

AGENDA

TOWN OF FLOWER MOUND BOARD OF ADJUSTMENT

REGULAR MEETING

October 12, 2022

**FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS**

6:30 P.M.

AN AGENDA INFORMATION PACKET IS AVAILABLE ONLINE AT
[HTTPS://TX-FLOWER MOUND.CIVICPLUS.COM/AGENDACENTER](https://tx-flowermound.civicplus.com/agendacenter)

A. CALL REGULAR MEETING TO ORDER – 6:30 PM

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. ELECTION OF CHAIR AND VICE CHAIR

D. PUBLIC COMMENT

To speak to The Board of Adjustment (BOA) during public comment, please fill out a comment form.

- Turn in form by 6:40 p.m. to Administrative Assistant
- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the chair
- Additional time limits will be provided to members of the public that need to address the board through a translator
- Please state your name and address when speaking

The purpose of this item is to allow the public an opportunity to address the BOA on issues that are not indicated as a "Public Hearing" on this agenda. Issues regarding daily operational or administrative matters should first be dealt with by calling Building Inspections at 972.874.6355 during business hours.

E. CONSENT AGENDA - CONSENT ITEMS

This agenda consists of non-controversial or "housekeeping" items and may be approved with a single motion. A member of the Board of Adjustment may request an item(s) be

Board of Adjustment Meeting Agenda

October 12, 2022

Page 2

withdrawn from the Consent Agenda and moved to Regular Agenda for discussion by making such request prior to a motion and vote on the Consent Agenda.

1. Consider approval of minutes from the regular meeting of the Board of Adjustment held on September 14, 2022.

F. REGULAR ITEMS – PUBLIC HEARING

2. **(BOA22-0003)** Hold a public hearing and consider a request from Arielle Comer for a variance from Section 98-395(g) – “Minimum and maximum dimensions” of the Code of Ordinances. The property is generally located North of Cross Timbers Rd and West of Long Prairie Rd and is locally known as 4729 Ash St, Lot 14, Block 21 of the Pecan Acres subdivision.

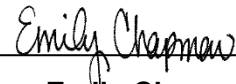
Pursuant to Section 551.071 of the Texas Government Code, the Board of Adjustment reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

G. ADJOURNMENT- REGULAR SESSION



Joelle Hainley
Chief Building Official

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: October 7, 2022, by 5:00 p.m., at least 72 hours prior to the schedule time of said meeting.



Emily Chapman
Administrative Assistant



BOARD OF ADJUSTMENT AGENDA ITEM NO. 1

CONSENT ITEM

DATE: October 12, 2022

FROM: Emily Chapman, Administrative Assistant

ITEM: Consider approval of minutes from the regular meeting of the Board of Adjustment held on September 14, 2022.

BACKGROUND INFORMATION: This agenda item is to consider approval of the minutes from the September 14, 2022, regular meeting of the Board of Adjustment.

CITIZEN FEEDBACK: N/A

ALTERNATIVES/OPTIONS: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

ATTACHMENTS:

- **ATTACHMENT 1:** A copy of the draft minutes from the September 14, 2022, regular meeting of the Board of Adjustment.

RECOMMENDATION: Move to approve the minutes from the September 14, 2022, regular meeting of the Board of Adjustment.

THE FLOWER MOUND BOARD OF ADJUSTMENT MEETING HELD ON THE 14TH DAY OF SEPTEMBER 2022, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM.

[Click here](#) for meeting video link.

The Board of Adjustment met in regular session, with the following members present constituting a quorum:

Gregory Schultz	Chair
Ryan Geddie	Vice Chair
Greg Jones	Board Member, Place 3
Sky Jay Schoggins	Board Member, Place 4
Craig Goodhart	Board Member, Place 5
Chuck Freeny	Board Member, Place 6
Len Chavez	Board Member, Place 7

Places 6, 7, and 8 of the Board do not vote on items unless they sit in place of one of the regular members, Places 1-5.)

Constituting a quorum with the following members absent

Thomas Stevenson	Board Member, Place 8
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And the following members of Town staff present:

James Donovan	Town Attorney
Emily Chapman	Administrative Assistant
Joelle Hainley	Chief Building Official
Chris Pamplin	Asst. Building Official
Tasha Coates	Plans Review Manager

A. CALL TO ORDER - REGULAR SESSION: 6:30 PM

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. PUBLIC COMMENT

None

D. CONSENT AGENDA

This agenda consists of non-controversial or “housekeeping” items and may be approved with a single motion. A member of the Board of Adjustment may request an item(s) be withdrawn from the Consent Agenda by making such request prior to a motion and vote on the Consent Agenda.

1. Consider approval of minutes from the regular meeting of the Board of Adjustment held on March 9, 2022.

Board Member Schoggins made a motion to approve the March 9, 2022, minutes as presented. Board Member Jones seconded the motion.

VOTE ON THE MOTION

AYES: Jones, Geddie, Schultz, Schoggins, Goodhart
NAYS: None
ABSTAIN: None

The motion passed with a vote of 5-0-0.

E. PUBLIC HEARING

2. (BOA22-0002) Hold a public hearing and consider a request from David Hauk, Mirage Custom Pools, to appeal the Building Official's decision to suspend the contractor registration for Mirage Custom Pools, pursuant to Section 18-33 – Appeal of suspension by building official of the Town's Code of Ordinances.

Staff Presentation

Chris Pamplin, Assistant Building Official, gave the staff presentation with the following items included:

- Appeal Request
- Sec. 18-32 (1)
- Permit Info
- Sec. 18-33
- Sec. 18-34

Applicant Presentation

David Hauk and Tyler Hauk, Mirage Custom Pools (545 N. Cowan Ave., Lewisville, TX 75057) answered questions and gave a presentation with the following items included:

- Project Timeline & Statement
- Site Plan

Comments

Support: Comments/Questions	Opposition: Comments/Questions	Question(s)/ Comments Only
	Jeannie Santschi- 6405 Meadow Crest Lane	
	Greg Santschi- 6405 Meadow Crest Lane	

PUBLIC COMMENTS CLOSED- 7:00 PM

The Board of Adjustment convened into a closed meeting at 7:00 PM on September 14, 2022, pursuant to Texas Government Code Section 551.071 to consult in with its attorney regarding the item, and reconvened into open meeting at 7:24 PM. on September 14, 2022.

Board Member Deliberation

Board Member Schoggins made a motion to affirm the Building Official's decision to suspend the contractor registration for Mirage Custom Pools and waive section 18-34.1 of the reinstatement requirements of the Town's Code of Ordinances. Vice Chair Geddie seconded the motion.

VOTE ON THE MOTION

AYES: Jones, Geddie, Schultz, Schoggins, Goodhart
NAYS: None
ABSTAIN: None

The motion passed with a vote of 5-0-0.

F. ADJOURNMENT – REGULAR SESSION – 7:43PM.

TOWN OF FLOWER MOUND, TEXAS

GREGORY SCHULTZ
CHAIR

ATTEST:

EMILY CHAPMAN
ADMINISTRATIVE ASSISTANT



BOARD OF ADJUSTMENT MEETING AGENDA ITEM NO. 2

REGULAR ITEM

DATE: October 12, 2022
FROM: Tasha Coates, Plans Review Manager
THROUGH: Joelle Hainley, Chief Building Official
PRESENTER:

APPLICANT: Arielle Comer, Owner

STAFF: Tasha Coates, Plans Review Manager

ITEM: (BOA22-0003) Hold a public hearing and consider a request from Arielle Comer for a variance from Section 98-395(g) – “Minimum and maximum dimensions” of the Code of Ordinances. The property is generally located North of Cross Timbers Rd and West of Long Prairie Rd and is locally known as 4729 Ash St, Lot 14, Block 21 of the Pecan Acres subdivision.

BACKGROUND INFORMATION:

APPLICANT: Arielle Comer
603 Shady Ln
Southlake, TX 76092

LOCATION:

PROPERTY ADDRESS: 4729 Ash St
Flower Mound, TX 75028

SUBDIVISION: Lot 14, Block 21
Pecan Acres

ZONING: SF-10

STAFF ANALYSIS:

A request has been received from Arielle Comer for a variance from Section 98-395(g) “Minimum and maximum dimensions” of the Town’s Code of Ordinances. The request is to allow a lot coverage of 47%, which is more than the maximum 40% allowed per the Code of Ordinances.

Section 98-395(g) Minimum and maximum dimensions of the Town’s Code of Ordinances states “*Maximum lot coverage.* The maximum lot coverage in the SF-10 single-family district-10 shall be 40 percent for all uses, subject to section 98-1029.”

Section 98-1029 – Maximum lot coverage of the Town’s Code of Ordinances states the following:

- a. *Generally.* The size of buildings shall comply with the maximum lot coverage standards contained in the district regulations and summarized in the residential and nonresidential dimensional regulations schedules, as may be modified by additional provisions in the district regulations, in this section or elsewhere in this chapter.
- b. *Measurement.* Lot coverage refers to the percentage of the lot area covered by the foundation or first floor of the main and all accessory buildings. In all districts permitting residential structures, the main residential building and all accessory buildings shall not cover more than 50 percent of that portion of the lot lying to the rear of a line joining the mid-point on one side lot line with the mid-point of the opposite side lot line.

Summary:

Ms. Comer is requesting a variance to allow a total lot coverage of 47% (4,392 sq ft), which is 7% (680 sq ft) more than allowed per the Town's Code of Ordinances.

In exercising its power to grant a variance in accordance with this chapter, the Board of Adjustment shall make findings and show in its minutes that:

- a. There are special circumstances existing on the property on which the application is made related to size, shape, area, topography, surrounding conditions, and location that do not generally apply to other property in the same area and the same zoning districts.
- b. A variance is necessary to permit the applicant the same rights in the use of this property that are presently enjoyed under the Ordinance by other properties in the vicinity and zone, but which rights are denied to the property on which the application is made.
- c. The granting of the variance on the specific property will not adversely affect the land use pattern as outlined by the Land Use Plan and will not adversely affect any other feature of the Comprehensive Master Plan of the Town of Flower Mound.
- d. The variance, if granted, will be no material detriment to the public welfare or injury to the use, enjoyment, or value of property in the vicinity.

