

AGENDA

FLOWER MOUND PLANNING AND ZONING COMMISSION REGULAR MEETING

10/25/2021

FLOWER MOUND TOWN HALL, 2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

6:30 P.M.

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT www.flower-mound.com/AgendaCenter
.....

Please silence or turn off all electronic devices.

Meeting participants may be asked to wait in the lobby until their name is called.

Comments regarding any agenda item can be sent to the Commission by emailing pz@flower-mound.com.

A. CALL MEETING TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

To speak to the Planning & Zoning Commission during public comment, please fill out a comment form which is located in the lobby near Jody Smith Hall.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired.
- Please state your name and address when speaking.

The purpose of this item is to allow the public an opportunity to address the Commission on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972-874-6000 during business hours.

E. FUTURE AGENDA ITEMS

The purpose of this item is to allow the Chair and members of the Commission an opportunity to bring forward items they wish to discuss at a future meeting, with the understanding a consensus of the Commission is needed in order for that item to be placed on a future agenda and in accordance with the Town Council Agenda Setting Policy (Ord. 65-15).

F. DIRECTOR'S REPORT

1. Work Sessions
2. Coordination of Calendars
3. SUP Database in MuniCode

G. CONSENT ITEMS

This part of the agenda consists of non-controversial or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of October 11, 2021: Consider approval of the minutes of the October 11, 2021, Planning and Zoning Commission Regular Session.

H. REGULAR ITEMS

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town’s development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

2. SP21-0006 – Loreto House: Public Hearing to consider a request for a Site Plan (SP21-0006 – Loreto House) to develop an office building with an exception to ‘Underground Utilities’ pursuant to Section 82-377, “Exceptions,” of the Code of Ordinances. The property is generally located at the southwest corner of Morriss Road and Acropolis Drive.

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I. ADJOURNMENT – REGULAR SESSION

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town’s website in accordance with GC Section 551.056 on the following date and time: October 21, 2021, at 4:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Executive Assistant

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at 972-874-6350.



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 1

CONSENT ITEM

DATE: October 25, 2021

FROM: LauriAnn Cash, Development Services Executive Assistant

ITEM: Consider approval of the minutes of the October 11, 2021, Planning and Zoning Commission Regular Session.

I. BACKGROUND INFORMATION

The Planning and Zoning Commission held a regular meeting on October 11, 2021.

II. ATTACHMENTS

1. Draft Minutes

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 11TH DAY OF OCTOBER 2021, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Brad Ruthrauff	Commissioner, Place 1
Robbie Cox	Commissioner, Place 2
Janvier Werner	Commissioner, Place 3
James Naylor	Commissioner, Place 4
Greg Wilson	Commissioner, Place 5
Donald Gilmore	Commissioner, Place 6
Kathryn Wells	Commissioner, Place 7
Jason Hobbs	Commissioner, Place 8
Brady Kilpper	Commissioner, Place 9

Constituting a quorum with the following members absent:

None

(Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Bryn Meredith	Town Attorney
Lexin Murphy	Director of Planning Services
Robert Pegg	Assistant Director of Engineering
Poornima Kashyap	Principal Planner
Claire Barnes	Planner
LauriAnn Cash	Executive Assistant

A. CALL REGULAR SESSION TO ORDER: 6:30 P.M.

B. ELECTION OF OFFICERS

1. Chair

Commissioner Cox nominated Commissioner Ruthrauff to continue the role as Planning & Zoning Commission Chair. Commissioner Werner seconded the nomination.

VOTE ON THE NOMINATION

AYES: Ruthrauff, Cox, Werner, Naylor, Wilson, Gilmore, Wells

NAYS: None

The nomination passed by a vote of 7 to 0.

2. Vice-Chair

Commissioner Ruthrauff nominated Commissioner Cox for Vice-Chair of the Planning & Zoning Commission. Commissioner Naylor seconded the nomination.

VOTE ON THE NOMINATION

AYES: Wells, Gilmore, Wilson, Naylor, Werner, Cox, Ruthrauff

NAYS: None

The nomination passed by a vote of 7 to 0.

C. PUBLIC COMMENT

None

D. FUTURE AGENDA ITEMS

1. Commissioner Gilmore suggested making more training opportunities available.
2. Vice-Chair Cox suggested having a work session on the history of the Town's Master Plan.

E. DIRECTOR'S REPORT

1. Training Opportunities

F. CONSENT ITEMS

1. Consider approval of the minutes of the September 27, 2021, Planning and Zoning Commission Regular Session.

Commission Deliberation

Commissioner Werner moved to approve Consent Item 1. Commissioner Gilmore seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Werner, Naylor, Wilson, Gilmore, Wells

NAYS: None

The motion to approve passed by a vote of 6 to 0.

G. REGULAR ITEMS

2. Public Hearing to consider a Site Plan (SP21-0004 – Dutch Bros Coffee) to develop a fast food restaurant with a drive through window, with an exception to the Architectural Standards of the Town's Urban Design Plan for meritorious

design, a waiver to Architectural Standards in the Town's Urban Design Plan for roof pitch, and an exception to 'Underground Utilities' pursuant to Section 82-377, "Exceptions," of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.

Staff Presentation

Poornima Kashyap, Principal Planner

Applicant Presentation

Steve Homeyer, Homeyer Engineering
Gene Colley, Embrey Development
Jeff Bennett, Dutch Bros Coffee

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Vice-Chair Cox moved to recommend approval of SP21-0004 – Dutch Bros Coffee with no exceptions. Commissioner Gilmore seconded the motion.

VOTE ON THE MOTION

AYES: Cox, Werner, Naylor, Wilson, Gilmore, Wells

NAYS: None

The motion to recommend approval with no exceptions passed by a vote of 6 to 0.

- 3. Public Hearing to consider an ordinance granting a Specific Use Permit No. 473 (SUP21-0007 – Stone Hill Boat Sales) to permit Retail, general (outdoors) facility for a boat dealership, with an exception to 'Underground Utilities' pursuant to Section 82-377, "Exceptions," of the Code of Ordinances. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.**

Staff Presentation

Poornima Kashyap, Principal Planner

Applicant Presentation

Steve Homeyer, Homeyer Engineering

Spoke In Favor:

None

Spoke In Opposition:

Andrea Sanders, 1220 Stonehedge Place
Jeff Darlington, 1824 Stonecrest Drive

Had Comments, Concerns, and/or Questions of Informational Nature:

Edwina Potter, 5804 Valencia Drive

Commission Deliberation

Commissioner Gilmore moved to recommend denial of SUP21-0007 – Stone Hill Boat Sales as presented. Commissioner Werner seconded the motion.

VOTE ON THE MOTION

AYES: Wells, Gilmore, Wilson, Naylor, Werner, Cox

NAYS: None

The motion to recommend denial passed by a vote of 6 to 0.

4. Public Hearing to consider an ordinance granting Specific Use Permit No. 475 (SUP21-0009 – Pepper Creek Ranch Lot 1, Block B Accessory Dwelling) to permit an accessory dwelling. The property is generally located north of Bloomington Parkway and west of Summer Hill Court.

Staff Presentation

Claire Barnes, Planner

Applicant Presentation

Lucie Rees, 4421 Sanderlin Drive; Present for questions, no presentation

Spoke In Favor:

None

Spoke In Opposition:

None

Commission Deliberation

Vice-Chair Cox moved to recommend approval of SUP21-0009 – Pepper Creek Ranch Lot 1, Block B Accessory Dwelling. Commissioner Wells seconded the motion.

VOTE ON THE MOTION

AYES: Wells, Gilmore, Wilson, Naylor, Werner, Cox

NAYS: None

The motion to recommend approval passed by a vote of 6 to 0.

H. **ADJOURNMENT – REGULAR SESSION: 8:29 P.M.**

TOWN OF FLOWER MOUND, TEXAS

Lexin Murphy, Director of Planning Services

ATTEST:

LauriAnn Cash, Executive Assistant

DRAFT



PLANNING AND ZONING COMMISSION

AGENDA ITEM NO: 2

REGULAR ITEM

DATE: October 25, 2021

FROM: Poornima Kashyap, Principal Planner

ITEM: **Public Hearing to consider a request for a Site Plan (SP21-0006 – Loreto House) to develop an office building with an exception to ‘Underground Utilities’ pursuant to Section 82-377, “Exceptions,” of the Code of Ordinances. The property is generally located at the southwest corner of Morriss Road and Acropolis Drive.**

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There is an exception request to the Town's regulations, which necessitates special consideration by the Commission (see Analysis below).

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a one-story, 6,593 square-foot office building on Lot 11R, Block A, of The Forums, Phase II subdivision. The subject site is approximately 1.437 acres and currently vacant. The property is zoned Planned Development District-1 (PD-1) with Office (O) uses.

As part of the request, the applicant has asked for an exception to the Code of Ordinances. In summary (see Section III, below, for detail):

Exception:

- Section 82-377, Overhead Utilities in order to not bury approximately 140.5 linear feet of overhead utilities along Morriss Road.

Primary access to the site will be from Morriss Road and Acropolis Drive. Mutual access easements were dedicated on the recorded replat to provide internal circulation. The applicant has indicated in their letter of intent that the proposed office building will operate as a pregnancy resource center and will also offer a variety of services including educational courses and material goods. The required parking for this development is 26 spaces, which is what is being provided.

The landscape plan depicts the required number of buffer trees, parking lot trees, and street yard trees. The proposed development complies with the Town's landscape

requirements. The elevations predominantly consist of brick and stone with cedar wood accents. The building also encompasses a pitched roof design with cementitious board utilized for trim and fascia. While the percentage of cementitious board noted exceeds the Town's normal standard of 20 percent, it is limited to trim and fascia. The proposed plans comply with applicable Town standards.

