

AGENDA

FLOWER MOUND PLANNING AND ZONING COMMISSION REGULAR MEETING

10/11/2021

FLOWER MOUND TOWN HALL, 2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

6:30 P.M.

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Please silence or turn off all electronic devices.

Meeting participants may be asked to wait in the lobby until their name is called.

Comments regarding any agenda item can be sent to the Commission by emailing pz@flower-mound.com.

A. **CALL MEETING TO ORDER** *(or immediately following the Capital Improvement Advisory Committee Meeting)*

B. **ELECTION OF OFFICERS**

1. Chair
2. Vice-Chair

C. **PUBLIC COMMENT**

To speak to the Planning & Zoning Commission during public comment, please fill out a comment form which is located in the lobby near Jody Smith Hall.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired.
- Please state your name and address when speaking.

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

D. **FUTURE AGENDA ITEMS**

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

E. **DIRECTOR'S REPORT**

1. Training Opportunities

F. CONSENT ITEMS

This part of the agenda consists of non-controversial or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of September 27, 2021: Consider approval of the minutes of the September 27, 2021, Planning and Zoning Commission Regular Session.

G. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town’s development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

2. SP21-0004 – Dutch Bros Coffee: Public Hearing to consider a Site Plan (SP21-0004 – Dutch Bros Coffee) to develop a fast food restaurant with a drive through window, with an exception to the Architectural Standards of the Town’s Urban Design Plan for meritorious design, a waiver to Architectural Standards in the Town’s Urban Design Plan for roof pitch, and an exception to ‘Underground Utilities’ pursuant to Section 82-377, “Exceptions,” of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.
3. SUP21-0007 – Stone Hill Boat Sales SUP-473: Public Hearing to consider an ordinance granting a Specific Use Permit No. 473 (SUP21-0007 – Stone Hill Boat Sales) to permit Retail, general (outdoors) facility for a boat dealership, with an exception to ‘Underground Utilities’ pursuant to Section 82-377, “Exceptions,” of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.
4. SUP21-0009 – Pepper Creek Ranch Lot 1, Block B Accessory Dwelling SUP-475: Public Hearing to consider an ordinance granting Specific Use Permit No. 475 (SUP21-0009– Pepper Creek Ranch Lot 1 Blk B Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Bloomington Parkway and west of Summer Hill Court.

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

H. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town’s website in accordance with GC Section 551.056 on the following date and time: October 7, 2021, at 4:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at 972-874-6350.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: October 11, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the September 27, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on September 27, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 27TH DAY OF SEPTEMBER 2021, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Brad Ruthrauff	Chair
Robert Rawson	Vice-Chair
James Naylor	Commissioner, Place 4
Philip Del Vecchio	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Tim Fink	Commissioner, Place 7
Robert Cox	Commissioner, Place 8
Janvier Werner	Commissioner, Place 9

Constituting a quorum with the following members absent:

Vacant	Place 2
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(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Alicia Kreh	Town Attorney
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Matt Hotelling	Traffic Engineer
Claire Barnes	Planner
John Chapman	Planner
LauriAnn Cash	Executive Assistant

- A. **CALL REGULAR SESSION TO ORDER: 6:30 P.M.**
- B. **INVOCATION**
- C. **PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG**
- D. **PUBLIC COMMENT**
None
- E. **FUTURE AGENDA ITEMS**
None

F. DIRECTOR'S REPORT

1. Development Update
 - The Commission agreed they would like to have a work session on Cross Timbers Business Park (ZPD21-0014)
 - The Commission agreed they would like to have a work session on Whyburn Addition (MPA21-0008 & ZPD21-0015)

G. CONSENT ITEMS

1. Consider approval of the minutes of the September 13, 2021, Planning and Zoning Commission Regular Session.

Commission Deliberation

Vice-Chair Rawson moved to approve Consent Item 1. Commissioner Naylor seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Rawson, Cox

NAYS: None

The motion to approve passed by a vote of 6 to 0.

H. REGULAR ITEMS

2. Public Hearing to consider an ordinance amending the Master Plan (MPA21-0006 – Spinks Road Tract) to amend Section 1.0, Land Use Plan, of the Master Plan, and Section 2.0 Area Plans, of the Master Plan, to change the current land use designation from Estate Residential and Lakeside Business District with Campus Commercial uses to Low Density Residential uses. The property is generally located east of Long Prairie Road and north of Spinks Road.

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Mike Boswell, Toll Brothers
Dee Seals, Toll Brothers
Casey Ross, Kimley-Horn

Spoke In Favor:

Bryan Webb, 4112 High Road
Shawn Sheehan, LISD Director of Governmental Affairs

Spoke In Opposition:

None

Commission Deliberation

Commissioner Cox moved to recommend approval of MPA21-0006 – Spinks Road Tract as presented. Vice-Chair Rawson seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Rawson, Fink, Gilmore, Del Vecchio, Naylor

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

3. Public Hearing to consider an ordinance for rezoning (ZPD21-0004 – Spinks Road Tract) from Agricultural District uses to Planned Development District No. 182 (PD-182) with Single Family District-15 uses and with certain exceptions and modifications to the Code of Ordinances, including but not limited to an exception to 'Underground Utilities' pursuant to Section 82-377, Exceptions, and an exception to 'Depth' pursuant to Section 90-272, Lot depth, lines, and frontage. The property is generally located east of Long Prairie Road and north of Spinks Road.

Staff Presentation

Claire Barnes Planner

Applicant Presentation

Mike Boswell, Toll Brothers
Dee Seals, Toll Brothers
Casey Ross, Kimley-Horn

Spoke In Favor:

Bryan Webb, 4112 High Road
Shawn Sheehan, LISD Director of Governmental Affairs

Spoke In Opposition:

None

Commission Deliberation

Commissioner Cox moved to recommend approval of ZPD21-0004 – Spinks Road Tract PD-182 as presented with Option "C" from the applicant's presentation. Vice-Chair Rawson seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Rawson, Cox

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 4. Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0001 – Parking and Accessory Structures) by amending Chapter 74 entitled “General Provisions,” Chapter 82 entitled “Development Standards” and Chapter 98 entitled “Zoning,” of the Town’s Code of Ordinances to amend and propose new standards for accessory buildings, and off-street parking and stacking standards for the purpose of clarifying and updating certain sections.**

Staff Presentation

John Chapman, Planner

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Vice-Chair Rawson moved to recommend approval of LDR21-0001 – Parking and Accessory Structures as presented with clarification on “roof line.” Commissioner Naylor seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Rawson, Fink, Gilmore, Del Vecchio, Naylor

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

- 5. Public Hearing to consider an ordinance amending the Land Development Regulations (LDR21-0002 – Legislative Updates) by amending Chapter 78 entitled “Administration,” and Chapter 90 entitled “Subdivisions,” of the Town’s Code of Ordinances to amend and propose new regulations for variances considered by the Board of Adjustment, construction signs, and traffic signs for the purpose of meeting new state law requirements and creating sign requirements for future stub-outs.**

Staff Presentation

John Chapman, Planner

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Commissioner Gilmore moved to recommend approval of LDR21-0002 – Legislative Updates as presented. Commissioner Del Vecchio seconded the motion.

VOTE ON THE MOTION

AYES: Naylor, Del Vecchio, Gilmore, Fink, Rawson, Cox

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

I. ADJOURNMENT – REGULAR SESSION: 9:10 P.M.

TOWN OF FLOWER MOUND, TEXAS

**_____
Lexin Murphy, Director of Planning Services**

ATTEST:

**_____
LauriAnn Cash, Executive Assistant**



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

REGULAR ITEM

DATE: October 11, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Public Hearing to consider a Site Plan (SP21-0004 – Dutch Bros Coffee) to develop a fast food restaurant with a drive through window, with an exception to the Architectural Standards of the Town's Urban Design Plan for meritorious design, a waiver to Architectural Standards in the Town's Urban Design Plan for roof pitch, and an exception to 'Underground Utilities' pursuant to Section 82-377, "Exceptions," of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are exception requests to the Town's regulations which necessitate special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop an approximately 858 square-foot fast food restaurant with a drive through window to be located on Lot 2R of the Stone Hill Farms Retail Addition No. 2. The property is currently zoned Planned Development District-43 (PD-43) for Commercial District-2 (C-2) uses and master-planned for Commercial/Industrial uses. The existing zoning allows a drive through restaurant use by right.

As part of the request, the applicant has asked for certain exceptions to the Code of Ordinances. In summary (see Section III, below, for detail):

Exceptions:

- Meritorious Design
- Roofs and Parapets
- Section 82-377, Overhead Utilities in order to not bury approximately 40 linear feet of overhead utilities along Justin Road.

The access to this site will be from both Justin Road and Stone Hills Farms Parkway. The site plan depicts two drive through lanes. The parking for the restaurant use is calculated at the ratio of one space for every 75 square feet of the facility. Based on this requirement, the proposed use would require 11 parking spaces. The site plan depicts 13 parking spaces, which is within the Town's allowable 20% parking deviation. The landscape plan depicts required street buffer and parking lot trees and is in conformance with the Town's landscaping requirements.

The applicant is requesting certain exceptions to the Architectural Standards within the Town's Urban Design Plan. The applicant's letter of intent explains their exception requests.

III. EXCEPTIONS:

A. Meritorious Design Exception

The Town's Urban Design Plan provides Architectural Standards for non-residential buildings in the Town with the intent of creating developments of "enduring and exemplary quality and design." The purpose of these standards is to encourage building design of meritorious quality throughout the Town and prohibit franchise architecture. An applicant can request an exception to certain Architectural Standards if their proposal is determined to have meritorious quality and design.

Section 6 of the Architectural Standards provides standards for primary and secondary building material color palettes, which requires the use of natural and earth tone colors. The secondary or accent colors may comprise of up to 20 percent of each façade and should relate to the primary color of the building.

The proposed elevation comprises of beige shade stucco, grey stone, and dark blue accent color. Though the percentage of the accent color on the proposed elevation is less than 20%, the color itself does not relate to the base tone of the building. The applicant is proposing to use a dark blue accent color that is selected from the Dutch Bros' brand color palette, which they believe complements the overall building scheme.

B. Roofs and Parapets

Roofs of non-residential buildings 15,000 square feet or less are to reflect hip and/or gable styles that replicate residential scale and pitch. In designing a residential scaled roof for non-residential buildings 15,000 square feet or less, the goal shall be a roof that provides for characteristic roof pitches/slopes of residential homes in the Town of Flower Mound (6/12 to 9/12 slope) and high steeply-pitched and/or expansive roof pitches/slopes shall be avoided. The Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this request for individual projects. Such request should only be contemplated in the areas that are not adjacent to residences, are part of a large scale developments, and provide architectural detail to soften the appearance of large, tall vertical walls.

The proposed building is 858 square feet and requires a pitched roof on all sides of the building. The proposed elevations consist of a flat roof design with a pitched roof tower element. The applicant's letter of intent explains the limitations regarding the aspects of the site and building as reasoning for requesting this exception.

Unresolved Items:

The Architectural Standards also requires buildings to respect the contextual setting of the development and to maintain a unified design theme if there are three or more buildings within a non-residential subdivision. Stone Hill Farms Retail Addition No. 2 consists of three non-residential lots, out of which the property to the west of the proposed building is developed with a car wash facility. As this building was first to develop, it established the architectural theme for this subdivision. The car wash facility utilizes a combination of light and medium dark masonry (stone and stucco) and incorporates pitch roof design. The proposed building incorporates the beige stucco color to complement the paint color on the car wash facility. In staff's opinion, the combination of dark stone, Dutch Bros' blue paint and the absence of pitch roof design creates a non-cohesive design pattern within this subdivision. The applicant and the staff have discussed the unresolved issues and the applicant has indicated their desire to move forward with the elevations as presented with their request for a meritorious design exception.

C. Exception to Section 82-376, Underground Utilities

Section 82-376 states that all existing overhead utilities, save and except transmission facilities identified in the Town Code, shall be placed underground in conjunction with the development of property, and prior to the Town's acceptance of the subdivision, subject to the certain provisions. The applicant is requesting an exception to burying approximately 40 linear feet of overhead utility lines located along the Justin Road (FM 2499) frontage.

As required by Section 83-377, the applicant has provided plans and perspectives of the development along Justin Road to illustrate how the development would appear with and without the overhead lines. The applicant has also provided correspondence from Oncor detailing what would be required if the lines were buried and quote stating the relocation costs.

IV. ATTACHMENTS**A. Background Information**

1. Vicinity Map
2. Letter of Intent

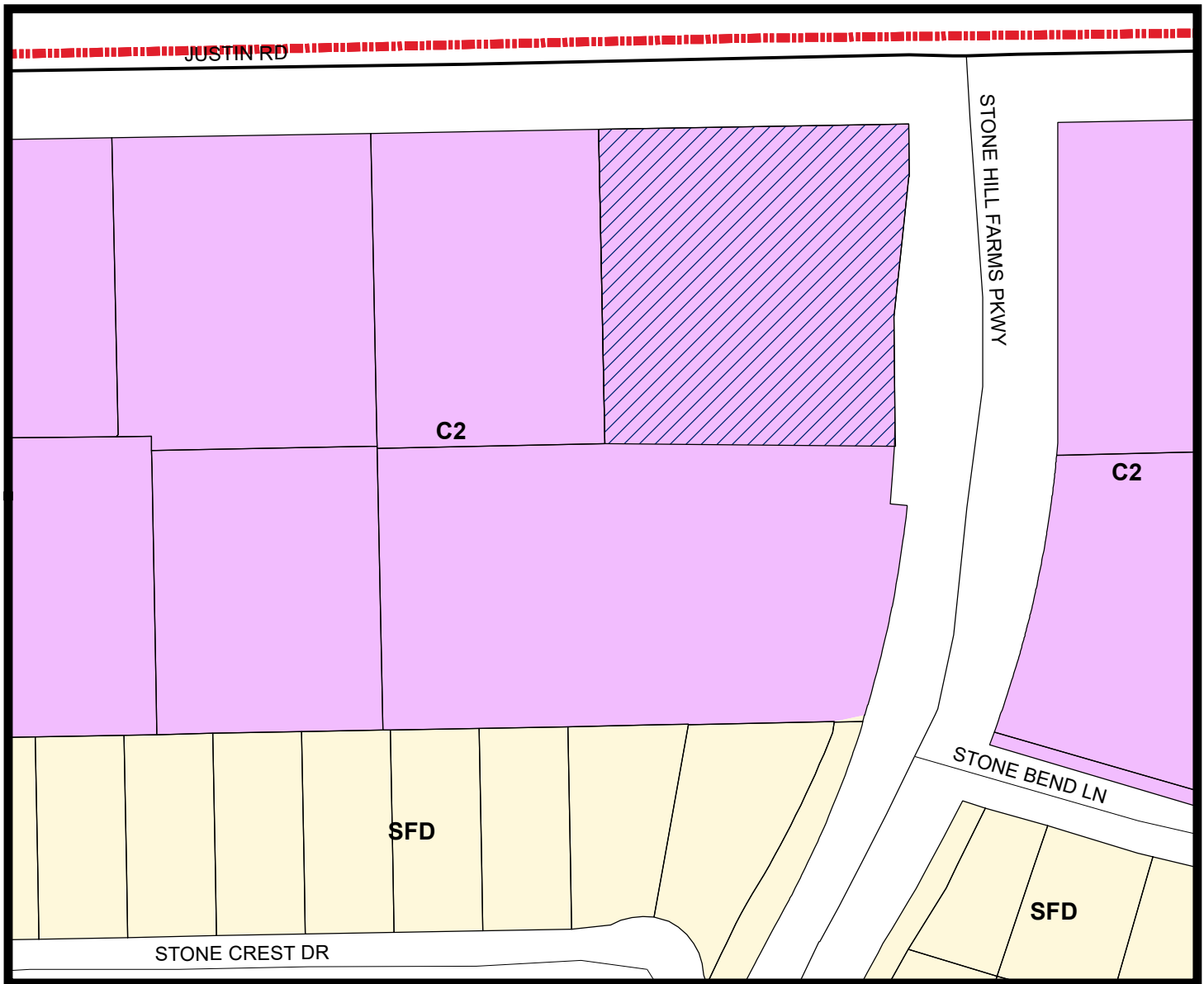
B. Application Details

1. Site Plan Package
2. Overhead Utilities Exception Exhibits



Vicinity Map

Reference Project: SP21-0004



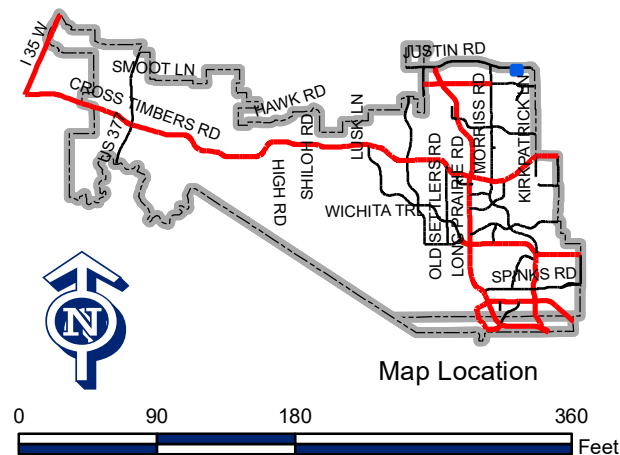
LEGEND

 Commercial 2  Single Family Density

 Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.





October 06, 2021

Development Services
Town of Flower Mound
2121 Cross Timbers Rd
Flower Mound, Texas 75028

RE: Site Plan for Dutch Bros. Coffee at Stone Hill Farms Retail Addition No. 2

To Whom It May Concern,

The intent of this site plan is to develop a Dutch Bros. Coffee shop on Lot 2R of the Stone Hill Farms Retail Addition No. 2. The site is currently zoned PD-43 with Commercial 2 (C-2) uses. The site consists of a total area of 1.31 acres with a proposed coffee shop building of 858 square feet. The development will be constructed in a single phase and will provide the minimum parking stalls required for this use plus an additional 20 percent parking per Town of Flower Mound standards. The proposed building will utilize Town of Flower Mound water and sewer.

The proposed development is also requesting three exceptions to the Town of Flower Mound development standards. An exception to Ordinance No. 21-20 for underground utilities which requires overhead utilities present on, or adjacent to, the proposed development to be placed underground. The exception is requested based on the existing power poles being located at the dead end of an existing underground service line and cannot be removed as each pole is necessary in support of the underground facilities to the east. The attached exhibits show that the utility poles would need to be relocated to the west of the property line to continue serving the existing overhead and underground facilities. As a result approximately 35 linear feet of overhead utility lines would be removed.

An exception to the Town of Flower Mound Urban design plan is requested to allow accent colors to comprise 20% of each building elevation and should relate to the base tones. The attached building elevations show that the provided accent color does not exceed the limitation of 20% of each façade and is complementary to the overall building color scheme as well as Dutch Bros. brand palette for the facility.

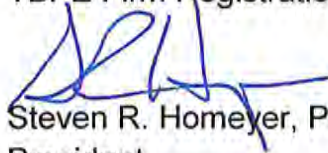
An exception to the Town of Flower Mound Urban design plan is requested to allow a non-residential building of 15,000 square feet or less to have a flat roof in lieu of the required hip and/or gable styles that replicate residential scale and pitch (6/12 to 9/12 slopes). Due to the considerations/limitations regarding the aspects of the site and building itself, the proposed Dutch Bros Coffee location has implemented a conforming hipped roof atop the building tower, as well as parapet/cornice accents to soften the appearance of the wall verticality.

Should you have any questions regarding this submittal, please feel free to give me a call at 972-906-9985 or you can reach me by email at shomeyer@hei.us.com

Sincerely,

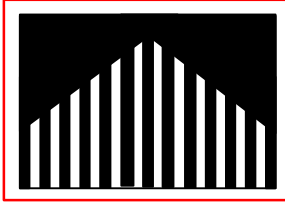
HOMEYER ENGINEERING, INC.