ATTACHMENTS:

1. Application
2. Information from applicant
3. Section 98-395(g)
4. Section 98-1029
5. Zoning Map
6. 200' property owner notice map
7. Aerial photograph of property
8. Published public hearing notice
9. Property owner notification
10. List of property owners within 200 feet

PROCEDURE - REQUEST FOR VARIANCE OR APPEAL BOARD OF ADJUSTMENT TOWN OF FLOWER MOUND

1. The Board of Adjustment consists of five (5) members, and all cases must be heard by at least four (4) members. The Board is a quasi-judicial board. It is not a legislative body with the authority to amend ordinances or create new laws. The Board conducts hearings on matters dealing with the Flower Mound Zoning Ordinance and determines if strict compliance with the ordinance will create a hardship. The Board also considers whether the variance will comply with the spirit and intent of the ordinance. In order for a variance to be granted, all four (4) items (a through d) identified on the application **must** apply. If any of the items do not apply, the Board does not have the ability to grant a variance.
2. The Board also has the authority to hear and decide appeals where it is alleged that there is an error in an order, requirement, decision, or determination made by any administrative official of the Town in the enforcement of the Land Development Code. Such appeals must be filed within fifteen (15) days of the rendering of the decision by the administrative official.
3. A pre-filing interview may be held if requested by the applicant or if deemed necessary by the Town.
4. The application must be signed by the property owner. If the applicant is not the owner, a notarized document showing authority to request the variance must accompany the application.
5. The following must also accompany the application packet:
 - A. A \$250.00 application fee plus a \$40.00 legal notice fee.
 - B. A site plan of the lot showing all property lines as well as a depiction of the requested variance. If a variance from building setback requirements is requested, the site plan must be stamped by a licensed surveyor.
6. Application fee, necessary documents, etc., in completed form must be submitted to the Development Services Department. If any supporting documents are larger in size than 11x17 inches, an electronic copy must be submitted. This copy (e.g., .pdf, .jpg, .bmp file) may be provided on CD or emailed to the case manager as an attachment.
7. After the above items have been completed, the variance request will begin the following process:
 - A. The applicant and all property owners within 200 feet of the property where the variance is requested will be notified of a Public Hearing to be held by the Board of Adjustment by notice deposited in the U.S. mail. Said notices are to be mailed at least 10 days prior to the Public Hearing. The applicant will be charged \$2.50 per property notification, which must be paid prior to the notices being mailed out by the Town.
 - B. The applicant or representative must be present at the Board of Adjustment Public Hearing. Failure to attend the Public Hearing will cause the Board to deny the item without prejudice to re-filing. The letter referenced in 7. A. above will be your notification of any hearing.
 - C. Persons who are in favor of or who oppose the request are allowed to appear before the Board in order to present their views.
8. Any additional information such as renderings, elevations, models, or other supporting documents that you wish to submit may be introduced at the meeting.

According to state law, no variance can be granted without the concurring vote of at least four (4) members of the Board.

APPEALS TO A DECISION RENDERED BY THE BOARD OF ADJUSTMENT

The only appeal to a decision rendered by the Board of Adjustment is to State District Court. The appeal must be filed with the district court within ten (10) days of the Board's decision. State law prohibits the Town Council from hearing an appeal.

APPLICATION - REQUEST FOR VARIANCE OR APPEAL ZONING BOARD OF ADJUSTMENT TOWN OF FLOWER MOUND

DATE: September 9, 2022

I, the undersigned owner or authorized agent of the following described real property located in the Town of Flower Mound, Texas, hereby make application for a request for a variance from the terms of section SF-10 Standards of the Town of Flower Mound Zoning Ordinance.

LOCATION OF PROPERTY

Street Address: 4729 Ash St. Flower Mound, Texas 75028

Legal Description: Lot/Tract 14, Block 21, of Subdivision/Abstract Pecan Acres

REQUEST: (If there is additional information which you feel would be helpful to the Board in making a decision, be sure to include this information in your request. If additional space is required to explain your request, please attach the explanation to this application.)

Please see addendum.

A non-refundable application fee of \$250 + \$40 public hearing notice fee are required at the time of application. Fee of \$2.50 per property notice is due upon notification by case manager.

For a variance to be granted by the Board of Adjustment, the Board **must** determine that **all** of the following conditions apply:

- (a) There are special circumstances existing on the property on which the application is made related to size, shape, area, topography, surrounding conditions and location that do not apply generally to other property in the same area and the same zoning district.
- (b) That a variance is necessary to permit the applicant the same rights in the use of this property that are presently enjoyed under the ordinance by other properties in the vicinity and zone, but which rights are denied to the property on which the application is made.
- (c) That the granting of the variance on the specific property will not adversely affect the land use pattern as outlined by the Master Land Use Plan and will not adversely affect any other features of the Comprehensive Master Plan of the Town of Flower Mound.
- (d) That the variance, if granted, will be not be materially detrimental to the public welfare or injure the use, enjoyment or value of property in the vicinity.

I have read this application form and understand that filing the application and paying the fee does not guarantee an affirmative action by the Board of Adjustment. **I further understand that at least four (4) affirmative votes must be cast in order to receive a variance.**

 Signature of Applicant	<u>Arielle S. Comer</u> Print Name
<u>603 Shady Ln. Southlake, Texas 76092</u> Mailing Address	<u>214-907-3525</u> Telephone (Home)
	Telephone (Day Number)

Staff Member's Signature	Date	Receipt Number
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BOARD OF ADJUSTMENT DECISION: () DENIED () GRANTED

TERMS AND/OR CONDITIONS: _____

BOARD OF ADJUSTMENT CHAIRMAN: _____ DATE: _____

Filed with office of the Secretary this _____ day of _____, _____.

I am building a home for me, my toddler daughter, my elderly mother, and my disabled stepdad. In order to build a home comfortable for us all, I am requesting my lot coverage to be allotted 47% against the stipulated 40%. I am not asking for a true variance, rather for just a covering over areas that have concrete poured such as the backyard patio and the driveway along with a small storage closet in the back of my home. According to the zoning guidelines, the zoning guidelines were put in place in accordance with the master plan that assumed every lot would be a minimum of 10,000 square feet. My lot, however, given that it was platted in the 80s, is only 9,250 sq. ft. Therefore, I am asking for some leeway to be given to account for the lack of square footage the regulation was designed for. Given that most of the other lots are 10,000 square feet and are allowed to build on a full 40% of their property, I am disadvantaged because I am short on quite a lot of square footage. Furthermore, we live in the state of Texas and given how unpredictable the weather can get, it is completely necessary to not only cover the patio which faces the north, in order to enjoy it, but to also cover my driveway so as to shield my toddler daughter, mother, and I when trying to get into the home. Also, given that I have a toddler and trying to keep her burning herself on hot seats because we cannot always pull into the garage, at least we can get shade.

For reference to SF-10 district that I am in:

	Zoning District					
Development Standard						SF-10
<i>Single-family detached</i>						
Min. lot area (sq. ft.)						10,000
Min. lot width (ft.)						70
Min. front yard (ft.)						25
Min. side yard (ft.)						10
Min. rear yard (ft.)						25
Max. lot cover (percent)						40
Min. area/unit (sq. ft.)						1,800
Max. height (stories/ft.)						3/35

Currently, the zoning regulations state the following:

Sec. 98-395. - Minimum and maximum dimensions.



- (a) *Minimum lot area per dwelling.* The minimum lot area per dwelling unit in the SF-10 single-family district-10 shall be 10,000 square feet, subject to [section 98-1023](#).
- (b) *Minimum lot width.* The minimum lot width for residential uses in the SF-10 single-family district-10 shall be 70 feet, subject to [section 98-1024](#).
- (c) *Minimum floor area per unit.* The minimum floor area per dwelling unit in the SF-10 single-family district-10 shall be 1,800 square feet, subject to [section 98-1025](#).
- (d) *Minimum front yard.* The minimum front yard for all uses in the SF-10 single-family district-10 shall be 25 feet, subject to [section 98-1026](#).
- (e) *Minimum side yard.* The minimum side yard in the SF-10 single-family district-10 shall be ten feet for all uses, subject to [section 98-1027](#).
- (f) *Minimum rear yard.* The minimum rear yard in the SF-10 single-family district-10 shall be 25 feet, subject to [section 98-1028](#).
- (g) *Maximum lot coverage.* The maximum lot coverage in the SF-10 single-family district-10 shall be 40 percent for all uses, subject to [section 98-1029](#).
- (h) *Maximum floor area ratio.* There shall be no maximum floor area requirement in the SF-10 single-family district-10.
- (i) *Maximum height.* The maximum height of buildings and structures in the SF-10 single-family district-10 shall be three stories or 35 feet for all uses, subject to [section 98-1031](#).

My lot is 80' wide by 116' deep, and although I have completely complied with setback requirements, some of the items are close to impossible given what I have to work with. For example, my lot width cannot be 70' wide with 8' setbacks on each side, but still I have complied and conformed to a width of 64' decreasing my ability to just spread out.

However, I am only asking for permission to deviate from subsection G: Max. Lot coverage

Zoning regulations go on to state:

Sec. 98-1029. - Maximum lot coverage.



- (a) *Generally.* The size of buildings shall comply with the maximum lot coverage standards contained in the district regulations and summarized in the residential and nonresidential dimensional regulations schedules, as may be modified by additional provisions in the district regulations, in this section or elsewhere in this chapter.
- (b) *Measurement.* Lot coverage refers to the percentage of the lot area covered by the foundation or first floor of the main and all accessory buildings. In all districts permitting residential structures, the main residential building and all accessory buildings shall not cover more than 50 percent of that portion of the lot lying to the rear of a line joining the mid-point on one side lot line with the mid-point of the opposite side lot line.

