader
CO	Quercus muehlenbergii/ Chinquapin Oak		3"				Full & Matched, Straight Central Leader
WO	Quercus nigra / Water Oak		3"				Full & Matched, Straight Central Leader
MO	Quercus polymorpha/ Monterrey Oak		3"				Full & Matched, Straight Central Leader
SO	Quercus shumardi / Shumard Oak		3"				Full & Matched, Straight Central Leader
TRO	Quercus texana / Texas Red Oak		3"				Full & Matched, Straight Central Leader
LO	Quercus Virginiana/ Live Oak		3"				Full & Matched, Straight Central Leader
WI	Ulmus alata / Winged Elm		3"				Full & Matched, Straight Central Leader
AE	Ulmus americana / American Elm		3"				Full & Matched, Straight Central Leader
CE	Ulmus crassifolia / Cedar Elm		3"				Full & Matched, Straight Central Leader
LE	Ulmus paviolia / Lacebark Elm		3"				Full & Matched, Straight Central Leader
RB-TX	Cercis canadensis var. texensis 'Oklahoma'/ Texas Redbud 'Oklahoma'	45 gal		8'	5'-6'		MULTI, 5 CANES MIN. .5" CAL MIN. PER CANE
ID	Ilex decidua / Possum Haw	45 gal					
TH	Ilex vomitoria / Yaupon Holly	45 gal					
CM	Lagerstroemia indica / Crepe Myrtle	45 gal	see comments	10'	6'-7'		Multi-trunk, 3-5 canes min., 1.75"-2" cal. Ea, cane min., Matched
WM	Myrica cerifera / Wax Myrtle	45 gal					
PL	Prunus spp. / Plum	45 gal					
TOTAL:	237						
SHADE TREES							
PEC	Carya illinoensis/ Native Pecan		3"				Full & Matched, Straight Central Leader
BC	Taxodium distichum / Bald Cypress		3"				Full & Matched, Straight Central Leader
JE	Juniperus virginiana/ Eastern Red Cedar		3"				Full & Matched, Straight Central Leader
SYC	Platanus x acerifolia 'Morton Circle'/ Sycamore 'Exclamation Planetree'		3"				Full & Matched, Straight Central Leader
CW	Populus deltoides 'Siouxland'/ Cottonless Cottonwood		3"				Full & Matched, Straight Central Leader
CAN	Quercus canbyii/ Canby Oak		3"				Full & Matched, Straight Central Leader
EO	Quercus fusiformis / Escarpment Live Oak		3"				Full & Matched, Straight Central Leader
LAO	Quercus laceyi/ Lacey Oak		3"				Full & Matched, Straight Central Leader
BO	Quercus marcoparpa / Bur Oak		3"				Full & Matched, Straight Central Leader
CO	Quercus muehlenbergii/ Chinquapin Oak		3"				Full & Matched, Straight Central Leader
WO	Quercus nigra / Water Oak		3"				Full & Matched, Straight Central Leader
MO	Quercus polymorpha/ Monterrey Oak		3"				Full & Matched, Straight Central Leader
SO	Quercus shumardi / Shumard Oak		3"				Full & Matched, Straight Central Leader
TRO	Quercus texana / Texas Red Oak		3"				Full & Matched, Straight Central Leader
LO	Quercus Virginiana/ Live Oak		3"				Full & Matched, Straight Central Leader
MC	Taxodium mucronatum / Montezuma Cypress		3"				Full & Matched, Straight Central Leader
WI	Ulmus alata / Winged Elm		3"				Full & Matched, Straight Central Leader
AE	Ulmus americana / American Elm		3"				Full & Matched, Straight Central Leader
CE	Ulmus crassifolia / Cedar Elm		3"				Full & Matched, Straight Central Leader
LE	Ulmus paviolia / Lacebark Elm		3"				Full & Matched, Straight Central Leader
TOTAL:	45						
ORNAMENTAL TREES							
RB-TX	Cercis canadensis var. texensis 'Oklahoma'/ Texas Redbud 'Oklahoma'	45 gal		8'	5'-6'		MULTI, 5 CANES MIN. .5" CAL MIN. PER CANE
EH	Ilex x attenuata 'Eagleston' / Eagleston Holly	45 gal	3"	9'	5'		full to ground, full, matched
ID	Ilex decidua / Possum Haw	45 gal					
CM-N	Lagerstroemia fauriei 'Natchez' / Natchez Grape Myrtle	45 gal	see comments	10'	6'-7'		Multi-trunk, 3-5 canes min., 1.75"-2" cal. Ea, cane min., Matched

NOTE: All landscape buffer trees, and mitigation trees to be selected from the approved Town of Flower Mound tree list.

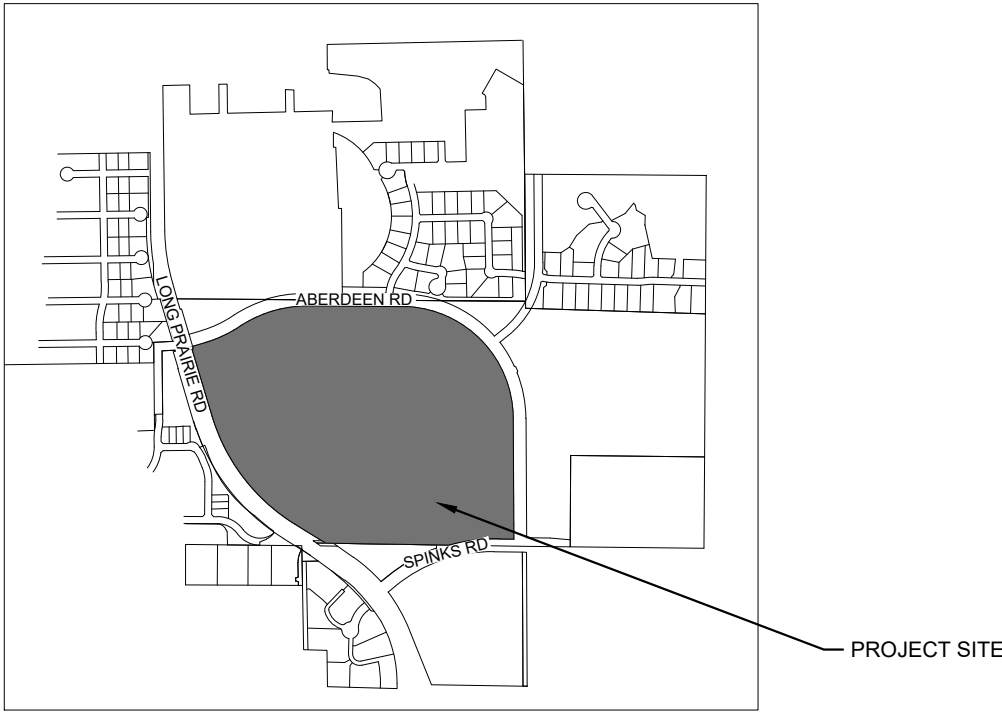
All proposed landscape areas to be fully irrigated

PLOTTED BY: ROBERTS, MARIE 8/30/2021 1:15 PM
DRAWN BY: KJFR CIVIL 08/25/2021 1:15 PM
LAST SAVED: 8/30/2021 1:14 PM

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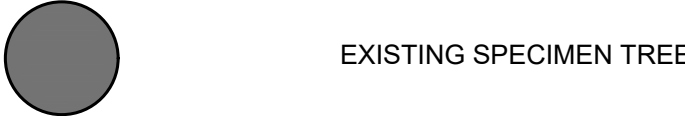
VICINITY MAP



TREE MITIGATION

TOTAL NUMBER OF PROTECTED TREES ON SITE: 285 TREES (10 SPECIMEN TREES)
TOTAL NUMBER OF PROTECTED TREES REMOVED: 213 TREES
(205 healthy trees, 8 declining/ hazardous trees)
CREDITS FOR PROTECTED TREES TO REMAIN: 133 CREDITS
TOTAL MITIGATION REQUIRED: 205 HEALTHY TREES - 133 CREDITS = (72) 2.5" - 3" CAL. TREES

LEGEND



TREES 6-INCHES AND GREATER AT THE HEIGHT SPECIFIED IN THE TOWN OF FLOWER MOUND ORDINANCE WERE TAGGED.

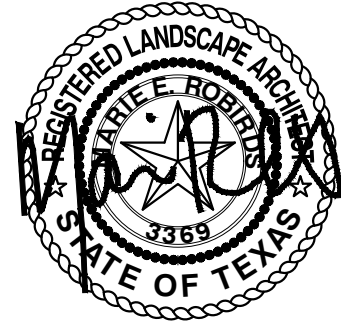
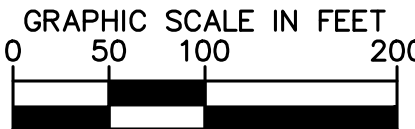
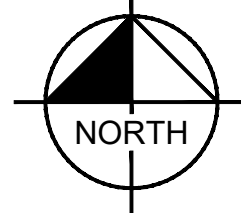
NOTE:
ALL TREES SHOWN TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. NO VEHICULAR PARKING, STORAGE OF MATERIALS OR EQUIPMENT, CLEARING OF EQUIPMENT, EQUIPMENT WASH OUT OR ANY OTHER ACTION WHICH MAY CAUSE AN ADVERSE AFFECT ON EXISTING OR FUTURE PLANTING IS TO OCCUR IN OR AROUND TREES IN LANDSCAPE AREA WHICH MAY BE AFFECTED.

NOTE:
ALL DECLINING/HAZARDOUS TREES ARE TO BE REMOVED. CONTRACTOR TO REVIEW TREES WITH ARBORIST PRIOR TO REMOVAL.

NOTE:
NO WORK MAY BEGIN UNTIL THE REQUIRED TREE PROTECTION IS INSTALLED AND INSPECTED BY THE TOWN'S ENVIRONMENTAL SERVICES DEPARTMENT.

NOTE:
ALL TREE CANOPY AREAS SHOWN ARE APPROXIMATE AND ARE BASED ON THE BEST INFORMATION POSSIBLE AVAILABLE.

NOTE:
NO PROTECTED OR SPECIMEN TREES ARE LOCATED WITHIN 20' OF THE PROPOSED BORING LOCATIONS OR ACCESS PATH.



8/30/2021

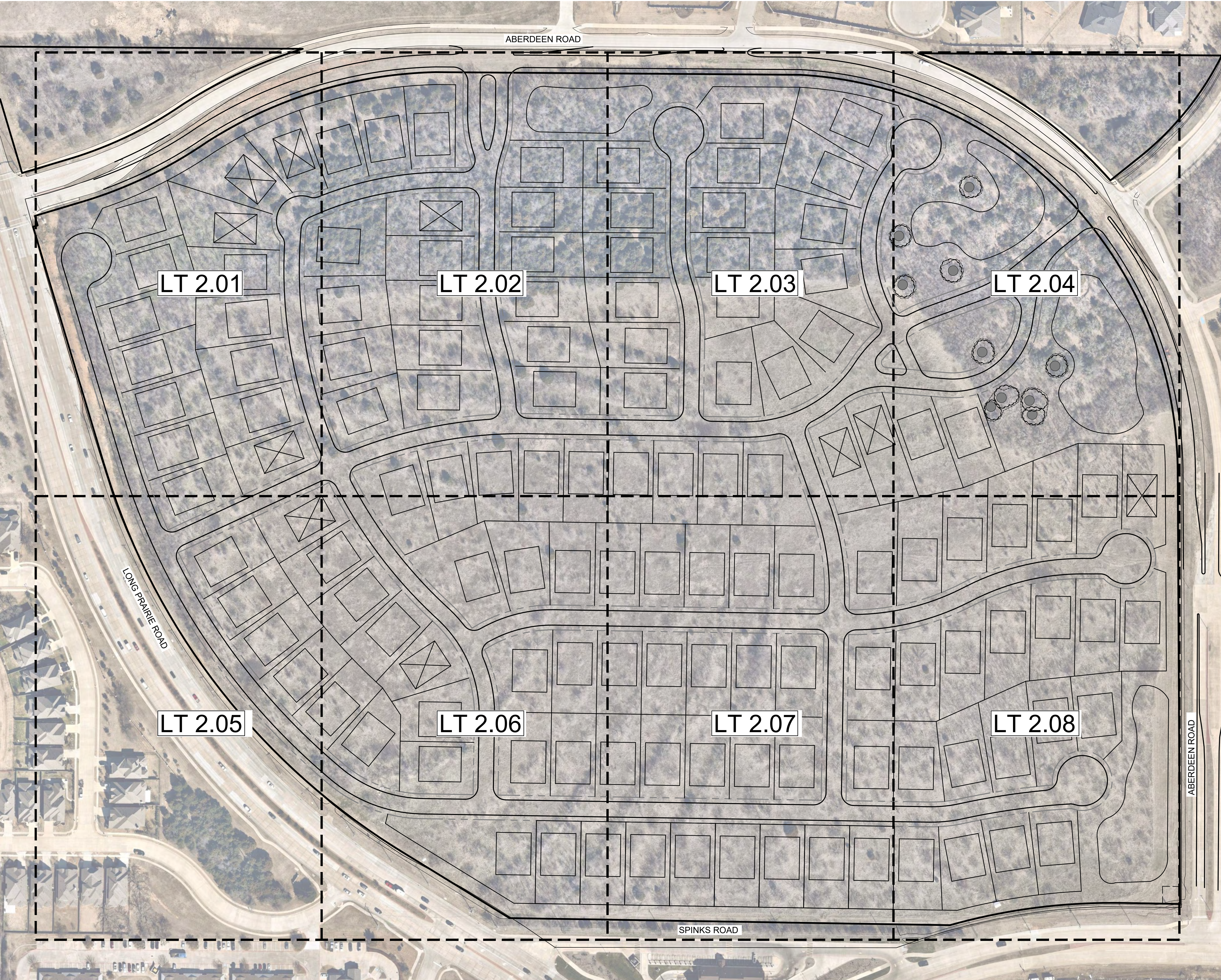
TREE SURVEY & TREE PRESERVATION PLAN
FOR
LISD SPINKS ROAD
132 RESIDENTIAL LOTS / 4 OPEN SPACES
BEING 74.376 ACRES
OUT OF THE
JOHN WHITE SURVEY, ABSTRACT NO. 1341
IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

OWNER: Lewisville Independent School District 1665 W. Main Street Lewisville, Texas 75067 Tel: (469) 713-5200		DEVELOPER: Toll Brothers Inc. 2555 SW Grapevine Pkwy Grapevine, TX 76051 Tel: (817) 329-7973 Contact: Mike Boswell		LANDSCAPE ARCHITECT: Kimley»Horn 6160 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Marie Robirds, PLA	
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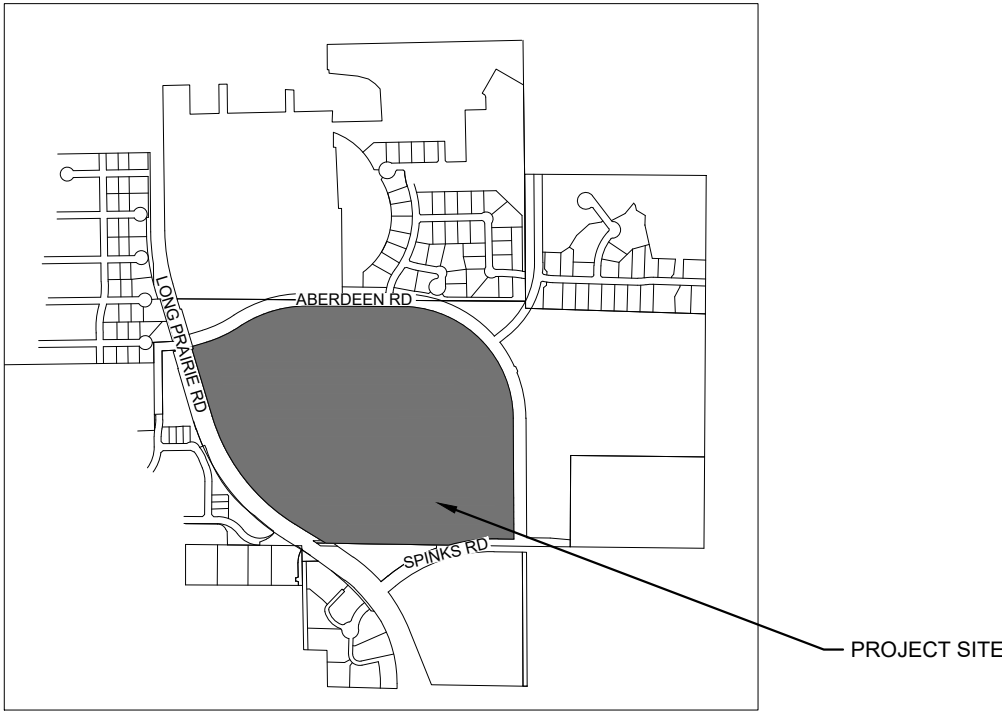
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MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