TBPE Firm Registration No. F-8440



Steven R. Homeyer, P.E.
President

ARCHITECTURE SINCE 1952



■ Castles Design Group, PC ■

A Professional Architectural Corporation
 3801 Kirby Drive, Suite 600
 Houston, Texas 77098
 tel: 713.664.7974
 fax: 713.664.9756
www.castlesdesigngroup.com

September 15, 2021

ATTN: Planning & Zoning Department
 City of Flower Mound, Texas
 2121 Cross Timbers Road
 Flower Mound, Texas 75028
 Tel.: 972.874.6000

RE: Proposed Dutch Bros Coffee Stand
 SWC Justin Road (at Stone Hills Parkway)
 Flower Mound, Texas 75028

REQUEST FOR EXCEPTIONS FROM THE TOWN'S URBAN DESIGN PLAN

To Whom It May Concern:

With regard to the proposed Dutch Bros Coffee (DBC) location in the Town of Flower Mound, Texas, please accept this letter as a general outline of the proposed design for review and consideration.

Although confronting with several aspects of the Flower Mound Urban Design Plan, the above referenced project does propose exceptions from limited criteria as outlined in the Urban Design Plan, as follows:

1. Façade Accent Color
2. Roof Pitch

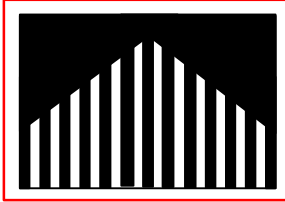
Proposed deviations from the Urban Design Plan are outlined below with additional explanation in **PURPLE**:

COLOR DEVIATION

- 6.2 Accent colors may comprise the remaining 20% of each building elevation and should relate to the base tones. (The provided accent color does not exceed the limitation of 20% of each façade and is allocated as follows, by elevation:
 1. North – 19% [14% stucco (DBC BLUE); 5% accent at roofline (DBC BLUE)]
 2. South – 18% [11% stucco (DBC BLUE); 7% accent at roofline (DBC BLUE)]
 3. East – 14% [9% stucco (DBC BLUE); 5% accent at roofline (DBC BLUE)]
 4. West – 11% [4% stucco (DBC BLUE); 7% accent at roofline (DBC BLUE)]

[CONTINUED, NEXT PAGE →]

ARCHITECTURE SINCE 1952



■ Castles Design Group, PC ■

A Professional Architectural Corporation
 3801 Kirby Drive, Suite 600
 Houston, Texas 77098
 tel: 713.664.7974
 fax: 713.664.9756
www.castlesdesigngroup.com

The accent color, as selected by Dutch Bros Coffee, is complementary to the overall building color scheme as well as Dutch Bros' brand palette for the facility.)

ROOF SLOPE/PITCH DEVIATION

- 12.1 Roofs of non-residential buildings 15,000 square feet or less are to reflect hip and/or gable styles that replicate residential scale and pitch (6/12 to 9/12 slope). (Due to the considerations/limitations regarding the aspects of the site and building itself, the proposed Dutch Bros Coffee location has implemented a conforming hipped roof atop the building tower, as well as parapet/cornice accents to soften the appearance of the wall verticality.)

Dutch Bros Coffee does sincerely look forward to being part of – and giving back to the community – and looks forward to review and feedback regarding the proposed. DBC does want to provide the familiar aesthetic inherent to the area and stipulated in the Town's guidelines, and to maintain their corporate identity that is helping propel them as one of the fastest growing business in the Country.

Should you have any questions, or if there is any additional clarification we can provide, please don't hesitate to contact me.

Thank you in advance for your time and considerations.

Respectfully,

Steven Pratt, AIA, NCARB | Principal

CASTLES DESIGN GROUP, P.C.

A Professional Architectural Corporation

architecture since 1952

3801 Kirby Drive, Suite 600

Houston, Texas 77098

Tel.: 713.664.7974 x1308

Fax.: 713.664.9756

Web.: <http://www.castlesdesigngroup.com>



September 23, 2021

Planning & Zoning Department
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028

**RE: Request for Exception – Site Plan
for Dutch Bros. (SP21-0004)**

To Whom It May Concern:

Homeyer Engineering, Inc., on behalf of our client, is submitting this request for Dutch Bros Coffee located at the Southwest corner of Stone Hill Farms Parkway and Justin Road (FM 407) Flower Mound, Texas. The following exception is being requested for the development of the site.

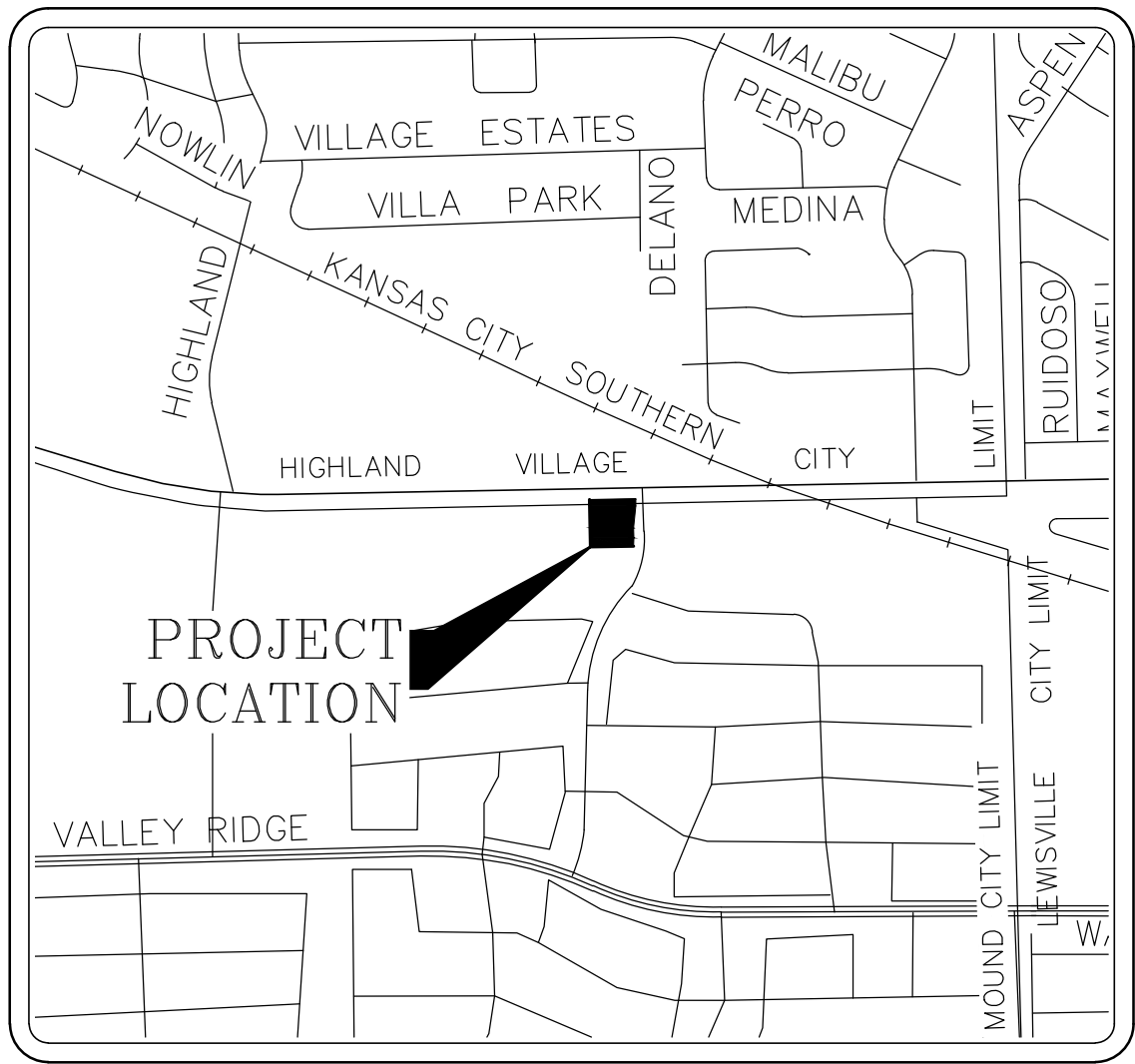
1. An exception is requested to Ordinance No. 21-20 for Underground Utilities which requires overhead utilities present on, or adjacent to, the proposed development to be placed underground. The exception is requested based on the existing power poles are at the dead end of an existing underground service line and cannot be removed as each pole is necessary in support of the underground facilities to the east. The attached exhibits show that the poles would need to be relocated to the west of the property line to continue serving the existing overhead and underground facilities. As a result approximately 35 linear feet of overhead utility lines would be removed.

All other requirements of the Town standards will be met for the site. Please feel free to contact me with any questions or comments at 972-906-9985 or shomeyer@hei.us.com

Sincerely,

HOMEYER ENGINEERING, INC.
TBPE Firm Registration No. F-8440

Steven R. Homeyer P.E.
President



Vicinity Map 1"=1000'

NOTES:

1. ALL CONCRETE PAVEMENT THAT IS TO BE INSTALLED ABUTTING EXISTING CONCRETE PAVEMENT SHALL REQUIRE HEADERS.
2. ANY WORK WITHIN THE TXDOT ROW REQUIRES A PERMIT PRIOR TO CONSTRUCTION.
3. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
4. ALL SIDEWALKS, RAMP, BFRS, AND ADA PARKING/LOADING AREAS SHALL COMPLY WITH GRADING NOTES 18-21 ON SHEET C1.1
5. ALL RETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
6. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
7. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
8. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
9. DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
10. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
11. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FIRE LANE WITHIN THE PLATTED BOUNDARY OF LOT 2R.
12. THE OWNER IS RESPONSIBLE FOR COORDINATING ALL WORK DONE WITHIN AN EASEMENT.

THE CONTRACTOR SHALL CONTACT DIG-TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES



MASTER PLAN FEATURES

LAND USE PLAN	COMMERCIAL/INDUSTRIAL
SPECIFIC PLAN AREA	NOT IN A SPECIFIC PLAN AREA
PARKS AND TRAILS	PROPOSED 8' MULTI-PURPOSE TRAIL TO BE INSTALLED ON THE SOUTH SIDE OF FM 407 (JUSTIN ROAD)
OPEN SPACE PLAN	NOT IN A CONSERVATION DEVELOPMENT
THOROUGHFARE PLAN	FM 407 (JUSTIN ROAD) - MAJOR ARTERIAL WITH VARIABLE WIDTH ROW MUTUAL ACCESS - CROSS ACCESS BETWEEN LOTS IS PROVIDED
WATER PLAN	12 INCH WATER LINE ALONG EAST SIDE OF STONE HILL FARMS PARKWAY
WASTEWATER PLAN	10 INCH SANITARY SEWER LINE ON THE SOUTHSIDE OF FM 407 (JUSTIN ROAD) AND WEST SIDE OF STONE HILL FARMS PARKWAY

DESIGN POINTS

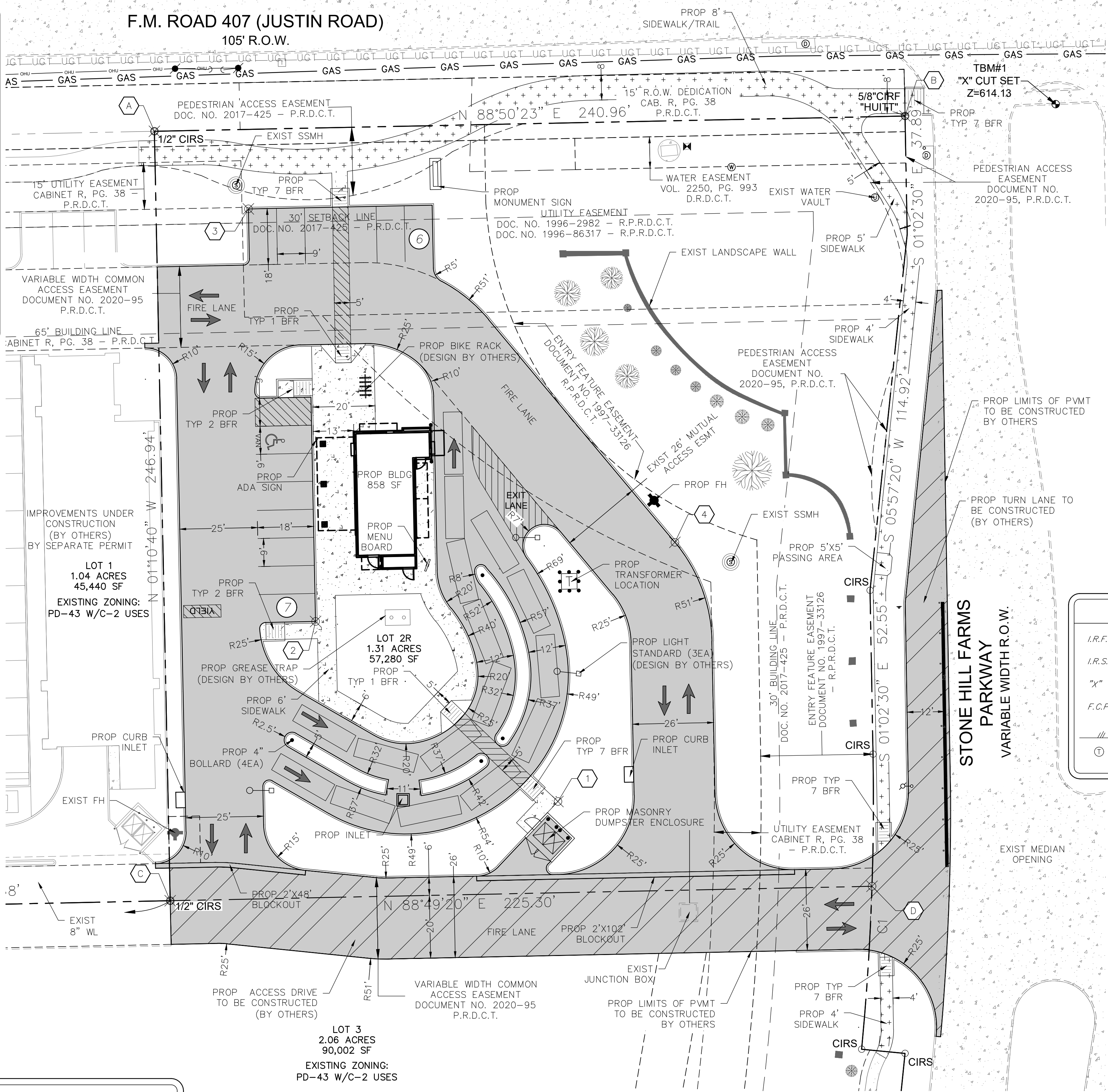
PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7075770.9538	2412109.7539	1	7075555.8921	2412239.2611
B	7075775.8270	2412350.6687	2	7075613.6475	2412161.4972
C	7075524.0557	2412114.8287	3	7075746.0535	2412139.9108
D	7075528.6866	2412340.0807	4	7075639.0483	2412276.8167

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	94.81'	836.00'	6°29'53"	S 02°12'26" W	94.76'
C2	174.01'	850.00'	11°43'47"	S 11°19'17" W	173.71'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 84°32'37" E	14.00'

PRELIMINARY PLANS

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 08/13/2021



SITE DATA TABLE

SITE AREA:	1.31 ACRES (57,280 SF)
ZONING:	PD-43 WITH C-2 USES
ZONING:	VACANT
CURRENT USE:	VACANT
LOT COVERAGE DATA	
BUILDING COVERAGE:	1.5% / 858 SF
IMPERVIOUS AREA:	43.3% / 24,774 SF
PERVIOUS AREA:	55.2% / 31,648 SF

PARKING SUMMARY

SURFACE PARKING	REQUIRED	PROVIDED
RESTAURANT/DRIVE THROUGH (1/75 SF):	11 (1 ADA)	13 (1 ADA)
MAXIMUM PARKING ALLOWED: 11 SPACES + 2 SPACES (20%) = 13 SPACES		

BUILDING DATA	
BUILDING HEIGHT:	25' (1-STORY)
TOTAL SQUARE FOOTAGE:	858 SF

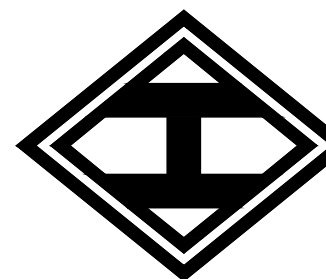
LEGEND

I.R.F.	IRON ROD FOUND	⊗	POWER POLE
I.R.S.	IRON ROD SET	⊙	LIGHT POLE
"X"	CUT X IN CONCRETE	⊗	WATER VALVE
F.C.P.	FENCE CORNER POST	⊗ SSMH	SANITARY SEWER MANHOLE
///	ASPHALT	⊗	FIRE HYDRANT
⊗	TELEPHONE MANHOLE	⊗ WM	WATER METER

DEVELOPER
Embree Development Group, Inc.
4747 Williams Drive
Georgetown, Texas 78633
Contact: Jerry Frazier
Phone: 512-819-4700

ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985
Fax: 972-906-9987

HOMEYER ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-B44D
P.O. BOX 294527 • LEWISVILLE, TEXAS 75029
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WWW.HEI.US.COM



DUTCH BROS.
LOT 2R, BLOCK A
STONE HILL FARMS RETAIL ADD. NO.2
1.31 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

DIMENSION CONTROL
SITE PLAN

DRAWN: JAA

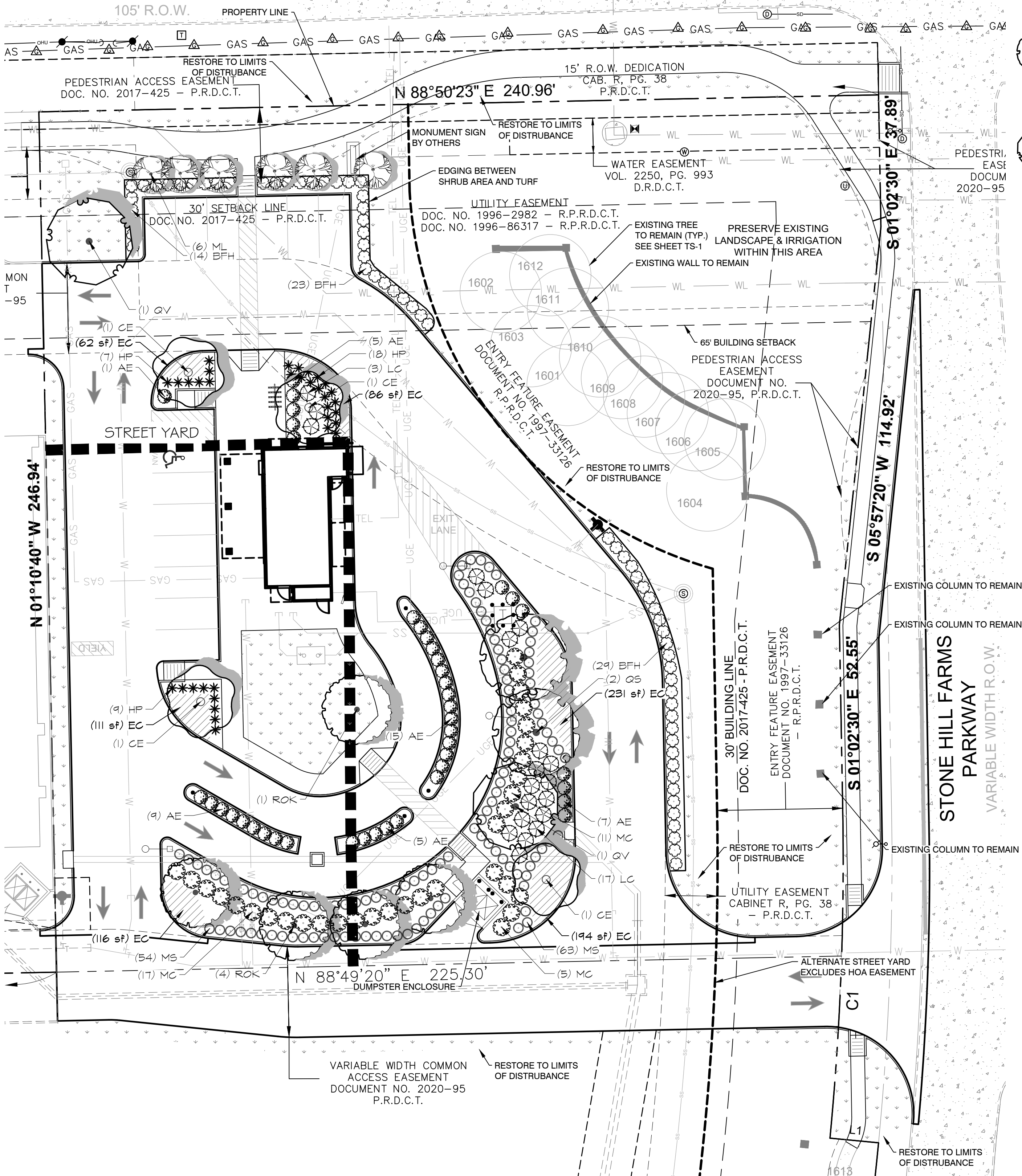
DATE: 01/04/2020

HEI #: 20-1102

SHEET NO:

C2

F.M. ROAD 407 (JUSTIN ROAD)



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

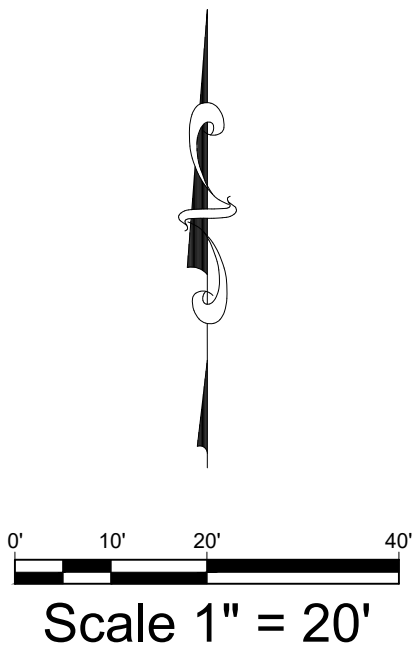
TREES	CODE	QTY	BOTANICAL / COMMON NAME	GAL.	CONT.	SIZE
	ML	6	Magnolia grandiflora 'Little Gem' Little Gem Dwarf Southern Magnolia	3" Cal.	Cont.	10' ht.
	Q5	2	Quercus shumardii Shumard Red Oak	3" Cal.	Cont. or B&B	10'-12'
	ROK	5	Quercus texana Texas Red Oak	3" Cal.	Cont. or B&B	10'-12'
	QV	2	Quercus virginiana Southern Live Oak	3" Cal.	Cont. or B&B	10'-12'
	CE	4	Ulmus crassifolia Cedar Elm	3" Cal.	Cont. or B&B	10'-12'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	AE	42	Abelia x 'Edward Goucher' Edward Goucher Abelia	5 GAL	SEE PLAN	24" FULL
	HP	34	Hesperaloe parviflora Red Yucca	3 GAL	SEE PLAN	24" FULL
	BFH	66	Ilex cornuta 'butardii' Burford Holly	5 gal		
	LC	20	Loropetalum chinense Chinese Fringe Flower	5 GAL	SEE PLAN	24" FULL
	MS	117	Miscanthus sinensis Miscanthus	5 GAL	SEE PLAN	18" SPREAD
	MC	33	Myrica cerifera Wax Myrtle	5 GAL	SEE PLAN	36" FULL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CT	28,493 sf	Cynodon dactylon 'Tif 419' Bermuda Grass	sod		
	EC	800 sf	Euonymus fortunei 'Coloratus' Coloratus Purple Wintercreeper	4" Pot	24" O.C.	12" SPREAD

GENERAL GRADING AND PLANTING NOTES

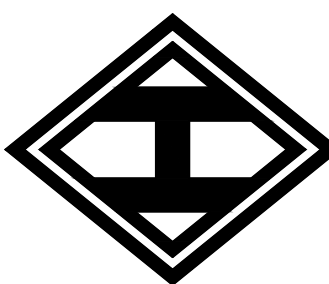
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

ALTERNATE STREET YARD LANDSCAPING (EXCLUDING HOA EASEMENT)			
STANDARD	TOTAL STREET YARD (SQ. FT.)	REQUIRED	PROVIDED
MIN. 20% OF STREET YARD	25,163 SF	5,032 SF	8,080 SF
10,000 TO 110,000 SF = 10 1 PER 2,500 SF = 6 TREES			
STREET YARD TREES			
STANDARD	TOTAL STREET YARD (SQ. FT.)	REQUIRED	PROVIDED
10 (FOR THE 1st 10,000SF)+6 (15,163SF/2500) = 16 TREES	25,163 SF	16 TREES	16 TREES
TREES REQUIRED TO SATISFY OTHER PROVISIONS OF LANDSCAPING REQUIREMENTS AND LYING WITHIN THE STREET YARD MAY BE USED TO SATISFY THE REQUIREMENTS OF OTHER SECTIONS.			
STREET BUFFER LANDSCAPING			
STREET NAME	REQUIRED BUFFER WIDTH	PROVIDED	
FM 407	25 FT	25 FT	
STREET BUFFER TREES (EXCLUDING HOA LANDSCAPE EASEMENT)			
STANDARD	STREET FRONTAGE (LINEAR FT.)	REQUIRED	PROVIDED
FM 407 1 PER 30 LF	105 LF	4 TREES	6 TREES
PARKING AREA LANDSCAPING			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
90 SF PER 12 SPACES	13 SPACES	100 SF	1,200+ SF
PARKING AREA TREES			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
1 PER 10 PARKING SPACES	13 SPACES	2 TREES	2 TREES
ALL PARKING SPACES ARE LOCATED WITHIN 50FT OF A TREE.			



HOMEYER
ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-84440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



DUTCH BROS
LOTS 2R, BLOCK A
STONE HILL FARMS RETAIL ADD. NO.2
1.31 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE
PLANTING



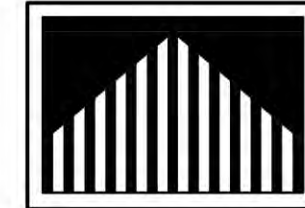
8-12-2021

DRAWN: EMS

DATE: 01/04/2020

HEI #: 20-1102

SHEET NO:
LP-1



■ Castles Design Group ■

DUTCH BROS COFFEE
NEW FREESTANDING BUILDING
SWC JUSTIN RD. & STONE HILLS PKWY FLOWER
MOUND, TX 75028

LEGAL DESCRIPTION:

TRACT 1: (Fee Simple)
Lot 2, Block A, of STONE HILL FARMS RETAIL ADDITION, No. 2, an Addition to
the Town of Flower Mound, Denton County, Texas, according to the Plat thereof
recorded under Clerk's File No. 2020-95, Plat Records, of Denton County, Texas.

ARCHITECT:

CASTLES DESIGN GROUP
3801 KIRBY DR. STE. 600
HOUSTON, TEXAS 77058
TEL: (713) 664-7974
ARCHITECT OF RECORD: STEVEN PRATT, AIA, NCARB

CLIENT:

EMBREE DEVELOPMENT GROUP, INC.
JERRY FRAZIER, PMP, SENIOR PROJECT MANAGER
4747 WILLIAMS DRIVE
GEORGETOWN, TEXAS 78633
TEL: (512) 819-4746
CEL: (512) 830-9078
E-MAIL: JFRAZIER@EMBREEGROUP.COM

SUBMITTAL DATE:

SEPTEMBER 15, 2021

GENERAL NOTES:

- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- SIGNS REQUIRE A SEPARATE PERMIT. ANY SIGNS DEPICTED ON THE SUBJECTS SITE PLANE/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.

MATERIAL TABULATIONS:

(SQUARE FOOTAGE PER FAÇADE)

	NORTH:	SOUTH:	EAST:	WEST:
1 TOTAL FAÇADE (SF):	546	546	941	941
2 DOORS & WINDOWS (SF):	60	87	24	74
3 FAÇADE (SF): (LINE 1 - LINE 2) (EXCLUSIVE OF DOORS & WINDOWS)	486	459	917	867
4 PRIMARY MASONRY (TOTAL %):	94.86%	93.03%	94.77%	92.73%
STONE (SF):	192	94	252	156
(% OF LINE 3)	39.51%	20.48%	27.48%	17.99%
STUCCO (SF):	269	333	617	648
(% OF LINE 3)	55.35%	72.55%	67.28%	74.74%
5 SECONDARY MATERIAL (TOTAL %):	5.14%	6.97%	5.23%	7.27%
METAL PARAPET CAP (SF):	25	32	48	63
(% OF LINE 3):	5.14%	6.97%	5.23%	7.27%

COLOR TABULATIONS:

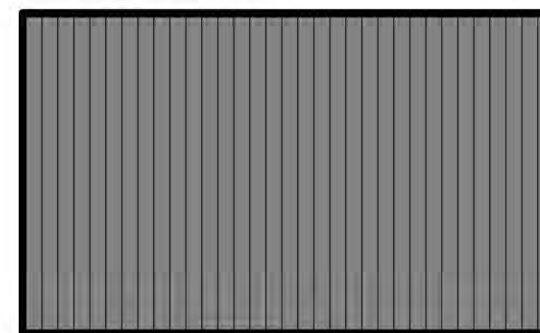
(SQUARE FOOTAGE PER FAÇADE)

	NORTH:	SOUTH:	EAST:	WEST:
EARTH TONE COLORS (TOTAL %):	80.45%	82.14%	86.15%	88.81%
STONE (EARTH TONE COLOR):	192	94	252	156
(% OF TOTAL FAÇADE)	39.51%	20.48%	27.48%	17.99%
STUCCO (EARTH TONE COLOR):	199	283	538	614
(% OF TOTAL FAÇADE)	40.95%	61.66%	58.67%	70.82%
ACCENT - DBC BLUE (TOTAL %):	19.55%	17.86%	13.85%	11.19%
STUCCO (BLUE ACCENT COLOR):	70	50	79	34
(% OF TOTAL FAÇADE)	14.40%	10.89%	8.62%	3.92%
METAL CAP (BLUE ACCENT COLOR):	25	32	48	63
(% OF TOTAL FAÇADE)	5.14%	6.97%	5.23%	7.27%

BUILDING LIGHTING

(L4) WALL SCONCE
MANUFACTURER: TECH LIGHTING
COLOR: CHARCOAL

(L6) WALL PACK
MANUFACTURER: RAB
COLOR: CHARCOAL

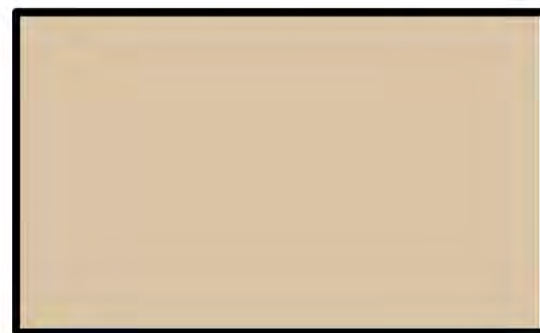


SS METAL ROOF
MANUFACTURER: MBO (OR SIMILAR)
PROFILE: STANDING SEAM
COLOR: DB GRAY

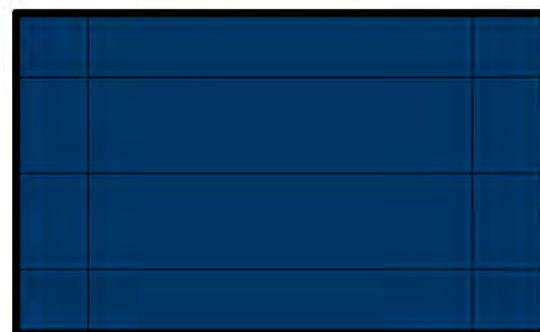
BUILDING MATERIALS



S STONE VENEER
MANUFACTURER: ELDORADO STONE
PRODUCT: STACKED STONE - DARK RUNDLE



S-1 STUCCO
PAINT: SHERWIN-WILLIAMS
COLOR: BUCKRAM BINDING - SW 0036



S-2 STUCCO
PAINT: SHERWIN-WILLIAMS
COLOR: DUTCH BROS BLUE (CUSTOM: 8656-12045)
ACCESSORY: FRY REGLET STUCCO REVEAL



MP-1 METAL PARAPET CAP
AEP SPAN: BOX RIB
COLOR: DB GRAY



MP-2 METAL PARAPET CAP
AEP SPAN: BOX RIB
COLOR: DB BLUE



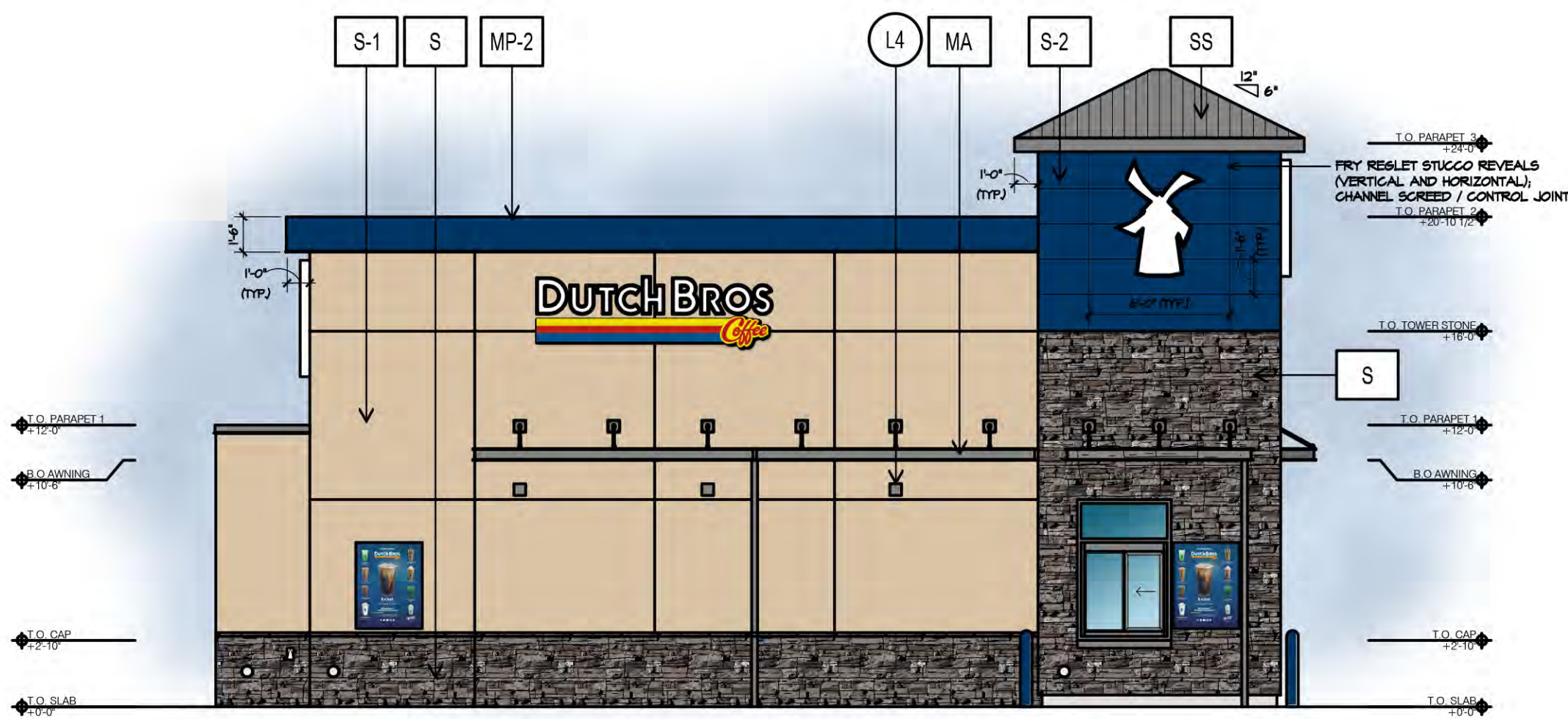
CF CANOPY FASCIA
COLOR: DB LIGHT GRAY



MA METAL AWNING
COLOR: POWDERCOATED DB DARK GRAY

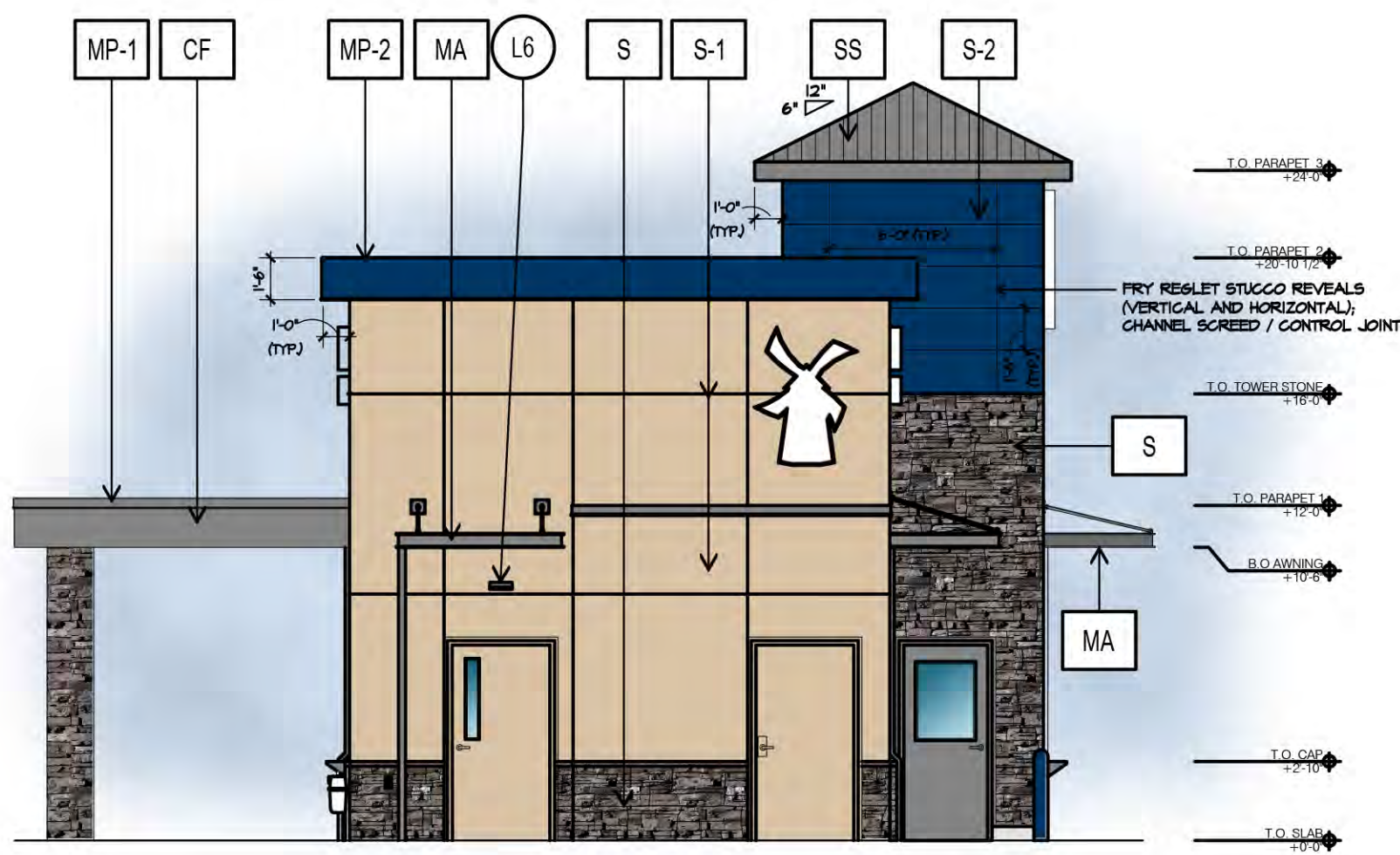


SF STOREFRONT SYSTEM
MANUFACTURER: KAWNEER
GLAZING: 1" TEMPERED LOW-E
COLOR: CLEAR ANODIZED ALUMINUM



DRIVE-THRU ELEVATION - EAST FAÇADE

3/8" = 1'-0"