(Code 1989, ch. 12, § 3.06(i))

If I am granted the variance, I will still be under the 50% ratio that seems to be the absolute maximum.

This variance is necessary to permit me the same rights as other properties under the ordinance that have quite a bit more land to work with.

The granting of the variance I am requesting will not adversely affect the land use pattern as outlined by the Master Land Use Plan as well as any other plan given nor will it be materially detrimental to the public welfare given that I am not asking to make a drastic change, just put a solid covering over my patio and driveway.

Please grant my request and allow me to build a home to live in comfortably with my family.

Thanks,
Arielle S. Comer



ELEVATION

SHEET INDEX

Sheet Number Sheet Name

General

G0.01 Cover Sheet & General Information

Civil

C1.01 Site Plan

Structural

S1.01 Foundation Plan

S1.02 Foundation Details & Notes

S1.03 First floor-Joist Framing Plan

S1.04 Second floor Ceiling-Joist Framing Plan

S1.05 Third floor Ceiling-Joist Framing Plan

S1.06 Roof Plan

S1.07 Roof Framing Plan

S1.08 Typical wall section

S1.09 Framing Details

Architectural

A1.01 First floor plan

A1.02 Second floor plan

A1.03 Third floor plan

A1.04 Elevations

A1.05 Elevations

Plumbing

P1.01 First floor plumbing plan

P1.02 Second floor plumbing plan

P1.03 Third floor plumbing plan

P1.04 Plumbing Notes and Details

Electrical

E1.01 First Floor Electrical Plan

E1.02 Second Floor Electrical Plan

E1.03 Third Floor Electrical Plan

E1.04 Electrical Notes

OWNER:

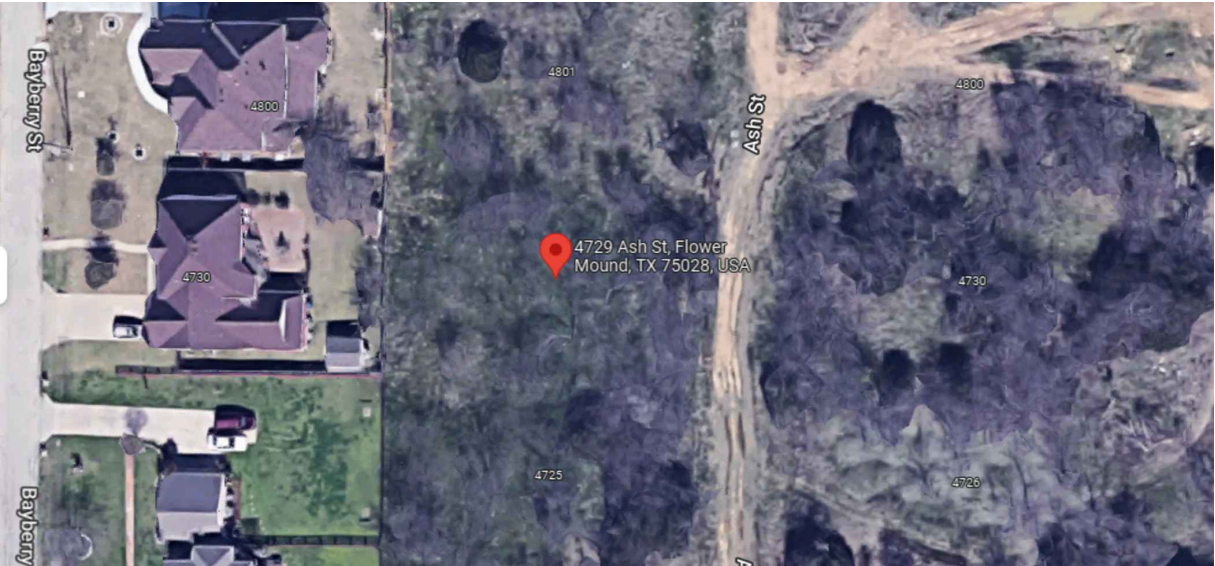
ARIELLE COMER

PROJECT:

PROPOSED NEW CONSTRUCTION

4729 ASH ST,

FLOWER MOUND, TEXAS 75028



LOT USAGE

LOT USAGE	
FIRST FLOOR	3300 S.F.
SECOND FLOOR	1865 S.F.
THIRD FLOOR	300 S.F.
TOTAL LIVING SPACE	5465 S.F.
2-CAR GARAGE	421 S.F.
COV'D PATIO-OUTDOOR LIVING	275 S.F.
COV'D PORCH	32 S.F.
PORTICO	364 S.F.
BALCONY	100 S.F.
TOTAL AREA UNDER ROOF	6657 S.F.
TOTAL AREA FOUNDATION	4392 S.F.
LOT SIZE	9280 S.F.
% OF LOT	47%

NORTH



VICINITY MAP

SCALE: FOR REFERENCE ONLY

PROJECT INFORMATION

ZONING	SFA
LEGAL DESCRIPTION	PECAN ACRES BLK 21/LOT 14
CONSTRUCTION TYPE	TYPE V-A
HOUSE DESCRIPTION	3-STORY NEW CONSTRUCTION

APPLICABLE BUILDING CODES

IBC 2015 INTERNATIONAL BUILDING CODE
IRC 2018 INTERNATIONAL RESIDENTIAL CODE
IECC 2015 GREEN ENERGY CODE COMPLIANCE OUTLINE
NEC 2017 NATIONAL ELECTRICAL CODE

SEAL

Project Consulting & Construction
DESIGN + BUILD + CONSULTANCY

Ennis, TX. 75119
TEL. (214) 399-3662

REVISIONS

NO.	DESCRIPTION	DATE
△		

ADDRESS

4729 ASH ST
FLOWER MOUND, TX.
75028

DATE

08/29/2022

DRAWN BY

MAF

CHECKED BY

DESCRIPTION
NEW
CONSTRUCTION

SCALE

NTS

SHEET TITLE

COVER SHEET

SHEET #

GO.01

Ennis, TX. 75119
TEL. (214) 399-3662

REVISIONS

<i>NO.</i>	<i>DESCRIPTION</i>	<i>DATE</i>

ADDRESS

4729 ASH ST
FLOWER MOUND, TX.
75028

DATE _____

08/29/2022

DRAWN BY

MAF

CHECKED BY

DESCRIPTION NEW
CONSTRUCTION

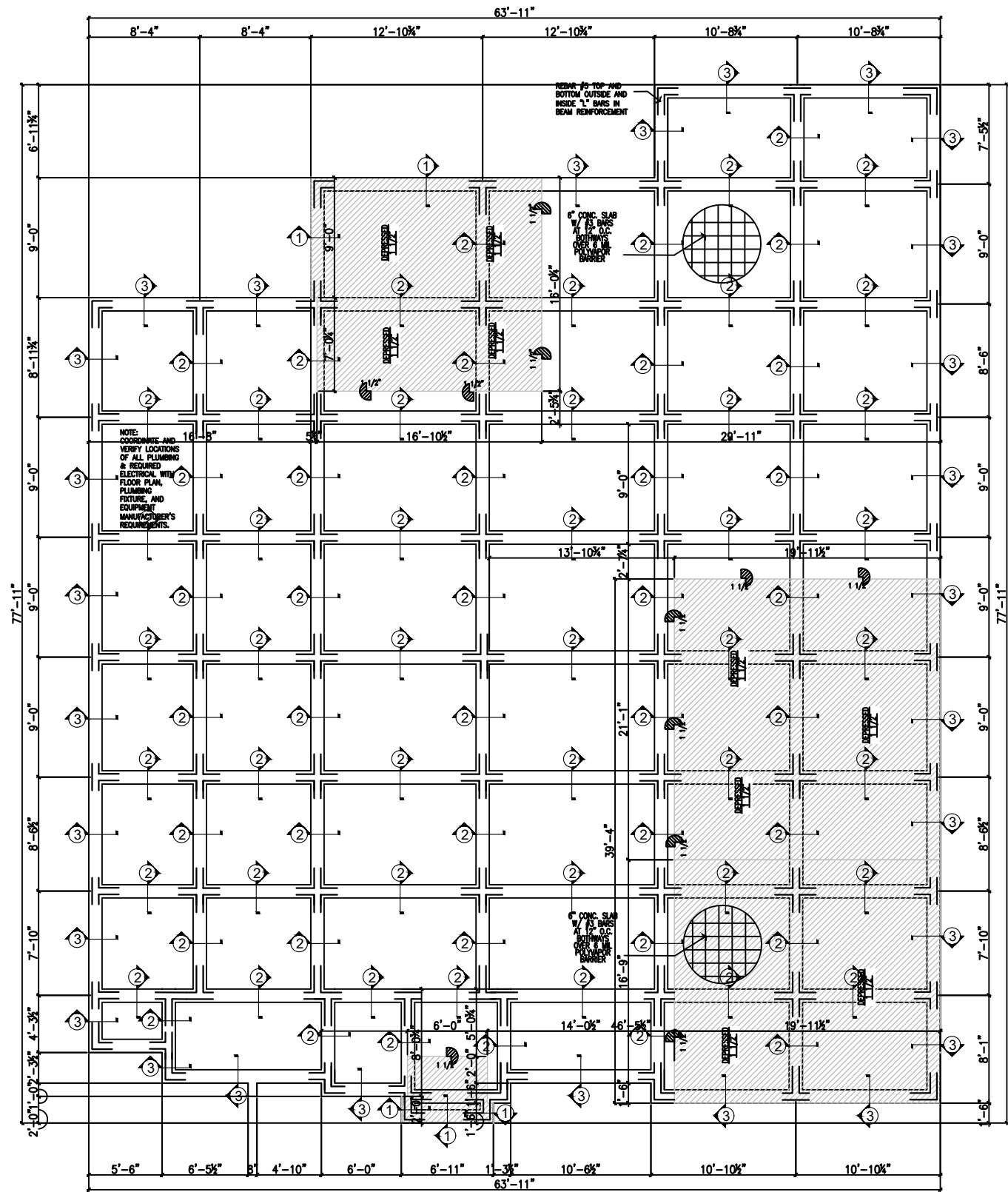
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SHEET TITLE