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DRAWN BY: KJH, 8/30/2021 1:15 PM
LAST SAVED: 8/30/2021 1:15 PM

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VICINITY MAP



TREE MITIGATION

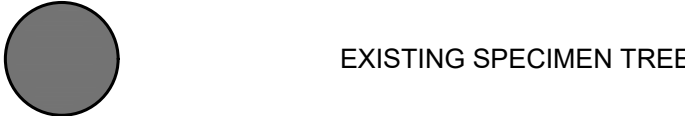
TOTAL NUMBER OF PROTECTED TREES ON SITE: 285 TREES (10 SPECIMEN TREES)

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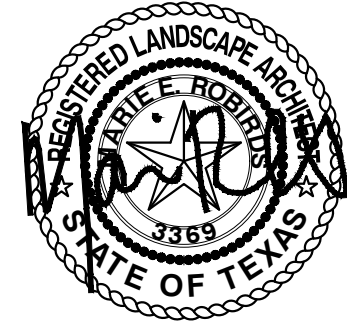
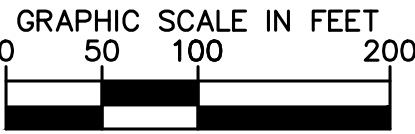
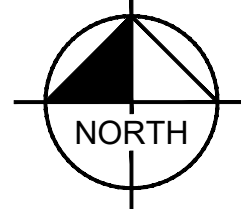
NOTE:
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8/30/2021

TREE SURVEY & TREE PRESERVATION PLAN
FOR
LISD SPINKS ROAD

132 RESIDENTIAL LOTS / 4 OPEN SPACES
BEING 74.376 ACRES

OUT OF THE
JOHN WHITE SURVEY, ABSTRACT NO. 1341

IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

OWNER:
Lewisville Independent School District
1665 W. Main Street
Lewisville, Texas 75067
Tel: (469) 713-5200

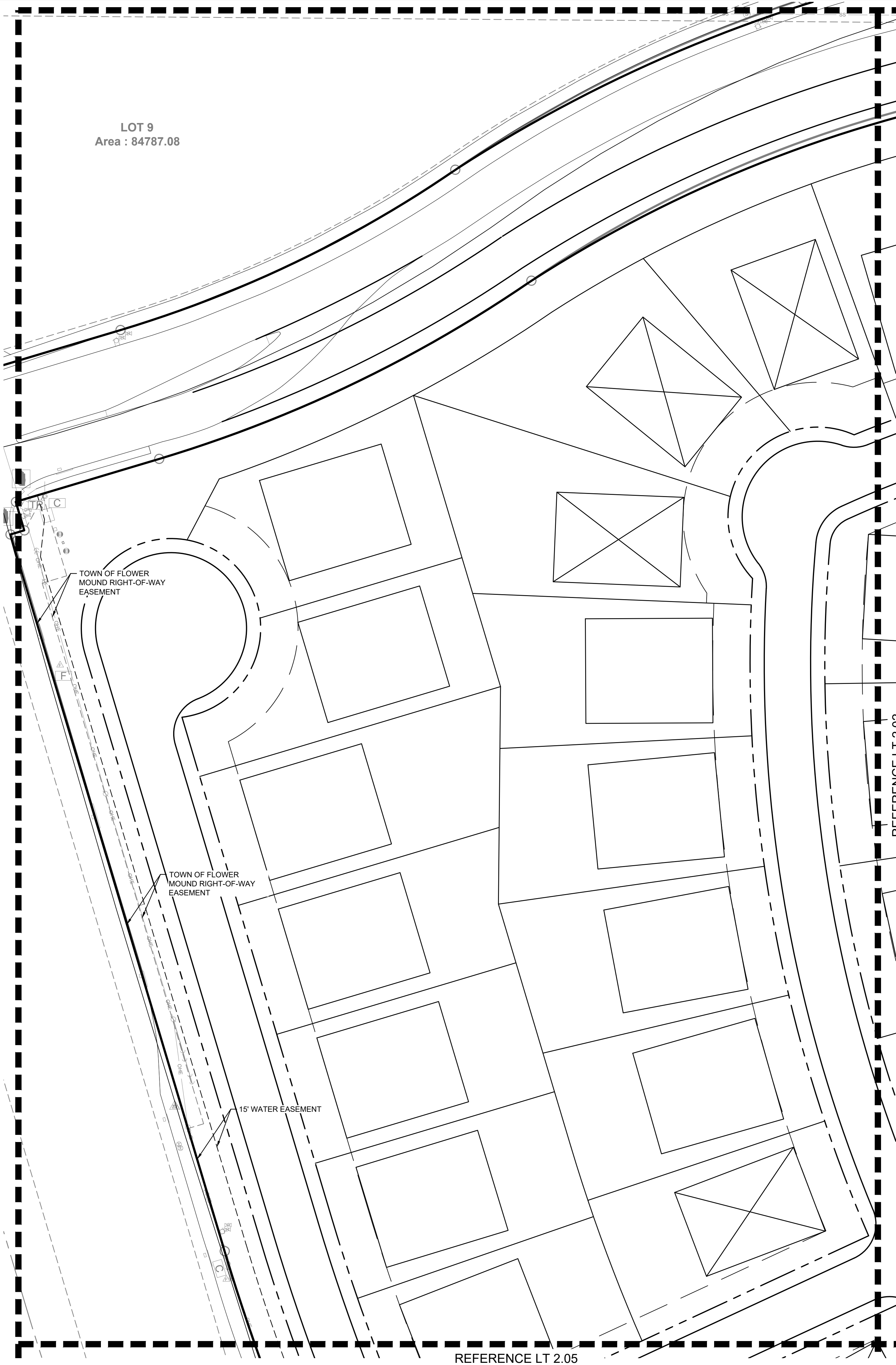
DEVELOPER:
Toll Brothers Inc.
2555 SW Grapevine Pkwy
Grapevine, TX 76051
Tel: (817) 329-7973
Contact: Mike Boswell

LANDSCAPE ARCHITECT:
Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, TX 75034
Tel: (972) 335-3580
Contact: Marie Robirds, PLA

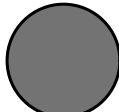
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MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

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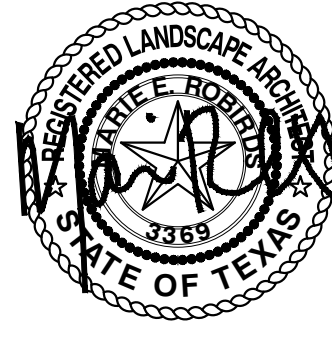
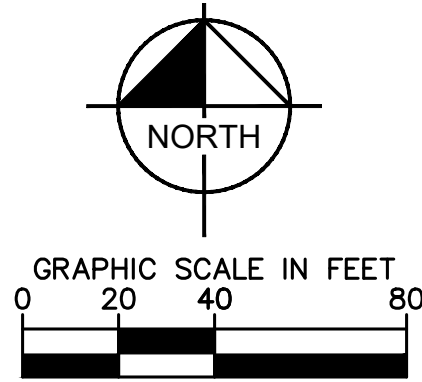
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LEGEND

TREE TO REMAIN

TREE TO BE REMOVED



TREE PRESERVATION ENLARGEMENT
FOR
LISD SPINKS ROAD
132 RESIDENTIAL LOTS / 4 OPEN SPACES
BEING 74.376 ACRES
OUT OF THE
JOHN WHITE SURVEY, ABSTRACT NO. 1341
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Lewisville, Texas 75067
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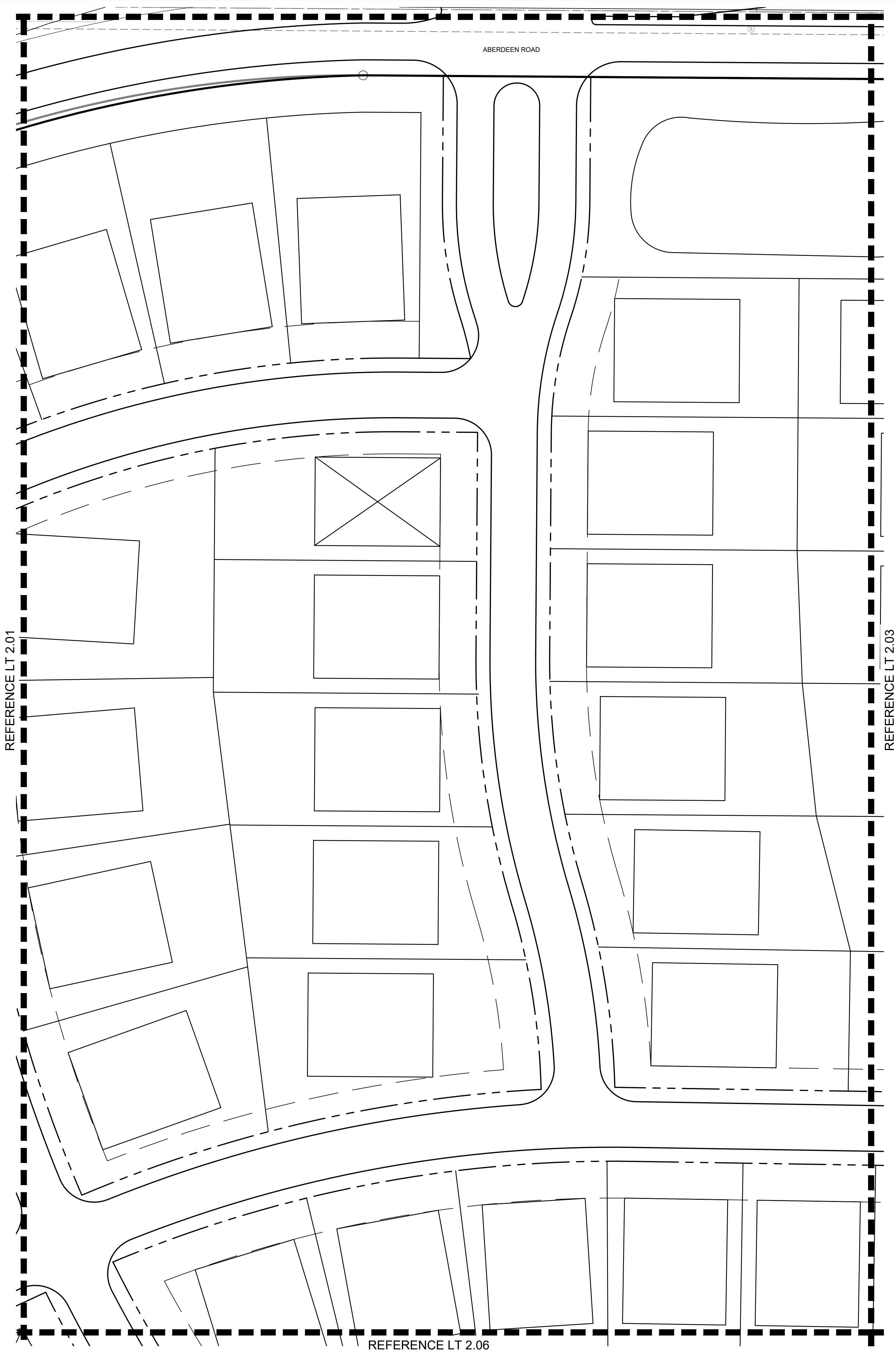
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Tel: (972) 335-3580
Contact: Marie Robirds, PLA

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LT 2.01
MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

PLOTTED BY: ROBERTS, MARIE 8/30/2021 1:26 PM
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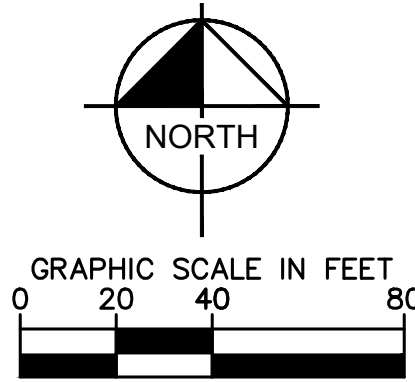
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LEGEND

TREE TO REMAIN

TREE TO BE REMOVED



TREE PRESERVATION ENLARGEMENT

FOR

LISD SPINKS ROAD

132 RESIDENTIAL LOTS / 4 OPEN SPACES

BEING 74.376 ACRES

OUT OF THE

JOHN WHITE SURVEY, ABSTRACT NO. 1341

IN THE

TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

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Lewisville, Texas 75067
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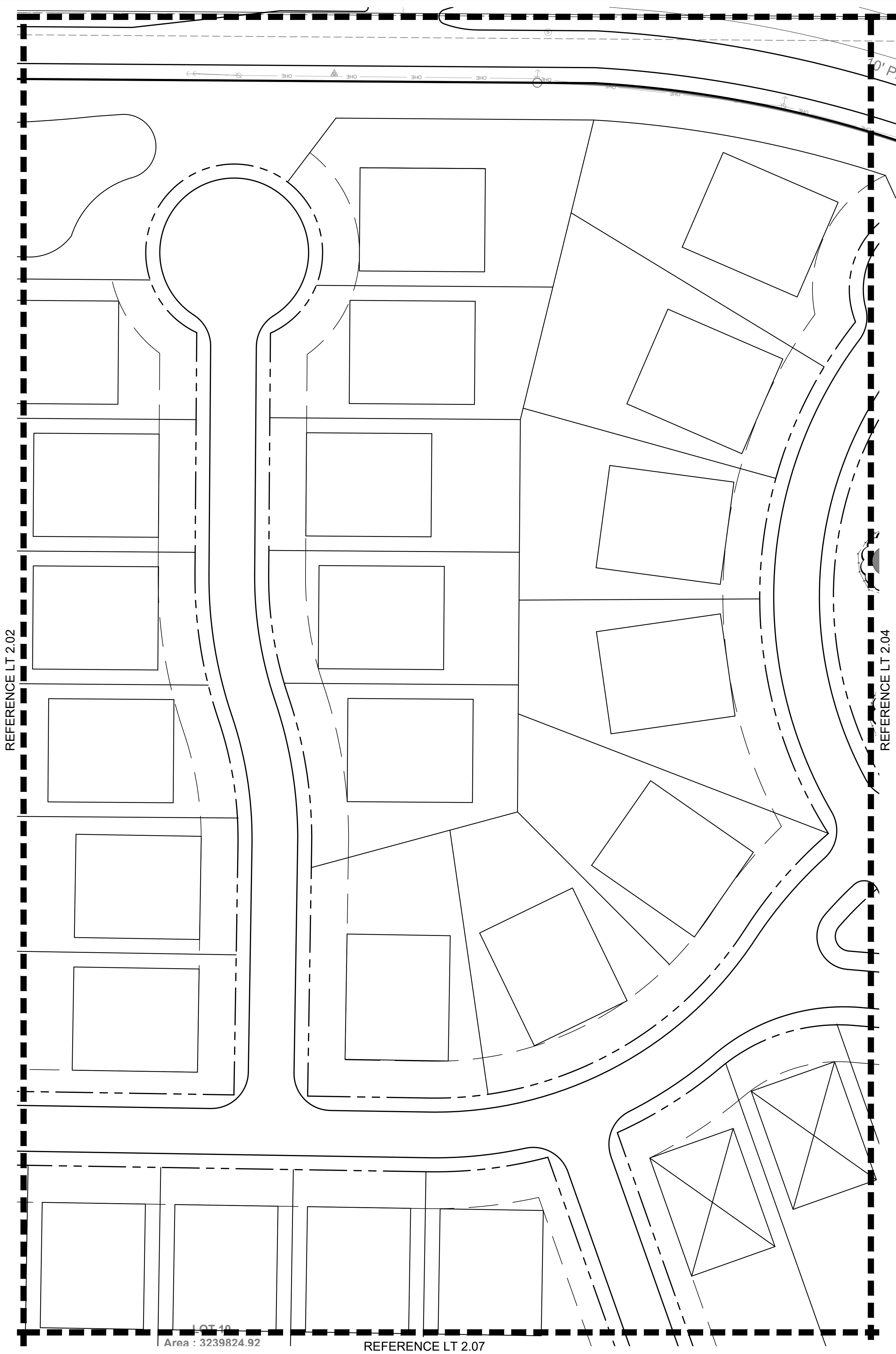
LANDSCAPE ARCHITECT:

Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, TX 75034
Tel: (972) 335-3580
Contact: Marie Robirds, PLA

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LT 2.02
MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

PLOTTED BY: ROBERTA MARIE SOWEN 1:26 PM
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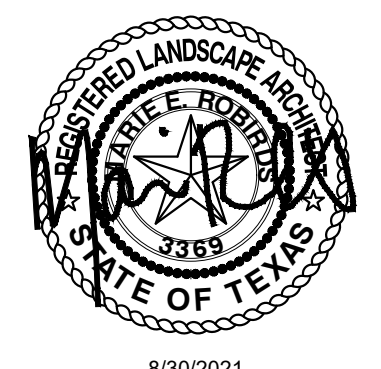
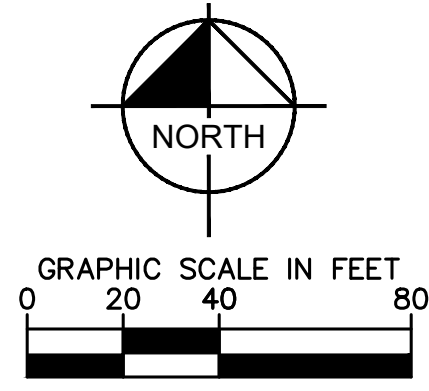
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LEGEND

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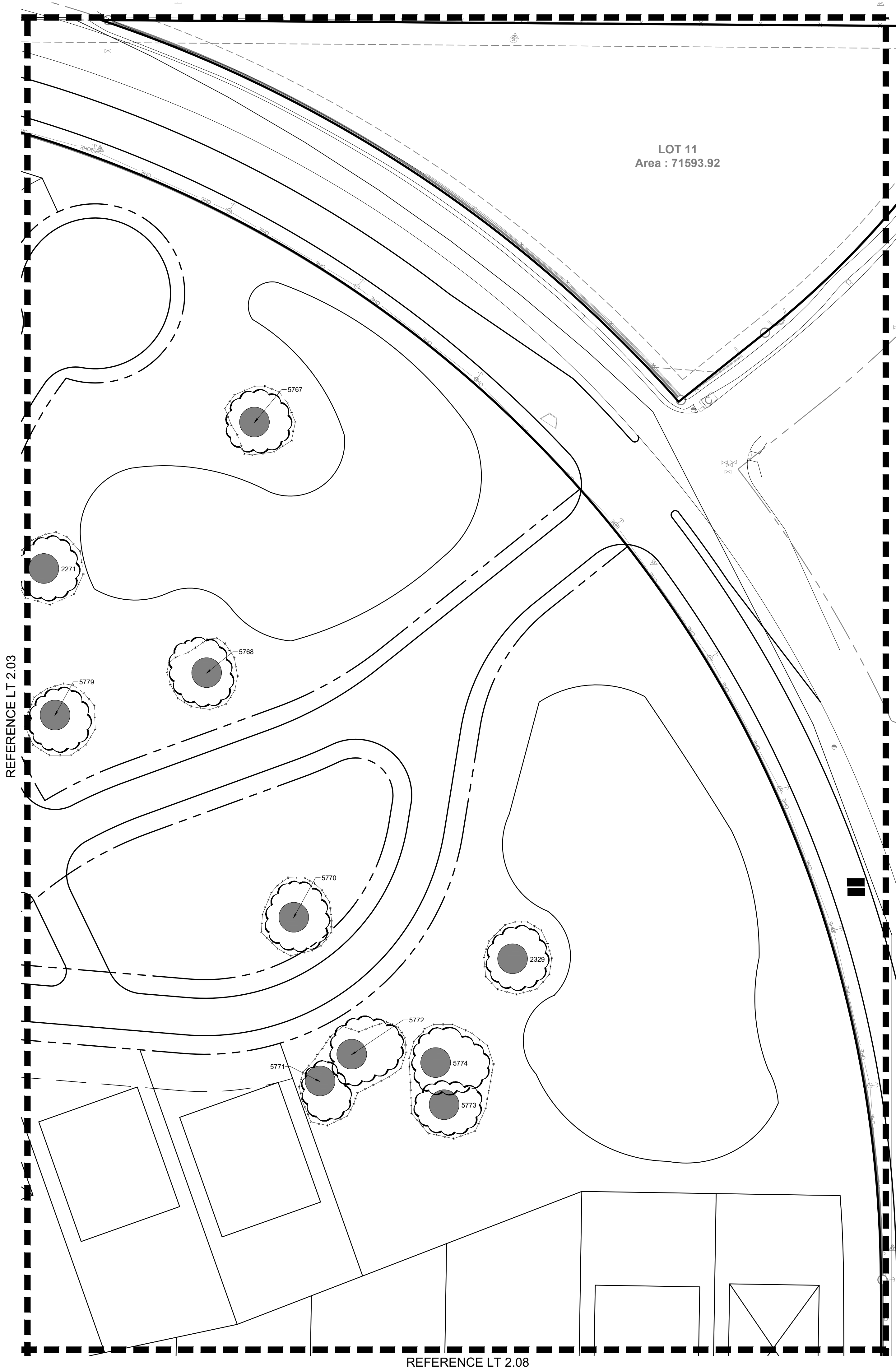
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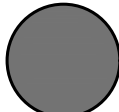
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MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

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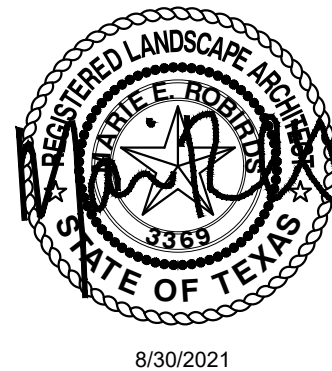
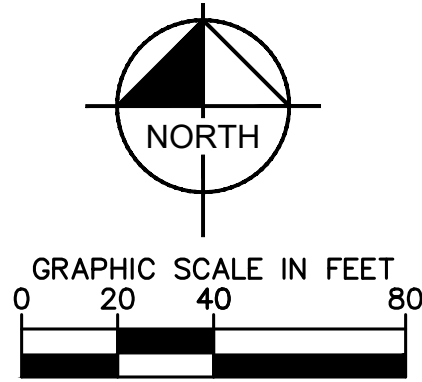
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LEGEND

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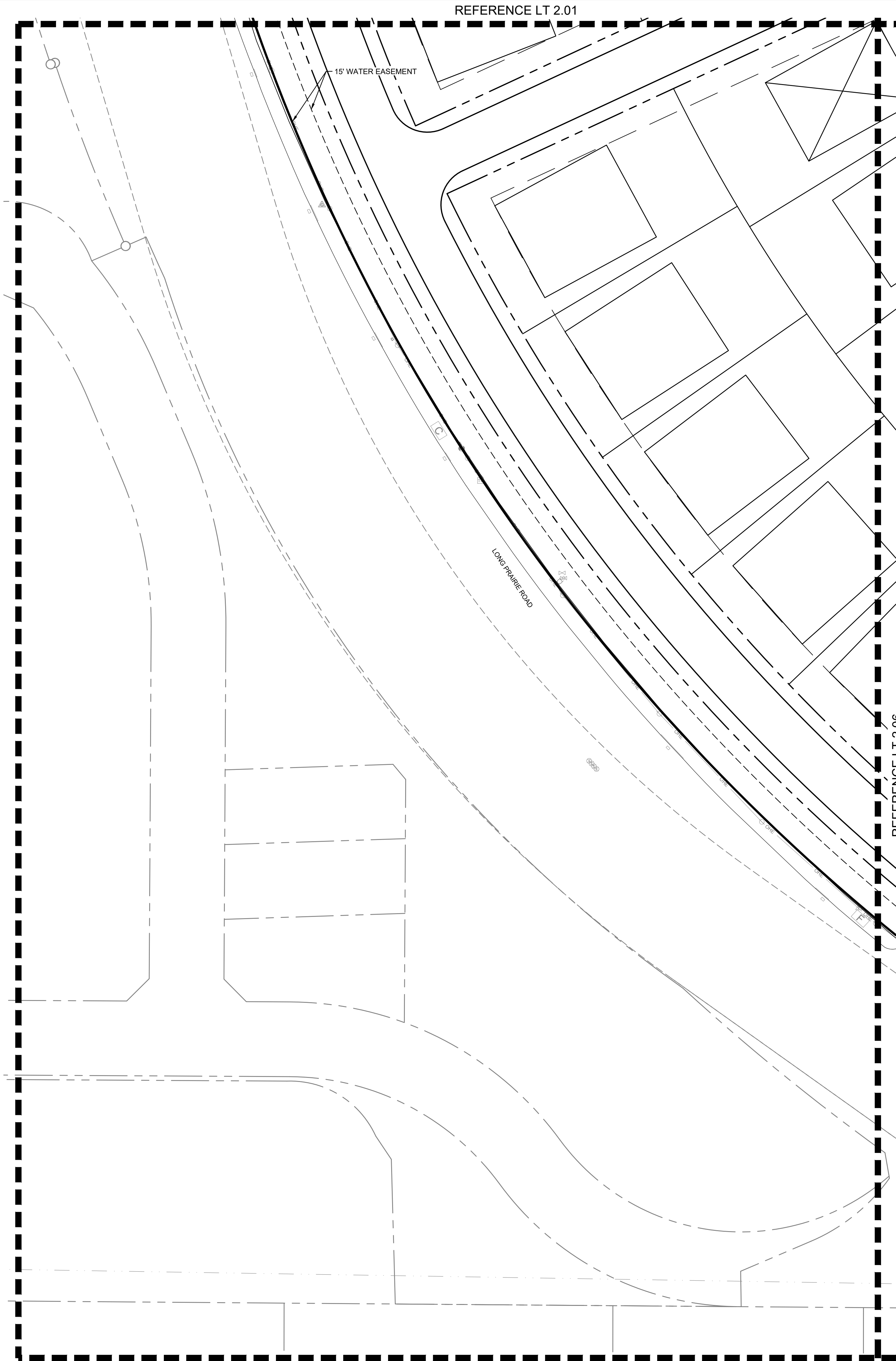
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DESIGNED MER	DRAWN MER	CHECKED MER	SCALE AS SHOWN	DATE 8/30/2021	KH PROJECT NO. PROJECT NUMBER	LT 2.04
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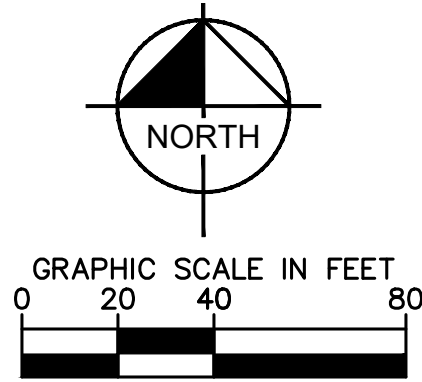
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LEGEND

TREE TO REMAIN

TREE TO BE REMOVED



8/30/2021

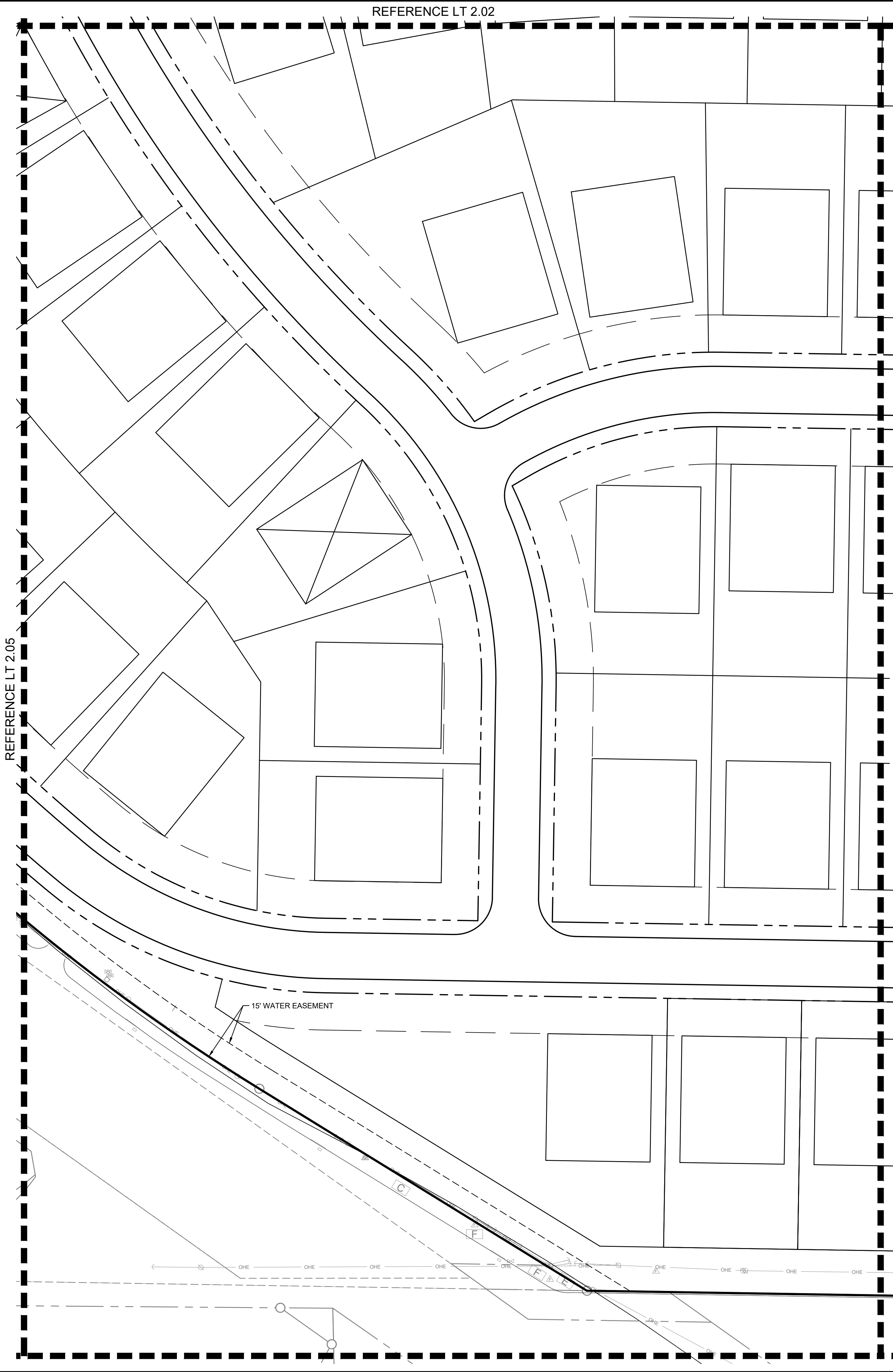
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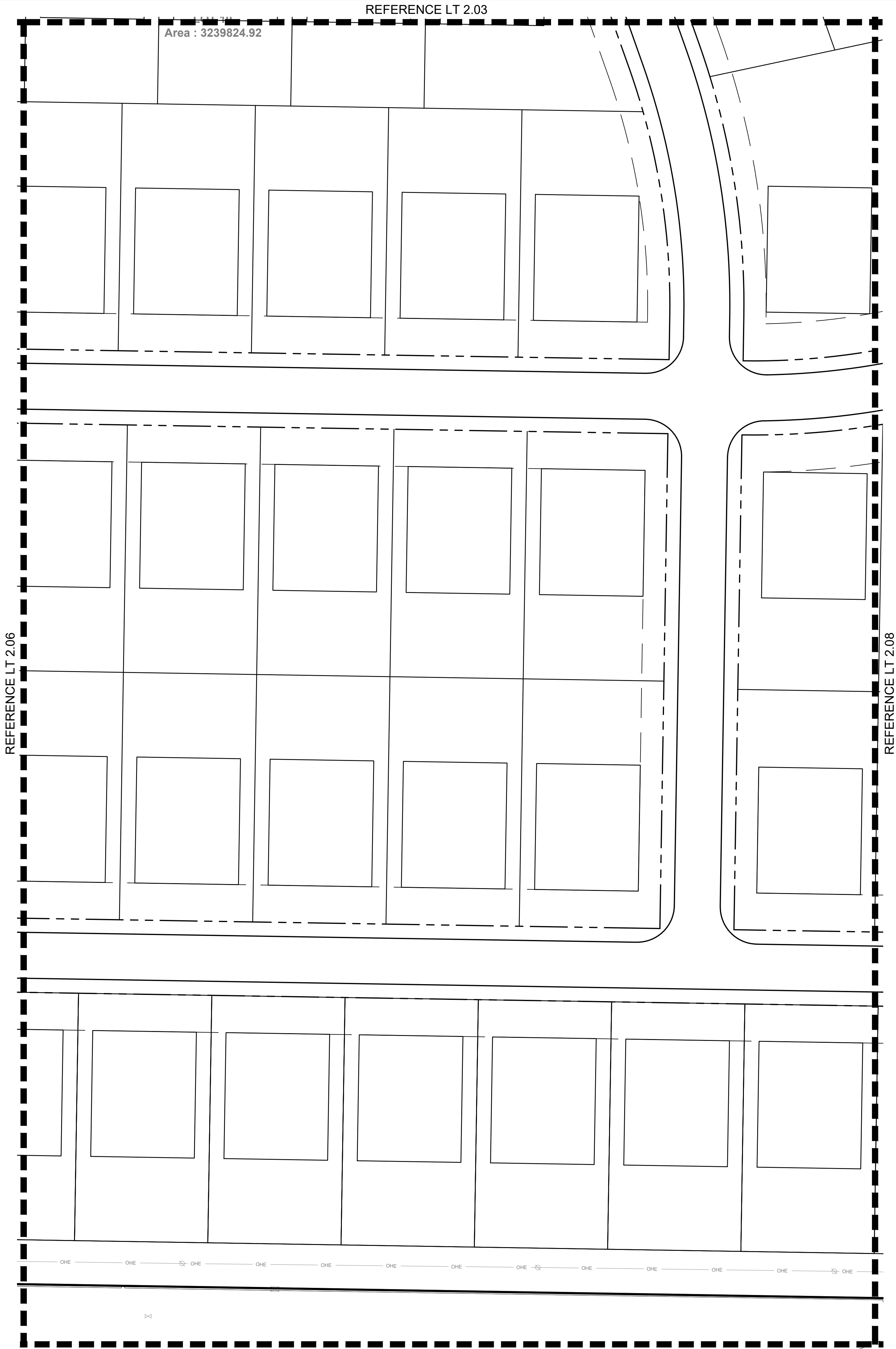
DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LT 2.05
MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	