III. EXCEPTIONS:

A. Exception to Section 82-377, Underground Utilities

Section 82-376 states that all existing overhead utilities, save and except transmission facilities identified in the Town Code, shall be placed underground in conjunction with the development of property, and prior to the Town's acceptance of the subdivision, subject to certain provisions. The applicant is requesting an exception to burying approximately 140.5 linear feet of overhead utility lines located along the Morriss Road frontage.

As required by Section 83-377, the applicant has provided plans and perspectives of the development along Morriss Road to illustrate how the development would appear with and without the overhead lines. The applicant has also provided correspondence from Oncor detailing what would be required if the lines were buried and a quote stating the relocation costs.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

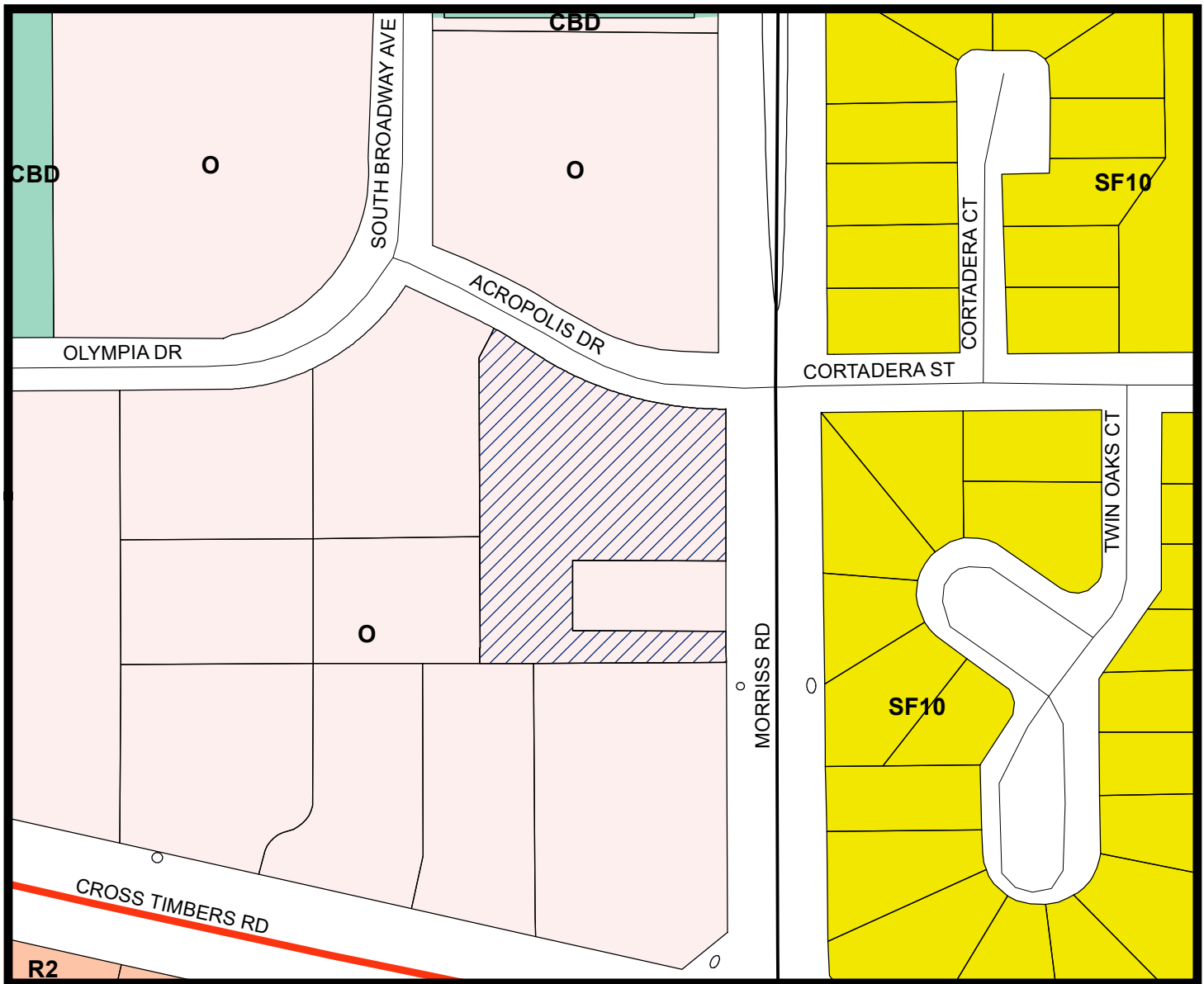
B. Application Details

1. Site Plan Package
2. Overhead Utilities Exception Exhibits

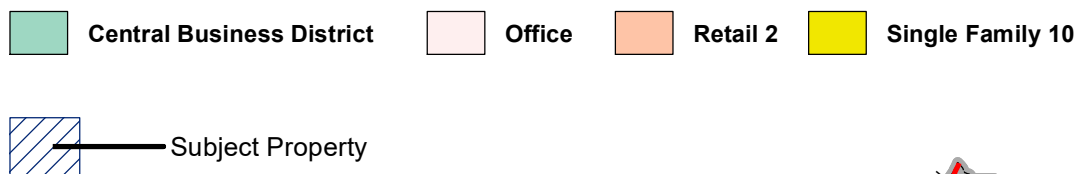


Vicinity Map

Reference Project: SP21-0006

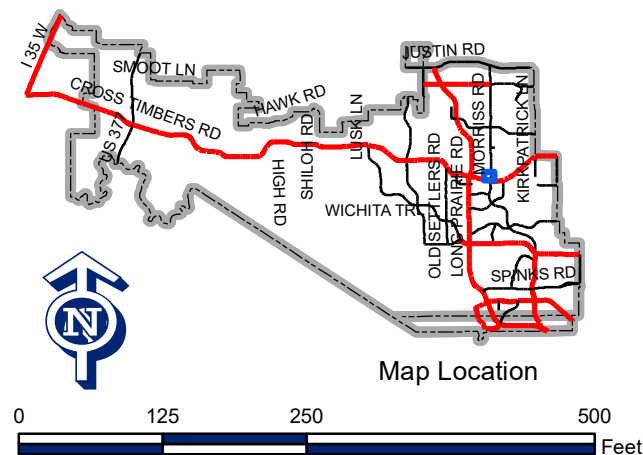


LEGEND



Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



Loreto House

October 14, 2021

City of Flower Mound
1001 Cross Timbers Rd. Ste. 2330
Planning Services Division
Flower Mound, Tx. 75028

Letter of intent

Project #SP21-0006
2213 Acropolis

Dear Planning Department,

Loreto House, a 501-c-3 non-profit organization is the owner of the unimproved property located at 2213 Acropolis and further described as The Forums Ph 2, Block A, Lot 11R consisting of 1.437 acres per recorded plat.

The zoning is Office (O) within Planned Development District-1, Unit 2 (PD-1)

Loreto House intends to build a single-story facility of 6593 sq. ft. heated and cooled.

Loreto House will operate a pregnancy resource center that serves women who are pregnant and/or may have a child under the age of 36 months. Loreto House provides a vast array of services FREE of charge including a large curriculum of educational courses that improve the pregnancy and parenting situation of the mom and father. Material goods such as diapers, clothing, baby items are also distributed to our clients. This center will be a beacon of hope for the thousands of clients that will be served each year. Several local churches and civic organizations will be supporting the efforts in the Flower Mound community.

We are requesting an exception to the Town of Flower Mound ordinance No. 21-20 for underground utilities which requires overhead utilities present on, or adjacent to the proposed development be placed underground. The property is in a well-established community that contains above ground utility service lines for miles looking North and South of the site. The estimated cost to bury this small portion adjoining Morriss Street is over \$128,000 and will not enhance the beauty of the neighborhood in a manner justifying the cost. Loreto House is a 501-c-3 non-profit that serves women in your community. We do not have the extra funds in the budget to cover this very unexpected cost. I have prepared a few images of the existing and "after line burial" to show the effect of this expense.

Respectfully,

Randy Bollig: President
Loreto House

*1100 N. Bonnie Brae St.
Denton, TX 76201
940-380-8191
Loretohousebenefactors.org*

Loreto House

Conceptual Designs

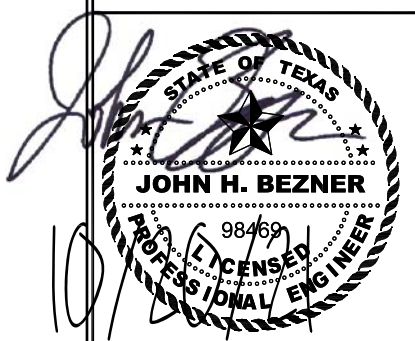


*1100 N. Bonnie Brae St.
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Loreto House