FOUNDATION PLAN

SHEET #

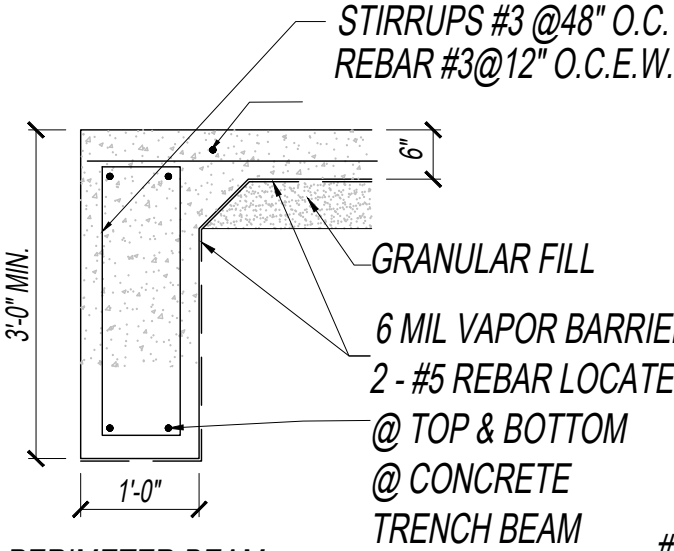
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ZONING	SFA
LEGAL DESCRIPTION	PECAN ACRES BLK 21 LOT 14

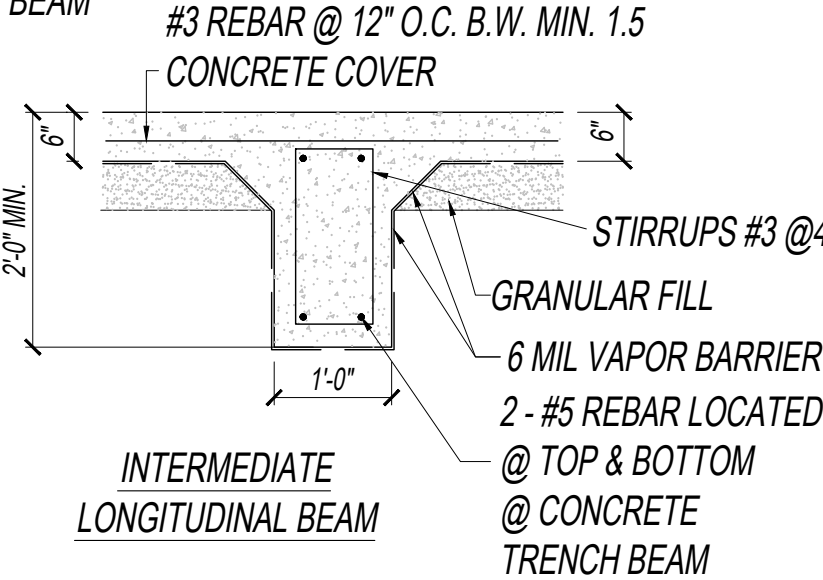


1	FOUNDATION PLAN
S1	SCALE: 3/32" = 1'-0"



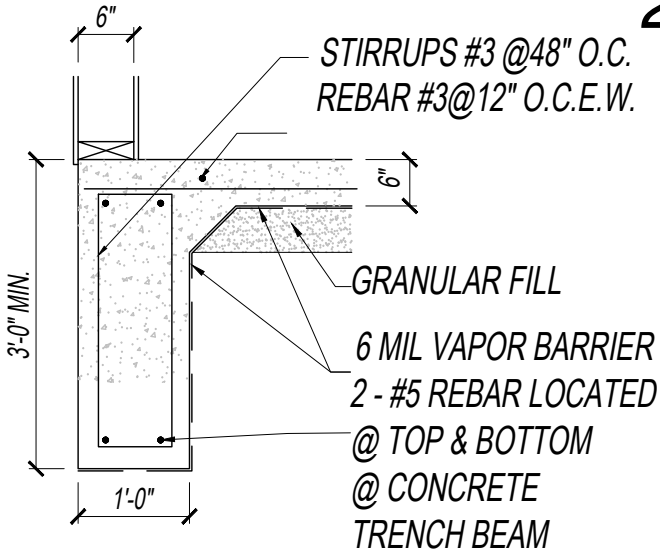
PERIMETER BEAM

1 EXT. BEAM SECTION
N.T.S.



INTERMEDIATE
LONGITUDINAL BEAM

2 TYP. INTERIOR BEAM SECTION
N.T.S.



PERIMETER BEAM

3 EXT. BEAM SECTION
N.T.S.

CONCRETE NOTES

All works herein shall reflect the design and construction of foundations as provided in Chapter 4- Foundation 2018 IRC R401 applications. In addition to the provisions in flood hazard areas as established by the Table R301.2(1) shall meet hte provisions of section R322. Wood shall be designed and installed in accordance with AWC PWF.

CONCRETE NOTES

General Specifications-

1. Concrete shall be Type 1, and have 5-sacks of cement (90 pounds per sack) with a thirty day compressive strength of 3,000 psi.
2. See "Concrete Temperature Specification" for a hot weather specification and the use of fly ash.
3. Concrete shall have between 4½% to 5% air -entrainment by volume.
4. Reinforcing steel shall be 60 ksi material.
5. Reinforcing steel shall be clean and free of rust and debris.
6. Reinforcing steel shall be placed as follows:

A. Reinforcing steel lap splices shall be as follows:

- 3/8" (#3's) diameter = 21"
- 1/2" (#4's) diameter = 29"
- 5/8" (#5's) diameter = 36"
- 3/4" (#6's) diameter = 46"

Lap splices in the adjacent bars (of grade beams) that are laid in a row shall not occur within four feet of each other as measured along the reinforcing steel.

B. Reinforcing steel shall have the following minimum concrete coverage:

- a. 3" for concrete cast against and permanently exposed to earth.
- b. 2" for concrete not exposed to weather.
- c. 1 1/2" for concrete not exposed to weather or in contact with earth.

C. Reinforcing hooks' radius and legs is as follows:

- 3/8" (#3's) radius=1 1/2", leg=4 1/2"
- 1/2" (#4's) radius=2", leg=6"
- 5/8" (#5's) radius=2 1/2", 7 1/2"

D. Development embedment of hooks is as follows:

- 3/8" (#3's) and 1/2" (#4's) = 8"
- 5/8" (#5's) = 10"

GENERAL NOTES:

1. BOTTOM OF ALL BEAMS SHALL EXTEND 24" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED FILL.
2. LAP ALL BAR STEEL 40 DIAMETERS AND LAP ALL WIRE MESH 6"
3. FOR SLAB LENGTHS MORE THAN 50', PROVIDE 3-#5 IN BOTTOM.
4. DEAD END BEAMS ARE NOT ACCEPTABLE.
5. ALL BEAM AND SLAB STEEL SHALL EXTEND TO WITHIN 1 1/2" PF EXTERIOR FORMS
6. BEAM STEEL SHALL BE SUPPORTED AND TIED EVERY 4'-0".

SLAB-ON-GRADE SITE PREPARATION

1. Site preparation will assure at least a minimum amount of stability for the reinforced, concrete foundation. The use of this specification does not mean that the characteristic of the underlying soils to heave and settle with soils moisture changes has been arrested. This action can cause the supported foundation to heave and settle and that movement can crack finish veneers.
2. Remove upper two inches of organic material including any exposed roots.
3. All tress located within the construction area must be uprooted and their locations are o be watered to compact the soils. all top soils, vegetation, boulders, fill and surface soils containing organic material are to be removed for the pad site.
4. Compact and/or proof roll existing soils to collapse existing voids.
5. Moisten existing dry soils to pre-swell. Do not saturate.
6. Use compacted select fill to fill any existing voids and to bring the foundation up to the proper elevation.
7. Select fill shall be layered in no greater than eight inch, compacted lifts.
8. Sand bed is not recommended with select fill pad.
9. Locate any existing utilities within the site.
10. All underground utility trenches and excavations are to be backed filled with specified materials and are to be compacted with techniques described within this specification.
11. Positive drainage around the foundation during the wet months and the "watering" of the foundation during the dry moths is required to minimize foundation movement.

SLAB-ON-GRADE FOUNDATION

1. Place 6 mil. polyethylene under slab.
2. Reinforcing shall be placed on plastic or metal chairs to maintain proper clearance above grade.
3. Concrete trucks shall not run over placed reinforcing steel to extent that the reinforcing steel becomes bent or damaged.
4. Flat work concrete shall be finished by screeding and first trawled to level with as little surface work and manipulation as possible to prevent the drawing of fine aggregate and water to the surface. Screeds must be sufficiently rigid to resist distortion as the concrete is spread. Excess water is to be removed by draining or blotting with mats.
5. After any water sheen has disappeared and the concrete surface has hardened to bear a person's wight without leaving an indentation, final finishing may proceed. Building floors shall receive a power steel float, but no to a slick finish and shall have a slightly rough finish that is not slick when wetted after curing. Exterior slabs subject to weather shall have a broom finish and sloped to drain.