LEGEND TREE TO REMAIN TREE TO BE REMOVED						
NORTH 8/30/2021 GRAPHIC SCALE IN FEET						
TREE PRESERVATION ENLARGEMENT FOR LISD SPINKS ROAD 132 RESIDENTIAL LOTS / 4 OPEN SPACES BEING 74.376 ACRES OUT OF THE JOHN WHITE SURVEY, ABSTRACT NO. 1341 IN THE TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS						
OWNER: Lewisville Independent School District 1565 W. Main Street Lewisville, Texas 75067 Tel: (469) 713-5200	DEVELOPER: Toll Brothers Inc. 2555 SW Grapevine Pkwy Grapevine, TX 76051 Tel: (817) 329-7973 Contact: Mike Boswell	LANDSCAPE ARCHITECT: Kimley»Horn 6160 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Marie Robirds, PLA				
DESIGNED MER	DRAWN MER	CHECKED MER	SCALE AS SHOWN	DATE 8/30/2021	KH PROJECT NO. PROJECT NUMBER	LT 2.06

PLOTTED BY: ROBERTS, MARIE 8/30/2021 1:26 PM
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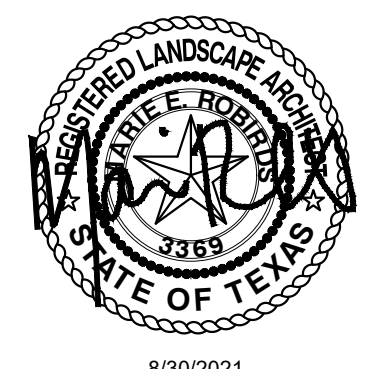
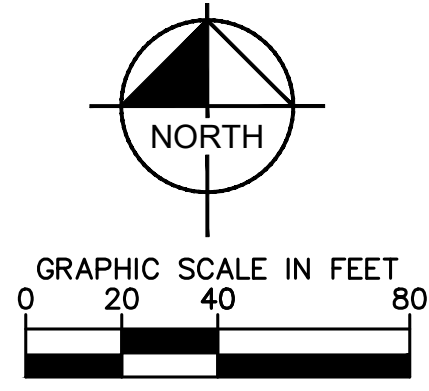
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LEGEND

TREE TO REMAIN

TREE TO BE REMOVED



TREE PRESERVATION ENLARGEMENT

FOR

LISD SPINKS ROAD

132 RESIDENTIAL LOTS / 4 OPEN SPACES

BEING 74.376 ACRES

OUT OF THE

JOHN WHITE SURVEY, ABSTRACT NO. 1341

IN THE

TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

OWNER:

Lewisville Independent School District

1665 W. Main Street

Lewisville, Texas 75067

Tel: (469) 713-5200

DEVELOPER:

Toil Brothers Inc.

2555 SW Grapevine Pkwy

Grapevine, TX 76051

Tel: (817) 329-7973

Contact: Mike Boswell

LANDSCAPE ARCHITECT:

Kimley»Horn

6160 Warren Parkway, Suite 210

Frisco, TX 75034

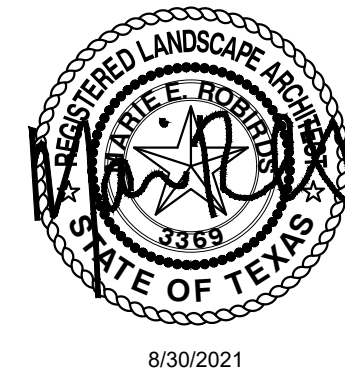
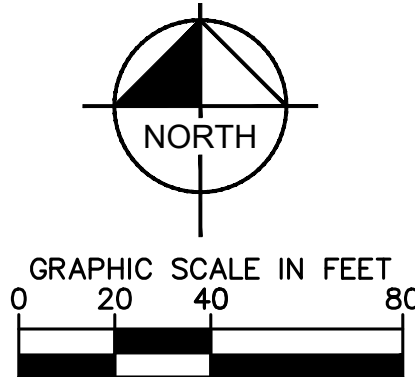
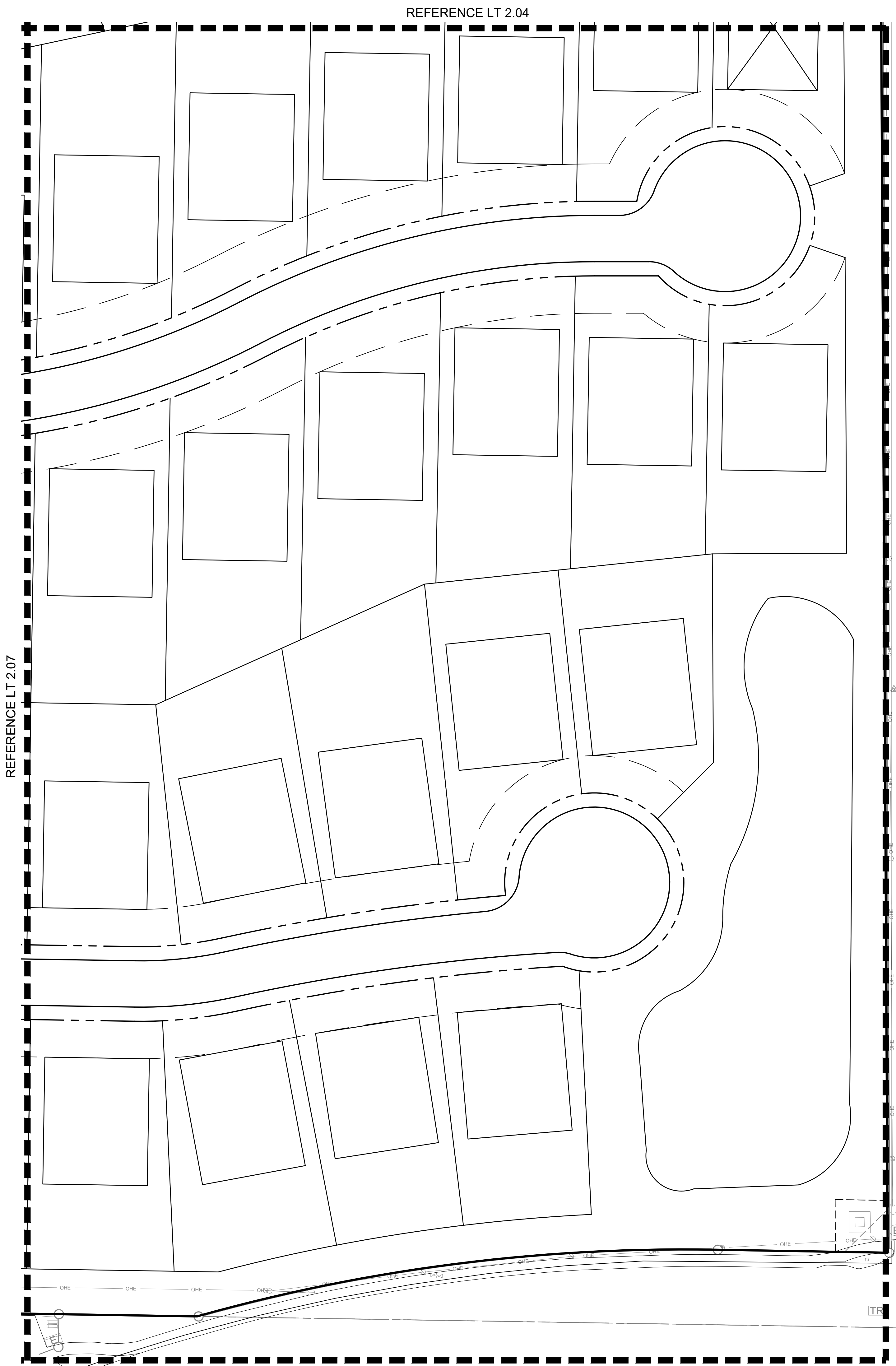
Tel: (972) 335-3580

Contact: Marie Robirds, PLA

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LT 2.07
MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

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TREE PRESERVATION ENLARGEMENT FOR LISD SPINKS ROAD 132 RESIDENTIAL LOTS / 4 OPEN SPACES BEING 74.376 ACRES OUT OF THE JOHN WHITE SURVEY, ABSTRACT NO. 1341 IN THE TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS					
OWNER: Lewisville Independent School District 1665 W. Main Street Lewisville, Texas 75067 Tel: (469) 713-5200		DEVELOPER: Toll Brothers Inc. 2555 SW Grapevine Pkwy Grapevine, TX 76051 Tel: (817) 329-7973 Contact: Mike Boswell		LANDSCAPE ARCHITECT: Kimley»Horn 6160 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Marie Robirds, PLA	
DESIGNED MER	DRAWN MER	CHECKED MER	SCALE AS SHOWN	DATE 8/30/2021	KH PROJECT NO. PROJECT NUMBER
					LT 2.08

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 DATE: 8/30/2021
 TIME: 1:47 PM
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TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT REQUIREMENT
TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT
1922	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1923	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1924	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
1925	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
1926	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1927	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1928	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1929	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1930	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
1931	11	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1932	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
1933	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1934	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1935	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1936	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1937	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1938	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1939	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1940	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1941	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1942	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
1943	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
1944	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1945	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1946	7	Callery pear	Pyrus calleryana	Healthy	Forked		NO	REMOVE		
1947	8	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
1948	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
1949	7	Callery pear	Pyrus calleryana	Healthy	Multi		NO	REMOVE		
1950	11	Callery pear	Pyrus calleryana	Healthy	Multi		NO	REMOVE		
Tag Numbers 1951 - 2213 were not used										
2214	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2215	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2216	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2217	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2218	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2219	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2220	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2221	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2222	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2223	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2224	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2225	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2226	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2227	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2228	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2229	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2230	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2231	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2232	9	mexican plum	Prunus mexicana	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2233	10	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2234	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2235	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2236	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2237	10	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2238	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2239	9	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2240	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2241	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2242	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2243	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2244	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2245	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2246	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2247	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2248	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2249	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2250	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2251	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2252	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2253	9	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2254	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2255	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2256	9	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2257	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2258	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2259	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2260	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2261	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2262	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2263	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2264	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2265	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2266	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2267	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2268	6	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2269	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2270	17	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2271	20	post oak	Quercus stellata	Healthy	Single	SPECIMEN	YES	REMAIN	4	
2272	12	post oak	Quercus stellata	Declining	Multi		NO	REMOVE		
2274	11	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2275	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	1	

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT REQUIREMENT
2276	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2277	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2278	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2279	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2280	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2281	19	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2282	20	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2283	13	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2284	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2285	7	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2286	14	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2287	13	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2288	19	post oak	Quercus stellata	Dedining	Multi		NO	REMOVE		
2289	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	1	
2290	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2291	10	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	1	
2292	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2293	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2294	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2295	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2296	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	1	
2297	8	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2298	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2299	10	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2300	11	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2301	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2302	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2303	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2304	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2305	16	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	3	
2306	11	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2307	14	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	3	
2308	13	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	3	
2309	10	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2310	12	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2311	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2312	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2313	11	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2314	13	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMOVE		
2315	6	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2316	22	post oak	Quercus stellata	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2317	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2318	18	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2319	16	post oak	Quercus stellata	Healthy	Multi		NO	REMOVE		
2320	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2321	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2322	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2323	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2324	11	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2325	10	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2326	11	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2327	20	post oak	Quercus stellata	Healthy	Multi		NO	REMOVE		
2328	18	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2329	23	post oak	Quercus stellata	Healthy	Multi	SPECIMEN	YES	REMAIN	6	
2330	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2331	19	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2332	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2333	12	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2334	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2335	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2336	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2337	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2338	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2339	8	cedar elm	Ulmus crassifolia	Healthy	Single	YES	REMAIN	1		
2340	17	post oak	Quercus stellata	Healthy	Single	NO	REMOVE			
2341	15	cedar elm	Ulmus crassifolia	Healthy	Single	YES	REMOVE			(1) 2.5" - 3" cal. tree
2342	21	post oak	Quercus stellata	Healthy	Multi	NO	REMOVE			
2343	12	post oak	Quercus stellata	Healthy	Single	NO	REMOVE			
2344	13	cedar elm	Ulmus crassifolia	Healthy	Single	YES	REMOVE			(1) 2.5" - 3" cal. tree
2345	19	post oak	Quercus stellata	Healthy	Multi	YES	REMOVE			(1) 2.5" - 3" cal. tree
2346	12	cedar elm	Ulmus crassifolia	Healthy	Single	YES	REMOVE			(1) 2.5" - 3" cal. tree
2347	14	post oak	Quercus stellata	Dedining	Single	NO	REMOVE			
2348	13	cedar elm	Ulmus crassifolia	Healthy	Multi	YES	REMAIN	3		
2349	18	post oak	Quercus stellata	Healthy	Single	NO	REMAIN			
2350	10	cedar elm	Ulmus crassifolia	Healthy	Single	NO	REMOVE			