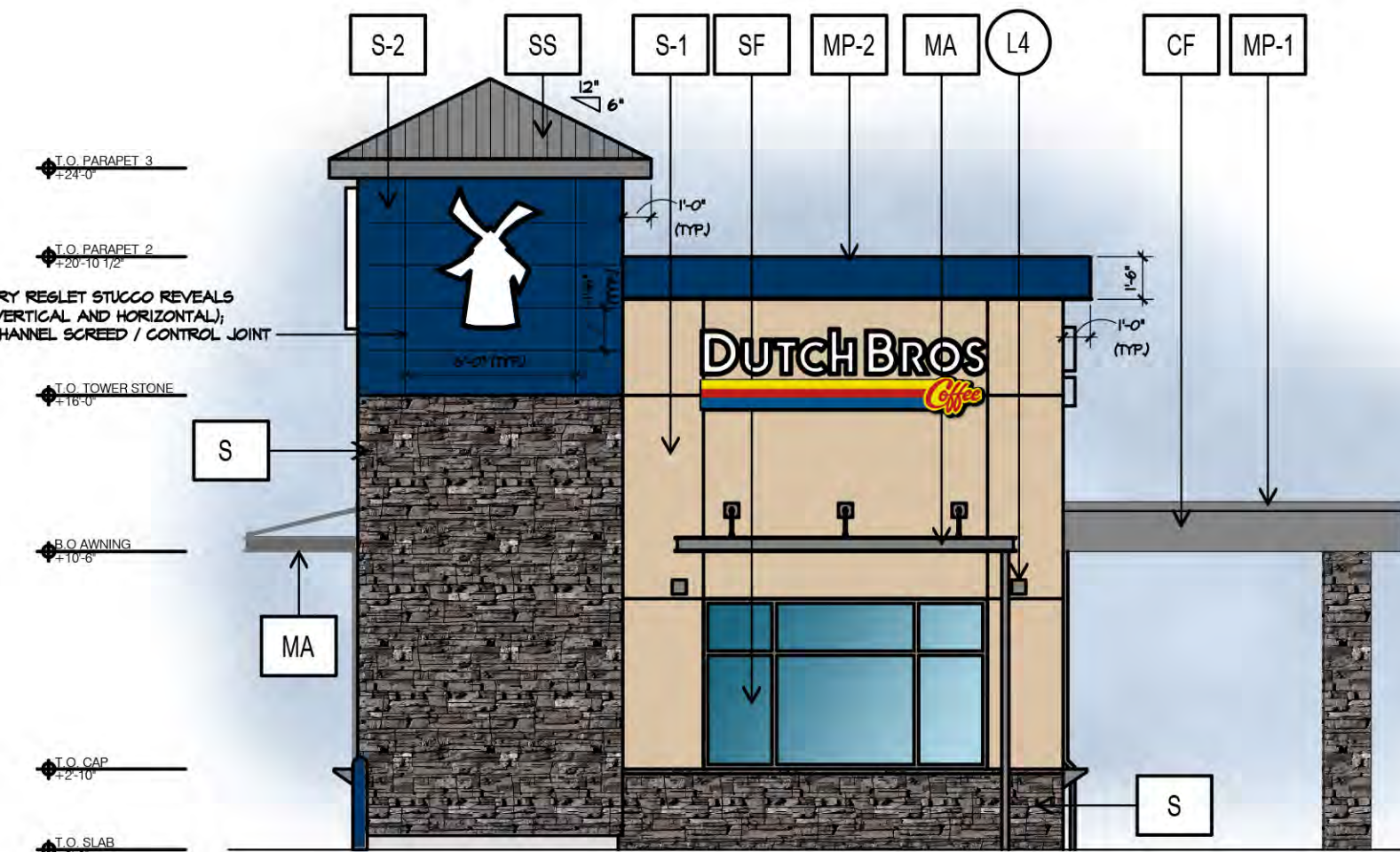
REAR ELEVATION - SOUTH FAÇADE

3/8" = 1'-0"



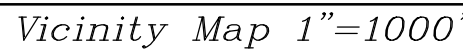
NON DRIVE-THRU ELEVATION - WEST FAÇADE

3/8" = 1'-0"



FRONT ELEVATION - NORTH FAÇADE

3/8" = 1'-0"



- THE CONTRACTOR SHALL CONTACT
DIG-TESS AT 1-800-344-8377 A
MINIMUM OF 48 HOURS PRIOR TO
THE COMMENCEMENT OF ANY
CONSTRUCTION ACTIVITIES



LAND USE PLAN	COMMERCIAL/INDUSTRIAL
SPECIFIC PLAN AREA	NOT IN A SPECIFIC PLAN AREA
PARKS AND TRAILS	PROPOSED 8' MULTI-PURPOSE TRAIL TO BE INSTALLED ON THE SOUTH SIDE OF FM 407 (JUSTIN ROAD)
OPEN SPACE PLAN	NOT IN A CONSERVATION DEVELOPMENT
THOROUGHFARE PLAN	FM 407 (JUSTIN ROAD) – MAJOR ARTERIAL WITH VARIABLE WIDTH ROW MUTUAL ACCESS – CROSS ACCESS BETWEEN LOTS IS PROVIDED
WATER PLAN	12 INCH WATER LINE ALONG EAST SIDE OF STONE HILL FARMS PARKWAY
WASTEWATER PLAN	10 INCH SANITARY SEWER LINE ON THE SOUTHSIDE OF FM 407 (JUSTIN ROAD) AND WEST SIDE OF STONE HILL FARMS PARKWAY

PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7075770.9538	2412109.7539	1	7075555.8921	2412239.2611
B	7075775.8270	2412350.6687	2	7075613.6475	2412161.4972
C	7075524.0557	2412114.8287	3	7075746.0535	2412139.9108
D	7075528.6866	2412340.0807	4	7075639.0483	2412276.8167

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 84°32'37" E	14.00'

SITE AREA: 1.31 ACRES (57,280 SF)

ZONING

ZONING: PD-43 WITH C-2 USES

CURRENT USE: VACANT

LOT COVERAGE DATA

BUILDING COVERAGE:	1.5% / 858 SF
IMPERVIOUS AREA:	43.3% / 24,774 SF
PERVIOUS AREA:	55.2% / 31,648 SF

PARKING SUMMARY

<u>SURFACE PARKING</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
RESTAURANT/DRIVE THROUGH (1/75 SF):	11 (1 ADA)	13 (1 ADA)
MAXIMUM PARKING ALLOWED:	11 SPACES + 2 SPACES (20%) = 13 SPACES	

BUILDING DATA

BUILDING HEIGHT:	25' (1-STORY)
TOTAL SQUARE FOOTAGE:	858 SF

<i>I.R.F.</i>	IRON ROD FOUND		POWER POLE
<i>I.R.S.</i>	IRON ROD SET		LIGHT POLE
"X"	CUT X IN CONCRETE		WATER VALVE
<i>F.C.P.</i>	FENCE CORNER POST		SANITARY SEWER MANHOLE
	ASPHALT		FIRE HYDRANT
	TELEPHONE MANHOLE		WATER METER

ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985
Fax: 972-906-9987

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PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 09/23/2021

DUTCH BROS.
LOT 2R, BLOCK A
STONE HILL FARMS RETAIL ADD. NO.2
1.31 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

DIMENSION CONTROL SITE PLAN

DRAWN: JAA

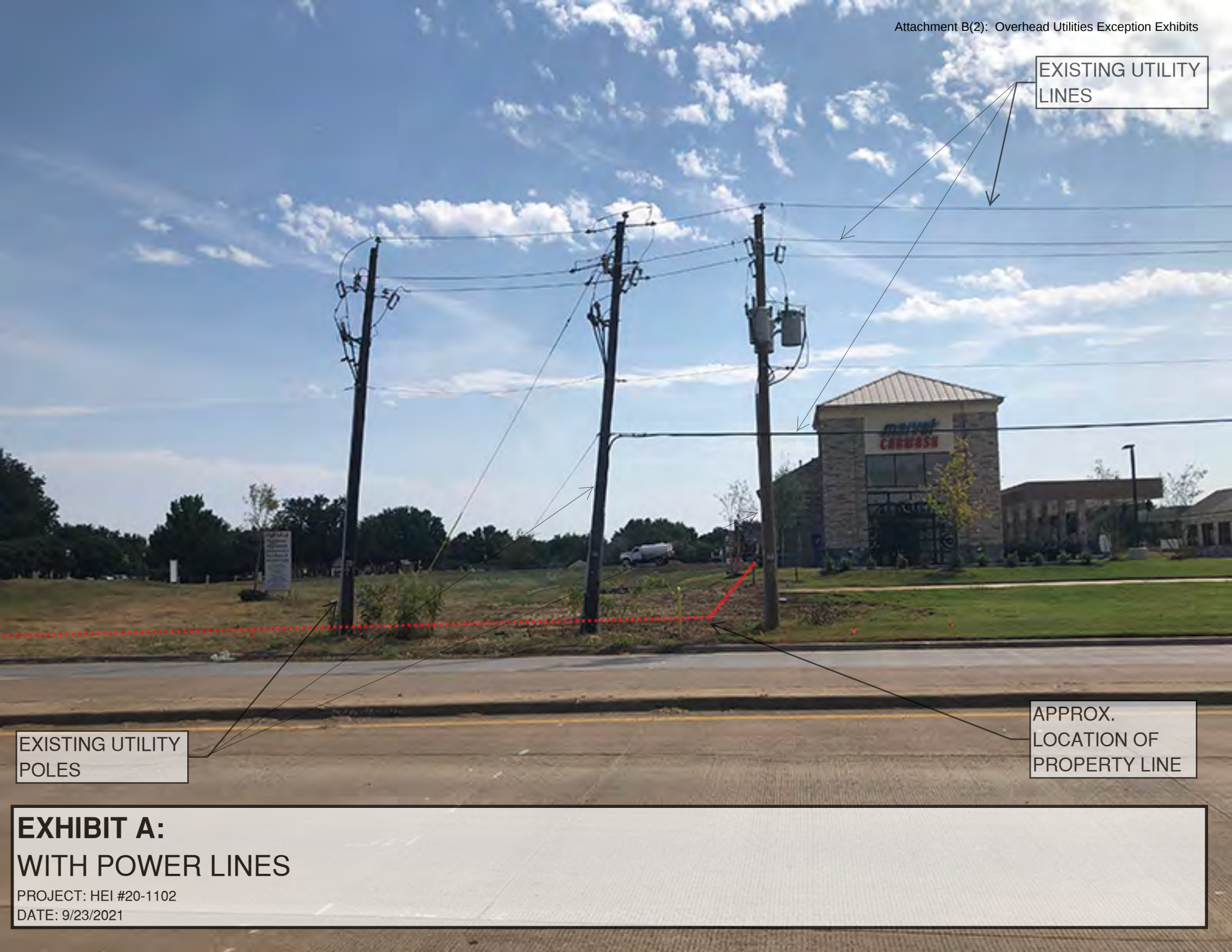
DATE: 01/04/2020

HEI #: 20-1102

SHEET NO:

C2

EXISTING UTILITY
LINES



APPROX.
LOCATION OF
PROPERTY LINE

EXISTING UTILITY
POLES

EXHIBIT A: WITH POWER LINES

PROJECT: HEI #20-1102

DATE: 9/23/2021

PROPOSED
UTILITY POLE

PROPOSED GUY
WIRE

APPROX.
LOCATION OF
PROPERTY LINE

EXHIBIT B: WITHOUT POWER LINES

PROJECT: HEI #20-1102

DATE: 9/23/2021

Steve Homeyer

From: Teeters, Kymberly <Kymberly.Teeters@oncor.com>
Sent: Friday, September 24, 2021 9:41 AM
To: Steve Homeyer
Subject: Block Cost Estimate FM 407 @ Stonehill Farms Pky

Good morning Steve, to relocate facilities underground it will be necessary to install a switchgear. We will only be able to remove one of the poles as the other will be used to take the wire underground. The block cost estimate is \$43,935.56. Let me know if you how you would like to move forward.

Thank you and have a nice day.

I will send the block cost estimate for the one further down later today.

For residential or commercial serve new projects please follow the link below using Chrome or Firefox only
www.oncor.com

Kymberly Teeters
Sr Utility Designer
Oncor | PMDS
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Corinth, Tx. 76210
Cell: 972.750.6595
Kymberly.teeters@oncor.com
Bus. hours 7am-3:30pm

My Supervisor: Randall Yarbrough
Cell: 817 301 3891
Email: Joe.Yarbrough@oncor.com

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PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 3

REGULAR ITEM

DATE: October 11, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: Public Hearing to consider an ordinance granting Specific Use Permit No. 473 (SUP21-0007 – Stone Hill Boat Sales) to permit Retail, general (outdoors) facility for a boat dealership, with an exception to ‘Underground Utilities’ pursuant to Section 82-377, “Exceptions,” of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There is an exception request to the Town’s regulations which necessitates special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Specific Use Permit (SUP-473) to permit a two story 28,376-square-foot boat dealership facility to be located on Lot 3R of the Stone Hill Farms Retail Addition. The property is currently zoned Planned Development District-43 (PD-43) for Commercial District-2 (C-2) uses and master-planned for Commercial/Industrial uses.

As part of the request, the applicant has asked for certain exceptions to the Code of Ordinances. In summary (see Section III, below, for detail):

Exception:

- Section 82-377, Overhead Utilities in order to not bury approximately 40 linear feet of overhead utilities along Justin Road.

This boat dealership use falls under Retail, general (outdoors), which requires approval of a Specific Use Permit by the Town Council within the C-2 zoning district. The Town defines Retail, general (outdoors) as “a retail establishment that does not fit the definition of any other land use classification and that entails some outdoors sales, service, display, storage or other activity. Typical uses include, but are not limited to, boat dealers, hot tub dealers, recreational vehicle dealers and monument sales.”

The ordinance for the SUP will include the following conditions for the boat dealership use:

1. The hours of operation are limited to 9:00 a.m. to 5:00 p.m, Monday to Saturday.
2. Gates crossing the fire lane must remain open during business hours.

The parking for the boat sales and service use is calculated at the ratio of one space for every 250 square feet of the facility. Based on this requirement, the proposed use requires 114 parking spaces. The site plan depicts 92 parking spaces which is just below the Town's allowable 20% parking deviation. The site plan also depicts 111 boat display/parking spaces along the south side of the property.

This development is subject to the Town's compatibility buffer and setback regulations due to residential adjacency along the south property line. The landscape plan depicts required plantings within the 25-foot compatibility buffer. There is an existing seven-foot masonry wall that separates the two uses that was installed when the Stone Hill Farms residential subdivision was developed. Nonresidential buildings, more than one story, main or accessory, shall be set back from the property line adjacent to an existing or proposed residential use five feet for every one foot of building height. Based on this standard, a compatibility setback of 137.5-feet measured from the south property line to the building is required. The proposed two-story, 27.5-foot building is setback approximately 169 feet from the south property line.

Primary access to the lot will be from a mutual access easement that connects the site to Justin Road. The site plan depicts necessary setbacks and landscape buffer. The proposed site plan is consistent with the development guidelines in PD-43. The building materials, color and architecture meet the architectural standards of the Town's Master Plan.

III. EXCEPTION:

A. Exception to Section 82-376, Underground Utilities

Section 82-376 states that all existing overhead utilities, save and except transmission facilities identified in the Town Code, shall be placed underground in conjunction with the development of property, and prior to the Town's acceptance of the subdivision, subject to certain provisions. The applicant is requesting an exception to burying approximately 40 linear feet of overhead utility lines located along the Justin Road (FM 2499) frontage.

As required by Section 83-377, the applicant has provided plans and perspectives of the development along Justin Road to illustrate how the development would appear with and without the overhead lines. The applicant has also provided correspondence from Oncor detailing what would be required if the lines were buried and a quote stating the relocation costs.

IV. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. SUP21-0007 had a total of 40

Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

V. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

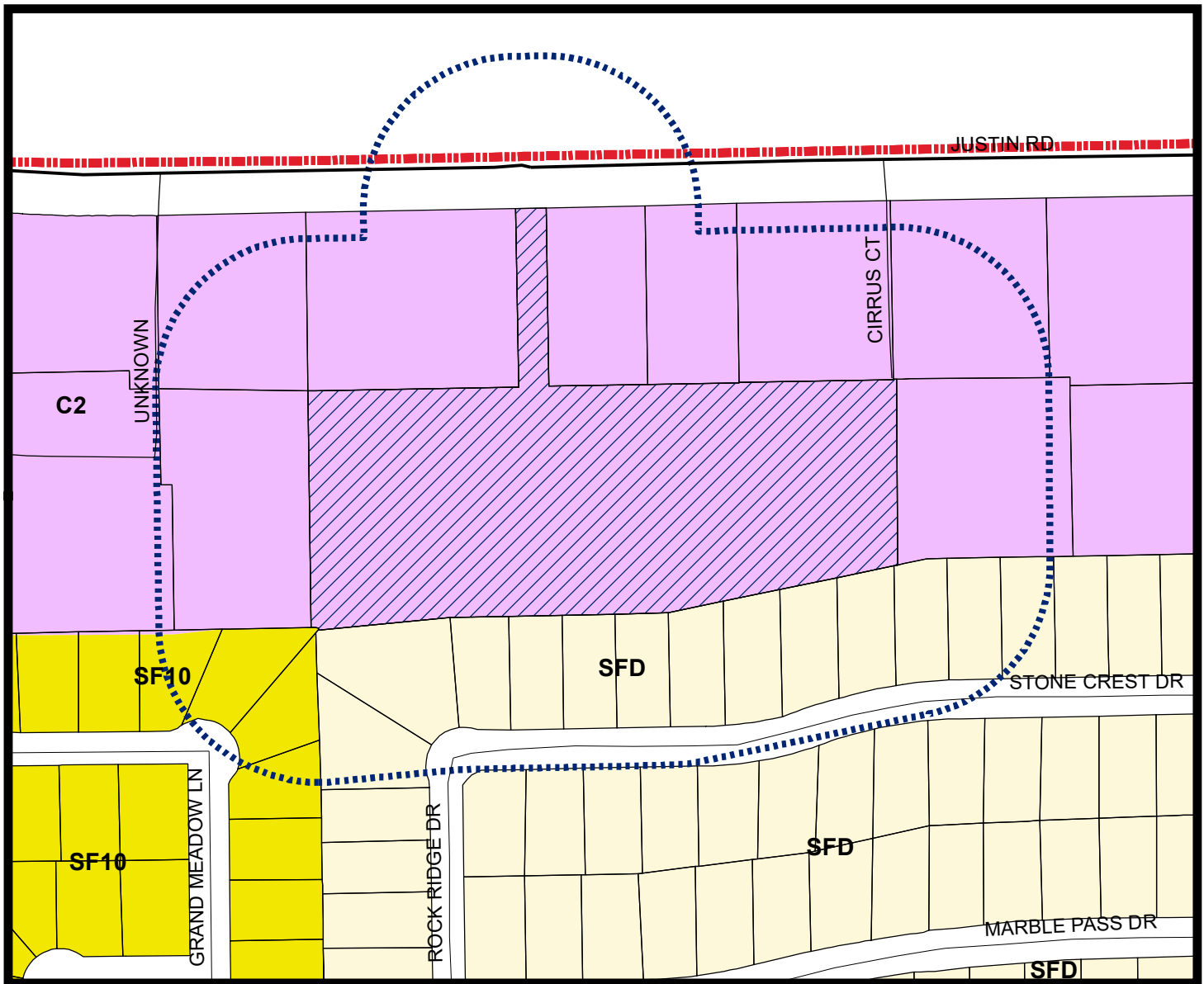
B. Application Details

1. Specific Use Permit Exhibit
2. Overhead Utilities Exception Exhibits

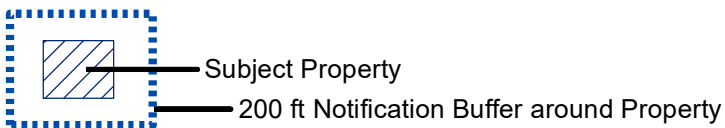


Vicinity Map

Reference Project: SUP21-0007

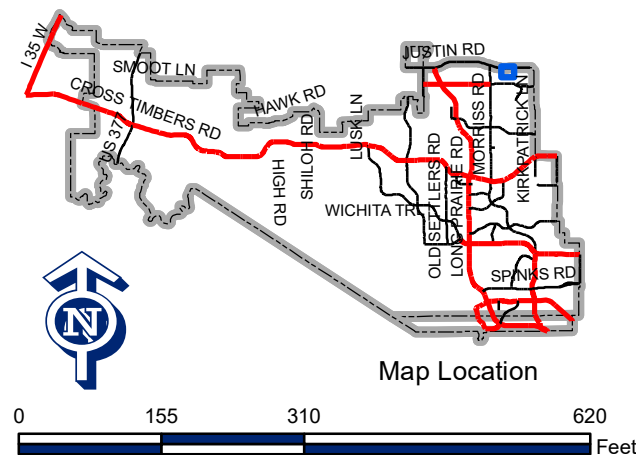


LEGEND



Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



5.33 acre site behind Racetrac on Justin road – SUP21-0007

Flower Mound TX 75028

10-4-2021

Paul Bosco Jr on behalf of Stone Hill FM, LLC Letter
of Intent:

A) We are asking to be able to sell/service boats under a SUP at a brand new dealership being built. The showroom and display area would be used to display boats. The service center would be inside the building similar to the car dealership down the street. Key notes: 2 story – 28,376 sqft / 203 total parking (111 display) / typical boat 20' / Gates to remain open during business hours / Business hours 9AM-5PM Monday thru Saturday (Closed Sunday)

B) Currently C2 / The zoning would remain C2 with the ability to sell/service boats

C) 5.33 acres

D) Consideration for approval of a SUP allowing boat sales/service on this 5.33 acre tract. We are requesting an exception to not place 40' of OHP underground. A separate HP exception letter has been provided.