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75028

DATE

08/29/2022

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MAF

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DESCRIPTION

NEW
CONSTRUCTION

SCALE

NTS

SHEET TITLE

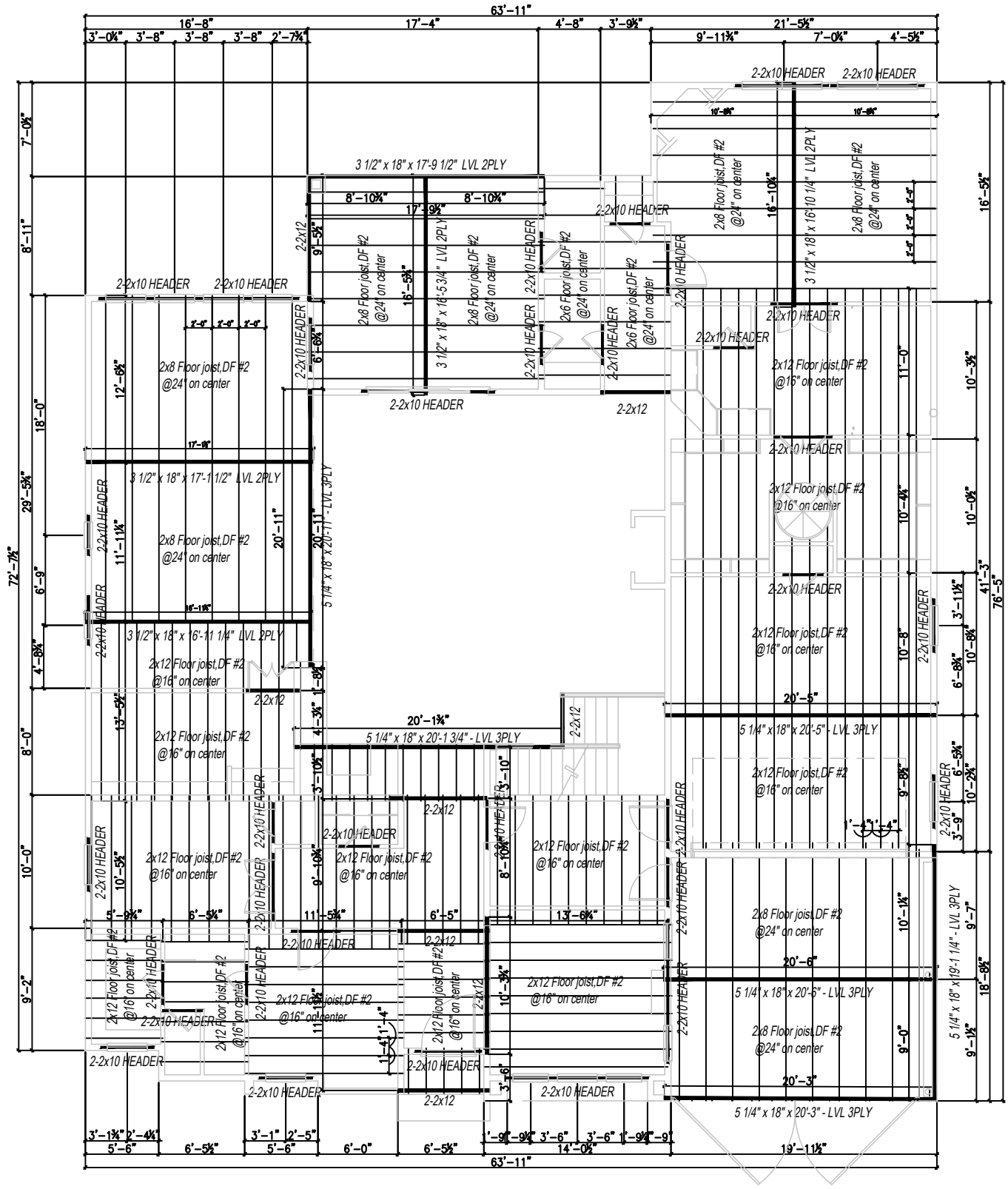
FOUNDATION
DETAILS & NOTES

SHEET #

S1.02

1 FOUNDATION DETAILS
S2 SCALE: NTS

2 FOUNDATION NOTES
S2 SCALE: NTS



FIRST FLOOR
JOIST FRAMING PLAN
SCALE: 3/32" = 1'-0"

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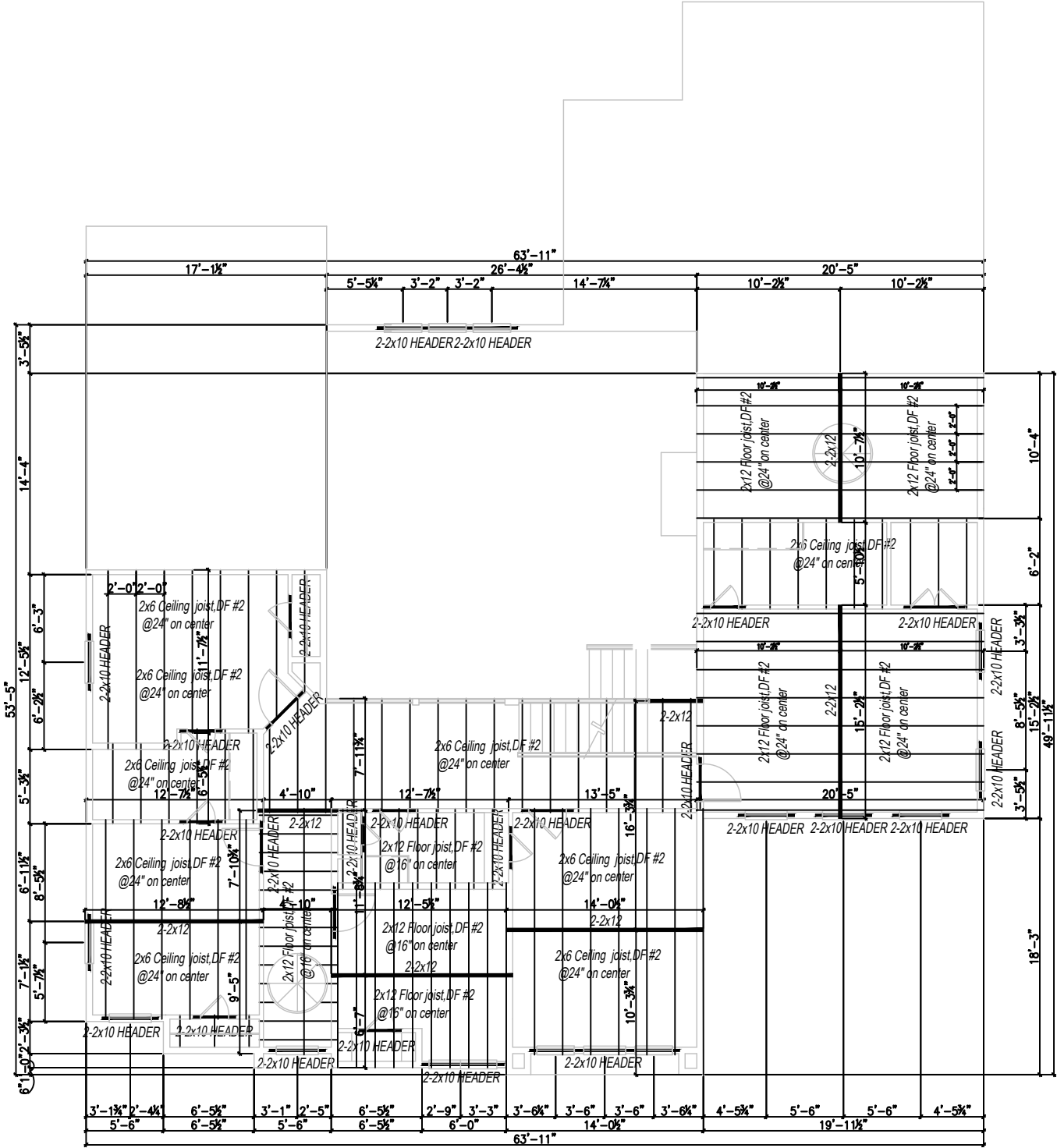
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CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE
FIRST FLOOR-JOIST
FRAMING PLAN

SHEET #

S1.03



1

S4

SECOND FLOOR CEILING
JOIST FRAMING PLAN
SCALE: 3/32" = 1'-0"