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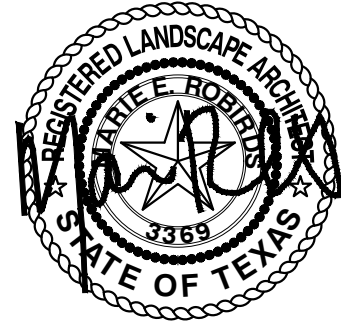
TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT REQUIREMENT
2351	16	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2352	16	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2353	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2354	12	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2355	13	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2356	18	cedar elm	Ulmus crassifolia	Healthy	Forked		NO	REMOVE		
2357	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2358	12	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2359	10	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2360	18	post oak	Quercus stellata	Healthy	Multi		NO	REMOVE		
2361	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2362	12	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2363	16	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2364	13	post oak	Quercus stellata	Healthy	Forked		NO	REMAIN		
2365	16	post oak	Quercus stellata	Hazard	Single		NO	REMOVE		
2366	13	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	3	
2367	12	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2368	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2369	14	cedar elm	Ulmus crassifolia	Declining	Single		YES	REMOVE		N/A - Declining Condition
2370	14	cedar elm	Ulmus crassifolia	Declining	Multi		YES	REMOVE		N/A - Declining Condition
2371	9	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2372	11	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2373	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2374	11	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2375	12	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2376	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2377	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2378	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2379	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2380	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2381	7	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2382	17	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2383	11	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2384	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2385	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2386	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2387	12	post oak	Quercus stellata	Healthy	Single		YES	REMAIN	1	
2388	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2389	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2390	11	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2391	12	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2392	14	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2393	13	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	3	
2394	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2395	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2396	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2397	16	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	3	
2398	15	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMAIN	3	
2399	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2400	13	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2401	13	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2402	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2403	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2404	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2405	11	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2406	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2407	14	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2408	14	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2409	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2410	12	post oak	Quercus stellata	Healthy	Single		YES	REMAIN	1	
2411	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2412	13	post oak	Quercus stellata	Declining	Single		YES	REMOVE		N/A - Declining Condition
2413	13	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2414	14	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2415	13	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2416	7	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2417	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2418	13	post oak	Quercus stellata	Healthy	Single		YES	REMAIN	3	
2419	12	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2420	18	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2421	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2422	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2423	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2424	19	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2425	9	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2426	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2427	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2428	19	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2429	12	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2430	21	post oak	Quercus stellata	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2431	15	post oak	Quercus stellata	Healthy	Single		YES	REMAIN	3	
2432	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2433	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2434	7	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2435	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2436	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2437	18	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2438	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2439	14	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2440	19	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT REQUIREMENT
2441	15	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2442	14	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMOVE		
2443	6	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMAIN		
2444	7	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMAIN		
2445	6	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMAIN		
2446	15	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2447	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2448	19	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2449	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2450	14	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2451	15	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2452	17	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	3	
2453	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2454	17	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMAIN		
2455	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2456	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2457	11	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2458	9	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2459	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2460	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2461	20	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2462	20	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2463	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2464	11	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2465	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2466	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2467	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2468	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2469	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2470	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2471	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2472	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2473	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2474	20	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2475	8	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2476	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2477	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2478	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2479	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2480	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2481	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2482	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2483	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2484	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2485	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2486	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2487	18	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2488	9	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2489	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2490	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2491	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2492	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMAIN	1	
2493	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2494	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2495	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2496	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2497	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2498	21	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2499	10	cedar elm	Ulmus crassifolia	Healthy	Single		NO	REMOVE		
2500	12	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2501	17	post oak	Quercus stellata	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2502	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2503A	11	post oak	Quercus stellata	Healthy	Forked		YES	REMAIN	1	
2503B	11	post oak	Quercus stellata	Healthy	Forked		YES	REMAIN	1	
2504	18	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2505	19	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2506	14	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2507	13	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2508	20	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2509	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMAIN	1	
2510	16	post oak	Quercus stellata	Healthy	Single		NO	REMAIN		
2511	10	cedar elm	Ulmus crassifolia	Declining	Single		YES	REMOVE		N/A - Declining Condition
2512	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2513	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2514	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2515	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2516	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2517	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2518	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2519	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2520	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree

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TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	DISPOSITION	TRUNK TYPE	STATUS	PROTECTED	REMOVE/ REMAIN	CREDIT	REPLACEMENT REQUIREMENT
2521	7	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2522	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2523	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2524	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2525	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2526	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2527	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2528	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2529	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2531	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2532	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2533	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2534	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2535	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2536	8	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2538	8	green ash	Fraxinus pennsylvanica	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2539	6	green ash	Fraxinus pennsylvanica	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2540	17	post oak	Quercus stellata	Healthy	Single		NO	REMOVE		
2541	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2542	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2543	15	post oak	Quercus stellata	Declining	Single		NO	REMOVE		
2544	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2545	10	green ash	Fraxinus pennsylvanica	Healthy	Single		NO	REMOVE		
2546	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2547	7	green ash	Fraxinus pennsylvanica	Healthy	Single		NO	REMOVE		
2548	11	gum bumelia	Sideroxylon lanuginosum	Healthy	Multi		NO	REMOVE		
2549	9	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2550	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2551	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2552	8	mexican plum	Prunus mexicana	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2553	7	gum bumelia	Sideroxylon lanuginosum	Healthy	Multi		NO	REMOVE		
2554	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2555	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2556	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2557	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2558	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2559	6	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2560	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2561	8	cedar elm	Ulmus crassifolia	Healthy	Multi		YES	REMOVE		(1) 2.5" - 3" cal. tree
2562	8	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2563	6	pecan	Carya illinoensis	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2564	9	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2565	6	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2566	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2567	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2568	6	gum bumelia	Sideroxylon lanuginosum	Healthy	Multi		NO	REMOVE		
2569	7	cedar elm	Ulmus crassifolia	Healthy	Single		YES	REMOVE		(1) 2.5" - 3" cal. tree
2570	6	gum bumelia	Sideroxylon lanuginosum	Healthy	Forked		NO	REMOVE		
2571	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2572	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2573	7	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2574	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
2575	6	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
Kimley-Horn red tree tag series: 1922-1950; 2214-2575. Trees measuring 6-inches or larger at DBH were tagged, in accordance with the Town of Flower Mound Tree Ordinance.										
5767	20	cedar elm	Ulmus crassifolia	Healthy	Multi	SPECIMEN	YES	REMAIN	4	
5768	27	post oak	Quercus stellata	Healthy	Forked	SPECIMEN	YES	REMAIN	4	
5770	26	post oak	Quercus stellata	Healthy	Single	SPECIMEN	YES	REMAIN	6	
5771	19	post oak	Quercus stellata	Healthy	Single	SPECIMEN	YES	REMAIN	4	
5772	25	post oak	Quercus stellata	Healthy	Forked	SPECIMEN	YES	REMAIN	4	
5773	32	post oak	Quercus stellata	Healthy	Multi	SPECIMEN	YES	REMAIN	6	
5774	32	post oak	Quercus stellata	Healthy	Single	SPECIMEN	YES	REMAIN	6	
5775A	15	cedar elm	Ulmus crassifolia	Declining	Forked		YES	REMOVE		
5775B	11	cedar elm	Ulmus crassifolia	Healthy	Forked		YES	REMOVE		(1) 2.5" - 3" cal. tree
5779	25	post oak	Quercus stellata	Healthy	Forked	SPECIMEN	YES	REMAIN	6	
- Kimley-Horn red tree tag series: 5767-5779										
- Specimen trees were tagged according to the Flower Mound Tree Preservation Ordinance*										
* Specimen trees are defined as any tree listed in the town's small protected tree list that measures 13-inches or more at DBH, medium protected tree list that measures 19-inches or more at DBH, or large protected tree list that measures 25-inches or more										



8/30/2021

TREE INVENTORY
FOR
LISD SPINKS ROAD
132 RESIDENTIAL LOTS / 4 OPEN SPACES
BEING 74.376 ACRES
OUT OF THE
JOHN WHITE SURVEY, ABSTRACT NO. 1341
IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

OWNER:
Lewisville Independent School District
1665 W. Main Street
Lewisville, Texas 75067
Tel: (469) 713-5200

DEVELOPER:
Toll Brothers Inc.
2555 SW Grapevine Pkwy
Grapevine, TX 76051
Tel: (817) 329-7973
Contact: Mike Boswell

LANDSCAPE ARCHITECT:
Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, TX 75034
Tel: (972) 335-3580
Contact: Marie Robirds, PLA

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LT 3.03
MER	MER	MER	AS SHOWN	8/30/2021	PROJECT NUMBER	

Toll Brothers®

LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

September 8, 2021

Chuck Russell
Principal Planner
Town of Flower Mound
1001 Cross Timbers Road #2330
Flower Mound, TX 75028

RE: LISD Tract at Spinks & Aberdeen (Toll Brothers No. AEC19195)
Flower Mound, Texas

Dear Mr. Russell,

Concerning the existing CoServ overhead power line along the east side of FM 2499 (Long Prairie) and within TxDOT's existing right-of-way, and pursuant to Sec 90-423(5), Toll Brothers respectfully requests an exception to the utility burial requirement for this overhead line for the following physical, engineering, and operational reasons:

- The said line does not and will not serve the subject property, but rather, it serves the surrounding region and developments.
- CoServ would require a 20' easement outside of the existing 15' water line easement and FM 2499 TxDOT right-of-way. If the overhead lines are buried, this franchise utility easement would overlap with the required landscape buffer; therefore, trees planted in the buffer would be subject to exceptions found in Sec 94-81, which allow removal and/or damage by future franchise utility maintenance work.
- The line relocation underground is cost prohibitive; per CoServ's preliminary estimate, it would cost approximately \$900,000 (\$400/LF at 2,250 LF). The costs of burying this line are not proportionate to the proposed development.
- The line relocation for the portion along FM 2499, would also require Toll to acquire offsite easements for developments to the west and south of the subject tract to accommodate equipment.
- Should the line be relocated underground, it would conflict with the myriad existing utilities under the Aberdeen & FM 2499 intersection. Many of these existing utilities were encountered and interrupted during Toll's construction of the northern half of Aberdeen Rd.

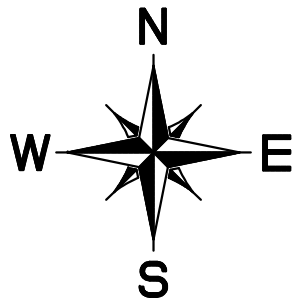
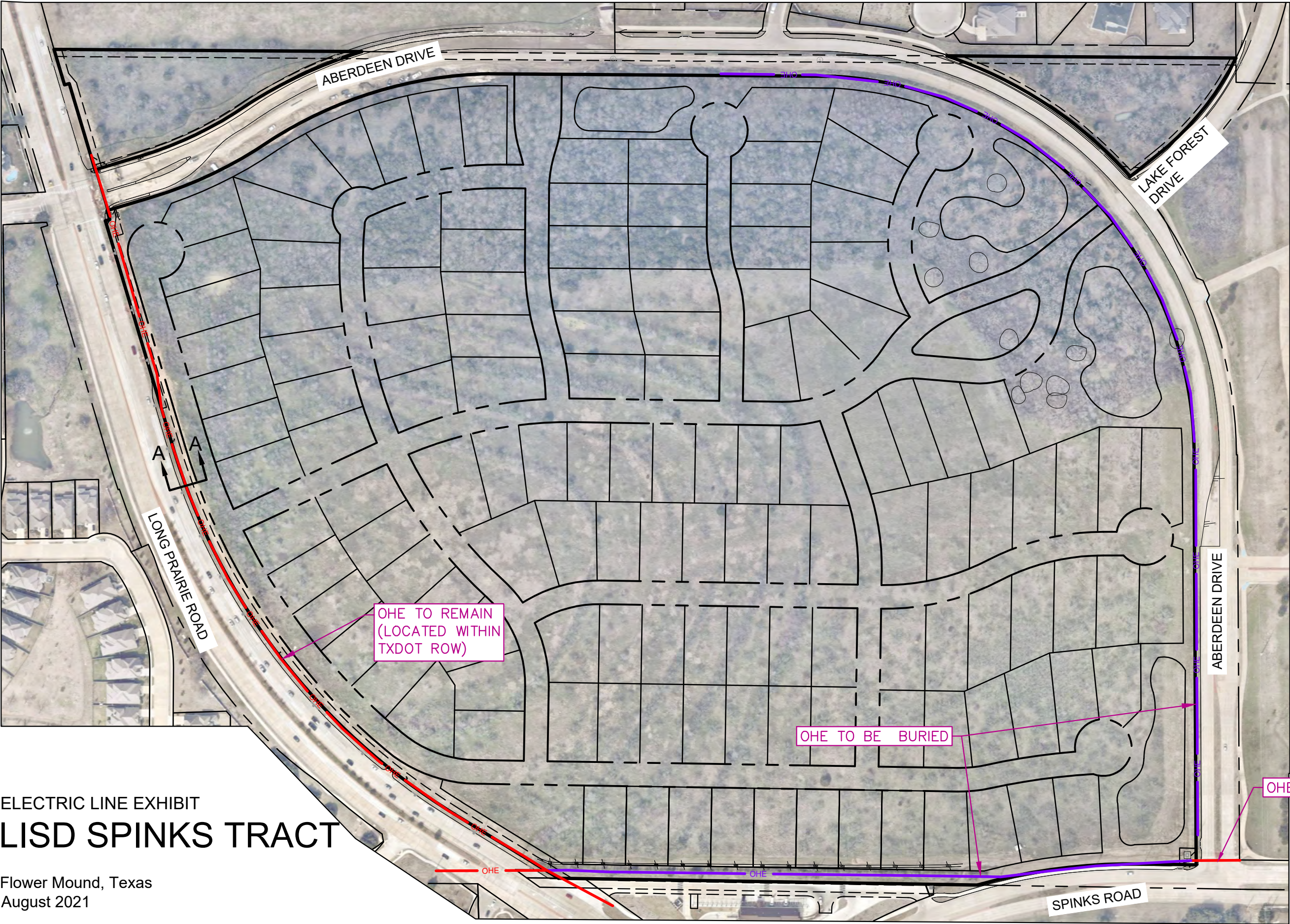
In short, Toll Brothers' intent is to provide a quality development that is aesthetically pleasing for the residents of the Town of Flower Mound. We are opting to bury the existing overhead transmission facility along the southern and eastern edges, which speaks to our commitment to the Town residents. However, there are multiple factors making the relocation of the FM 2499 overhead line excessively challenging and disproportionate. Please contact me at 817-329-7973 should you have any questions regarding our request.

Thank you,



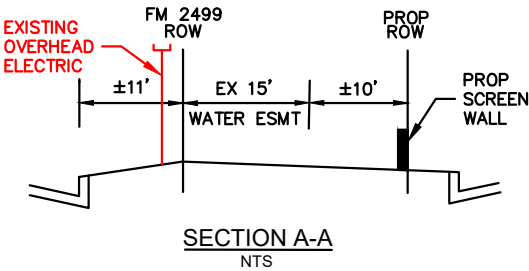
Mike Boswell, VP of Land Development
Dallas/Austin Land Development

Attachments



LEGEND

- OHE TO BE BURIED
- OHE TO REMAIN



ELECTRIC LINE EXHIBIT
LISD SPINKS TRACT

Flower Mound, Texas
August 2021

Mike Boswell

From: Ben Crawford <bcrawford@coserv.com>
Sent: Wednesday, September 08, 2021 3:09 PM
To: Demerius Seals
Cc: Mike Boswell
Subject: RE: LISD Tract - Overhead Variance Request

EXTERNAL EMAIL : Use caution with links and attachments

Good afternoon Demerius and Mike,

The overhead facilities you identified on FM 2499 and north of Spinks Rd, east to Aberdeen Drive will need to remain as either overhead or underground. If you choose to place these facilities underground, a 20' wide easement will be required. This could be dedicated as a UE or UE/Landscape, but we won't share the same ditch with another electric provider. However, we can joint trench with gas and communications but we will need to be first in so we can get our depth by open cut. To replace the overhead facilities with underground we would install 4-6" conduits that are required to be concrete encased and typically require greater depth which in turn increases the easement width out to 20' as I mentioned. Burial of the overhead adjacent to Long Prairie would likely begin at the pole just north of Aberdeen which will require a 24" steel encased dry bore, there will also be steel bores west across FM 2499 north of the carwash entrance which will likely be 10"-14", and south across the carwash entrance with another 24". These bores will all require boring/receiving pits.

The design and engineering for these facilities will have to be sent to an outside consultant so providing a hard estimate will not be available until those plans are completed and approved. For rough estimating purposes only, you could use \$400.00 per foot (all in) which could go up or down depending on what the engineering and final design require. This does not represent a proposal in any form. Please let me know if you guys have any other questions. Thanks

Ben Crawford

MANAGER OF PROJECT ENGINEERING | Project Engineering
O (940) 270-6823 | M (940) 390-8251
7701 S Stemmons, Corinth, TX 76210



"CoServ's Mission is to deliver excellent service to our Members and Customers by providing safe and reliable energy solutions."