Thank you,

A handwritten signature in black ink, appearing to read 'Paul A. Bosco Jr.', with a stylized, flowing script.

Paul A Bosco Jr.

Stone Hill FM, LLC



September 23, 2021

Planning & Zoning Department
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028

**RE: Request for Exception – Special Use Permit
for Stone Hill Boat Sales. (SUP21-0007)**

To Whom It May Concern:

Homeyer Engineering, Inc., on behalf of our client, is submitting this request for Stone Hill Boat Sales located approximately 705 feet east of the intersection of Browning Drive and Justin Road (FM 407) in Flower Mound, Texas. The following exception is being requested for the development of the site.

1. An exception is requested to Ordinance No. 21-20 for Underground Utilities which requires overhead utilities present on, or adjacent to, the proposed development to be placed underground. The exception is requested based on placing the existing overhead utility would require the installation of two additional power poles, refer to exhibit A and B made part of this submittal, on the FM 407 R.O.W to place 40 lineal feet of overhead facilities underground.

All other requirements of the overlay district requirements will be met for the site. Please feel free to contact me with any questions or comments at 972-906-9985 or shomeyer@hei.us.com

Sincerely,

HOMEYER ENGINEERING, INC.
TBPE Firm Registration No. F-8440

Steven R. Homeyer P.E.
President

SHEET NO:
C1

LANDSCAPE CALCULATIONS

STREET YARD LANDSCAPING			
STANDARD	TOTAL STREET YARD (SQ. FT.)	REQUIRED	PROVIDED
MIN. 20% OF STREET YARD	0 SF FM 407	N/A	N/A
STREET YARD TREES			
STANDARD	TOTAL STREET YARD (SQ. FT.)	REQUIRED	PROVIDED
10,000 TO 100,000 SF = 1 PER 2,500 SF + 10 TREES	0 SF FM 407	N/A	N/A
TREES REQUIRED TO SATISFY OTHER PROVISIONS OF LANDSCAPING REQUIREMENTS AND LYING WITHIN THE STREET YARD MAY BE USED TO SATISFY THE REQUIREMENTS OF OTHER SECTIONS.			
STREET BUFFER LANDSCAPING			
STREET NAME	REQUIRED BUFFER WIDTH	PROVIDED	
	FM 407	25 FT	
STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LINEAR FT.)	REQUIRED	PROVIDED
1 PER 30 LF	FM 407 40 LF	1 TREE	1 TREE
PARKING AREA LANDSCAPING			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
90 SF PER 12 SPACES	92 SPACES	690 SF	2,000+ SF
PARKING AREA TREES			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
1 PER 10 PARKING SPACES	92 SPACES	10 TREES	10 TREES
ALL PARKING SPACES ARE LOCATED WITHIN 50FT OF A TREE.			

* TREE COUNT CANNOT BE MET DUE TO UTILITY, EASEMENT, AND EXITING TREE LOCATIONS.

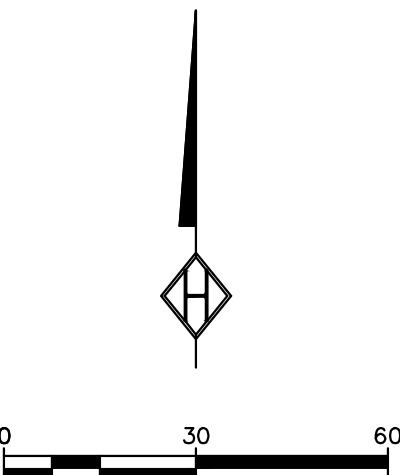
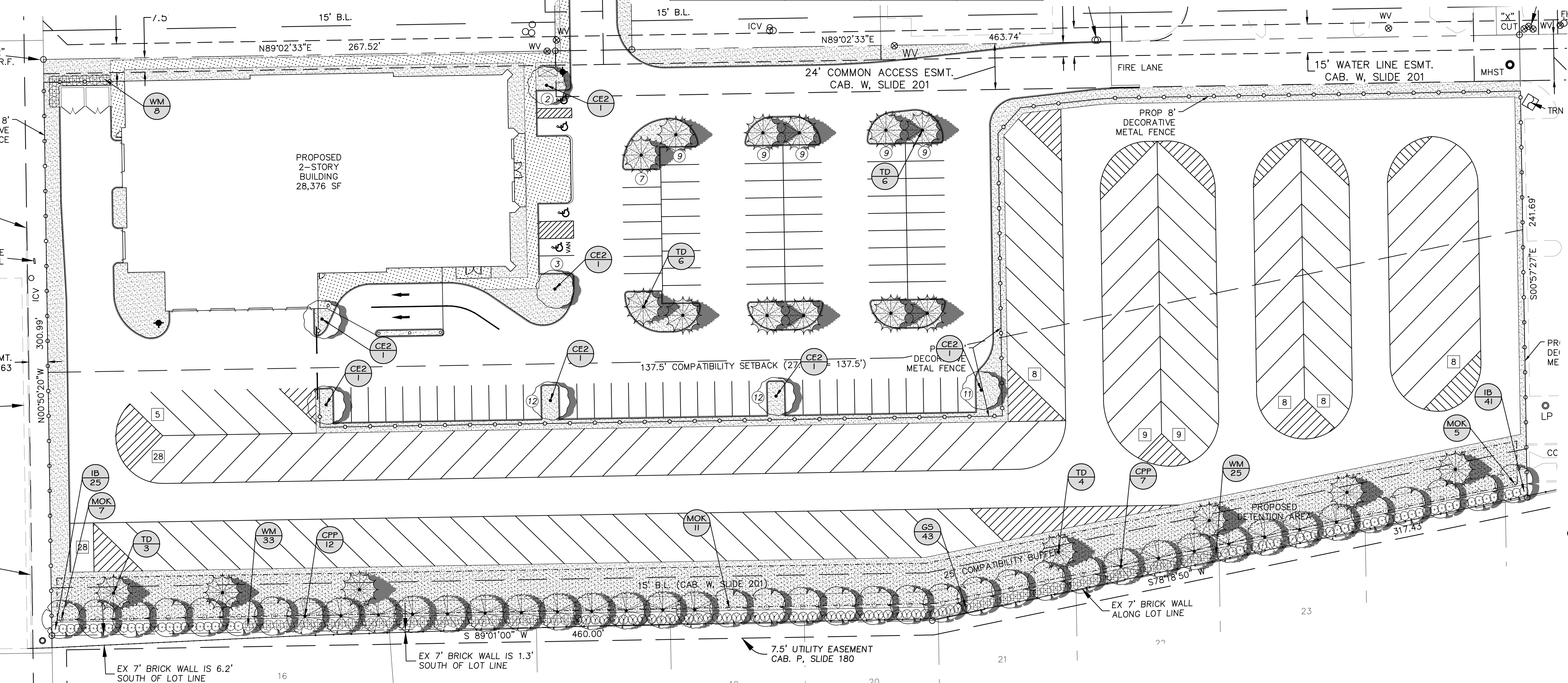
GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
 - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE OBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR SHALL MODIFY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE PROPOSED PLANTINGS & ENSURE FULL FUNCTIONALITY OF SYSTEM.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
- SITE FURNISHINGS ARE SCHEMATIC FOR REGULATORY APPROVAL. CONTACT (866) 284-1780 FOR ADDITIONAL PRODUCT INFORMATION.
- UNDERSTORY TREES SHALL BE MAINTAINED TO PROVIDE A CONTINUOUS DENSE SCREEN.

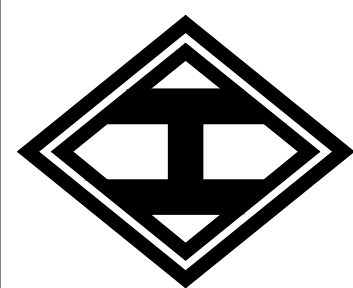
COMPATIBILITY BUFFER LANDSCAPING			
STANDARD	SQUARE FOOTAGE	REQUIRED	PROVIDED
25' BUFFER AT SO. BOUNDARY	N/A	25'	25' BUFFER
1 SHADE TREE PER 400 SF	19,425 SF	49	49
MIN. 6' MASONRY WALL	N/A	6'	7' EXIST. WALL
UNDERSTORY SCREENING PLANTS	N/A	6' UNDERSTORY SHRUBS	6' UNDERSTORY SHRUBS
137.5' COMPATIBILITY SETBACK	N/A	137.5'	137.5'

PLANT SCHEULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	XX	Existing Tree to Remain	exist.		1
	CPP	Live Oak / Quercus virginiana buffer tree	CONT.	3"Cal/min. 10' ht.	19
	MOK	Monterey Oak / Quercus polymorpha 'Monterey' buffer tree	CONT.	3"Cal/min. 10' ht.	23
	TD	Montezuma Cypress / Taxodium distichum buffer & parking lot tree	CONT.	3"Cal/min. 10' ht.	19
	CE2	Cedar Elm / Ulmus crassifolia parking lot tree	CONT.	3"Cal/min. 10' ht.	7
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE		QTY
	IB	Burford Holly / Ilex cornuta 'Burfordii' min. 48" ht; 48" o.c.	15 gal.		66
	GS	Nellie Stevens Holly / Ilex x 'Nellie R. Stevens' min. 48" ht; 48" o.c.	15 gal		43
	WM	Wax Myrtle / Myrica cerifera min. 48" ht; 60" o.c.	10 gal		66
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE		QTY
	SA	Ornamental Aggregate / 3" depth over weed fabric; dark color; submit for owner approval prior to bid/installation	n/a		101 sf
	CD	Bermuda Grass / Cynodon dactylon 'tif 419'	sod		39,230 sf

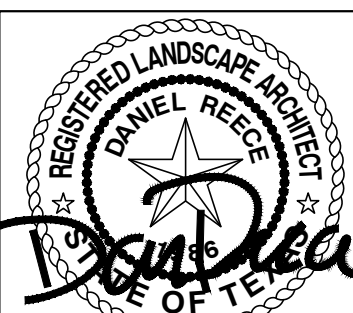


HOMMEYER
ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



STONE HILL BOAT SALES
5.33 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE PLANTING



9-1-21

DRAWN: DFR

DATE: 05/21/21

HEI #: 21-0504

SHEET NO:
LP-1

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

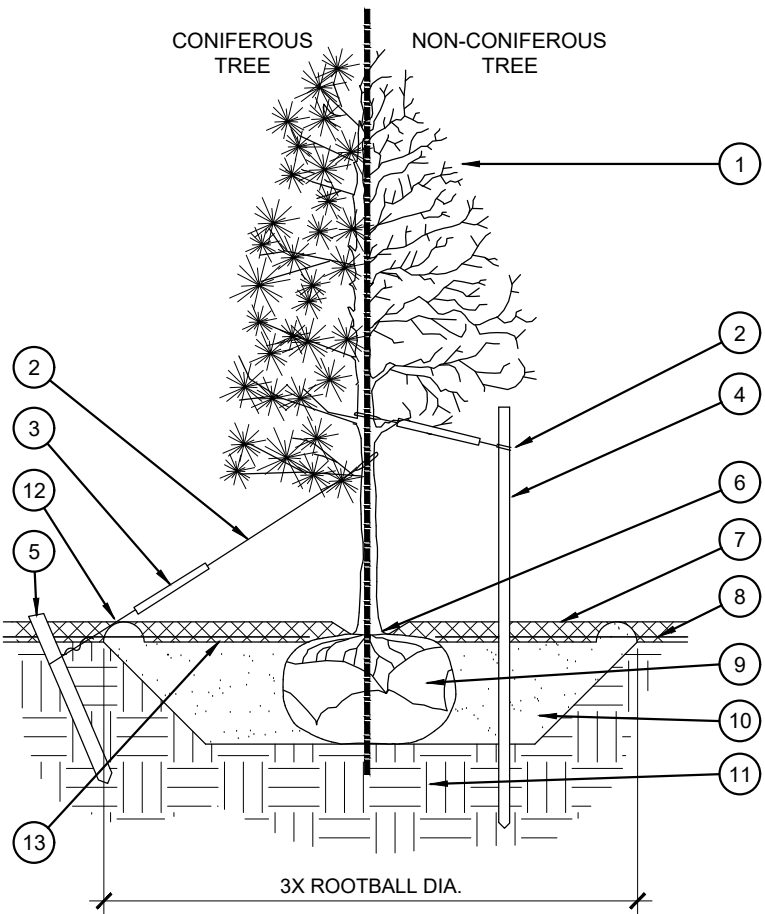
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY STOCK FREE OF DISEASE, INJURY, INSECT DAMAGE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS/L; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- J. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- K. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

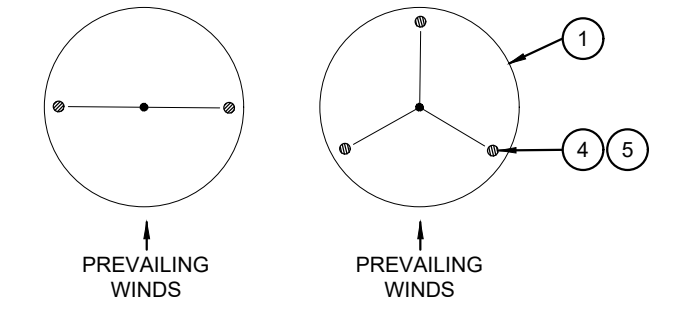
METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 16" AWAY FROM THE SURFACE.
 - e. AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 16" AWAY FROM THE SURFACE.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES, JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GROUND.
 4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PLACE MULCH WITHIN 6" OF THE TRUNK.
- D. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TESTING RECOMMENDATIONS.
 2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING AREAS (EXCEPT FOR SODDED AND SEEDED AREAS), LEAVING NO EXPOSED GROUND.
- E. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID, TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. HYDROMULCHING
1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. WINTER MIX (OCTOBER 1 - MARCH 31)
 - i. 50# CELLULOSE FIBER MULCH
 - ii. UNHILLED BERMUDA SEED
 - iii. ANNUAL RYE SEED
 - iv. 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - i. 50# CELLULOSE FIBER MULCH
 - ii. HILLED BERMUDA SEED
 - iii. 15-15-15 WATER SOLUBLE FERTILIZER
 2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. GENERAL
 - i. 50# CELLULOSE FIBER MULCH
 - ii. 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SEED RATE PER LEGEND
- G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE-ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FINAL MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE NOT DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

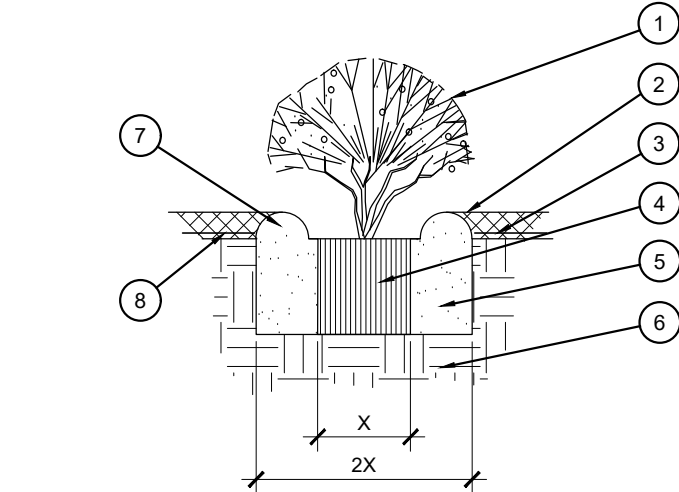


STAKING EXAMPLES (PLAN VIEW)



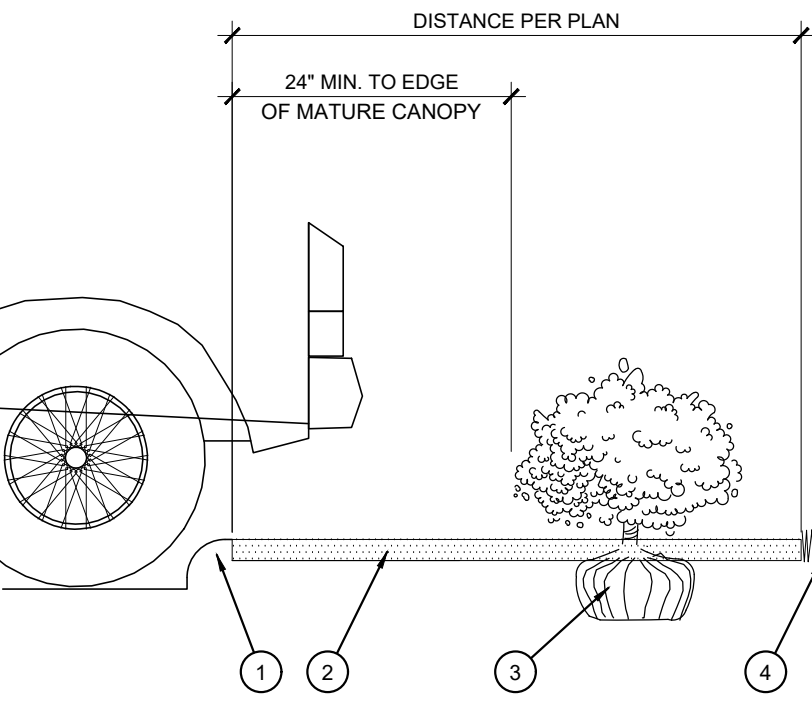
TREE PLANTING

SCALE: NOT TO SCALE



SHRUB AND PERENNIAL PLANTING

SCALE: NTS



HEDGE PLANTING AT PARKING AREA

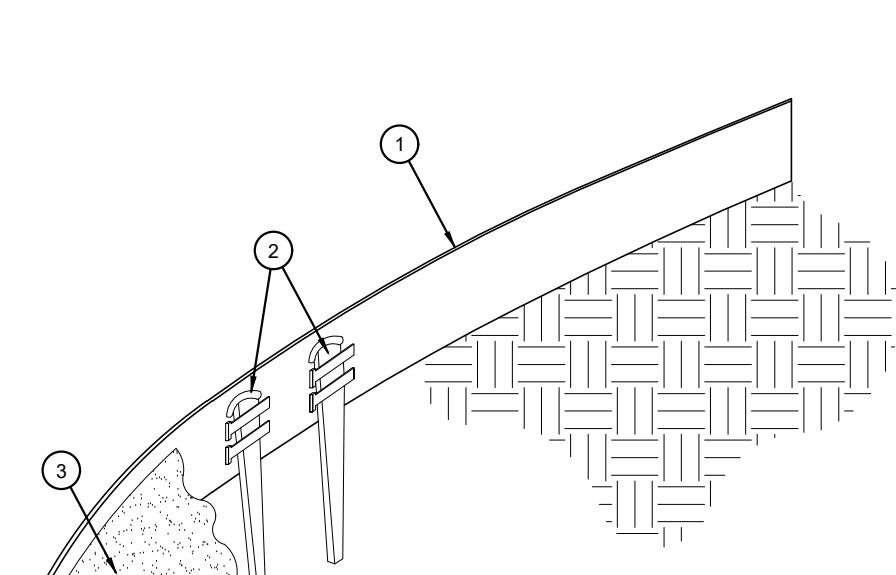
SCALE: NOT TO SCALE

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF- AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



STEEL EDGING PER PLANS.

TAPERED STEEL STAKES.