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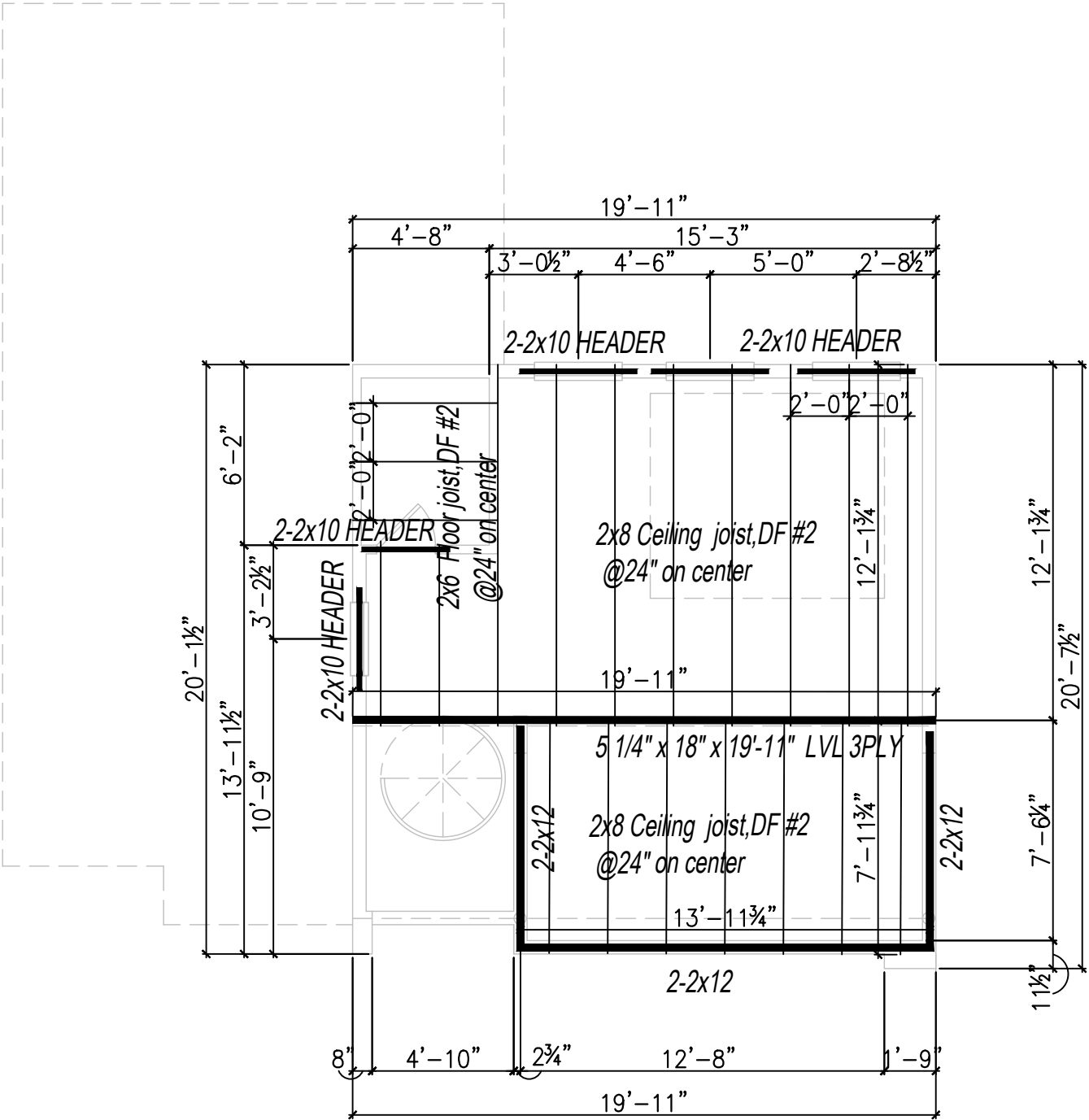
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NEW
CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE
SECOND FLOOR CEILING
JOIST FRAMING PLAN

SHEET #

S1.04



1	THIRD FLOOR CEILING
S5	JOIST FRAMING PLAN
SCALE: 3/16" = 1'-0"	

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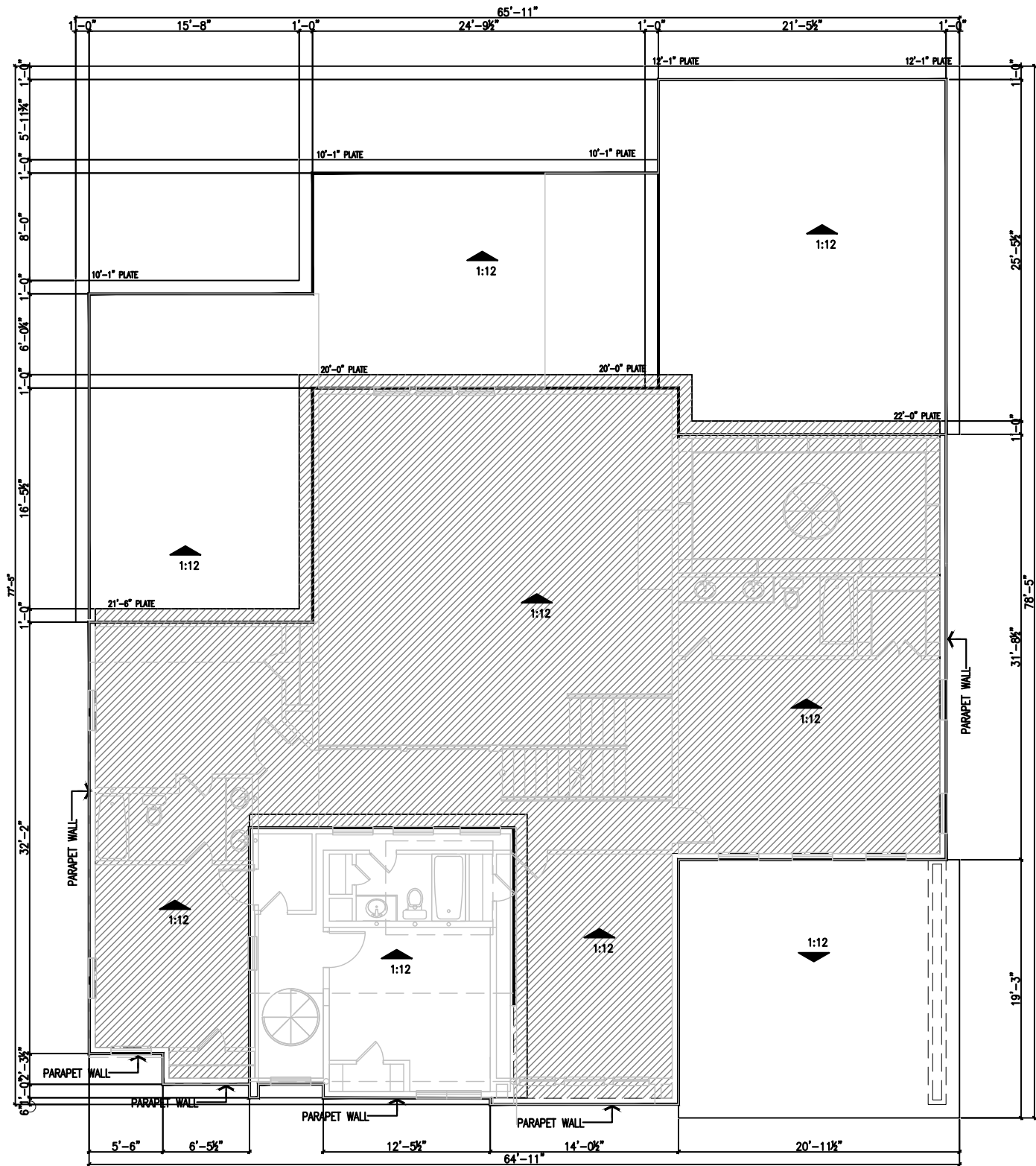
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DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/16"-1'-0"

SHEET TITLE
THIRD FLOOR CEILING
JOIST FRAMING PLAN

SHEET #
S1.05



GENERAL ROOF NOTES:

- SLOPE DOWN IN DIRECTION OF ARROWS
- VERIFY GUTTER & DOWNSPOUT LOCATIONS WITH OWNER AND/OR CONTRACTOR
- ROOFING MATERIAL SHALL BE METAL SHEET BY OWNER PREFERENCE. ROOFING MATERIAL AS SELECTED
- PREFINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.
- METAL VENT STACKS SHALL BE PRE- FINISHED OR PAINTED TO MATCH ROOF.
- ROOF SLOPES SHALL BE NOTED ON ROOF PLAN
- PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDER HAVING A PERMEANCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VETILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER

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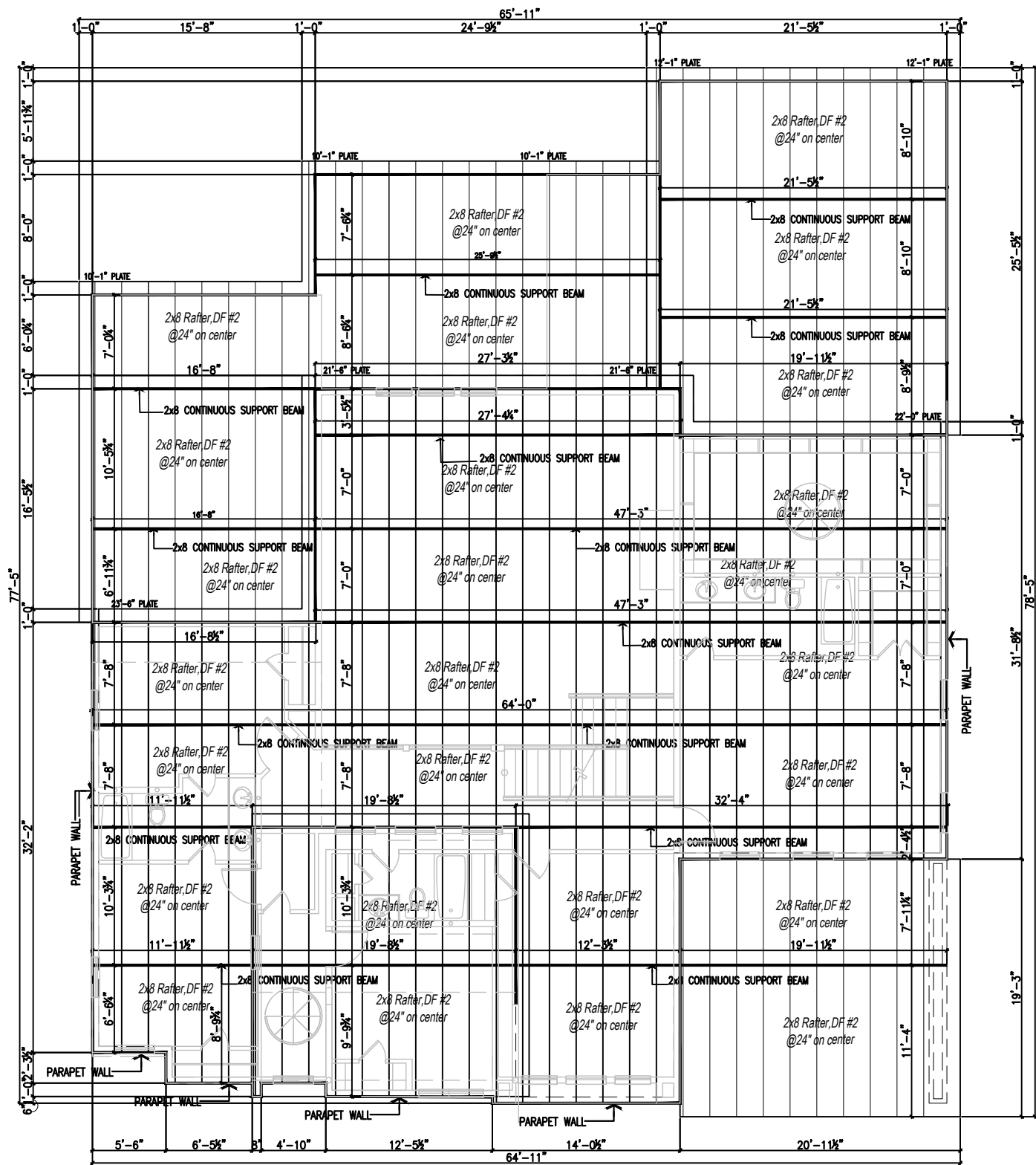
DESCRIPTION NEW
CONSTRUCTION