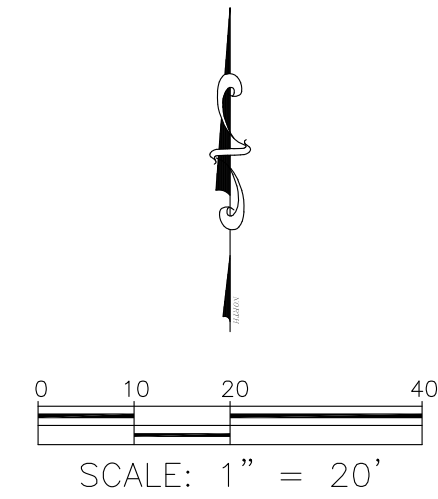
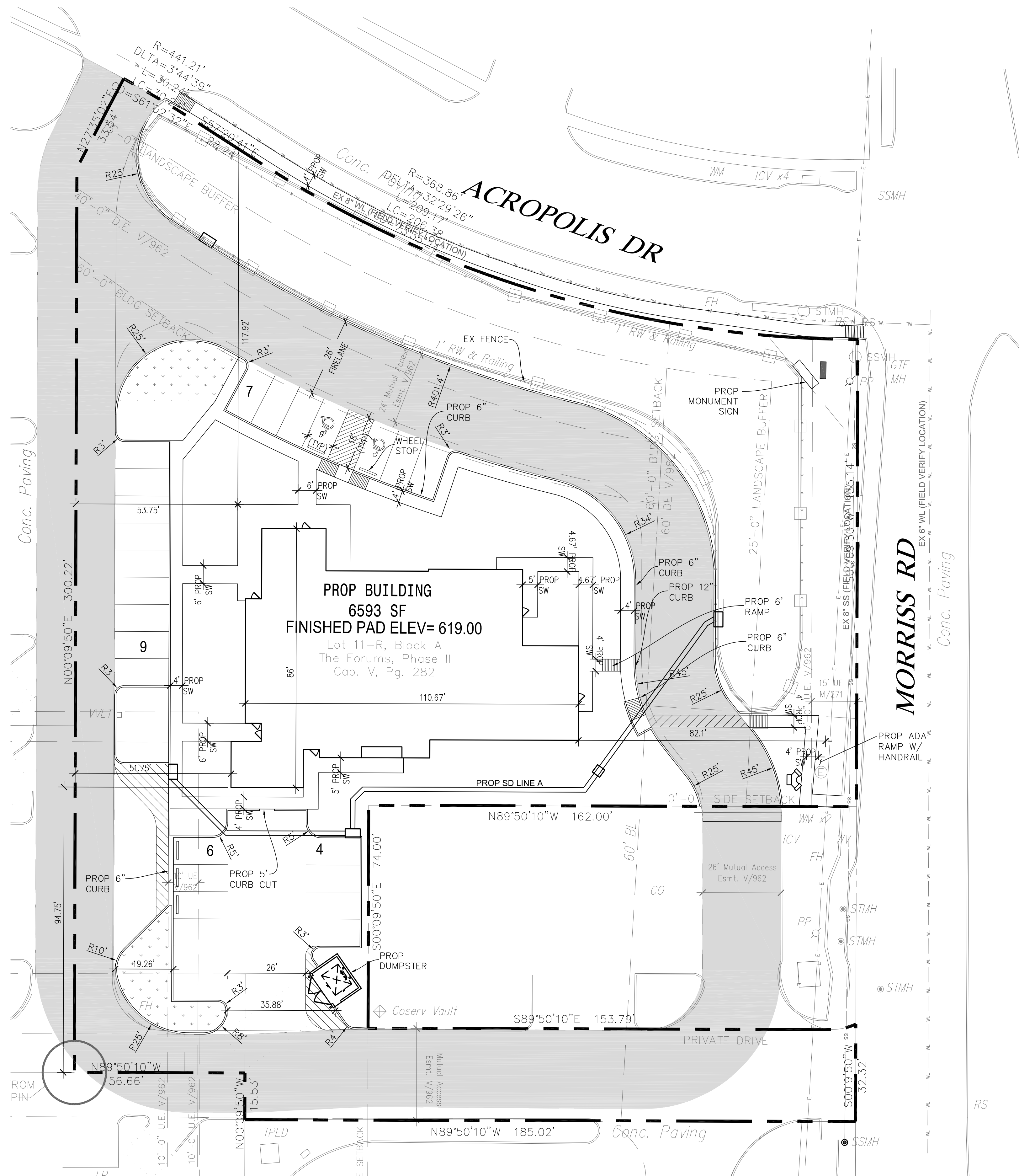
*1100 N. Bonnie Brae St.
Denton, TX 76201
940-380-8191
Loretohousebenefactors.org*



DATE	8-30-21
SCALE	1"=20'
SHEET	3
OF	9

OWNER:
Loreto House
1100 N Bonnie Brae St,
Denton, TX 76201
Ph: 940-380-8191
Contact: Randy Bollig

PROJECT SITE

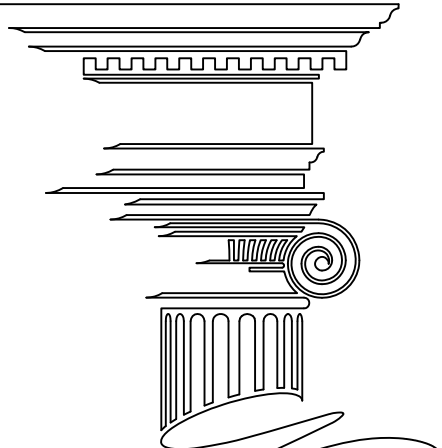


LEGEND

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GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND MATERIAL OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION PRIOR TO COMMENCEMENT. CONTRACTOR SHALL CONTACT A UTILITY LOCATOR 48 HOURS PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY.
 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION BEING IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, REGULATIONS, STATUTES, STANDARDS, AND SPECIFICATIONS.
 4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION.
 5. CONTRACTOR SHALL PROTECT EXISTING CONTROL MONUMENTATION AND BENCHMARKS. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT HIS EXPENSE.
 6. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
 7. ALL EARTHWORK OPERATIONS, PAVEMENT INSTALLATION, ETC. SHALL CONFORM TO THE RECOMMENDATION OF THE GEOTECHNICAL REPORT.
 8. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS, INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, AND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER.
 9. ALL CONCRETE PAVEMENT SHALL BE 3,600 PSI CONCRETE WITH THE MINIMUM PAVEMENT AND SUBGRADE REQUIREMENTS IS:
 1. 6"OF REINFORCED CONCRETE PAVEMENT ON 6"OF LIME OR CEMENT STABILIZED SUBGRADE AS RECOMMENDED BY A GEOTECHNICAL ENGINEER,
- OR
2. 8"OF REINFORCED CONCRETE PAVEMENT ON 6"OF UNTREATED SUBGRADE COMPACTED TO 95 PERCENT DENSITY. FIRE LANES MUST SUPPORT A VEHICLE LOAD OF 85,000 POUNDS. PLEASE REFER TO GEOTECHNICAL REPORT.
 10. DIMENSIONS ARE FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE INDICATED.
 11. ALL CONNECTIONS TO EXISTING PAVING SHALL HAVE A FULL DEPTH SAWCUT.
 12. EROSION CONTROL SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
 13. THERE ARE NO EXISTING TREES ON SITE.



DESIGN PRINCIPLES

3100 Commerce Street 100
Dallas, Texas 75226
214 321 1111 214 321 1911 Fax
www.designprinciples.biz

LANDSCAPE NOTES

- 1. NO EXISTING TREES ONSITE. EXISTING TREE PROTECTION NOT REQUIRED FOR THIS PROJECT.
- 2. EXISTING LANDSCAPING IN RETENTION POND TO BE REMOVED AS NEEDED FOR NEW LANDSCAPING.
- 3. INSPECT RETENTION POND FENCINGS AND REPAINT IF NEEDED. VERIFY WITH OWNER.
- 4. NEW SODDING PER SCHEDULE.
- 5. PLANTING AREAS SHALL HAVE 4" OF AVAILABLE TOP SOIL FREE OF DEBRIS, STONES, WEEDS OR GRASSES. TOP DRESS WITH 3" SHREDDED HARDWOOD MULCH.
- 6. PLANTING AREAS SHALL HAVE 4" OF AVAILABLE TOP SOIL FREE OF DEBRIS, STONES, WEEDS OR GRASSES. TOP DRESS WITH 3" SHREDDED HARDWOOD MULCH.

LEGEND

- BERMUDA GRASS, GENUS: CYNODON DACTYLON
- EXISTING LARGE CALIFER TREES TO BE REMOVED. QUANTITY: 0
- EXISTING LARGE CALIFER TREES TO REMAIN. QUANTITY: 0
- INDIAN HAWTHORNE (PINKIE) SIZE: 36IN COLOR: PINK QUANTITY: 74 SPACING: 3FT
- BLUE STAR JUNIPER (JUNIPERUS SAUAMATA) SIZE: 36IN COLOR: BLUE SLATE QUANTITY: 6 SPACING: 4FT
- WESTERN REDBUD (CERCIS OCCIDENTALIS) SIZE: 3 CALIFER COLOR: PINK QUANTITY: 1 SPACING: N/A
- GRAPE MYRTLE SIZE: 15 GAL 3-5 CANES 6-8FT AT PLANTING COLOR: PINK QUANTITY: 7 SPACING: N/A
- GRAPE MYRTLE SIZE: 15 GAL 3-5 CANES 6-8FT AT PLANTING COLOR: WHITE QUANTITY: 7 SPACING: N/A
- BALD CYPRESS (TAXODIUM DISTICHUM) SIZE: 3 CALIFER QUANTITY: 20 SPACING: 30FT
- LOBLOLLY PINE (PINUS TAEDEA) SIZE: 3 CALIFER QUANTITY: 7 SPACING: N/A

LANDSCAPE CALCULATIONS

STREET YARD LANDSCAPING			
STANDARD	TOTAL STREET YARD (S.F.)	REQUIRED	PROVIDED
MIN. 20% OF STREET YARD	32,415.82	6,483.16	17,711.64 OR (34,228)

STREET YARD TREES			
STANDARD	TOTAL STREET YARD (S.F.)	REQUIRED	PROVIDED
10,000 - 100,000 S.F. = 1 / 25,000 S.F. + 10 TREES	32,415.82	19	23 9 ORNAMENTAL

TREES REQ'D TO SATISFY OTHER PROVISIONS & LYING W/ THE STREET YARD MAY BE USED TO SATISFY THE REQUIREMENTS OF OTHER SECTIONS.