EXHIBIT A: WITH POWER LINES

FLOWER MOUND - LISD SPINKS

2499 LONG PRAIRIE ROAD EXHIBIT - 2021 SEPTEMBER

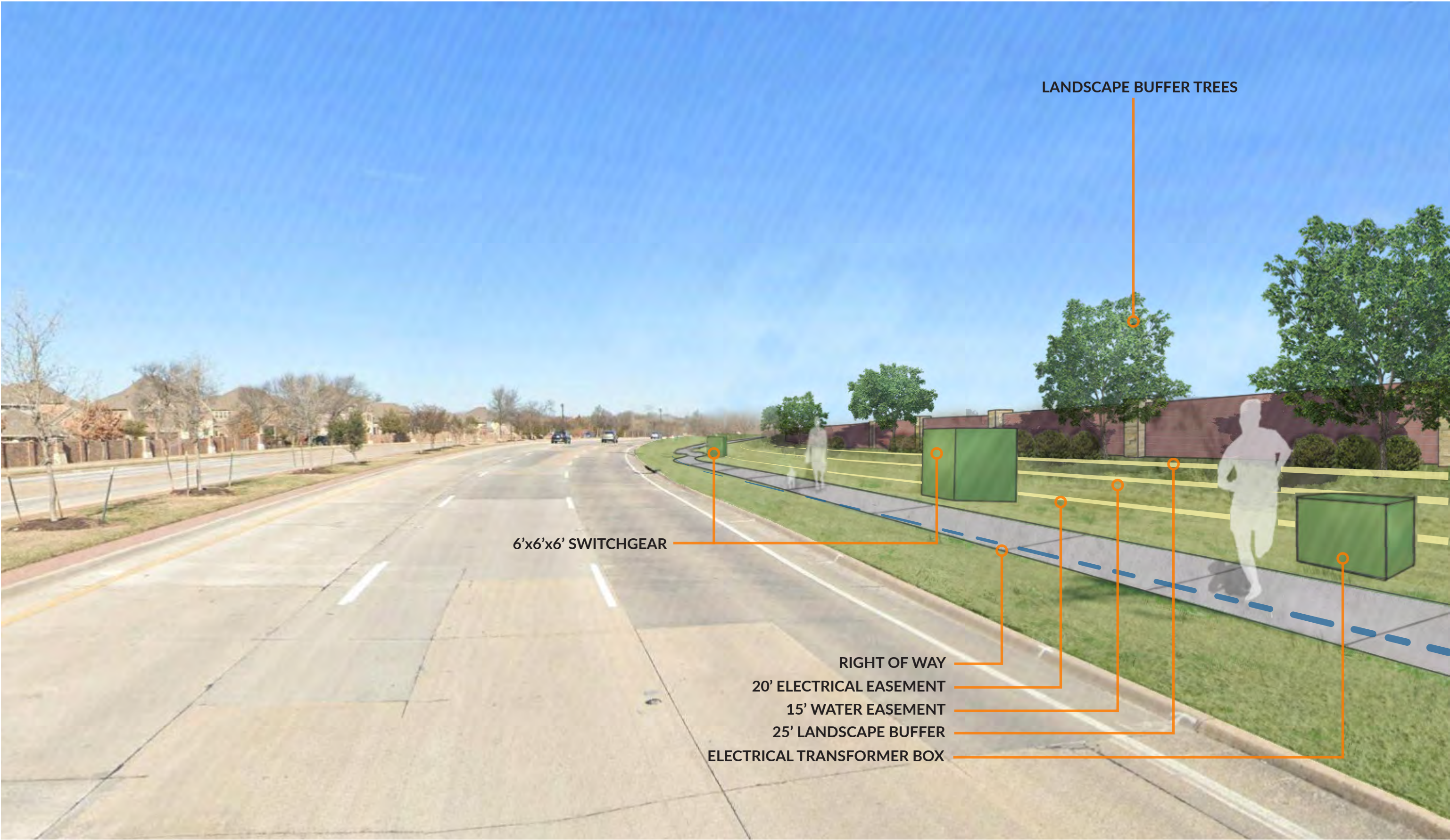


EXHIBIT B: WITHOUT POWER LINES
FLOWER MOUND - LISD SPINKS
2499 LONG PRAIRIE ROAD EXHIBIT - 2021 SEPTEMBER

Exhibit B

Exhibit "B"

Development Standards

Planned Development District No. 182 (PD-182) Spinks Road Tract

The development on the property comprising approximately 76.020 acres of land within the corporate limits of the Town of Flower Mound ("Town") and as described on Exhibit "A" to this Zoning Ordinance adopting PD-182 shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements.

A. Exhibits.

The following exhibits are incorporated into this Planned Development District:

1. Exhibit C: Conceptual Site Plan.
2. Exhibit D: Conceptual Landscape Plan.

B. Uses.

Development of Spinks Road Tract, comprising approximately 76.020 acres of land, shall comply with all regulations applicable to the Single-Family Residential District-15 (SF- 15) contained in the Town's Land Development Regulations, as amended, except as otherwise provided and/or limited herein.

C. Dimensional Regulations. The dimensional regulations listed in the Single-Family District-15 (SF-15) in the Town's Zoning Ordinance shall be required for this Planned Development except as modified below:

1. Minimum side yard. The minimum side yard shall be 10 feet, subject to section 98-1027.
2. Maximum lot coverage. The maximum lot coverage shall be 40 percent, subject to section 98-1029.

D. Landscape Standards.

1. Landscaping shall be in accordance with the Town's landscape ordinance as amended as shown on Exhibit "D".
1. Perimeter fences shall substantially conform with the layout and design shown on Exhibit "D". Fences constructed adjacent and parallel to dedicated park, trail, or open space areas may either be a minimum four-foot (4') wrought-iron or tubular steel fence or a two-foot six-inch (2'6") knee wall with three-foot four-inch (3'4") wrought iron on top and masonry columns as detailed on Exhibit "D".

E. Phasing.

1. Perimeter landscaping must be installed at the time of each associated phase as indicated on Exhibit "C".

Exhibit B

2. At each phase, perimeter landscaping must substantially conform with the landscaping shown for that phase on "Exhibit D".

F. Trail Requirements.

1. There shall be a minimum eight-foot-wide multi-purpose trail along the Long Prairie Road frontage as required by the Parks & Trails Master Plan.

G. Supplemental Standards.

1. Maximum number of buildable lots shall be 132.
2. All x-lots shall be owned and maintained by the HOA. No dwelling units are permitted on any x-lot.
3. Lot 1, Block A of the Middle School No. 14 Addition must remain undeveloped with the exception of wrought iron/tubular fencing for safety purposes and trails/sidewalks. Any improvements made must be approved by the Town and meet Town standards.

H. Exceptions. The following exceptions to the Town's Ordinances shall apply to this Planned Development.

1. An exception to "Underground Utilities" pursuant to Section 82-377, Exceptions, of the Code of Ordinances for 2,250 linear feet of overhead power lines along Long Prairie Road.
2. An exception to "Depth" pursuant to Section 90-272, Lot depth, lines, and frontage, of the Code of Ordinances is granted for a maximum of two buildable lots.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: September 27, 2021

FROM: John Chapman, Long Range Planner

ITEM: Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0001 – Parking and Accessory Structures) by amending Chapter 74 entitled “General Provisions,” Chapter 82 entitled “Development Standards,” and Chapter 98 entitled “Zoning,” of the Town’s Code of Ordinances to amend and propose new standards for accessory buildings, and off-street parking and stacking standards for the purpose of clarifying and updating certain sections.

I. ITEM SUMMARY

This Town-initiated item proposes to amend the Town’s Land Development Regulations by updating and introducing language related to accessory buildings, off-street parking, and stacking standards. The proposed amendment focuses on the following:

1. Refining the definition of an attached accessory building
2. Refining residential parking area design requirements
3. Refining language pertaining to bypass lanes for drive-through facilities
4. Updating stacking requirements
5. Updating height for light pole standards

This item will require final action by the Town Council, which is scheduled for October 4, 2021.

II. APPLICATION ANALYSIS

1. Defining Attached Accessory Buildings

Current Town ordinances require an attached accessory building to be “integral” to the main building.

“Accessory building, attached means an integral portion of a main building devoted to uses incidental and accessory to the main use, such as an attached garage, storage area or carport.”

Because there is no definition of integral, the Town relies on the specific characteristics listed below to determine if the term “integral” is met, and if the proposed addition can be considered an attached accessory building.

- Must be structurally connected at both the roof and the foundation.

- Must aesthetically match the existing home, including roof pitch and height, and exterior materials. It cannot look like a separate structure.
- If conditioned space is part of the addition, it must share conditioned space with the main structure.
- Must be able to access internally if conditioned, without having to go outside the main building.
- A small breezeway connecting a main building to a structure does not meet the definition of integral.

It is important for the Town to properly determine if an accessory building is attached to the main building or not due to the differences in setback and separation requirements. To ensure applicants and staff all share the same understanding of the requirements, the following amendments are being proposed.

Section 74-3. – Definitions.

Several definitions are proposed to be updated and created:

- **“Accessory building, attached,”** is recommended to specify that this type of building is also known as an addition because it must comply with the same regulations as the main building, such as setbacks and height restrictions.
- **“Accessory building, detached,”** is recommended to specify that a building connected to the main building by means of a breezeway is still considered detached for the purpose of determining applicable standards.
- **“Structure, primary,”** is recommended to be included as a new definition and part of “Building, main” since these terms are used interchangeably throughout the Code and are synonyms of each other.

Section 98-1032. Accessory buildings.

- This section is proposed to be amended to cite that all attached accessory buildings, also known as additions to the main building, must comply with all applicable regulations of the main building it is attached to.

2. Residential Parking Area Design Requirements

Section 82-79. Residential parking area design.

Several updates to sections regulating residential parking areas are being proposed. The updated language would require all residential parking spaces to comply with the standard nine-foot by 20-foot space. Additionally, the updated language clarifies that all required spaces for dwelling units, other than multifamily or mobile homes, must be within an enclosed garage. And lastly, new language is being proposed that codifies the requirement for a driveway connection from any required enclosed garage to the street or alley meet minimum measurement requirements.

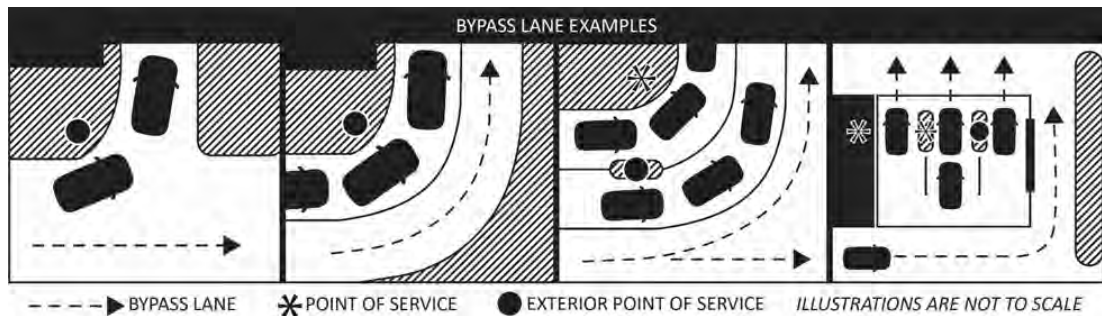
3. Bypass Lanes for Drive-Through Facilities

Section 82-82. Queuing requirements for drive-through facilities.

The purpose of the proposed updates to section 82-82 is to clarify when a bypass lane is required and its location with reference to other drive-through facilities. The proposal would:

- Require a bypass lane for all establishments where service to individuals within a motor vehicle takes place.
- Require the bypass lane to provide vehicles with the ability to exit the queuing line up to and before the first point of service. In the event there is more than one queuing lane, a bypass lane would only be required around the most exterior queuing line (typically the furthest from the main building).

In addition to the proposed language, there is a supplemental illustration also being proposed:



4. Stacking Requirements

Section 82-82. Queuing requirements for drive-through facilities.

Several amendments are being proposed to the required number of stacking spaces needed based on the land use type.

- **Photo lab or pharmacy.** After reviewing the queuing spaces table, staff is proposing to include "pharmacy" as part of the "Photo lab" land use type in determining the number of required queuing spaces. Additionally, the number of queuing spaces is proposed to decrease from four to three due to the change in technology and based on benchmark cities with similar standards.
- **Schools, elementary or secondary, or Day care center.** These use types are being proposed as new additions to the queuing spaces table based on staff feedback. The proposed language would require these land uses to submit a queuing and stacking analysis during the site plan or specific use permit process for review by Town staff. Once the submitted study is approved by staff, the recommendations for stacking and queuing for that project becomes the adopted minimum queuing standard by the Town.
- **Restaurant, drive-through.** This land use is recommended to require a queuing and stacking analysis. This amendment would still require drive-through restaurants to have a minimum of five stacking spaces, however, the required queuing and stacking analysis would determine whether a specific business' expected customer traffic will require additional queuing spaces.

5. Height for Light Pole Standards.

The proposed language clarifies that spaces within an enclosed parking garage do not count towards the number of parking spaces required to install light poles up to 35 feet in height.

6. Clarifying and Updating Existing Language

Staff is proposing additional updates to address typos and provide clarifications. Many of these were to ensure defined terms within the Code are being used properly, and to streamline language.

III. CORRESPONDENCE

The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle). At the time this report was written, the Town had not received any inquiries about this item.

IV. ATTACHMENTS

1. Draft Redline Ordinance

LDR: OFF-STREET PARKING AND LOADING

CHAPTER 74. – GENERAL PROVISIONS

Sec. 74-3. – Definitions

Accessory building, attached, ~~also known as an addition,~~ means an integral portion of ~~the~~a main building devoted to uses incidental and accessory to the ~~main-primary~~ use, such as an attached garage, storage area, living space, or carport. An accessory building is considered an integral part of the main building when it shares a common wall (minimum six feet in width), roofline, and foundation with the main building. If an attached accessory building is air conditioned, the space must be accessible from within the main building.

Accessory building, detached, means a freestanding building, or a building connected to the main building by means of a breezeway or unenclosed walkway, designed and used for functions incidental and accessory to the main use, such as a garden shelter, separate garage, carport, or storage house.

Building, main, means the building on a lot that ~~are is~~ occupied by the primary use. See also Structure, primary.

Structure, primary, see Building, main.

CHAPTER 82. – DEVELOPMENT STANDARDS

ARTICLE III. OFF-STREET PARKING AND LOADING

Division 2. – Driveways and Access

Sec. 82-72. Applicability of article provisions.

- (a) *New and complying development.* New and complying development ~~occurring after June 6, 1994, and development existing on June 6, 1994, and complying with the number of off-street parking and loading spaces required by this article,~~ shall be subject to the following provisions:
 - (1) Every use of a building or land ~~hereafter established shall~~must provide the minimum off-street parking and loading spaces ~~as~~ required by this article. The adequate provision of parking spaces will be reviewed during rezoning, specific use permit (SUP), site plan, and certificate of occupancy ~~approvals~~reviews.
 - (2) The number of parking and loading spaces may be reduced when the land use or floor area of a building is changed or reduced to a use or floor area for which requiring fewer parking or loading spaces ~~are required~~.
 - (3) When a building is expanded or a land use is changed so as to increase the number of parking or loading spaces required, the number of such spaces ~~shall~~must be increased.
- (b) *Existing noncomplying development.* Developments with noncomplying parking and loading areas ~~shall bear~~ subject to the following provisions:
 - (1) Existing parking and loading spaces ~~shall~~must not be reduced below the minimum required by this article.

LDR: OFF-STREET PARKING AND LOADING

- (2) No building permit or certificate of occupancy shall be issued for any new building, building addition or expansion, change of use, remodeling, or structural alterations until all ~~of the~~ parking and loading areas associated with the development are brought into full conformity with ~~all of the~~ provisions of this article.

(c) *Engineering Design Criteria.* The provisions established under this article are not intended to supersede any requirement contained within the Town of Flower Mound Engineering Design Criteria and Construction Standards Manual, as amended.

Sec. 82-73. Computing parking and loading requirements.