SCALE
3/32"-1'-0"

SHEET TITLE
ROOF PLAN

SHEET #
S1.06

1 ROOF PLAN
S6 SCALE: 3/32" = 1'-0"



1 ROOF FRAMING PLAN
S7 SCALE: 3/32" = 1'-0"

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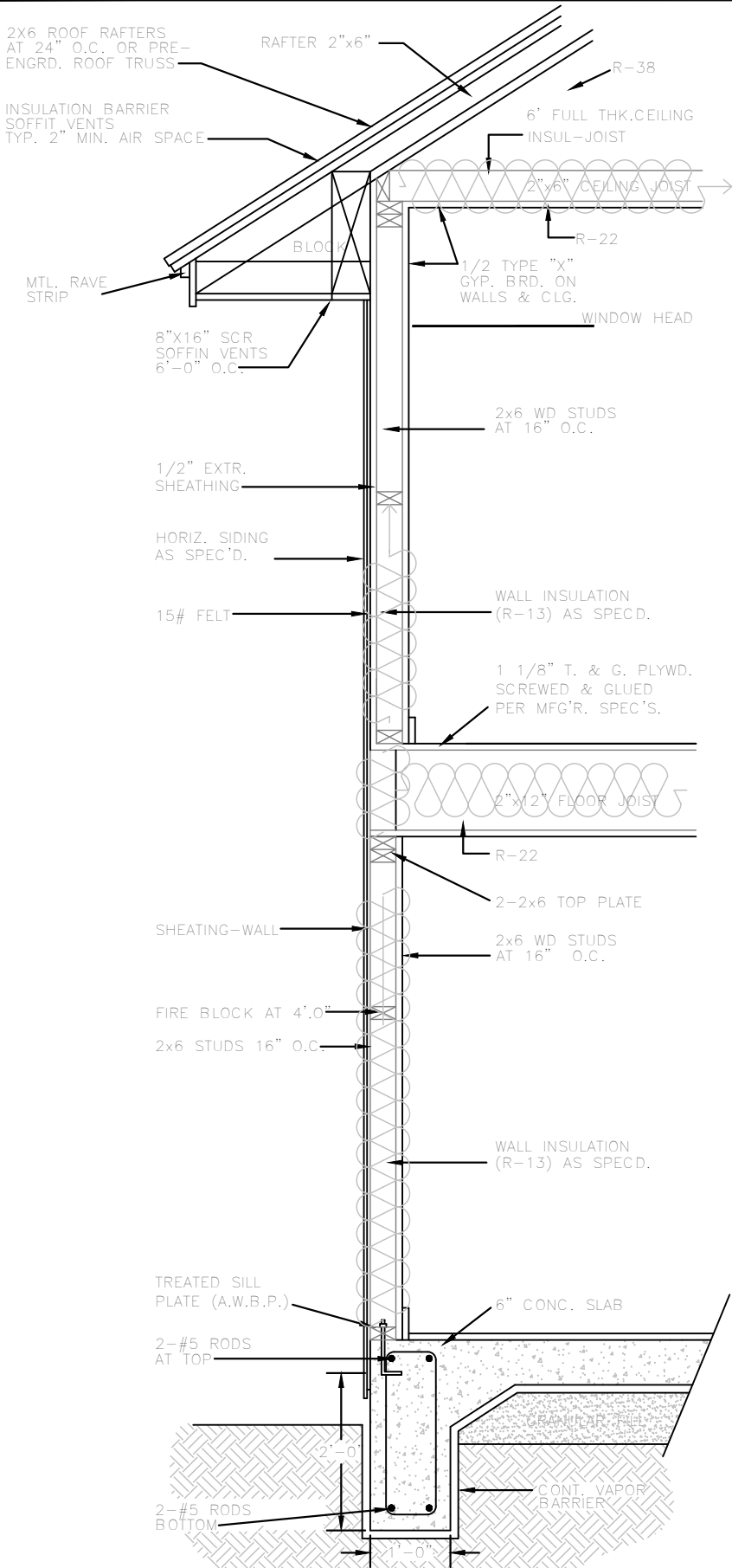
SCALE
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SHEET TITLE

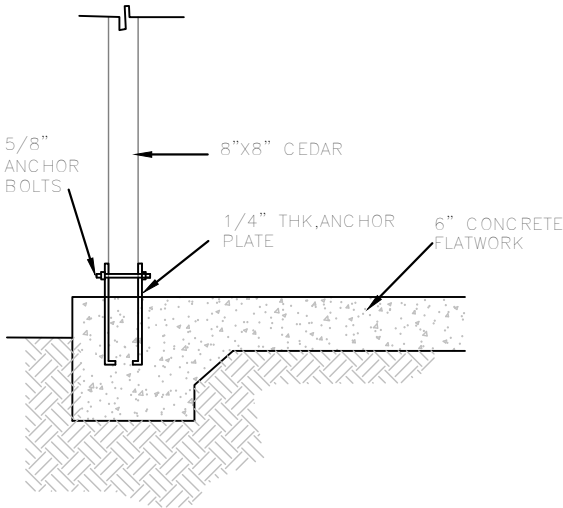
ROOF FRAMING PLAN

SHEET #

S1.07



WALL SECTION - SIDING
not to scale



POST DETAIL @ PORCH
not to scale

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CONSTRUCTION

SCALE

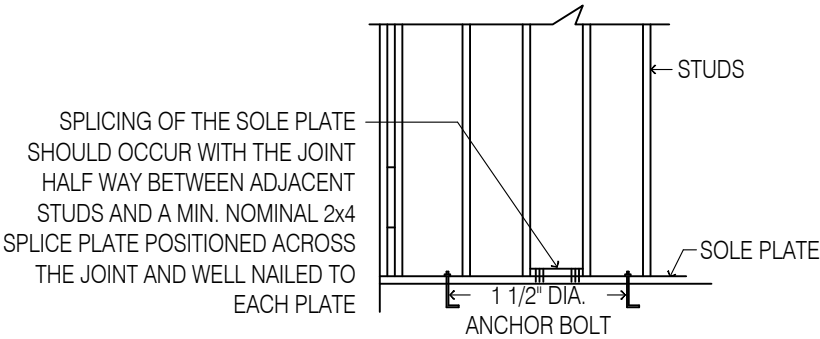
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SHEET TITLE

WALL SECTION

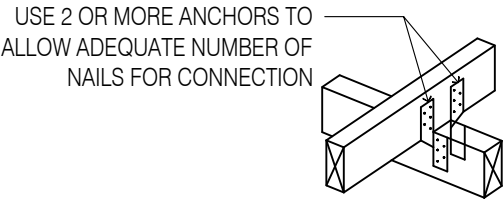
SHEET #

S1.08

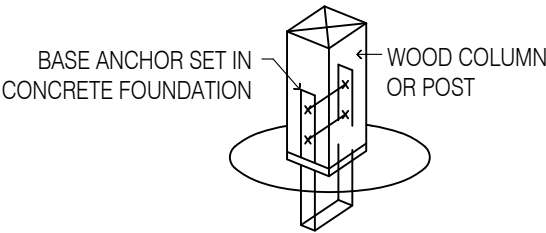


S = 18" MAX. SPACING OF ANCHOR BOLTS FROM THE ENDS OF DISCONTINUOUS SILLS OR SOLE PLATES

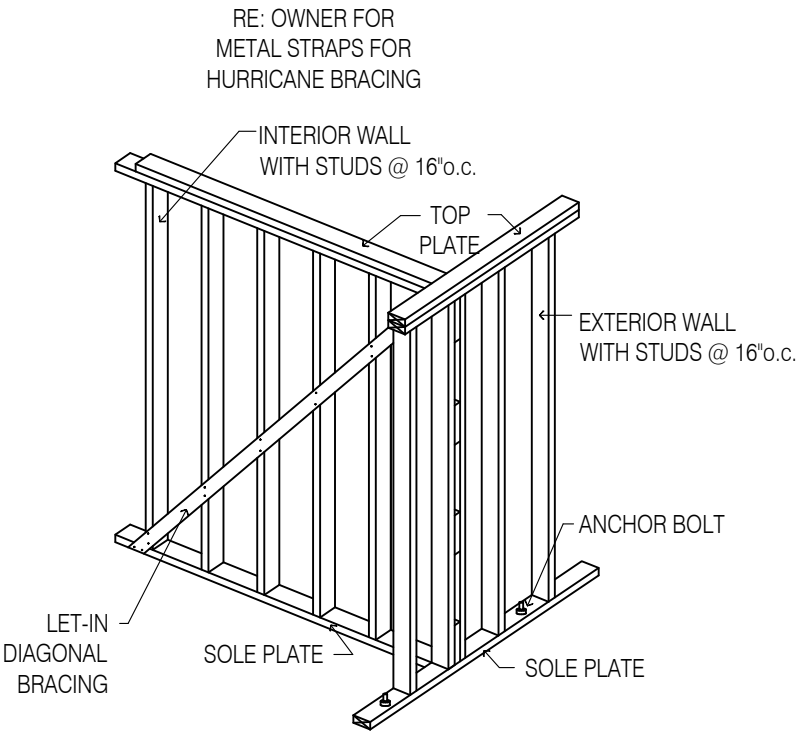
SPlicing OF SILLS OR SOLE PLATES 8
SCALE: N.T.S.