STREET BUFFER LANDSCAPING			
STANDARD	REQUIRED BUFFER WIDTH	PROVIDED	
MORRIS RD.	25'-0"	25'-0"	
ACROPOLIS DR.	15'-0"	32'-0"	

STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LF)	REQUIRED	PROVIDED
1 / 30 LF	MORRIS = 187'-5" 1 ACROPOLIS = 263'-6"	7 4	8 12

PARKING AREA LANDSCAPING			
STANDARD	NO. OF SPACES	REQUIRED	PROVIDED
90 SF / 12 SPACES	26	145.00	2024.31

PARKING AREA TREES			
STANDARD	NO. OF SPACES	REQUIRED	PROVIDED
1 / 10 PARKING SPACES	26	3	6 PLUS 7 ORNAMENTAL

GENERAL NOTES

- CONTRACTOR SHALL LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATING OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AS REQ'D, ANY DAMAGED UTILITY AT NO ADD'L. COST TO OWNER.
- PROVIDE PLANTING BED WITH METAL EDGES AT ALL HEDGE ROWS. BED EDGES AND TREE LOCATIONS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY BED PREPARATION. BED EDGES SHALL HAVE SMOOTH, WELL DEFINED, EVEN AND CONSISTENT EDGES.
- THE QUANTITIES SHOWN ON THE PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REP. IMMEDIATELY. DISCREPANCIES WITH THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL RENUMERATION.
- ALL PLANTS TO BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANTS OF SAME SPECIES SHALL BE MATCHING IN CHARACTER. PROVIDE SAMPLES OF EA. SHRUB AND GROUNDCOVER SPECIES FOR APPROVAL BY OWNER'S REP. PRIOR TO DELIVERY TO THE SITE. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. INTENT OF DRAWINGS AND SPECIFICATIONS IS TO PROVIDE LANDSCAPING WITH PLANTS AND GROUNDCOVER IN VIGOROUS GROWTH. READY FOR OWNER'S USE. ITEMS NOT SPECIFICALLY INDICATED IN THE DRAWINGS OR SPECIFIED, BUT REQUIRED TO CONFORM WITH SUCH INTENT, ARE TO BE CONSIDERED AS PART OF THE WORK.
- ALTERNATE SPACING OF PLANT MATERIAL REQUIRED WHEN PLANTING LARGE MASSES, UNLESS OTHERWISE NOTED.
- SLOPE ALL BED AND TURF AREAS FOR POSITIVE DRAINAGE AWAY FROM BUILDING AND TO INLETS.
- SUCCESSFUL BIDDER SHALL SUBMIT IRRIGATION PLAN TO OWNER FOR REVIEW.

ISSUE: 10/20/21 - CITY PLANNING

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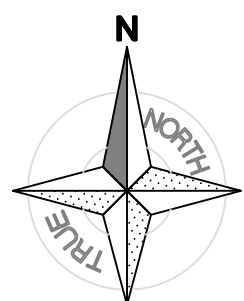
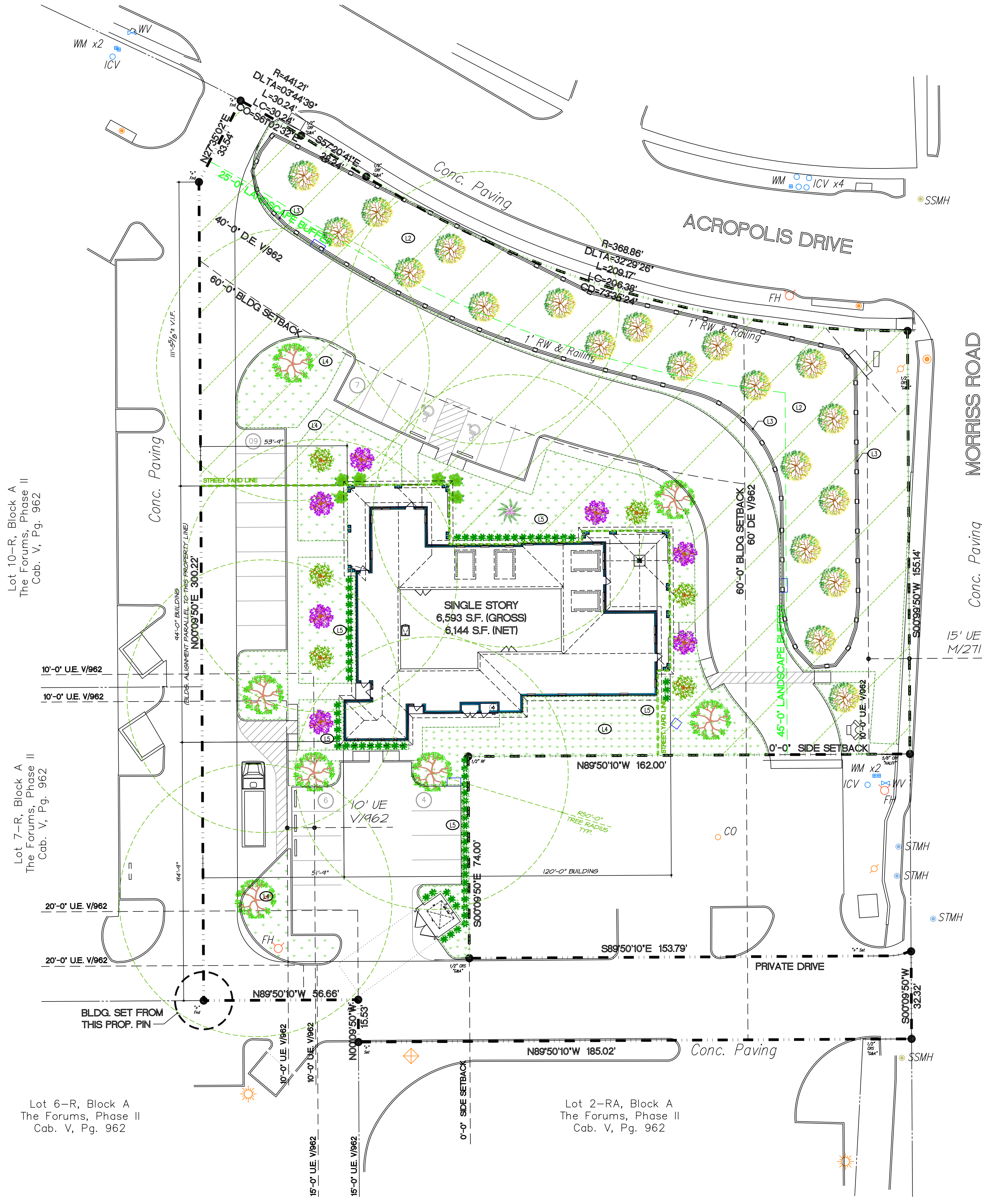
NEW OFFICE DEVELOPMENT
SCHEMATIC DESIGN
LORETO HOUSE
FLOWER MOUND FACILITY

SHEET INFORMATION:
DEMOLITION SITE PLAN
SITE PLAN

2213 ACROPOLIS DRIVE
FLOWER MOUND, TEXAS 75028

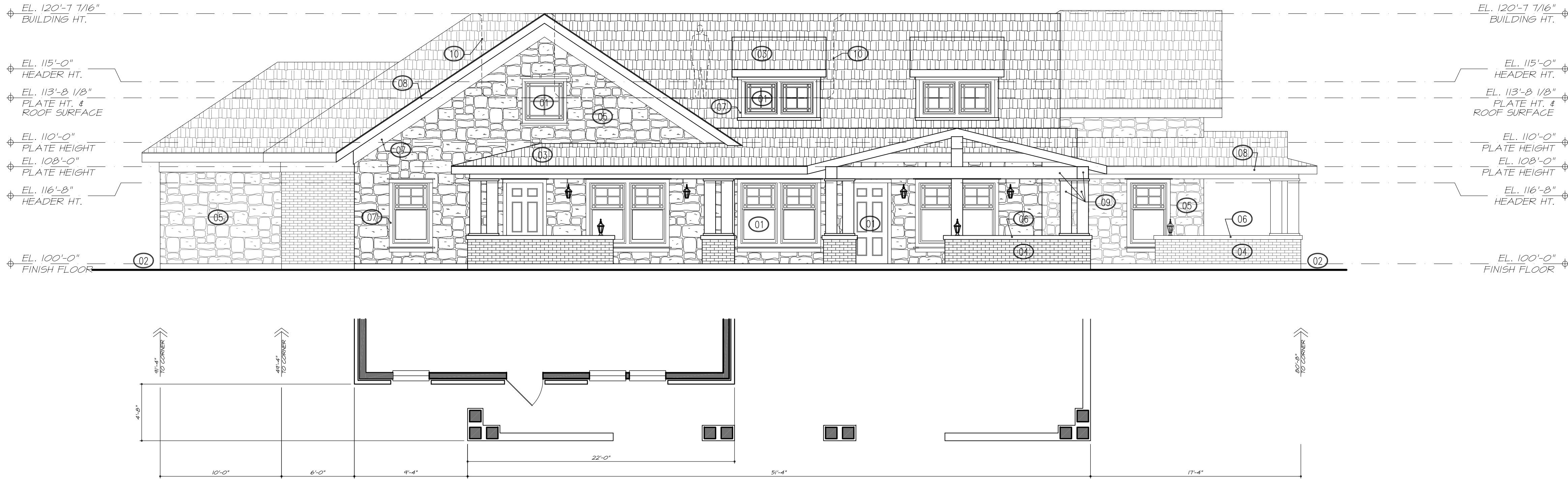
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PRINTED: _____ REC'D: _____ CHECKED: _____ VOID: _____