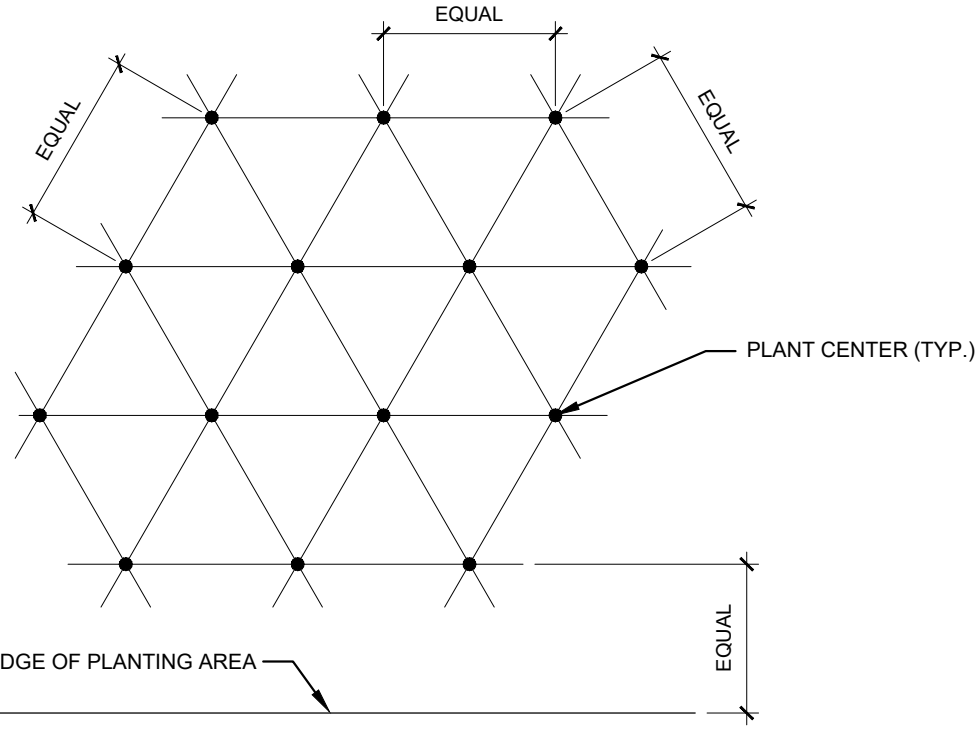
MULCH, TYPE AND DEPTH PER PLANS.

FINISH GRADE.

- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING

SCALE: NOT TO SCALE



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

PLANT SPACING	AREA DIVIDER TO DETERMINE NO. OF PLANTS
6"	0.25
8"	0.45
10"	0.69
12"	1
15"	1.56
18"	2.25
24"	4
30"	6.25
36"	9

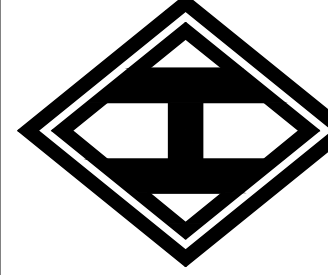
PLANT SPACING

SCALE: NTS

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF OF PLANTING AREA = 100/2.25 = 44 PLANTS

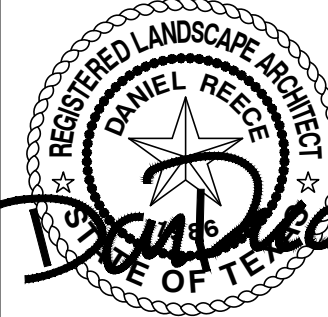


HOMMEYER
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STONE HILL BOAT SALES
5.33 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE DETAILS
& SPECIFICATIONS



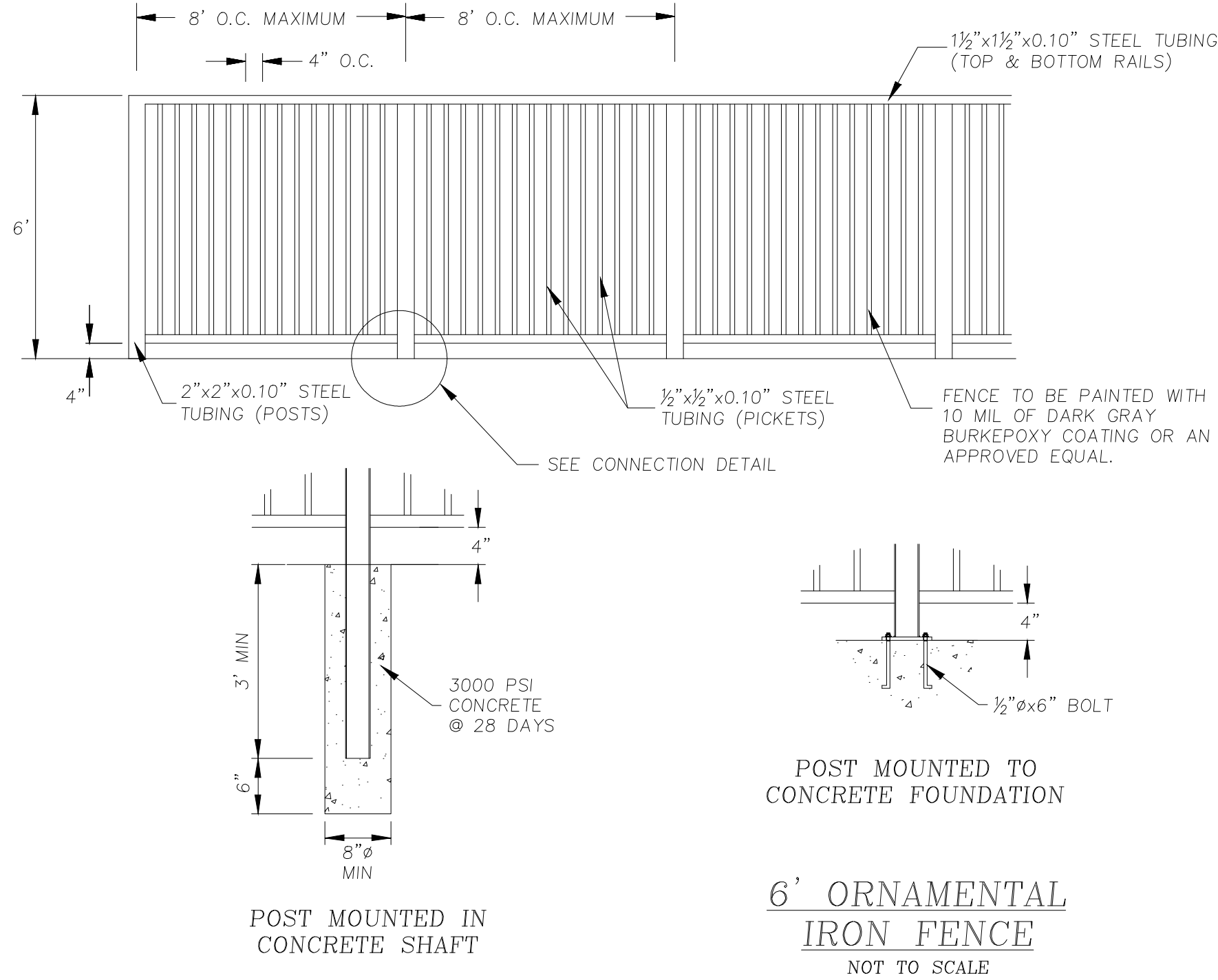
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DRAWN: DFR

DATE: 05/21/21

HEI #: 21-0504

SHEET NO:
LP-2



NOTE: A SEPARATE FENCE PERMIT THROUGH BUILDING INSPECTIONS IS REQUIRED PRIOR TO CONSTRUCTION.

PRELIMINARY PLANS

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 08/02/2021

STONE HILL BOAT SALES
5.33 ACRES
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

DETAILS

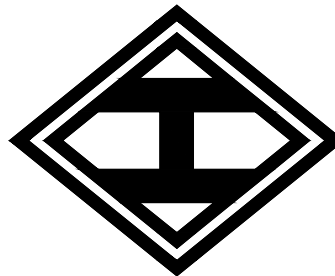
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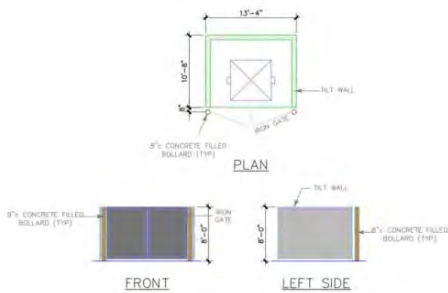
HEI #: 21-0504

SHEET NO:
C2

HOMEYER
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	East	West	South	North
1. Total Floor S.F.	3508 s.f.	3280 s.f.	3523 s.f.	3227 s.f.
2. Facade S.F. (exclusive of doors and windows)	2353 s.f. and 40% of 1	2318 s.f. and 30% of 1	4314 s.f. and 78% of 1	3497 s.f. and 88% of 1
3. Doors and Windows S.F.	1205 s.f. and 34% of 1	971 s.f. and 14% of 1	1208 s.f. and 22% of 1	730 s.f. and 12% of 1
* Glass Doors & Windows	1205 s.f. and 100% of 3	971 s.f. and 35% of 3	908 s.f. and 50% of 3	730 s.f. and 100% of 3
* Metal Doors (no glass)	0 s.f. and 0% of 3	352 s.f. and 32% of 3	300 s.f. and 30% of 3	0 s.f. and 0% of 3
4. Primary Military Units (Min. 500)	2353 s.f. and 100% of 2	2318 s.f. and 100% of 2	4314 s.f. and 100% of 2	3497 s.f. and 100% of 2
* Stone s.f. (as recorded)	548 s.f. and 23% of 3	845 s.f. and 23% of 3	919 s.f. and 21% of 3	819 s.f. and 15% of 3
* Tin Roof s.f. (as recorded)	1801 s.f. and 77% of 2	1876 s.f. and 75% of 2	2395 s.f. and 55% of 2	4678 s.f. and 35% of 2
* Brick s.f. (as recorded)	0 s.f. and 0% of 2	0 s.f. and 0% of 2	0 s.f. and 0% of 2	0 s.f. and 0% of 2



DUMPSTER ENCLOSURE

EXTERIOR FINISH MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION
CONCRETE TILT WALL	PAINTED TILT WALL	BARROD REED - D 156	VALSPAR PAINT
STONE	LOVE STAR STONE	ARCH CHALK	STONE
METAL CAP, FASODA & TRIM	PAINT ORP METAL PANELS	GOLDEN SUNSET - D 95	VALSPAR PAINT
METAL ROOF	PAINT ORP METAL PANELS	HOT STONE - D 163	VALSPAR PAINT
METAL STORE FRONT	ALLIANCE	BRONZE	METAL / GLASS STOREFRONT
METAL GUTTER	ALUMINUM	BRONZE	VALSPAR PAINT



East Elevation

Scale: 1/8" = 1'0"



South Elevation

Scale: 1/8" = 1'0"

STONE HILL FM, LLC
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

A3

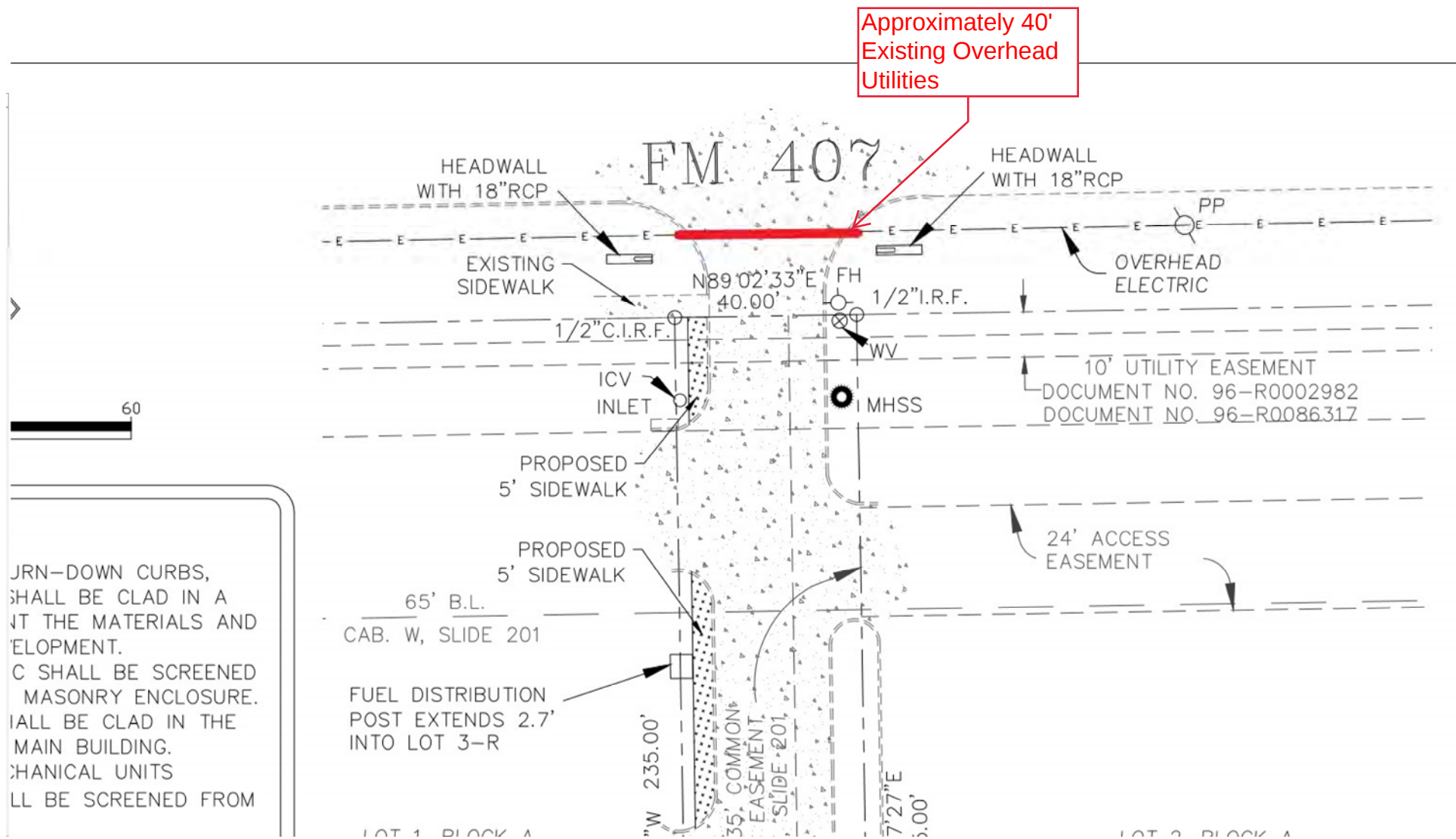
	East	West	South	North
1. Total Facade S.F.	3038 s.f.	3096 s.f.	5623 s.f.	8127 s.f.
2. Facade S.F. (exclusive of doors and windows)	2355 s.f. and 64% of 1	2519 s.f. and 80% of 1	4314 s.f. and 76% of 1	5497 s.f. and 68% of 1
3. Doors and Windows S.F.	1205 s.f. and 34% of 1	571 s.f. and 18% of 1	1208 s.f. and 22% of 1	730 s.f. and 12% of 1
• Glass Doors & Windows	1205 s.f. and 100% of 3	571 s.f. and 58% of 3	809 s.f. and 50% of 3	730 s.f. and 100% of 3
• Metal Doors (no glass)	0 s.f. and 0% of 3	352 s.f. and 62% of 3	600 s.f. and 50% of 3	0 s.f. and 0% of 3
4. Primary Memory Intake (sq. ft.)	2355 s.f. and 100% of 2	2519 s.f. and 100% of 2	4314 s.f. and 100% of 2	5497 s.f. and 100% of 2
• Store s.f. (in applicable)	548 s.f. and 23% of 2	640 s.f. and 25% of 2	916 s.f. and 21% of 2	876 s.f. and 16% of 2
• TMI wall s.f. (in applicable)	1807 s.f. and 77% of 2	1879 s.f. and 75% of 2	5198 s.f. and 79% of 2	4621 s.f. and 84% of 2
• Store s.f. (in applicable)	0 s.f. and 0% of 1	0 s.f. and 0% of 1	0 s.f. and 0% of 1	0 s.f. and 0% of 1

EXTERIOR FINISH MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION
CONCRETE TILT WALL	PAINTED TILT WALL	BAMBOO REED - D 156	VALSPAR PAINT
STONE	LONG STAR STONE	APACHE CHALK	STONE
METAL CAP, FASCIA & TRIM	PAINT GRP METAL PANELS	GOLDEN SUNSET - D 36	VALSPAR PAINT
METAL ROOF	PAINT GRP METAL PANELS	HOT STONE - G 165	VALSPAR PAINT
METAL STORE FRONT	ALUMINUM	BRONZE	METAL / GLASS STOREFRONT
METAL OUTLET	ALUMINUM	BRONZE	VALSPAR PAINT



STONE HILL FM, LLC
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

A4





EXISTING
UTILITY LINES

APPROX.
LOCATION OF
PROPERTY LINE

EXHIBIT A: WITH POWER LINES

PROJECT: HEI #21-0504

DATE: 9/23/2021

PROPOSED
UTILITY POLES

APPROX.
LOCATION OF
PROPERTY LINE

EXHIBIT B: WITHOUT POWER LINES

PROJECT: HEI #21-0504

DATE: 9/23/2021

Steve Homeyer

From: Teeters, Kymberly <Kymberly.Teeters@oncor.com>
Sent: Friday, September 24, 2021 12:58 PM
To: Steve Homeyer
Subject: Block Cost Estimate FM 407 E of Browning/FM

Hi Steve in order to remove the oh wires it will be necessary to install 2 poles to place the wires underground; this will require a bore. The estimate is \$63095.54. Let me know if you would like to move forward.

Thank you.

For residential or commercial serve new projects please follow the link below using Chrome or Firefox only
www.oncor.com

Kymberly Teeters
Sr Utility Designer
Oncor | PMDS
3100 S Garrison Rd
Corinth, Tx. 76210
Cell: 972.750.6595
Kymberly.teeters@oncor.com
Bus. hours 7am-3:30pm

My Supervisor: Randall Yarbrough
Cell: 817 301 3891
Email: Joe.Yarbrough@oncor.com

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PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 4

REGULAR ITEM

DATE: October 11, 2021

FROM: Claire Barnes, Planner

ITEM: **Public Hearing to consider an ordinance granting Specific Use Permit No. 475 (SUP21-0009– Pepper Creek Ranch Lot 1 Blk B Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Bloomington Parkway and west of Summer Hill Court.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Specific Use Permit (SUP-475) to allow for a 678-square-foot accessory dwelling on a 0.751-acre lot currently zoned Planned Development No. 162 (PD-162) with Single-Family Residential uses and Cluster Development Standards. PD-162 is located within the Cross Timbers Conservation Development District.

Currently, the subject lot is vacant. The applicant is proposing to build a primary dwelling and an accessory dwelling. While primary dwellings (single-detached residential) are permitted-by-right in PD-162, accessory dwellings on lots greater than 32,000 square feet require Town Council approval of a Specific Use Permit. If the SUP is granted, a building permit for the primary dwelling must be issued prior to the accessory dwelling building permit, and the primary dwelling must receive a passing final inspection prior to the accessory dwelling receiving a final inspection.

The applicant plans to develop a 4,443 square-foot (habitable area) main dwelling on the existing lot. The accessory dwelling will be roughly 678 square feet of habitable floor area, which is approximately 15.26 percent of the main structure, and the lot coverage for the property is approximately 21.97 percent. Colors used will match and/or complement the main dwelling. In addition, the accessory dwelling will meet PD 162's setback requirements and will be at least 10 feet back from the rear wall of the main dwelling.

Section 98-983 of the Code of Ordinances contains additional provisions for the construction and occupancy of accessory dwellings (see below). The condition that the accessory dwelling must be located on a lot at least 2 acres in size does not apply to

PD-162. Six of the other eight regulations are addressed with this proposal. The remaining two provisions prohibit the accessory dwelling from being used as a rental property and require the accessory building to be served by the same utility meters as the existing primary dwelling; these will be addressed during the building permit review phase.

Sec. 98-983. - Accessory dwelling.