The number of parking spaces required for a specific development proposal shall be based on the requirements listed in section 82-74, Off-street parking ~~and loading space~~ requirements, and the following provisions:

- (1) *Deviation of required spaces.* The amount of parking ~~can may~~ be reduced or increased by 20 percent. Deviations for all uses, excluding "Religious Assembly/Institution or Rectory," in excess of 20 percent must be accompanied by a parking study and approved by the town council. Deviations for "Religious Assembly/Institution or Rectory" increasing required spaces in excess of 30 percent, must be accompanied by a parking study and approved by the town council. Any approved parking in excess of 20 percent must be mitigated. Mitigation ~~can may~~ be achieved by the use of pervious paving, increased landscaping, increased stormwater treatment, or other method to reduce the impact of the increased parking.
- (2) *Unlisted uses.* Where questions arise concerning the minimum off-street parking ~~and loading~~ requirements for any use not specifically listed, the requirements may be interpreted by the town as those of a similar use.
- (3) *Large developments.* A large development is defined as any development that is required to provide over 250 parking spaces based on the parking ratios listed in section 82-74. All large developments are required to provide a parking study as defined in this section. If the required parking study finds that a reduced number of parking spaces is necessary, due to the mixture of uses onsite, the reduced number becomes the Town standards for that specific development, and should provide a minimum reduction of 20 percent from the sum of the specific parking required for each use.
- (4) *Parking study.* A parking study required by this article ~~shall must~~ be reviewed by the town along with any traffic engineering and planning data ~~that are~~ appropriate to the establishment of a parking requirement for the use proposed. A parking study, when required by this article, ~~shall must~~ include, but not be limited to, estimates of parking requirements based on recommendations in studies such as those from the Urban Land Institute, the Institute of Traffic Engineers, or the ~~Traffic Institute~~ Texas A&M Transportation Institute, and based on data collected from uses or combinations of uses that are the same or comparable to the proposed use. Comparability shall be determined by density, scale, bulk, area, type of activity, and location. The ~~analysis study~~ must include a shared parking analysis based on the mixture of uses and corresponding peak demand. Specifically, the parking required for restaurants should be included in the study and be determined by the number, location, and type of restaurants proposed. The study ~~shall must~~ document the source of data used to develop recommendations.
- (5) *Location.* All required ~~off-street~~ parking ~~spaces, unless otherwise approved through this article, shall must~~ be located and arranged on the site to insure optimal access and use.
- (6) *Fractions.* When measurements determining the number of required parking ~~and loading~~ spaces result in fractions, any fraction less than one-half shall be disregarded and any fraction of one-half or more shall be rounded upward to the next ~~highest~~ full number.

Sec. 82-74. Off-street parking ~~and loading space~~ requirements.

The following are the off-street parking ~~and loading space~~ requirements:

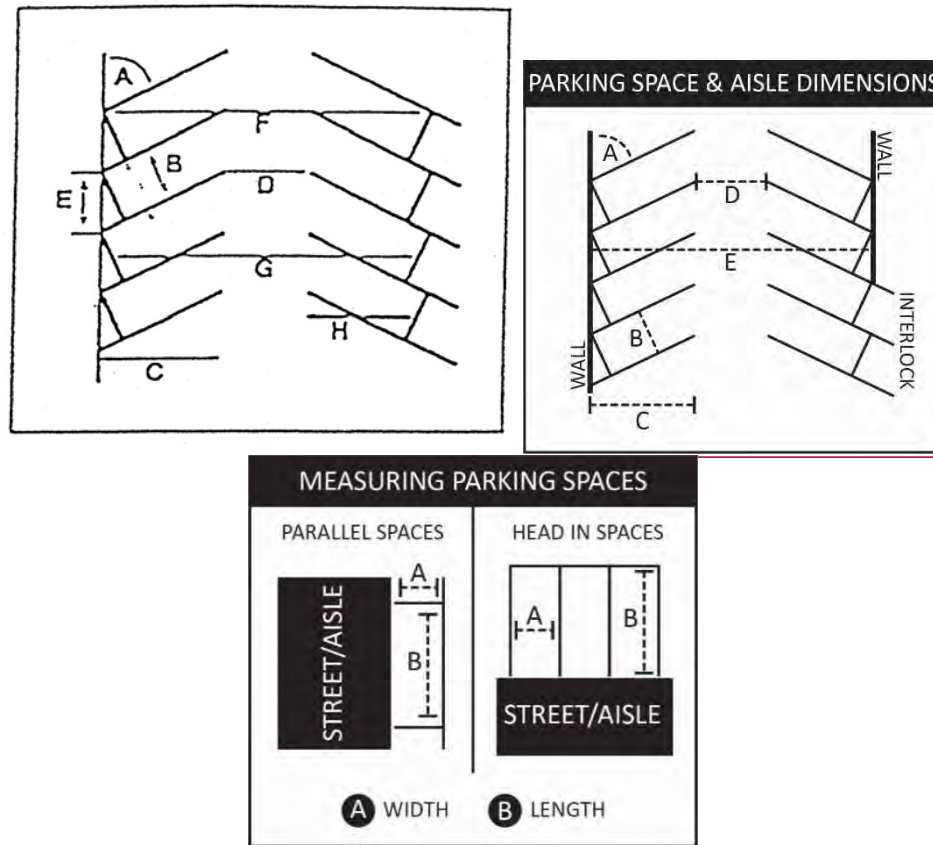
SCHEDULE OF ~~OFF-STREET~~ PARKING ~~AND LOADING~~ REQUIREMENTS

LDR: OFF-STREET PARKING AND LOADING

Sec. 82-77. Parking space and aisle dimensions.

For all parking areas, the minimum required dimensions of parking spaces and aisles shall be as indicated in the following table. If proposed parking angles are not shown in the table, dimensions shall be ~~interpolated~~ interpreted from the table by the town ~~engineer~~ manager or his/her designee. All dimensions are in feet and measured as shown graphically in the figure following the table in this section. Minor deviations from these standards may be approved by the town ~~engineer~~ manager or his/her designee for the design of parking structures. The dimensions in the table are graphically illustrated in the figure s following the table in this section:

Parking Angle A	Stall Parking Space Width B	Stall Parking Space Depth to wall C	Stall/Aisle Width D	Curb Length E	Wall Module Width (wall to wall) F	Interlock Module Width G	Stall Depth to Interlock H
90 degree parking angle, two-way aisle							
90	9.00	17.5	26.0	9.00	61.0	61.0	17.5
60 degree parking angle, two-way aisle							
60	9.00	18.0	26.0	10.4	62.0	59.0	16.5
75 degree parking angle, one-way aisle							
75	9.00	18.5	22.0	9.3	59.0	57.0	17.5
60 degree parking angle, one-way aisle							
60	9.00	18.0	18.0	10.4	54.0	51.0	16.5
45 degree parking angle, one-way aisle							
45	9.00	16.5	15.0	12.7	48.0	44.0	14.5

LDR: OFF-STREET PARKING AND LOADING**Sec. 82-78. Parking area design.**

All off-street parking areas, unless indicated otherwise than those designed solely for a single dwelling unit and not sharing a common parking area, shall must comply with the following design requirements:

- (1) Each off-street parking space shall must open directly onto an aisle or driveway that is not a public or private street or a public alley, provided that this subsection shall not apply to parking spaces provided by the town for town parks.

- (4) No parking space shall be located so as to block access by emergency vehicles or be located within fire lanes.
- (5) No off-street parking spaces shall be located within the right-of-way of a public or private street, public alley, or required joint access easement.
- (6) For parking areas including ten or more spaces, a minimum queuing distance of 20 feet shall be provided along all access drives between the a street right-of-way line and the nearest parking space.
- (7) Parking areas containing five or more spaces shall All parking spaces must be delineated each space by single or double stripes on each side of the space. Except for parallel parking spaces, stall width shall be measured from the centerline of one stripe to the centerline of the other stripe.
- (8) Curbs shall must be provided to prevent any vehicle using a parking area from encroaching on any public right-of-way street, required landscaping area, sidewalk, trail, or adjacent property, unless otherwise approved by the town engineer manager or his/her designee.

LDR: OFF-STREET PARKING AND LOADING

- (9) Parallel parking spaces shall have a minimum length of 23 feet and a minimum width of eight feet. A minimum width of ten feet ~~shall must~~ be required if any structure or obstacle that would impede the opening of a ~~car vehicle~~ door is within two feet of the curbside of a parallel parking space.

(10) Parking spaces shall not be located within triangular areas established by section 82-161.

Sec. 82-79. Residential parking area design.

Required parking spaces for residential dwelling units, other than multifamily parking areas, ~~shall must~~ comply with the following requirements, unless indicated otherwise:

- (1) Dimensions. All required parking spaces must have ~~be~~ a minimum width of nine feet ~~wide~~ and a minimum length of 20 feet ~~long~~. ~~Such parking spaces may be located on a driveway or in an enclosed garage and may be placed end to end, but no portion of any parking space shall be located within the right of way of a public street or a public alley.~~ Required parking spaces
- (2) Location. Required parking spaces for residential dwelling units, other than multifamily or mobile homes, ~~must shall~~ be located within an enclosed garage.
- (3) Driveways. A driveway complying with sections 82-132 and 82-135, and not less than 20 feet long measured from the property line, must connect the required enclosed garage or parking spaces to the public or private street, or alley. Driveways to parking areas, garages, or detached garages, not required by this article, must comply with section 82-80 when located within the required front or side yard setback. No portion of any driveway shall be located within the public or private street or alley.
- (4) Residential and Multifamily Parking Areas. Parking areas within any residential zoning district must comply with sections 82-77 and 82-78.

Sec. 82-80. Paving standards.

All parking ~~areas~~, ~~and~~ loading spaces, and driveways, regardless of size or length, constructed after December 31, 1974, or unless otherwise granted within this article, ~~shall must~~ be free of weeds and surfaced with concrete, asphalt, brick, or other accepted pavement, as approved by the town ~~engineer manager~~ or ~~the person so designated his/her designee~~.

Sec. 82-81. Use of parking areas.

Required off-street parking spaces and associated aisles and maneuvering areas shall be used for vehicle parking only and comply with the provisions of chapter 66, article IV. – stopping, standing, parking. No sales, storage, display of merchandise (including ~~automobiles vehicles~~), repair work or dismantling shall be permitted in such areas.

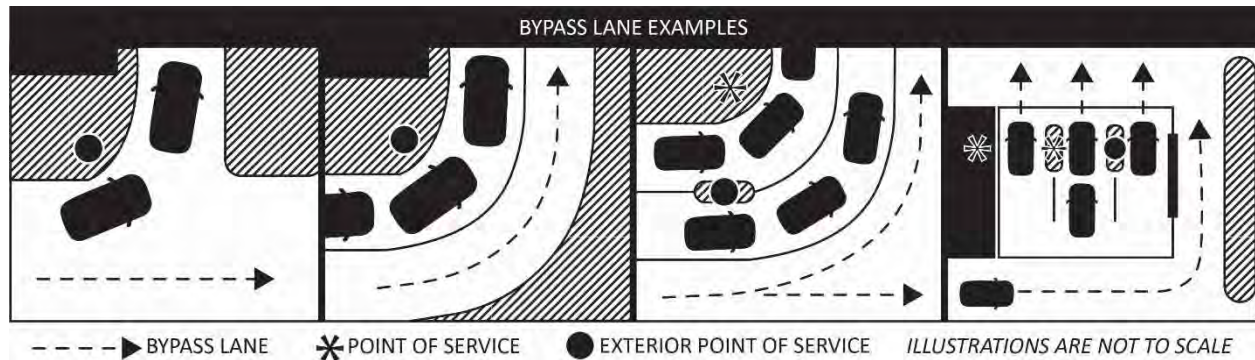
Sec. 82-82. Queuing requirements for drive-through facilities.

In addition to meeting the off-street parking requirements of this article, drive-through facilities ~~shall must~~ meet the following queuing standards:

- (1) Minimum Dimensions. Each queue space ~~shall must have a width be not less than a minimum of~~ ten feet and a length not less than ~~by~~ 20 feet ~~in size~~. Unless otherwise indicated, queuing shall be measured from the point of ultimate service to the end of the queuing lane.
- (2) Design. Each queue lane ~~shall must~~ be clearly defined and designed ~~so as not to~~ not conflict or interfere with other traffic using the site.
- (3) Bypass Lane. A bypass lane with a minimum width of 12 feet ~~wide may must~~ be necessary if a one-way traffic flow is used in the parking lot provided for sites where service to occupied vehicles takes place. Bypass lanes must not be located within any queuing area. Up to the exterior first point of service, vehicles must have the ability to exit the queuing lane and return to the regular flow of traffic safely without any obstruction or barriers. ~~If utilized, the bypass lane shall be clearly designated and distinct~~

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from the queuing area. For the purpose of this section, “exterior first point of service,” shall be defined as being the first, outermost, interaction between the establishment, such as a kiosk, window, menu board, or individual, and an occupied vehicle. This standard is graphically illustrated in the figure below:



- (43) *Number of queue spaces.* The minimum number of queue spaces, including the vehicle being serviced, shall be provided for each drive-through facility as follows:

Land Use Type	Minimum Queue Spaces
Bank teller lane	Five
Automated teller machine	Three
Restaurant, drive-through*	Five
Car wash stall, automatic or full service	Five
Car wash stall, self-service	Three
Oil change station	Four
Dry cleaning or laundry	Three
Photo lab <u>or Pharmacy</u>	Four <u>Three</u>
General retail	Four
Gasoline pump island	30 feet from each end of pump island
<u>Schools, elementary or secondary, or Day care center</u>	<u>Based on the approved stacking and queuing analysis</u>

- (a) During the site plan or specific use permit process, a queuing and stacking analysis prepared by a traffic engineering firm is required when one or more of the following is met:

- i. The land use type is “Restaurant, drive-through”.

*While the minimum number of queue spaces required for a Restaurant, drive-through is five, a queuing and stacking analysis is required to determine whether a specific business’ expected customer traffic will require additional stacking spaces.

- ii. The land use type is “Schools, elementary or secondary, or Day care center.”

- iii. Other circumstances necessitating a traffic impact analysis as determined by the town manager or his/her designee.

- (54) *Tandem drive-through facilities.* The measurement for required queuing spaces shall ~~begin measured from at~~ the last point of ultimate service ~~to the end of the queuing lane.~~

- (6) *Single Stacking Space.* A single stacking space must be provided after the ultimate point of service, order board, kiosk, or stopping point to allow vehicles to pull clear of the transaction area prior to re-entering the normal flow of traffic.

Sec. 82-83. Off-street loading requirements.

Loading requirements. Each development is required to detail where loading will occur and the type of vehicle servicing each specific use. The location and design of loading areas shall conform to the following standards:

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- (a) *Paving standards.* The surface of all open off-street loading spaces shall ~~conform to the requirements for off-street parking areas~~ comply with section 82-80.
- (b) *Design of loading areas.* All off-street loading spaces shall comply with the following design requirements:
 - 1. No off-street loading space shall be located within ~~the right-of-way of~~ a public or private street. Any loading dock or door shall be set back far enough from the right-of-way so that no portion of the right-of-way is occupied by trucks or other vehicles while loading or unloading.
 - 2. The location of the loading area shall not interfere with the free circulation of vehicles in the off-street parking area. Where loading areas are directly adjacent to or integrated with an off-street parking lot, the town ~~engineer-manager or his/her designee~~ may require installation of physical barriers or other means of separating loading areas from parking areas and pedestrian traffic.
 - 3. No loading space shall ~~be located so as to~~ block access by emergency vehicles.
- (c) *Use of loading areas.* ~~Required~~ All off-street loading spaces and associated aisles and maneuvering areas shall be used for vehicle loading only and shall not count towards required parking spaces. No sales, storage, display of merchandise (including ~~automobiles~~ vehicles), repair work or dismantling shall be permitted in such areas.

Secs. 82-84—82-110. Reserved.

ARTICLE IV. - TRAFFIC

Division 3. – Visual Clearances

Sec. 82-161. Clear visibility standards.

~~No w~~Walls, buildings, fences, parking areas, landscaping or other obstructions ~~to view in excess exceeding of~~ two feet in height ~~shall must not~~ be placed within the following triangular areas at the intersections of streets, driveways and alleys, except trees pruned higher than seven feet to permit unobstructed vision to automobile drivers:

Secs. 82-163—82-180. Reserved.