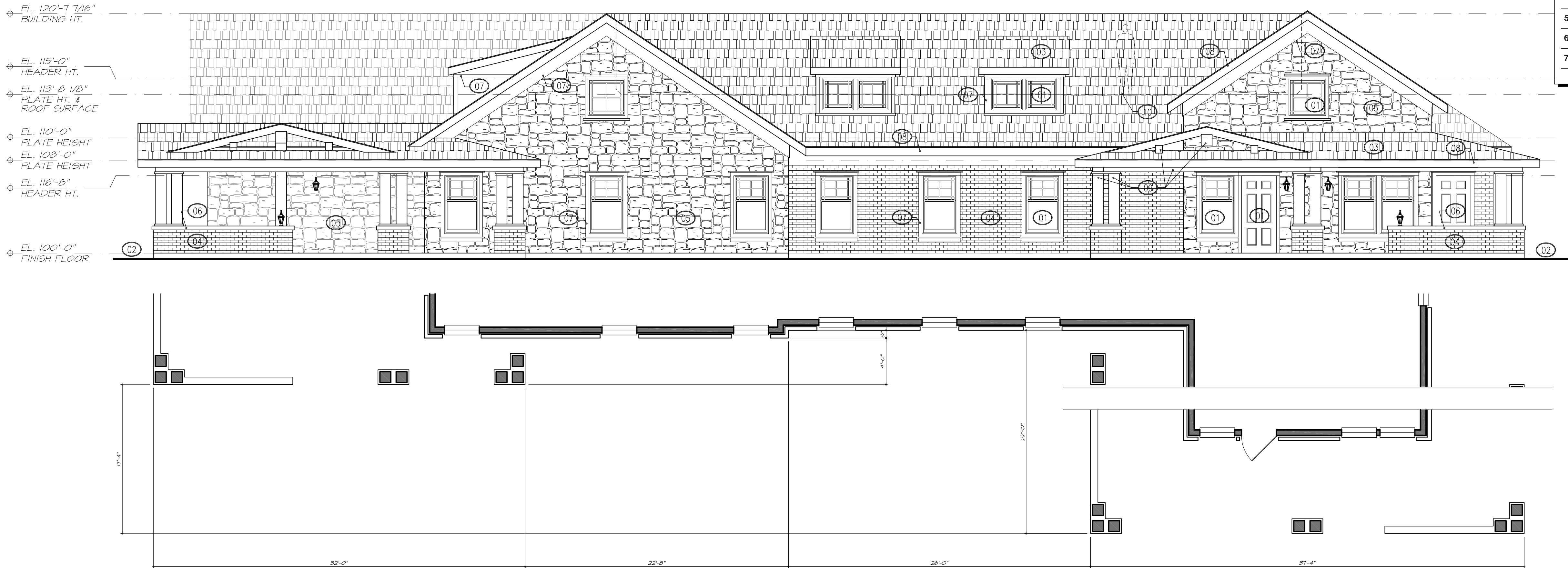
01 LANDSCAPE PLAN

0 FEET 20 40 60 80 100 SCALE: 1"=20'-0"



01 EXTERIOR ELEVATION - EAST SIDE FACING MORRISS

SCALE: 1/4"=1'-0"



02 EXTERIOR ELEVATION - NORTH SIDE FACING ACROPOLIS STREET

SCALE: 1/4"=1'-0"

NOTES



01 [R-1] [P-1]

REFER TO DOOR AND WINDOW SCHEDULE. VINYL WINDOW COLOR PER SCHED. DOORS TO BE PAINTED PER SCHED.

02

ALL GRADINGS AROUND THE BUILDING SHOULD BE SLOPED TO PREVENT STANDING WATER WITHIN 4'-0" OF THE FOUNDATION ON ALL SIDES.

03 [R-1]

COMPOSITION SHINGLE ROOFING AS SELECTED.

04 [R-1]

FACE BRICK WITH RECESSED MORTAR JOINTS.

05 [R-1]

STONE FINISH PER SCHED. W/ RECESSED MORTAR JOINTS.

06 [R-2]

CAST STONE CAP PER SCHED.

07 [R-1] [P-2]

CEMENTITIOUS TRIM - PAINTED.

08 [R-2] [P-2]

CEMENTITIOUS FACIA & SOFFIT TRIM - PAINTED.

PAINT SOFFIT PANELS AND TRIM THE SAME COLOR AS THE ASSIGN FACIA COLOR.

09 [R-1]

HEAVY TIMBER CEDAR FRAMING W/ SEALANT PER SCHED.

10

DASHED LINE INDICATES PARAPET & MEMBRANE ROOF BEYOND.

11 [P-1]

CORRUGATED MTL. ON STL. ANGLE FRAMING

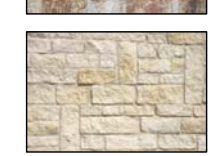
GENERAL

ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED / TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.

MATERIAL SCHEDULE



BRICK KINNEY BRICK OLD KEYSTONE QUEEN TUMBLED



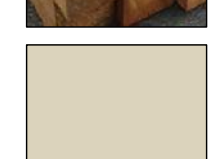
STONE QUARRY AUSTIN CREME CHOPPED



CAST STONE CAP DALLAS CAST STONE CO. WHITE LIMESTONE



HEAVY TIMBER LUMBER SUPPLIER ROUGH CEDAR NATURAL CLEAR POLY



WINDOWS BARRINGTON MFG. CO. HUNG VINYL BEIGE



COMPOSITION ROOF TIMBERLINE HDZ WEATHERED WOOD



CEMENTITIOUS TRIM, FACIA, & SOFFIT PANELS JAMES HARDIE HARDIE TRIM - PAINTED



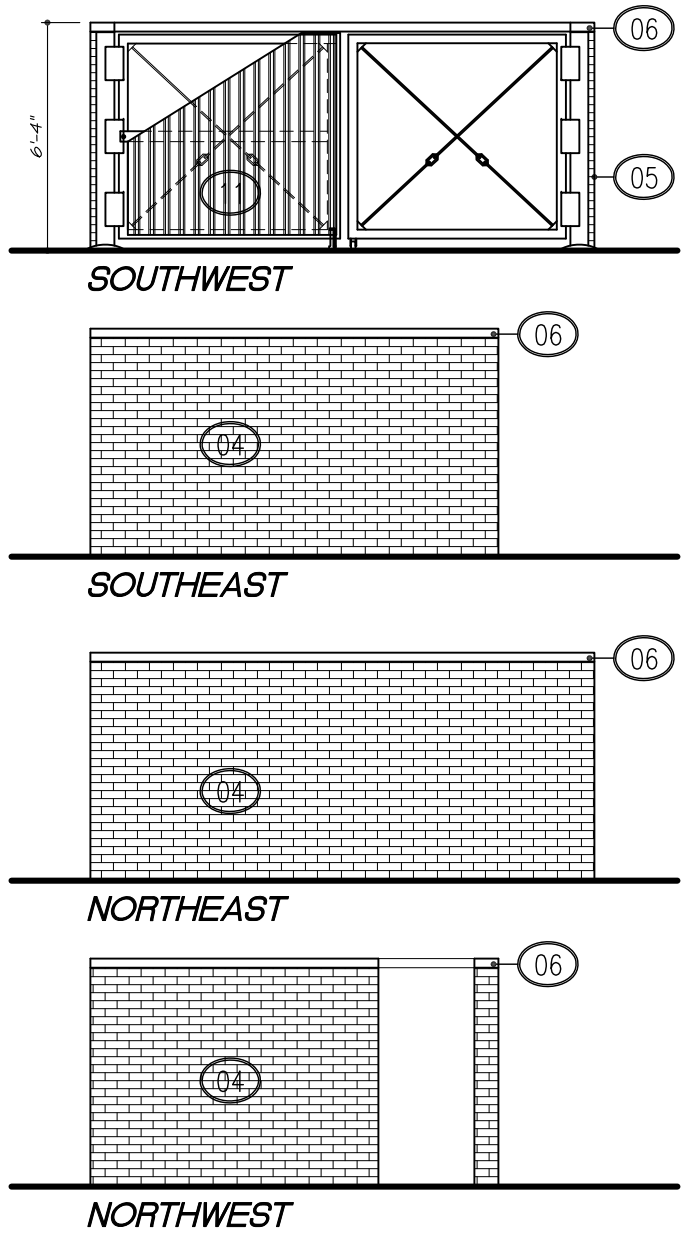
PAINT - DOORS SHERWIN WILLIAMS SW6150 - UNIVERSAL KHAKI



PAINT - TRIM & FACIA SHERWIN WILLIAMS SW6140 - MODERATE WHITE

MATERIAL CALCULATIONS

		NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	1615.31 s.f.	1072.27 s.f.	1446.24 s.f.	947.07 s.f.
2.	FACADE S.F. (W/O DOORS & WINDOWS)	1410.04 s.f.	919.81 s.f.	943.80 s.f.	843.04 s.f.
3.	DOORS & WINDOWS S.F.	205.33 s.f.	153.46 s.f.	202.34 s.f.	54.03 s.f.
4.	PRIMARY MASONRY TOTALS (MIN. 80%)	997.47 s.f. (10.7% of 2)	688.46 s.f. (75.0% of 2)	631.77 s.f. (66.9% of 2)	681.50 s.f. (76.9% of 2)
	- BRICK	281.24 s.f. (84.8% of 2)	411.74 s.f. (84.8% of 2)	82.66 s.f. (81.3% of 2)	333.26 s.f. (81.3% of 2)
	- STONE	716.23 s.f. (20.8% of 2)	252.01 s.f. (27.4% of 2)	549.11 s.f. (59.1% of 2)	354.24 s.f. (34.7% of 2)
	- CAST STONE	11.93 s.f. (0.1% of 2)	0.97 s.f. (0.0% of 2)	14.10 s.f. (1.5% of 2)	2.91 s.f. (0.3% of 2)
5.	CEMENTITIOUS TRIM & FACIA	242.34 s.f. (20.7% of 2)	262.68 s.f. (23.8% of 2)	224.74 s.f. (23.8% of 2)	163.34 s.f. (18.3% of 2)
6.	HEAVY CEDAR TIMBER FRAMING	108.30 s.f. (1.8% of 2)	107.12 s.f. (1.8% of 2)	73.16 s.f. (1.8% of 2)	34.24 s.f. (4.4% of 2)
7.	COMPOSITION ROOFING	904.31 s.f.	1234.04 s.f.	715.16 s.f.	866.15 s.f.