The issuance of permits for construction and occupancy of an accessory dwelling shall be subject to compliance with the following conditions:

- (1) The accessory dwelling shall be located on the same lot/tract as the existing primary dwelling and located in a separate structure.
- (2) An accessory dwelling shall not be located on any lot/tract of less than two acres.
- (3) No more than one accessory dwelling per tract or lot shall be allowed.
- (4) Accessory dwellings shall not be used as rental units.
- (5) The accessory dwelling shall be serviced by the same utility meter as the primary dwelling, and the building materials and architecture will be similar to or in concert with the primary dwelling.
- (6) The habitable floor area of the accessory dwelling shall not exceed 50 percent of the habitable floor area of the primary dwelling. The maximum habitable floor area shall not exceed 2,000 square feet.
- (7) An accessory dwelling shall conform to the same side and rear yard setbacks as provided for the primary dwelling in the zoning district in which it is located.
- (8) The front building line for an accessory dwelling shall be behind the primary structure at a point not closer than ten feet from the rear wall line of the primary dwelling.
- (9) In no case shall the combined area of the primary dwelling, accessory dwelling and/or other accessory buildings exceed the maximum percentage of lot coverage allowed for the zoning district in which the structures are located.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. SUP21-0009 had a total of 15 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

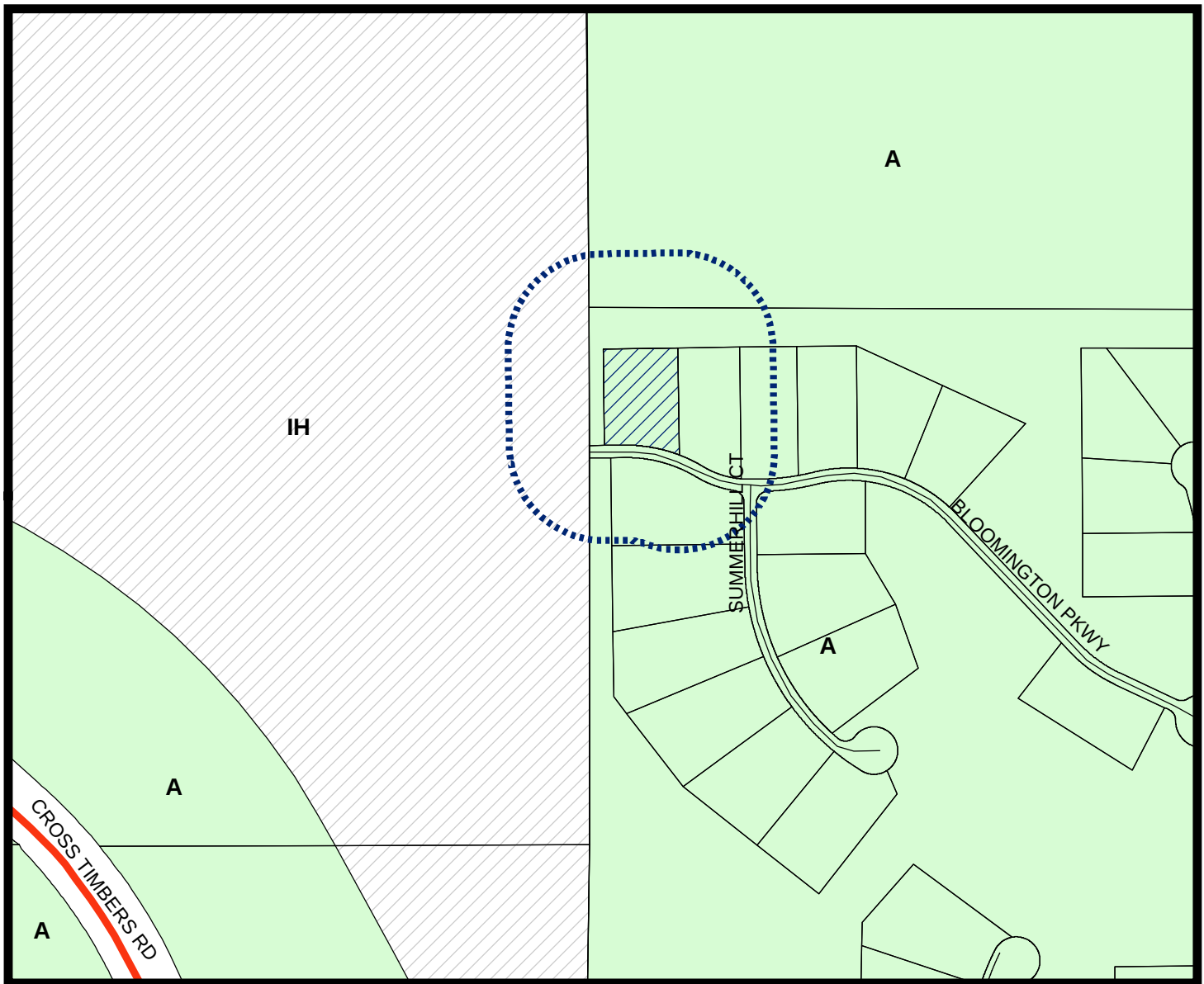
B. Application Details

1. Accessory Dwelling Package

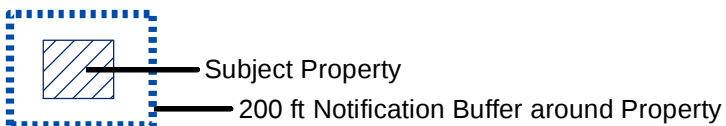


Vicinity Map

Reference Project: SUP21-0009

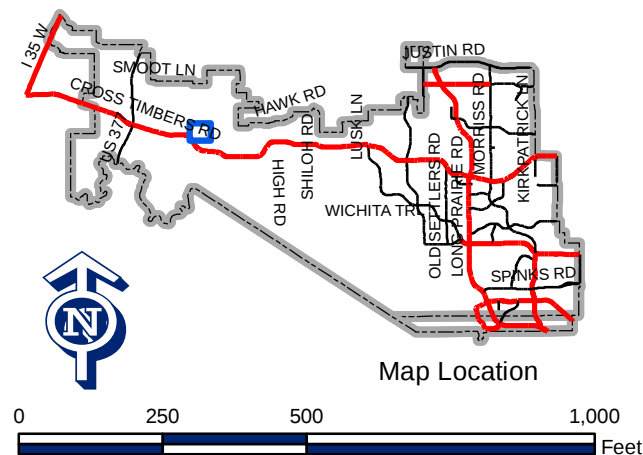


LEGEND



Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



JEFFERSON REES
4421 Sandra Lynn Drive
Flower Mound, TX 75022
(214) 592-2638
Jeff.rees@pxd.com

June 30, 2021

Town of Flower Mound
Planning Services Division
2121 Cross Timbers Road
Flower Mound, TX 75028

Re: Application of Jeff and Lucie Rees for a Specific Use Permit (Accessory Dwelling)
9004 Bloomington Parkway, Flower Mound, Texas 75028 (New Construction, Pepper
Creek Ranch Subdivision)

Legal Description: Lot 1, Block B of Pepper Creek Ranch Subdivision

Dear Sir or Madam:

My wife Lucie and I are in the process of getting approval to build a house at the new subdivision called Pepper Creek Ranch in Flower Mound.

After designing our house and paying for a Flower Mound based architect, we now understand for the first time that in order to build a guest house for my 85 year old father to live in so that we can take care of him, and him avoid living apart from us with third party care, we need to request (and do in this letter) a Specific Use Permit (SUP) to build the guest house, which you refer to as an Accessory Dwelling.

As I mentioned briefly above, the purpose of the dwelling is to provide a place for my amazing father to live his last years so that he may be amongst family, rather than having to live in a sterile environment with strangers. After my Dad passes, we plan for Lucie's parents to live there and repeat the same process. It is extremely important to Lucie and I that we take care of our parents like they took care of us for so many years. In speaking with our parents, we think it is important that they are able to have some level of independence, which is what this guest house is meant to be for them, rather than directly in our house.

The guest house will meet all of the guidelines for the Town of Flower Mound specified in Section 98-273 of the Land Development Regulations, as well as Section 98-983 of the Code of Ordinances. The main residence, which the city has documentation of, is approx. 4,478 sq. ft. and this guest house will be approximately 678 sq. ft. The guest house will be located at the back of the house, and of the same quality and style as the main house. It will also not be visible from the front of the main house.

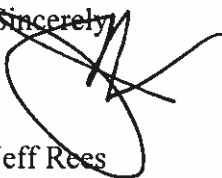
We are aware of Flower Mound's rental guidelines, and we will never rent this property out at any point in time. This restriction will specifically be passed onto any subsequent owners.

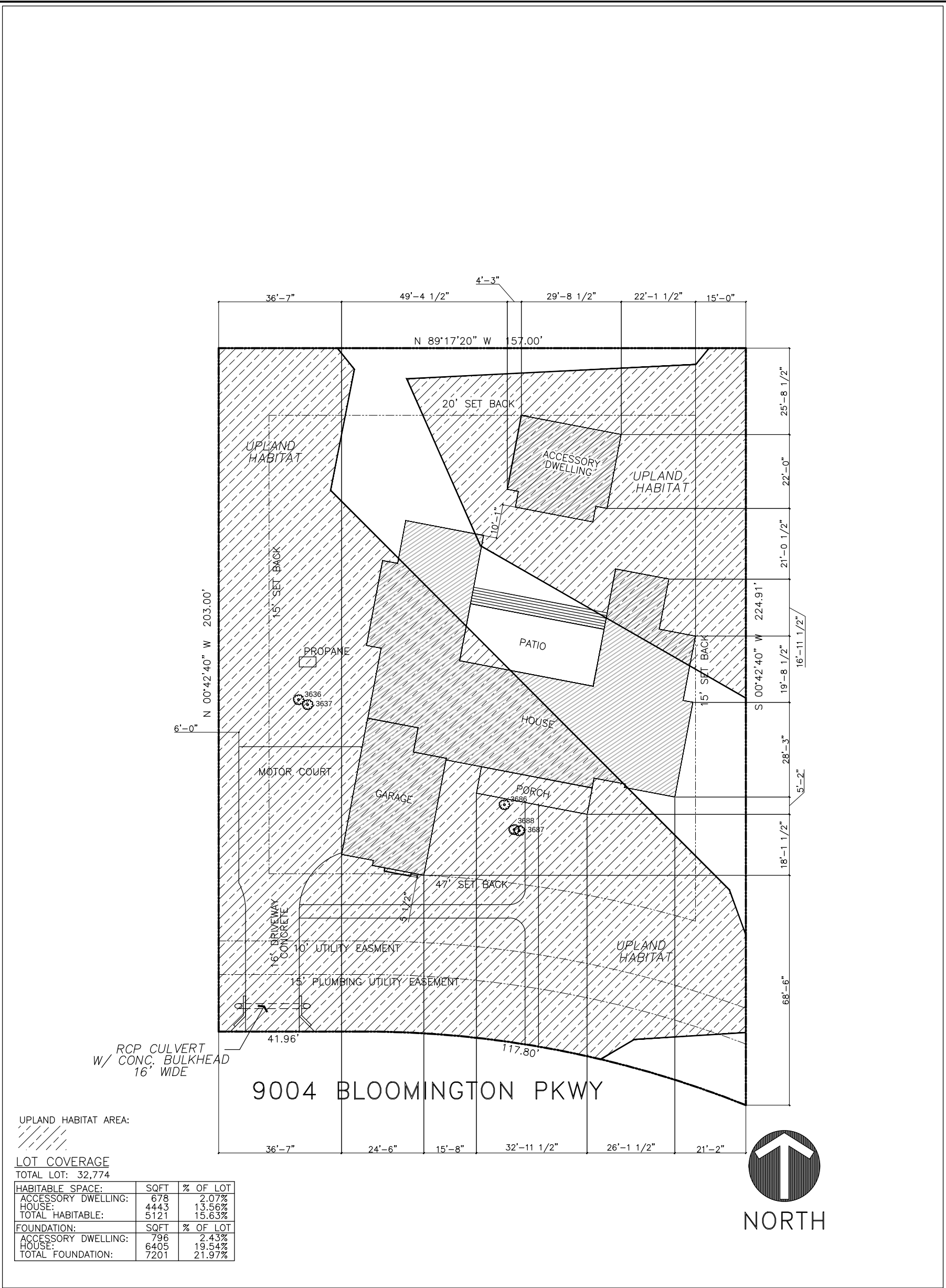
Town of Flower Mound
Planning Services Division
June 30, 2021
Page 2

Please help us and approve this request as soon as possible. This is Lucie and my dream home, and we specifically chose Flower Mound in which to build it. The single most important part of our dream home is to be able to take care of our parents, so please, again, *help us make our dream come true.*

Lucie and I are available any time to meet with you personally, and we will, of course, plan on attending the City Council meeting at which we hope this will be approved.

Thank you for your prompt attention to this matter.

Sincerely,

Jeff Rees

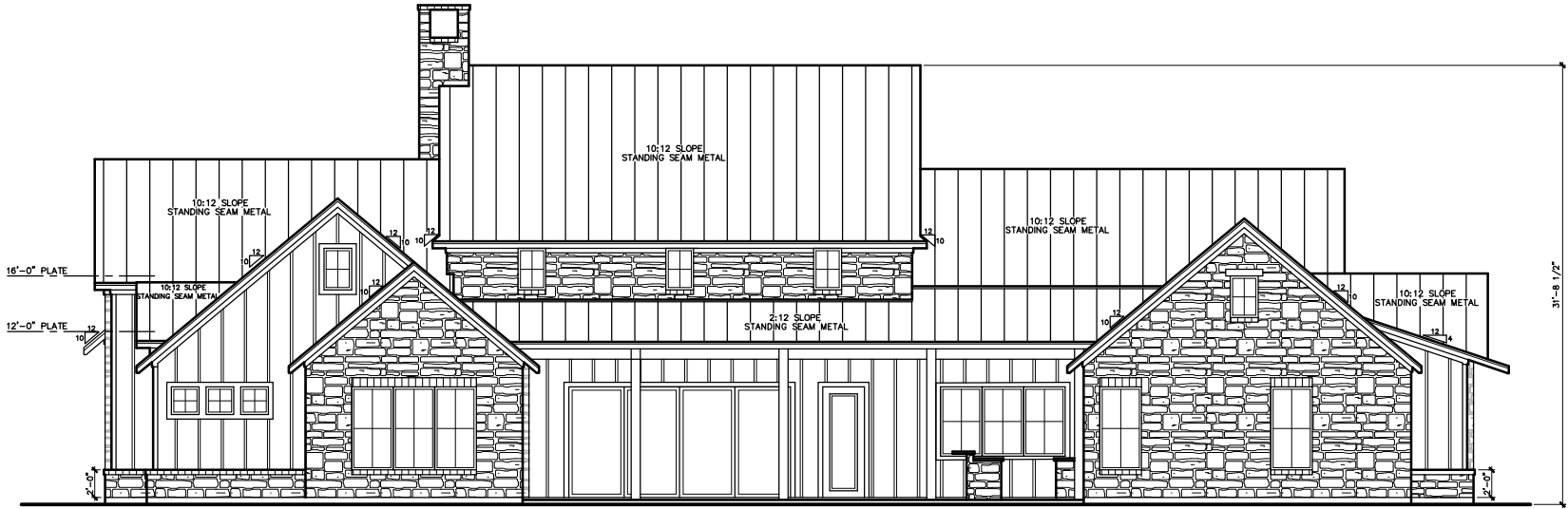


	builder NOBLE CLASSIC HOMES		
	subdiv. PEPPER CREEK RANCH		
	lot 1	blk B	section
SCALE: 1" = 30'-0"	city FLOWER MOUND, TX		
GENERAL NOTES: DRIVEWAY & GARAGE: MIN. 12' WIDE DRIVEWAY @ STREET APPROACH: MIN. 12' WIDE PUBLIC SIDEWALK: MIN. 4' WIDE LEAD WALK TO HOME: MIN. 4' WIDE	county DENTON COUNTY		
	date 8-20-21	plan REES RESIDENCE	

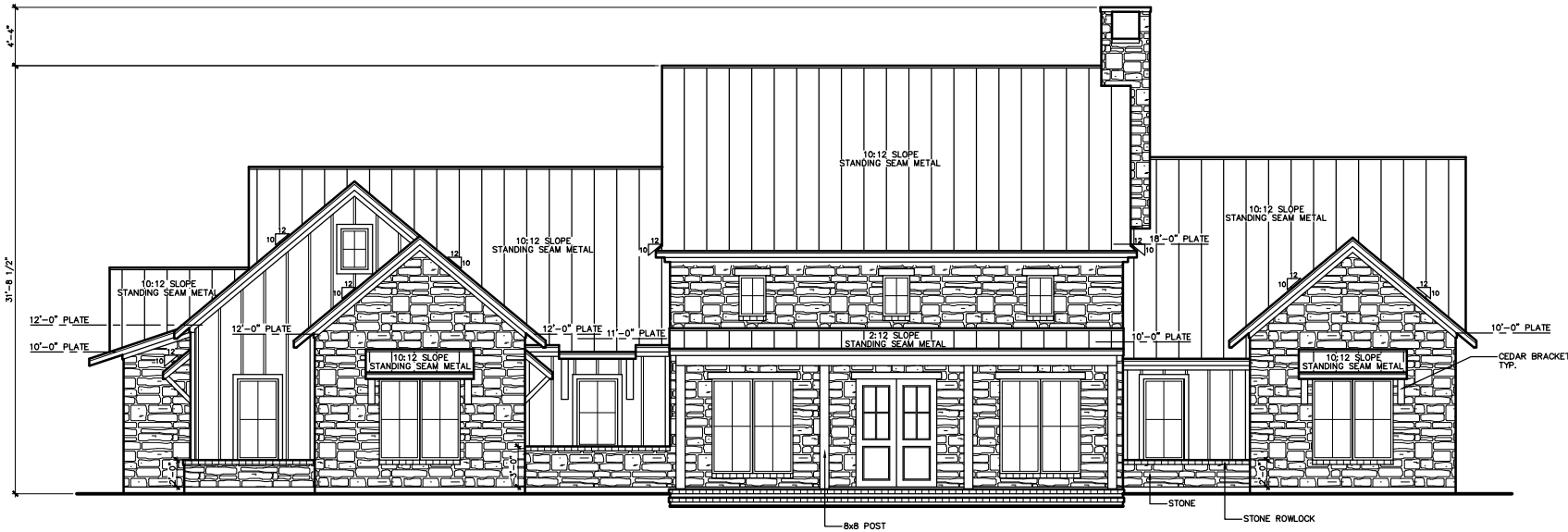
BRICK CALCULATIONS	
BRICK/STONE:	2168 SQ. FT.
STUCCO:	0 SQ. FT.
TOTAL MASONRY:	2168 SQ. FT.
STUCCO:	2802 SQ. FT.
TOTAL:	4970 SQ. FT.
% OF MASONRY:	44 %

REVISIONS	

The ILL Group, Inc. assumes no liability for any structure built from these plans. It is the responsibility of the owner, builder, or contractor to verify all dimensions, verify compliance with all applicable codes, and obtain all necessary permits. Only a qualified architect, engineer, or structural engineer should be permitted to alter these plans. No portion of these plans may be reproduced without written consent of the ILL Group, Inc.



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DESCRIPTION:

BUILDER:

THE
ml
GROUP
600 PARKER SQUARE, SUITE 205
FLOWER MOUND, TX 75028
OFFICE : (972) 355-8700
FAX : (972) 355-8750
TRADEMARKED

ISSUE DATE
4-22-21
DRAFTSPERSON
MLG
PROJECT NO.
21-109
PLAN NUMBER
Rees
SHEET NUMBER

A-2

The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.