CHAPTER 98. – ZONING

ARTICLE IV. SUPPLEMENTARY DISTRICT REGULATIONS

Sec. 98-2. – Definitions.

Accessory dwelling means a dwelling unit accessory to the primary single-family dwelling use with permanent provisions for sleeping, cooking, and sanitation, located in a separate building, ~~but and~~ on the same lot as the primary ~~unit~~ structure. The habitable floor area of an accessory dwelling shall not exceed 50 percent of the habitable floor area of the primary structure.

Sec. 98-1032. – Accessory Buildings

- (a) *Generally.* ~~Attached accessory buildings shall conform to the regulations applicable to the main building to which they are attached.~~

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(5) Attached accessory building. An attached accessory building, also known as an addition to the main building, must comply with all regulations applicable to the main building to which it is attached.

Sec. 98-1126. – Height for light pole standards

Maximum height for light pole standards shall be as follows:

- (1) In parking areas containing zero to 150 parking spaces, excluding parking spaces located within an enclosed parking garage, maximum height of lighting pole standards shall not exceed 25 feet in height.
- (2) In parking areas containing 151 or more parking spaces, excluding parking spaces located within an enclosed parking garage, maximum height of lighting pole standards shall not exceed 35 feet in height.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 5

REGULAR ITEM

DATE: September 27, 2021

FROM: John Chapman, Long Range Planner

ITEM: **Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0002 – Legislative Updates) by amending Chapter 78 entitled “Administration,” and Chapter 90 entitled “Subdivisions,” of the Town’s Code of Ordinances to amend and propose new regulations for variances considered by the Board of Adjustment, construction signs, and traffic signs for the purpose of meeting new state law requirements and creating sign requirements for future stub-outs.**

I. ITEM SUMMARY

This Town-initiated item proposes to amend the Town’s Land Development Regulations based on State law and staff recommendations by updating and introducing language related to the Board of Adjustment, construction signs, and future through street signs. The proposed amendment focuses on the following:

1. Board of Adjustment structure variances
2. Construction signage
3. Traffic signage

This item will require final action by the Town Council, which is scheduled for October 4, 2021.

II. APPLICATION ANALYSIS

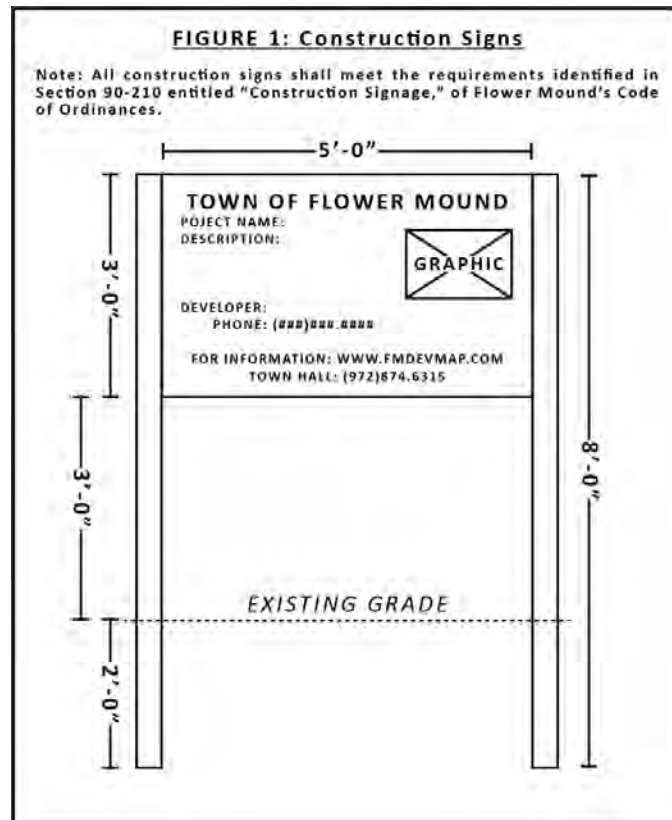
1. Board of Adjustment Structure Variances

H.B. 1475 was introduced and passed by the Texas Legislature during the 2021 session and became law on September 1, 2021. The bill amends Section 211.009 of the Local Government Code by authorizing the Board of Adjustment to consider additional hardships, as identified by the legislature, when considering a variance related to a structure. The proposed language incorporates the newly created hardships into the Town’s code.

2. Construction Signage

S.B. 291 was introduced and passed by the Texas Legislature during the 2021 session and became law on September 1, 2021. The bill amends Section 116.0001 of the Local Government Code by requiring the developer of a commercial building to visibly post the name and contact information of the developer and a brief description of the project.

The proposed language includes these requirements, as well as a requirement for the signage to include Town contact information and an image of the proposed project, and expands the applicability to include all nonresidential and residential developments obtaining a development permit for the installation of infrastructure.

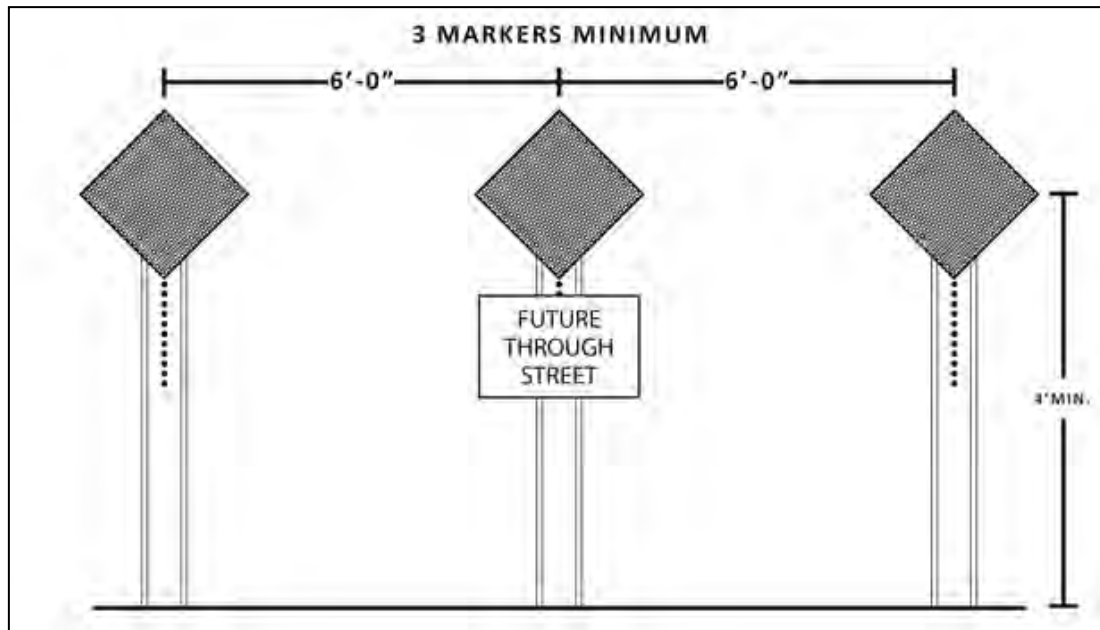
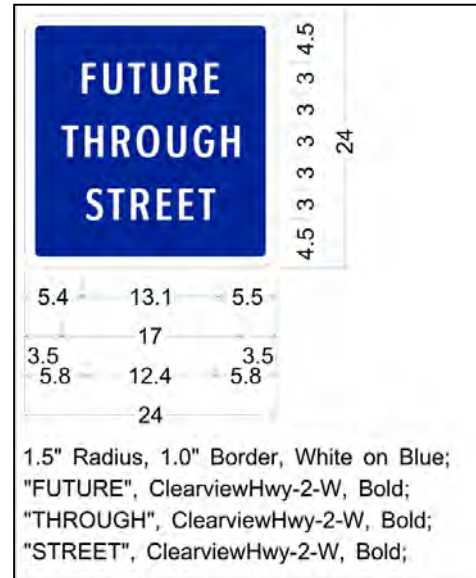


3. Traffic Signage

- A. New requirements for future through street signage are being proposed for temporary dead ends and stub-outs. The purpose for this new signage is to inform surrounding property owners about future street connections into an adjacent property or development phase.

Signs would not require a separate permit, but development permits would need to include the sign detail from the Town's Engineering Design Criteria and Construction Standards Manual (page 3). The approval and installation of the sign would need to take place prior to the acceptance of the subdivision. If the street in relation to the sign is public, the Town will be responsible for maintenance responsibilities, and if the street is private, the property owner will be responsible for maintenance.

The following figures are draft details of the “future through street” signage. Signage would need to be a minimum 4 feet in height and with at least three markers spaced 6 feet apart from center. The “future through street sign” is anticipated to be 2 feet by 2 feet and mounted on the center marker. All signs will be required to comply with the Town’s Engineering Design Criteria and Construction Standards Manual, which is anticipated to be approved within the first half of 2022 (calendar year).



- B. Zoning districts that have approved alternative traffic sign poles would be responsible for their maintenance and replacement. If they are not repaired and/or replaced in a timely manner, and the Town is required to respond for safety reasons, minimum fees will be due.

III. CORRESPONDENCE

The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle). At the time this report was written, the Town had not received any inquiries about this item.

IV. ATTACHMENTS

1. Draft Redline Ordinance

SUBPART B – LAND DEVELOPMENT REGULATIONS

CHAPTER 78. - ADMINISTRATION

DIVISION 3. BOARD OF ADJUSTMENT

Sec. 78-85. - Variances.

(c) Structures. In addition to subsection b, the Board may consider the following as grounds to determine whether compliance with the ordinance, as applied, would result in an unnecessary hardship regarding structures and buildings:

- (1) The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the town.
- (2) Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.
- (3) Compliance would result in the structure not being in compliance with a requirement of this Code, building code, or other requirement.
- (4) Compliance would result in the unreasonable encroachment on an adjacent property or easement.
- (5) The municipality considers the structure to be a nonconforming structure per section 78-236.

CHAPTER 90. - SUBDIVISIONS

ARTICLE IV. – MANDATORY HOMEOWNERS’ ASSOCIATION

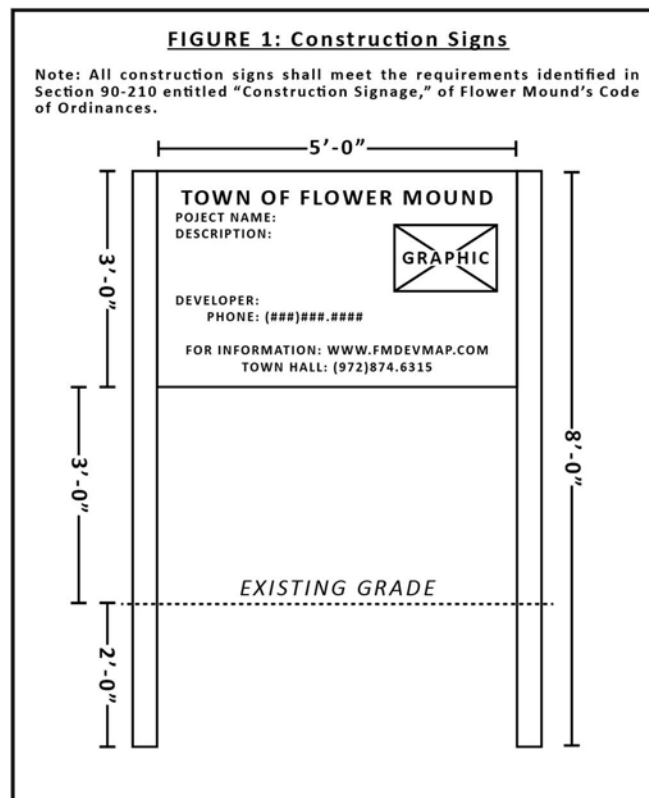
Sec. 90-187-90-2~~1009~~. – Reserved

ARTICLE V. – IMPROVEMENTS

Sec. 90-210. Construction Signage.

- 1) The contractor shall install construction signs onsite, at the contractor’s sole expense, in accordance with the standards below.
 - a) Applicability. This section shall apply to all residential and nonresidential developments obtaining a development permit.
 - b) Permit. No separate permit shall be required; however, Figure 1 of this section must be included as a detail within applicable development permits for the project. Signs must be approved by the Town prior to installation and inspected prior to commencing construction.
 - c) Number and location. The number and locations of signs shall be determined by the Town. The number of signs will be based on the development’s size, construction entrance location(s), and final access points, with a preference toward locating signs in areas visible to adjacent, existing developments. Supporting posts shall be buried a minimum two (2) feet in the ground for stabilization as depicted in Figure 1 of this section. No signs shall be placed within clear visibility areas identified by Section 82-161.

- d) Size and material. All signs must significantly comply with the design and layout of Figure 1 within this section and meet the following requirements:
- i) Must be comprised of three-quarter inch exterior or marine grade plywood or an equivalent material approved by the Town, be three feet by five feet in size, and painted with exterior white latex paint.
 - ii) A graphic, no less than 11 inches by 17 inches, of the development shall be included as identified in Figure 1 of this section for the following:
 - (1) Non-residential and multifamily. An approved color rendering of the project.
 - (2) Residential. An approved color rendering of development, or Town-approved alternate graphic.
 - iii) The board must be mounted on two vertical posts measuring 8 feet in height constructed of two-inch by four-inch board stock painted with exterior white latex.
 - iv) The project name, a brief description of the project, the developer's name, and the Town webpage and phone number must be provided on the sign as identified in Figure 1 of this section.
 - v) Lettering shall be no less than 1.5 inches in height and generally comply with the location of text as identified in Figure 1 of this section.
- e) Maintenance. All signs must be properly maintained through subdivision acceptance for residential projects, or approval of final inspection for non-residential and multifamily projects, including keeping the area around the sign clear of weeds and debris. Following written notification, missing or damaged signs must be replaced or repaired within two weeks.
- f) Removal. The owner/developer/applicant must remove signs from the lot or tract of land within fourteen days after the date of subdivision acceptance for residential projects, or approval of final inspection for non-residential and multifamily projects.
- g) Figure 1.



Sec. 90-216. – Traffic Signs

- 1) The developer shall pay the costs of purchasing and installing traffic signs required for the associated project. at each street intersection, which ~~is~~ Traffic signs and posts shall be installed in accordance with the current Town standards and the latest edition of the Texas Manual on Uniform Traffic Control Devices. The developer shall also pay the cost for and install regulatory all signage for the subdivision in accordance with the approved signs and markings plan. necessary for the safety of the public.
- 2) Future road extension signage. The developer must pay the costs of purchasing and installing “future through street” markers and related signage at all dead end and stub-out streets where the road is planned to extend into an adjacent undeveloped property or phase in accordance with the following standards:
 - a) Location. Signage must be located parallel to the dead end or stub-out’s edge of pavement.
 - b) Permit. No separate permit shall be required; however, the future road extension signage detail contained within the Engineering Design Criteria and Construction Standards Manual must be included within all applicable development permits for the associated subdivision.
 - c) Installation. Signage must be installed by the developer prior to the Town’s acceptance of the subdivision.
 - d) Design and Materials. Future road extension signs must comply with the detail contained within the Engineering Design Criteria and Construction Standards Manual.
 - e) Maintenance.
 - i) Public street or alley. After acceptance of the subdivision and right-of-way, the Town shall be responsible for all required maintenance of future road extension signage.
 - ii) Private street or alley. The owner of the private street or alley shall be responsible for all required maintenance of future road extension signage. Following written notification, missing or damaged signs must be replaced or repaired within four weeks.
- 3) Alternative sign poles. Zoning Districts that have approved alternative poles to the Town standard pole shall be responsible for all maintenance required of such poles as well as any signage attached to said poles. The responsible party designated in the authorizing zoning ordinance, or their successor in interest, shall be required to address critical signs, such as stop signs, within two (2) hours of the notification of a knock down. This responsibility is applicable no matter the time of day that the knock down is reported. The responsible party shall provide a 24-hour contact for notification of such occurrences. If knocked down/damaged signs are not addressed by the responsible party within the required window, and the Town has to replace alternative pole(s) to ensure public safety, the responsible party may be issued and required to pay invoices for time spent and resources including but not limited to labor and a minimum mobilization fee of \$500. A fee for resources left on site of \$100 per day shall also be assessed until such time as the responsible party notifies the Town that the situation has been remedied.