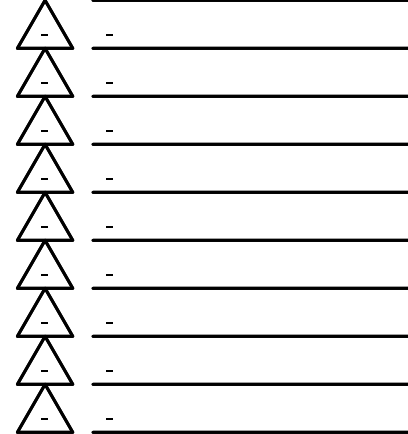
03 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4"=1'-0"

DESIGN PRINCIPLES

3100 Commerce Street 100
Dallas, Texas 75226
214 321 1111 214 321 1911 Fax
www.designprinciples.biz

ISSUE: 10/11/21 - CITY PLANNING



NEW OFFICE DEVELOPMENT
SCHEMATIC DESIGN

LORETO HOUSE
FLOWER MOUND FACILITY

The Forums Ph 2, LOT 11r, BLOCK A
2213 ACROPOLIS DRIVE
FLOWER MOUND, TEXAS 75028

SHEET INFORMATION:
EXTERIOR ELEVATIONS

301



01 EXTERIOR ELEVATION - EAST SIDE FACING MORRIS

SCALE: 1/4"=1'-0"



02 EXTERIOR ELEVATION - NORTH SIDE FACING ACROPOLIS STREET

SCALE: 1/4"=1'-0"

NOTES

- 01 REFER TO DOOR AND WINDOW SCHEDULE. VINYL. WINDOW COLOR PER SCHED. DOORS TO BE PAINTED PER SCHED.
- 02 ALL GRADINGS AROUND THE BUILDING SHOULD BE SLOPED TO PREVENT STANDING WATER WITHIN 4'-0" OF THE FOUNDATION ON ALL SIDES.
- 03 COMPOSITION SHINGLE ROOFING AS SELECTED.
- 04 FACE BRICK WITH RECESSED MORTAR JOINTS.
- 05 STONE FINISH PER SCHED. W/ RECESSED MORTAR JOINTS.
- 06 CAST STONE CAP PER SCHED.
- 07 CEMENTITIOUS TRIM - PAINTED.
- 08 CEMENTITIOUS FACIA & SOFFIT TRIM - PAINTED. PAINT SOFFIT PANELS AND TRIM THE SAME COLOR AS THE ASSIGN FACIA COLOR.
- 09 HEAVY TIMBER CEDAR FRAMING W/ SEALANT PER SCHED.
- 10 DASHED LINE INDICATES PARAPET & MEMBRANE ROOF BEYOND.
- 11 CORRUGATED MTL. ON STL. ANGLE FRAMING.

GENERAL

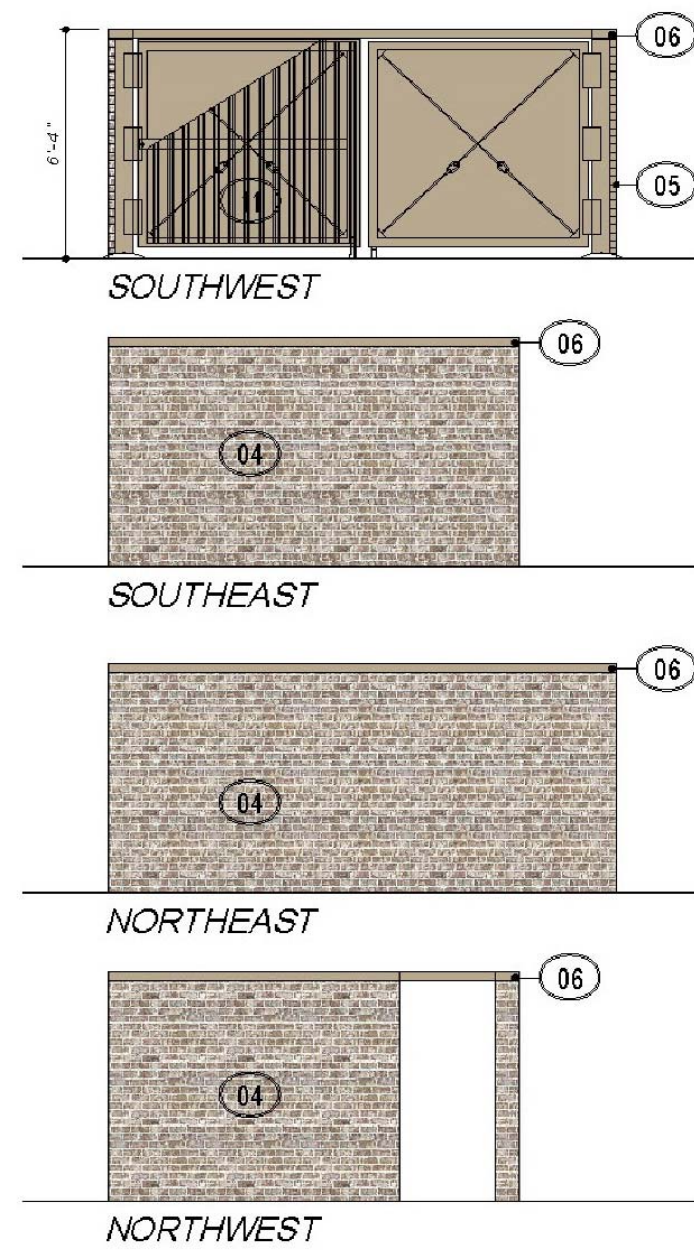
ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED / TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.

MATERIAL SCHEDULE

	BRICK KINNEY BRICK OLD KEYSTONE QUEEN TUMBLE
	STONE QUARRY AUSTIN CREME CHOPPED
	CAST STONE CAP DALLAS CAST STONE CO. WHITE LIMESTONE
	HEAVY TIMBER LUMBER SUPPLIER ROUGH CEDARS NATURAL CLEAR POLY
	WINDOWS BARRINGTON MFG. DBL. HUNG VINYL BEIGE
	COMPOSITION ROOF GAF TIMBERLINE HDZ WEATHERED WOOD
	CEMENTITIOUS TRIM, FACIA, & SOFFIT PANELS JAMES HARDIE HARDIE TRIM - PAINTED
	PAINT - DOORS SHERWIN WILLIAMS SW6150 - UNIVERSAL KHAKI
	PAINT - TRIM & FACIA SHERWIN WILLIAMS SW6140 - MODERATE WHITE

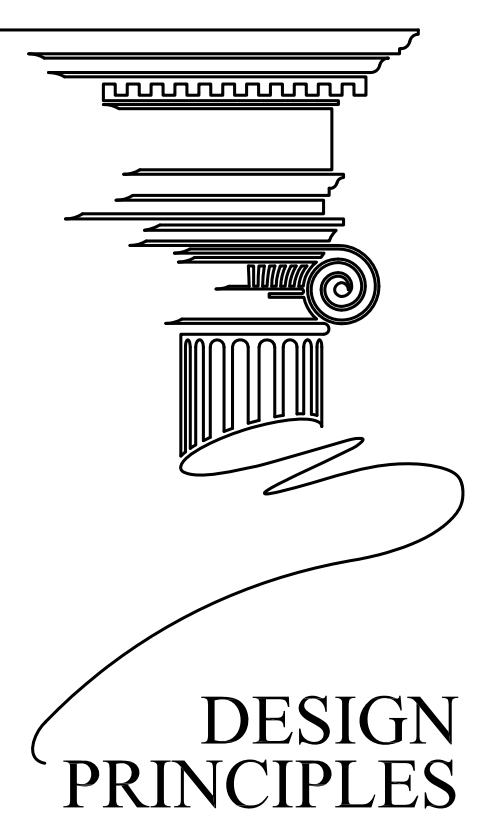
MATERIAL CALCULATIONS

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1615.31 s.f.	1072.27 s.f.	1446.24 s.f.	947.07 s.f.
2. FACADE S.F. (NO DOORS & WINDOWS)	1410.04 s.f.	918.81 s.f.	943.80 s.f.	843.04 s.f.
3. DOORS & WINDOWS S.F.	205.33 s.f.	153.46 s.f.	202.34 s.f.	54.03 s.f.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	947.47 s.f. (10.7% of 2)	688.46 s.f. (75.0 % of 2)	631.77 s.f. (66.9% of 2)	681.50 s.f. (76.4% of 2)
- BRICK	281.24 s.f. (84.8% of 2)	41.74 s.f. (84.8% of 2)	82.66 s.f. (84.8% of 2)	333.26 s.f. (84.8% of 2)
- STONE	76.23 s.f. (20.8% of 2)	252.01 s.f. (27.4% of 2)	544.11 s.f. (58.1% of 2)	354.24 s.f. (84.8% of 2)
- CAST STONE	11.93 s.f. (0.1% of 2)	0.97 s.f. (0.01% of 2)	14.18 s.f. (1.5% of 2)	2.91 s.f. (0.3% of 2)
5. CEMENTITIOUS TRIM & FACIA	242.34 s.f. (20.7% of 2)	262.68 s.f. (23.2% of 2)	224.74 s.f. (23.2% of 2)	163.34 s.f. (18.3% of 2)
6. HEAVY CEDAR TIMBER FRAMING	108.30 s.f. (1.2% of 2)	10.72 s.f. (1.2% of 2)	73.16 s.f. (7.4% of 2)	34.24 s.f. (4.4% of 2)
7. COMPOSITION ROOFING	404.31 s.f.	1234.04 s.f.	715.16 s.f.	866.15 s.f.