DESCRIPTION:

BUILDER:

THE

GROUP
600 PARKER SQUARE, SUITE 205
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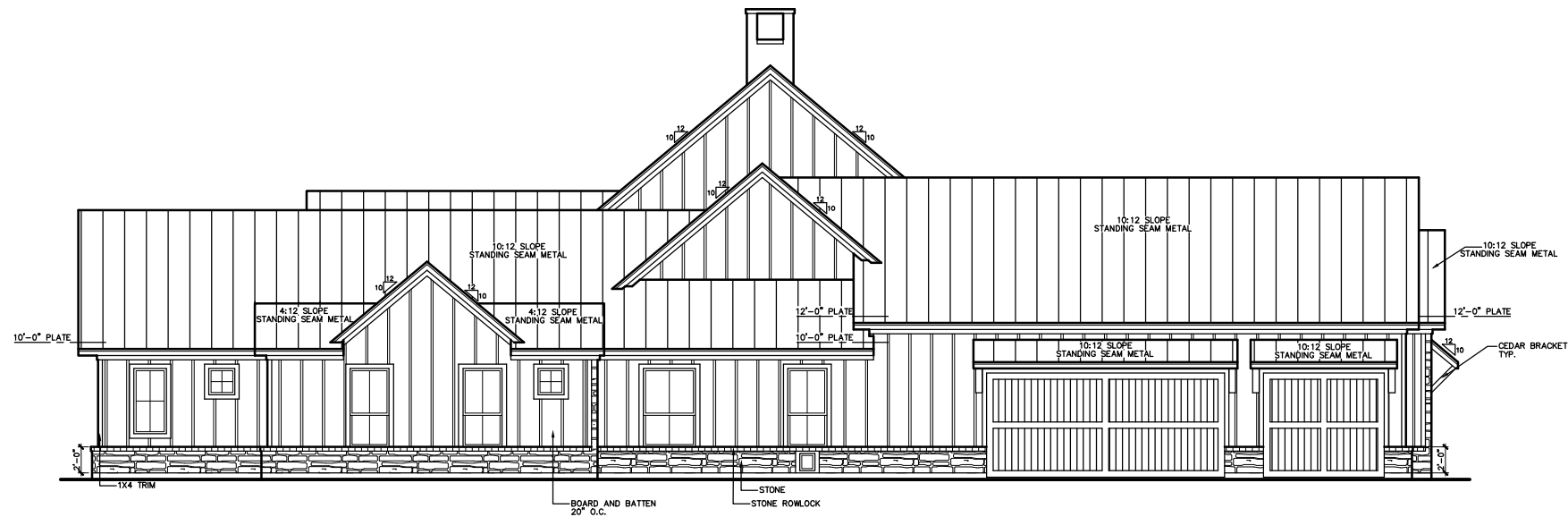
DRAFTSPERSON

MLG
PROJECT NO.
21-109

PLAN NUMBER
Rees

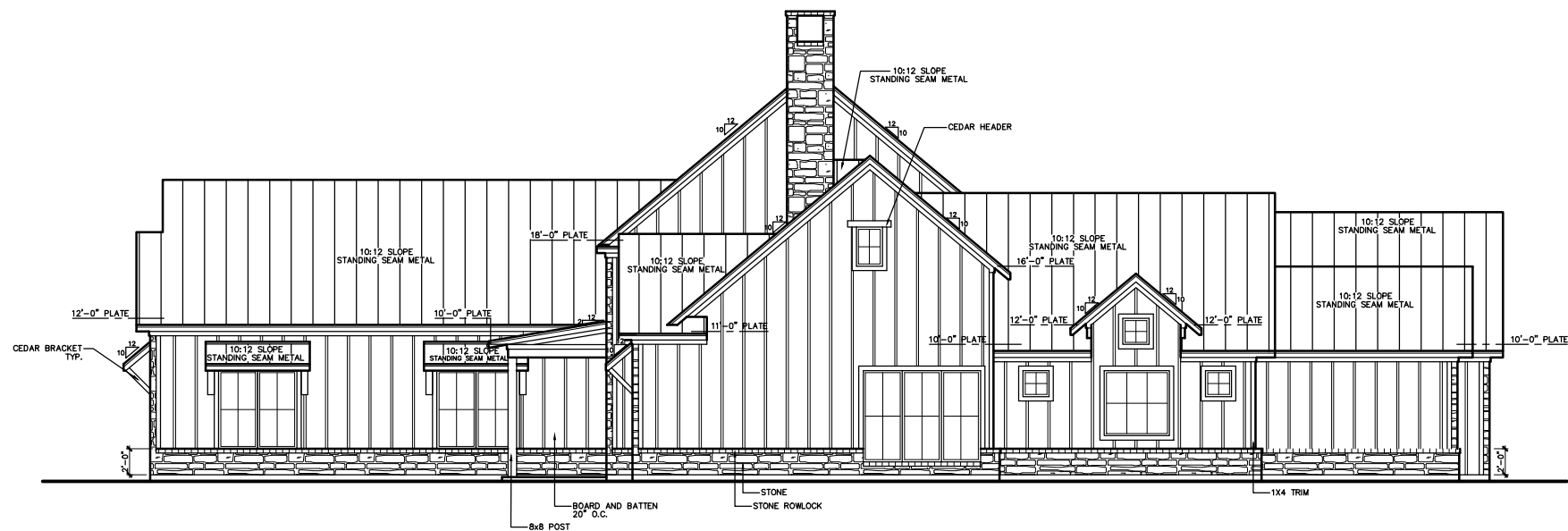
SHEET NUMBER

A-3



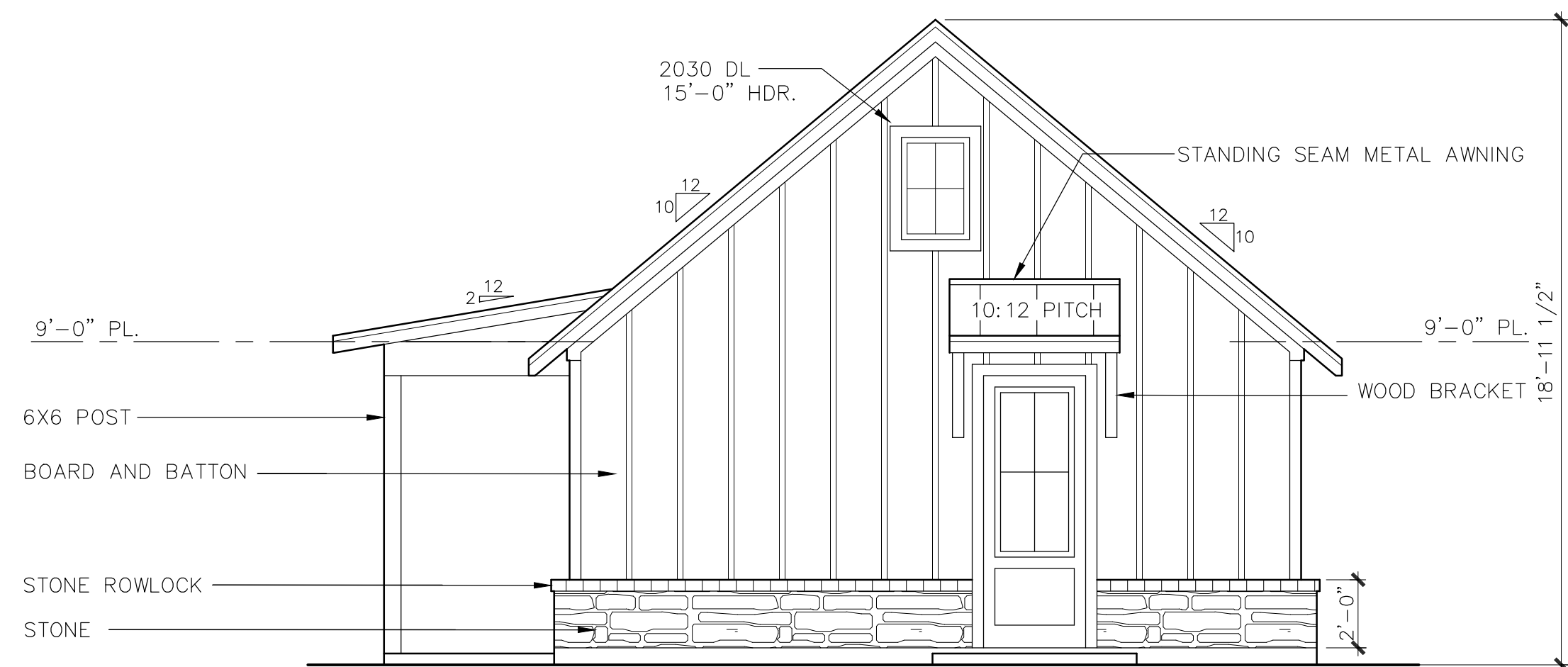
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



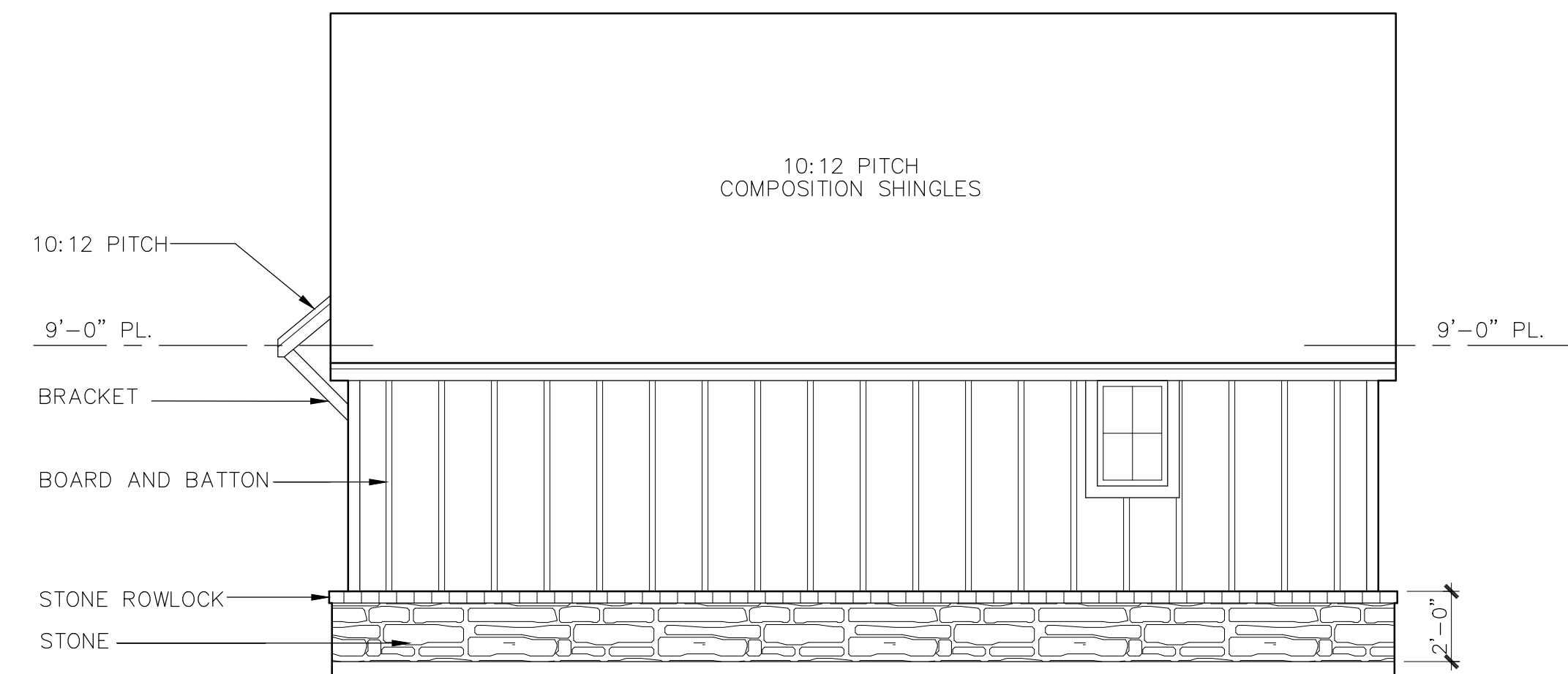
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



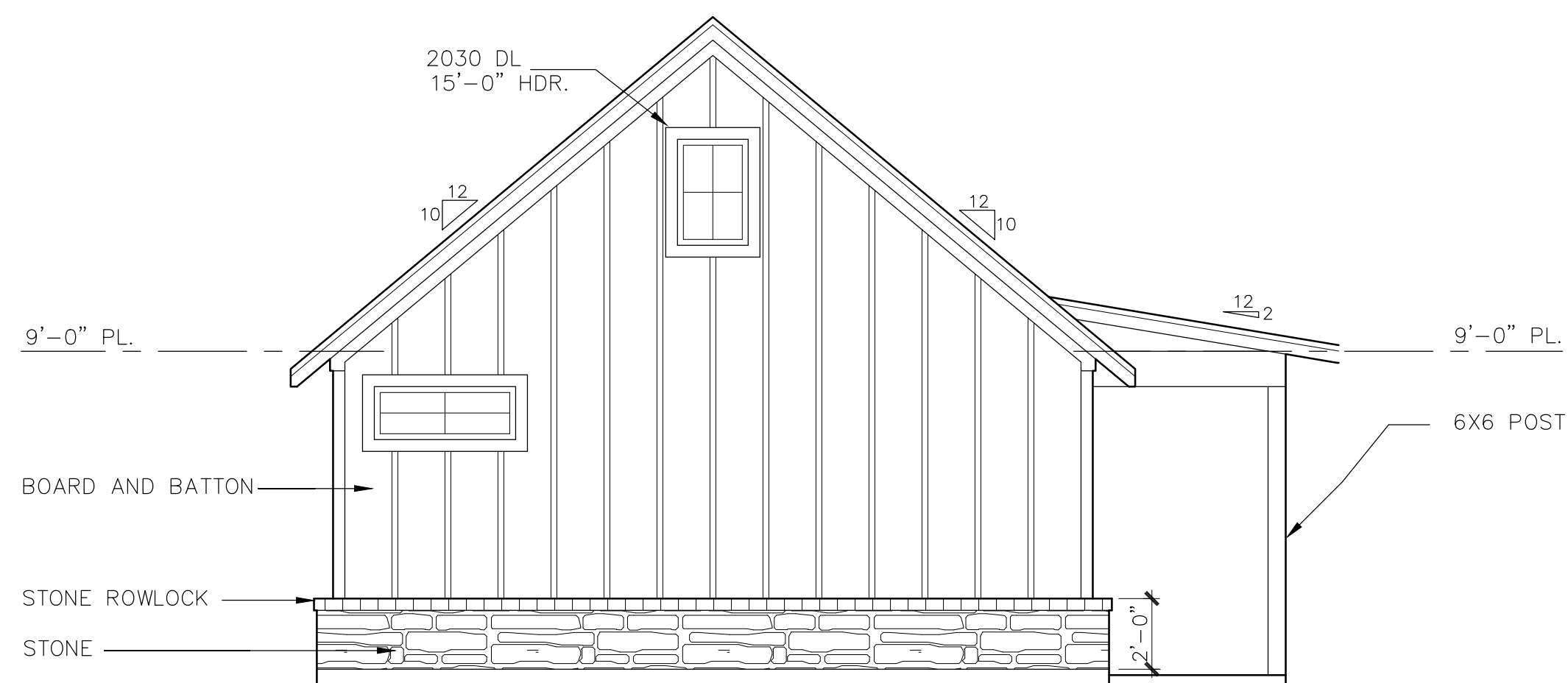
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



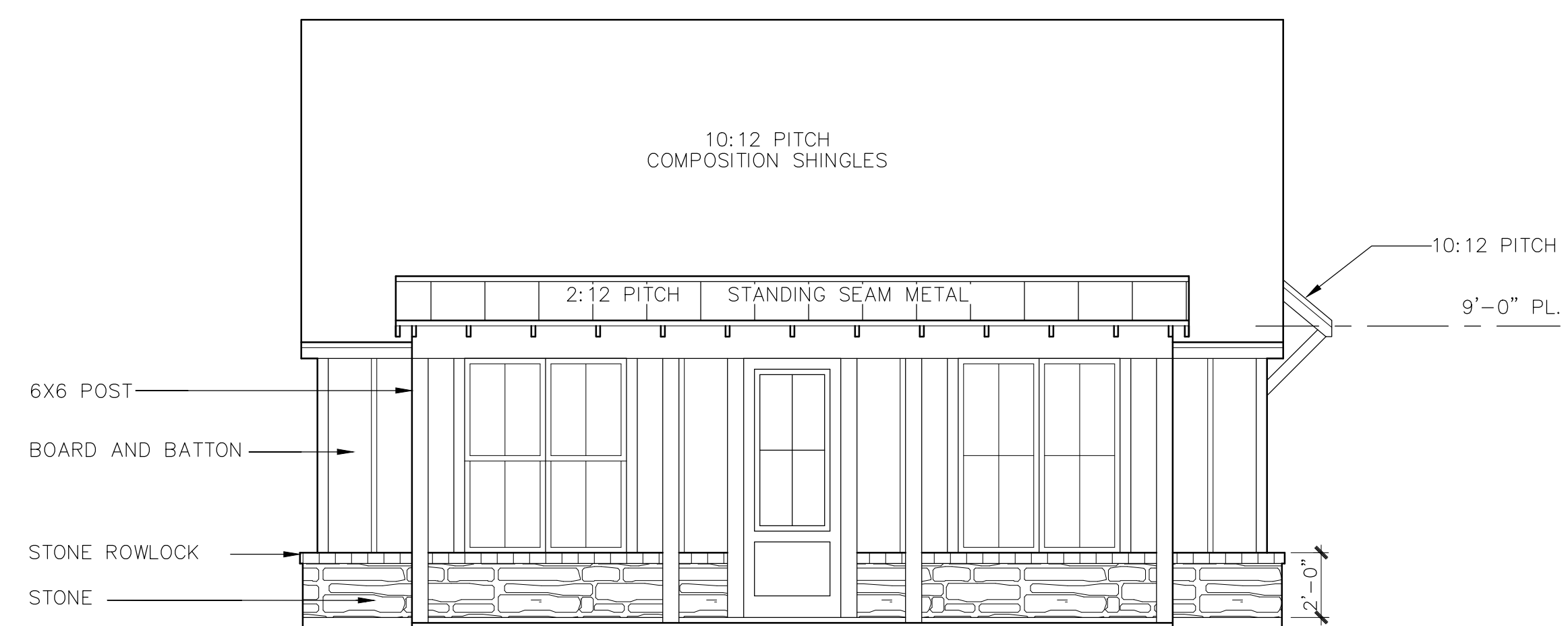
REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

BRICK CALCULATIONS		
BRICK/STONE:	196	SQ. FT.
STUCCO:	0	SQ. FT.
TOTAL MASONRY:	196	SQ. FT.
SIDING:	689	SQ. FT.
TOTAL:	885	SQ. FT.
% OF MASONRY:		22 %

[illegible]

Exterior materials for
9004 Bloomington Parkway
Lot 1B Pepper Creek Ranch



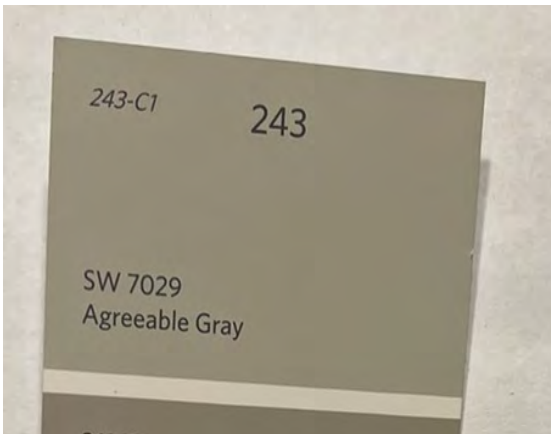
Stone—Austin Chalk /
chopped / straight lay,
coursed with Amerimix
preblend white mortar



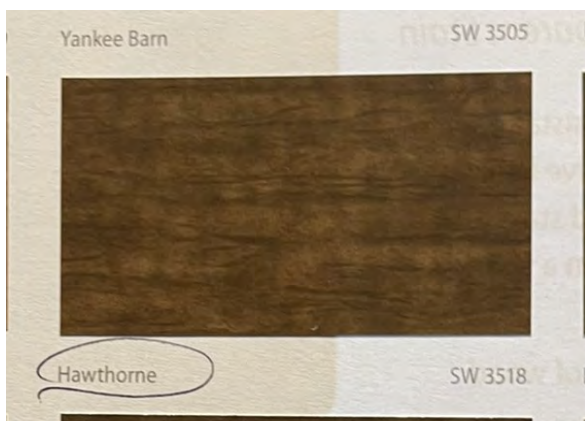
Tamko Heritage Rustic
Black Composition shingle



Metal roof—Berridge
Matte Black



Exterior facia and board & batten
color—Sherwin Williams Agreeable
Gray



Exterior Cedar elements—Sherwin
Williams Hawthorne

Windows Black