03 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4"=1'-0"



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Dallas, Texas 75226
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NEW OFFICE DEVELOPMENT
SCHEMATIC DESIGN

LORETO HOUSE
FLOWER MOUND FACILITY

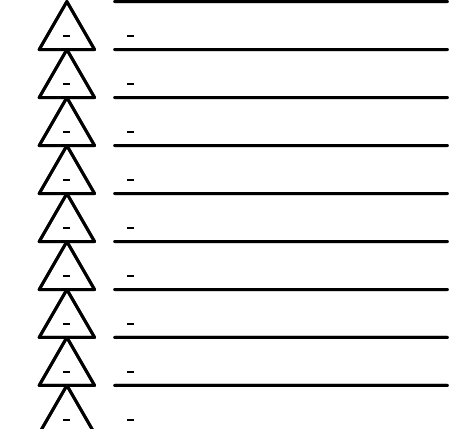
The Forums Ph 2, LOT 11r, BLOCK A
2213 ACROPOLIS DRIVE
FLOWER MOUND, TEXAS 75028

2213 ACROPOLIS DRIVE - FLOWER MOUND, TEXAS 75028

301R

19-48 - LORETO HOUSE

3100 Commerce Street 100
Dallas, Texas 75226
214 321 1111 214 321 1911 Fax
www.designprinciples.biz



NEW OFFICE DEVELOPMENT
SCHEMATIC DESIGN

LORETO HOUSE
FLOWER MOUND FACILITY

The Forums Ph 2, LOT 11r, BLO
2213 ACROPOLIS DRIVE
FLOWER MOUND, TEXAS 75075

SHEET INFORMATION:

EXTERIOR ELEVATIONS

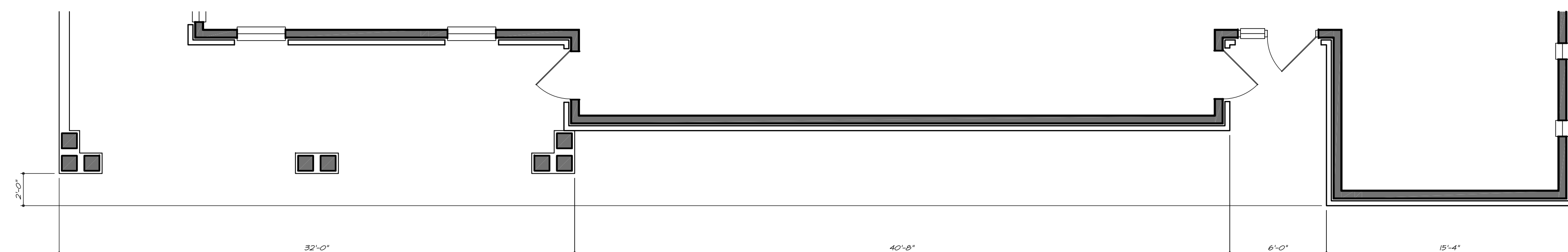
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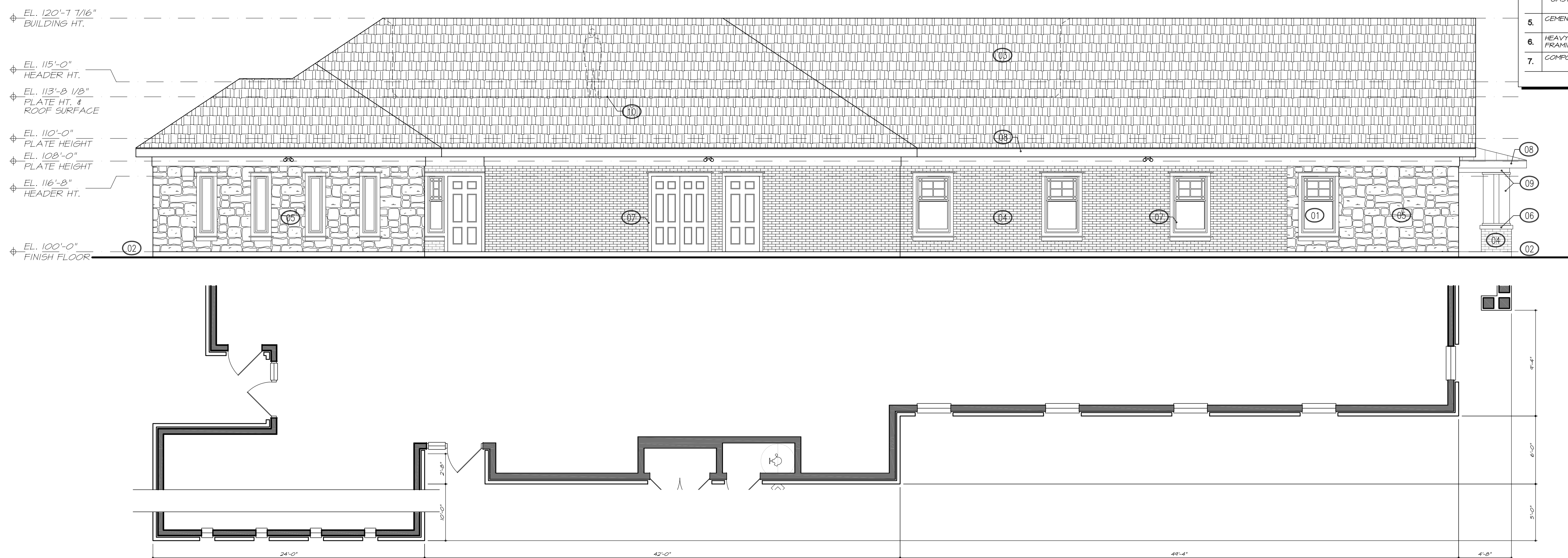
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302

2019-48 - LORETO HOUSE 2213 ACROPOLIS DRIVE FLOWER MOUND TEXAS 75028



SCALE: 1/4"=1'-0"



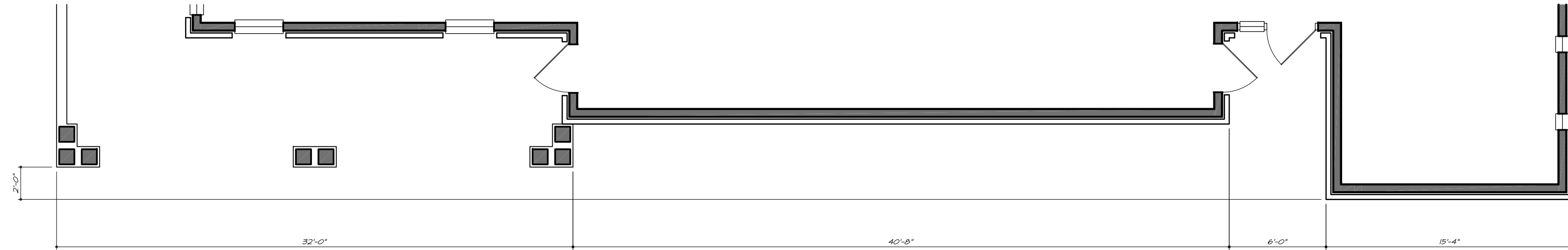
SCALE: 1/4"=1'-0"

- ## GENERAL

ANY EXTERNAL ELECTRICAL
PANELS WILL BE PAINTED /
TEXTURED TO MATCH THE
MATERIAL AND COLOR OF
THE BUILDING.

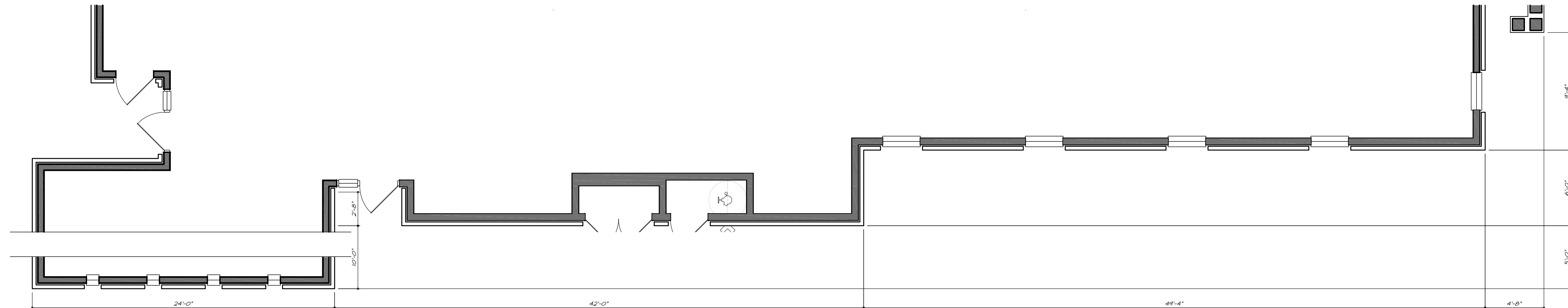
	BRICK KINNEY BRICK OLD KEYSTONE QUEEN TUMBLED
	STONE QUARRY AUSTIN CREME CHOPPED
	CAST STONE CAP DALLAS CAST STONE CO. WHITE LIMESTONE
	HEAVY TIMBER LUMBER SUPPLIER ROUGH CEDAR NATURAL CLEAR POLY
	VINYL BARRINGTON MFG. DEL. HUNS VINYL BEIGE
	COMPOSITION ROOF GAF TIMBERLINE HDZ WEATHERED WOOD
	CEMENTITIOUS TRIM, FACIA, SOFFIT PANELS JAMES HARDIE HARDIE TRIM - PAINTED
	PAINT - DOORS SHERWIN WILLIAMS SW6150 - UNIVERSAL KHAKE
	PAINT - TRIM & FACIA SHERWIN WILLIAMS SW6140 - MODERATE WHITE

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	160,31 s.f.	107,21 s.f.	146,29 s.f.	147,01 s.f.
2. FACADE S.F. (NO DOORS & WINDOWS)	110,04 s.f.	418,21 s.f.	443,40 s.f.	843,04 s.f.
3. DOORS & WINDOWS S.F.	205,33 s.f.	153,46 s.f.	202,34 s.f.	54,03 s.f.
4. PRIMARY MASONRY TOTALS (MIN. BOR)	497,41 s.f. (10,78 ft of 2)	688,46 s.f. (75,08 ft of 2)	631,71 s.f. (66,4% of 2)	68,150 s.f. (16,4% of 2)
- BRICK	201,24 s.f. (4,94% of 2)	411,79 s.f. (46,6% of 2)	82,66 s.f. (9,6% of 2)	339,26 s.f. (31,3% of 2)
- STONE	16,24 s.f. (5,08% of 2)	352,01 s.f. (27,4% of 2)	549,11 s.f. (58,1% of 2)	354,24 s.f. (34,7% of 2)
- CAST STONE	11,93 s.f. (0,1% of 2)	0,97 s.f. (0,01% of 2)	14,18 s.f. (1,5% of 2)	2,41 s.f. (0,3% of 2)
5. GEMENTITIOUS TRIM & FACIA	242,34 s.f. (20,78 ft of 2)	262,66 s.f. (28,5% of 2)	224,79 s.f. (23,9% of 2)	163,34 s.f. (18,3% of 2)
6. HEAVY CEDAR TIMBER FRAMING	109,30 s.f. (1,6% of 2)	10,72 s.f. (1,6% of 2)	73,16 s.f. (1,6% of 2)	34,24 s.f. (1,4% of 2)
7. COMPOSITION ROOFING	404,31 s.f.	1,234,04 s.f.	75,16 s.f.	866,5 s.f.



01 EXTERIOR ELEVATION - WEST SIDE

SCALE: 1/4"=1'-0"



02 EXTERIOR ELEVATION - SOUTH SIDE BACK

SCALE: 1/4"=1'-0"

NOTES



- 01 REFER TO DOOR AND WINDOW SCHEDULE. VINYL WINDOW COLOR PER SCHED. DOORS TO BE PAINTED PER SCHED.
- 02 ALL GRADING AROUND THE BUILDING SHOULD BE SLOPED TO PREVENT STANDING WATER WITHIN 4'-0" OF THE FOUNDATION ON ALL SIDES.
- 03 COMPOSITION SHINGLE ROOFING AS SELECTED.
- 04 FACE BRICK WITH RECESSED MORTAR JOINTS.
- 05 STONE FINISH PER SCHED. W/ RECESSED MORTAR JOINTS.
- 06 CAST STONE CAP PER SCHED.
- 07 CEMENTITIOUS TRIM - PAINTED.
- 08 CEMENTITIOUS FACIA & SOFFIT TRIM - PAINTED.
- 09 HEAVY TIMBER CEDAR FRAMING W/ SEALANT PER SCHED.
- 10 DASHED LINE INDICATES PARAPET & MEMBRANE ROOF BEYOND.

GENERAL

ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED / TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.

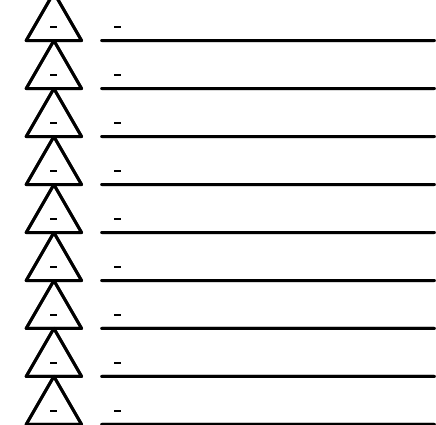
MATERIAL SCHEDULE

- BRICK
KINNEY BRICK
OLD KEYSTONE QUEEN
TUMBLE
- STONE
QUARRY
AUSTIN CREME CHOPPED
- CAST STONE CAP
DALLAS CAST STONE CO.
WHITE LESTONE
- HEAVY TIMBER
LUMBER SUPPLIER
ROUGH CEDAR
NATURAL CLEAR POLY
- WINDOWS
BARRINGTON MFG.
DEL. HUNG VINYL BEIGE
- COMPOSITION ROOF
SAF
TIMBERLINE HDZ WEATHERED
WOOD
- CEMENTITIOUS TRIM, FACIA, &
SOFFIT PANELS
JAMES HARDIE
HARDIE TRIM - PAINTED
- PAINT - DOORS
SHERWIN WILLIAMS
SW6150 - UNIVERSAL KHAKI
- PAINT - TRIM & FACIA
SHERWIN WILLIAMS
SW6140 - MODERATE WHITE

MATERIAL CALCULATIONS

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1603.31 s.f.	1072.21 s.f.	1146.24 s.f.	941.01 s.f.
2. FACADE S.F. (W/O DOORS & WINDOWS)	1410.04 s.f.	918.81 s.f.	943.90 s.f.	843.04 s.f.
3. DOORS & WINDOWS S.F.	205.33 s.f.	153.40 s.f.	202.34 s.f.	54.03 s.f.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	981.41 s.f. (10.1% of 2)	688.96 s.f. (15.0% of 2)	631.11 s.f. (66.9% of 2)	681.50 s.f. (16.9% of 2)
- BRICK	281.24 s.f. (14.9% of 2)	411.79 s.f. (18.6% of 2)	82.66 s.f. (44.8% of 2)	333.26 s.f. (31.3% of 2)
- STONE	716.23 s.f. (50.8% of 2)	252.01 s.f. (21.4% of 2)	549.11 s.f. (34.7% of 2)	354.24 s.f. (34.7% of 2)
- CAST STONE	11.43 s.f. (0.1% of 2)	0.11 s.f. (0.0% of 2)	14.18 s.f. (1.5% of 2)	2.91 s.f. (0.3% of 2)
5. CEMENTITIOUS TRIM & FACIA	242.34 s.f. (20.7% of 2)	262.60 s.f. (23.8% of 2)	224.79 s.f. (23.8% of 2)	163.34 s.f. (18.3% of 2)
6. HEAVY CEDAR TIMBER FRAMING	108.30 s.f. (1.8% of 2)	10.12 s.f. (1.2% of 2)	73.16 s.f. (1.8% of 2)	34.24 s.f. (4.4% of 2)
7. COMPOSITION ROOFING	904.31 s.f.	1234.01 s.f.	75.16 s.f.	866.15 s.f.

ISSUE: 10/11/21 - CITY PLANNING



NEW OFFICE DEVELOPMENT
SCHEMATIC DESIGN
LORETO HOUSE
FLOWER MOUND FACILITY

The Forums Ph 2, LOT 11r, BLOCK A
2213 ACROPOLIS DRIVE
FLOWER MOUND, TEXAS 75028

SHEET INFORMATION:
EXTERIOR ELEVATIONS
RENDERED

302R

2019-48 - LORETO HOUSE 2213 ACROPOLIS DRIVE FLOWER MOUND, TEXAS 75028

Loreto House

Pregnancy & Parenting
Resource Center



1100 N. Bonnie Brae
Denton, Texas 76201

October 1, 2021

Poornima Kashyap
Principal Planner
City of Flower Mound, Tx
Re: 2213 Acropolis
SP 21-0006

Dear Poornima,

Loreto House will seek an exception to the ordinance that Requires us to bury the power lines along the ROW adjoining our property. I have received an estimate from Oncor in the amount of **\$128,319.85**.

I am attaching the email from Kymberly Teeters.

Please provide an opportunity for me to appear before the city council as soon As possible for me to make this request. Let me know if you need any further information.

Randy Bollig

Loreto House,
President

RE: Loreto House

Teeters, Kymberly <Kymberly.Teeters@oncor.com>

Fri 10/1/2021 9:12 AM

To: Randy Bollig <Randy@loretohouse.org>; Yarbrough, Randell <Joe.Yarbrough@oncor.com>

Good morning Randy, the block cost estimate to lower the overhead wires and place underground along Morris Rd at 2213 Acropolis is \$128,319.85. Please note this is an estimate and the price could change when the actual invoice is sent. Let me know if you would like to move forward, thanks and have a great day!

For residential or commercial serve new projects please follow the link below using Chrome or Firefox only
www.oncor.com

Kymberly Teeters**Sr Utility Designer****Oncor | PMDS**

3100 S Garrison Rd

Corinth, Tx. 76210

Kymberly.teeters@oncor.com

Bus. hours 7am-3:30pm

My Supervisor: Randall Yarbrough

Email: Joe.Yarbrough@oncor.com

From: Randy Bollig [mailto:Randy@loretohouse.org]**Sent:** Thursday, September 30, 2021 7:33 PM**To:** Teeters, Kymberly <Kymberly.Teeters@oncor.com>; Yarbrough, Randell <Joe.Yarbrough@oncor.com>**Subject:** Loreto House

I need your cost estimate for the burying of the lines so Poornima at the city will schedule me to appear at the city council meeting. She can't do that until you get the amount to me. Please get that asap.

I am appealing for an exemption and I believe I will be successful.

Randy Bollig

President



1100 N Bonnie Brae St | Denton TX 76201

940.380.8191 ext. 101

Randy@loretohouse.org | loretohouse.org | loretohousebenefactors.org

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From: [Randy Bollig](#)
To: [Lexin Murphy](#)
Subject: Fw: Loreto House
Date: Friday, October 15, 2021 10:00:58 AM
Attachments: [image001.png](#)
[image003.png](#)
[image005.png](#)
[Outlook-A picture .png](#)

Randy Bollig

President



1100 N Bonnie Brae St | Denton TX 76201

940.380.8191 ext. 101

Randy@loretohouse.org | loretohouse.org | loretohousebenefactors.org

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From: Teeters, Kymberly <Kymberly.Teeters@oncor.com>
Sent: Friday, October 15, 2021 8:54 AM
To: Randy Bollig <Randy@loretohouse.org>
Subject: RE: Loreto House

Good morning Randy, in order to take it underground it will require installing 1 pole, remove 1 pole, bore approx. 600' to north side of Acropolis; install underground conduit/wire and install an in ground handhole to serve the existing streetlights.

For residential or commercial serve new projects please follow the link below using Chrome or Firefox only
www.oncor.com

Kymberly Teeters
Sr Utility Designer
Oncor | PMDS
3100 S Garrison Rd
Corinth, Tx. 76210

Kymberly.teeters@oncor.com
Bus. hours 7am-3:30pm

2213 Acropolis before and after images of power lines



2213 Acropolis no power lines



2213 Acropolis view with power lines.



Morriss Street view no power lines.



Morriss Street view with power lines.



View from intersection lines removed



View from intersection with existing lines