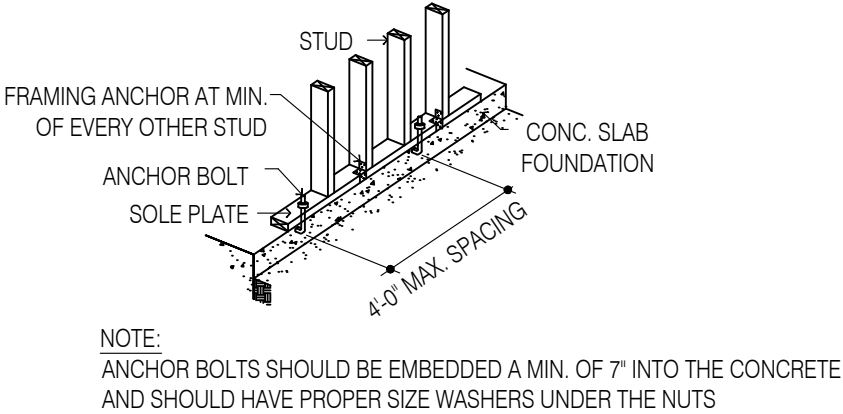
MEETING MIN. NAIL REQUIREMENTS WITH LARGE LUMBER OR TIMBER CONNECTIONS 9
SCALE: N.T.S.



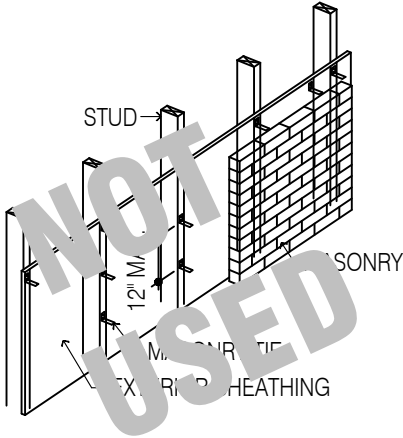
TYPICAL ANCHORAGE OF WOOD COLUMN OR POST TO A CONCRETE FOUNDATION 10
SCALE: N.T.S.



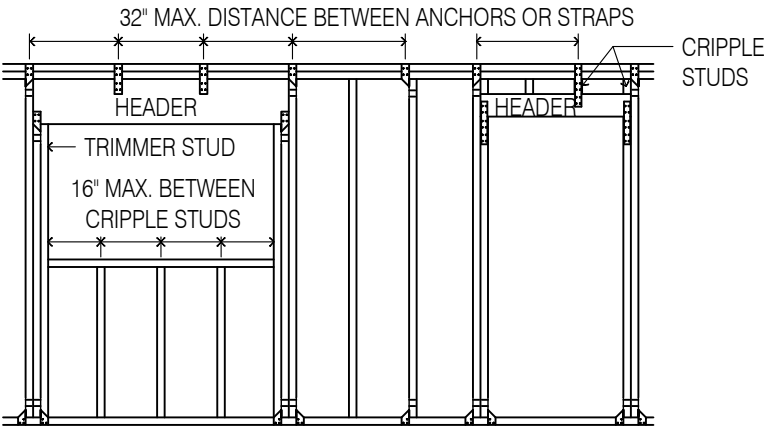
LATERAL BRACING OF INTERIOR WALL AT INTERSECTION WITH AN EXTERIOR WALL 11
SCALE: N.T.S.



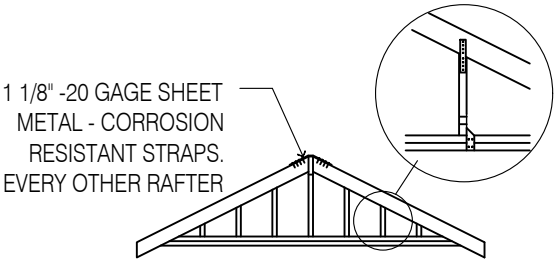
ANCHOR SILL PLATE TO FOUNDATION 12
SCALE: N.T.S.



ANCHORING MASONRY VENEER TO WALL FRAMING 13
SCALE: N.T.S.



ANCHORAGE OF HEADERS 14
SCALE: N.T.S.



CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE 15
SCALE: N.T.S.

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DESCRIPTION NEW
CONSTRUCTION

SCALE

NTS

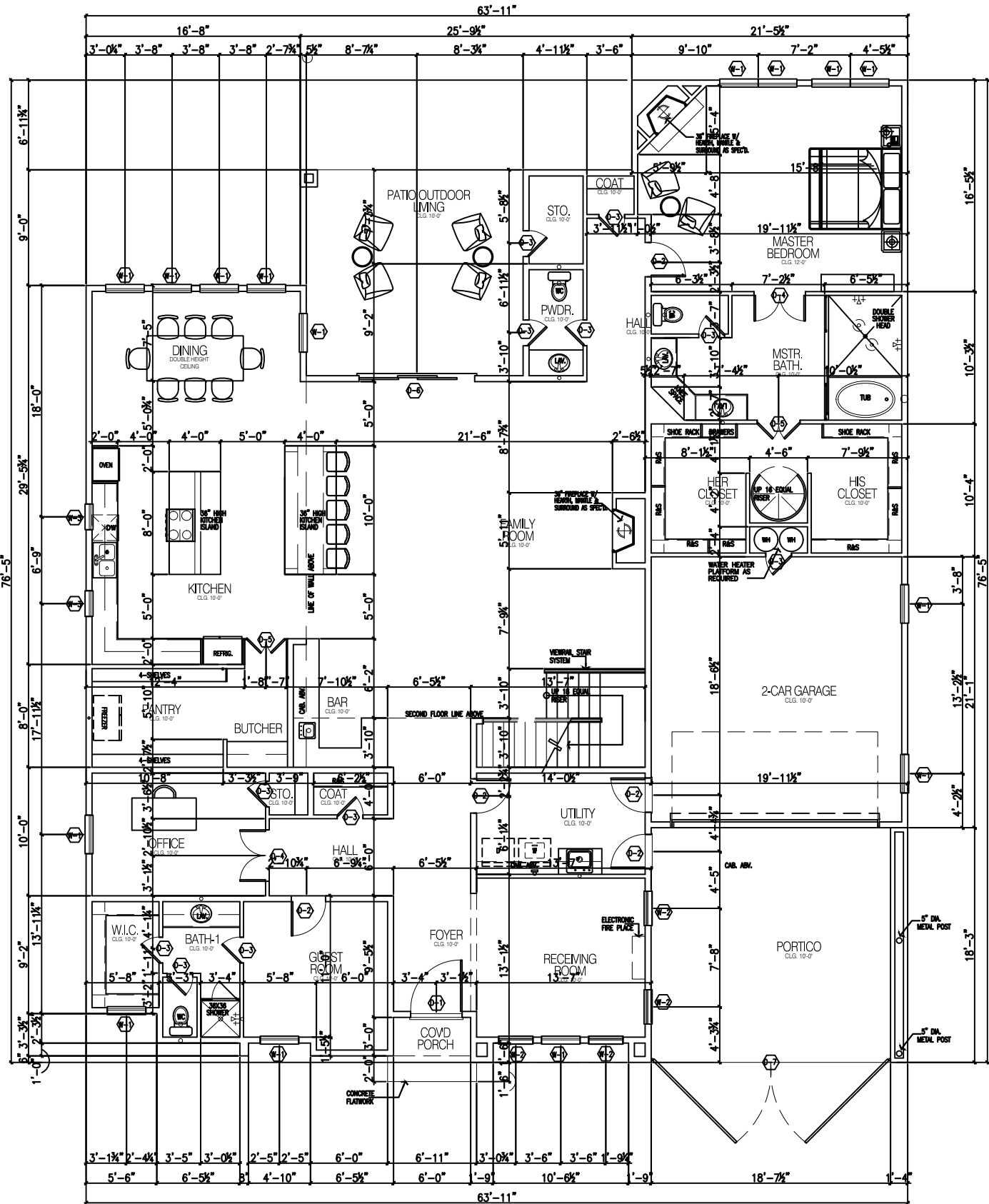
SHEET TITLE

FRAMING DETAILS

SHEET #

S1.09

FIRST FLOOR OPENING SCHEDULE					
SYMBOL	SIZE	COUNT	LIBRARY NAME	MATERIAL	GLAZING
	4'-0"x8'-0"	1	EXTERIOR DOOR/ENTRY	WOOD	N/A
	2'-8"x7'-0"	5	INTERIOR DOOR	WOOD	N/A
	2'-0"x7'-0"	11	INTERIOR DOOR	WOOD	N/A
	4'-0"x7'-0"	2	INTERIOR DOOR/TWIN DOOR	WOOD	N/A
	3'-4"x7'-0"	2	INTERIOR DOOR/TWIN DOOR	WOOD	N/A
	9'-0"x7'-0"	1	INTERIOR DOOR	ALUMINUM	N/A
	18'-7"x8'-0"	1	EXTERIOR DOOR/GARAGE/ TWIN	WOOD	N/A
	3'-0"x6'-0"	16	WINDOW/FIXED GLASS @8'-11" HH	ALUMINUM	LOW-E
	2'-8"x6'-0"	4	WINDOW/SH @8'-11" HH	ALUMINUM	LOW-E
	2'-0"x5'-0"	2	WINDOW/SH @8'-11" HH	ALUMINUM	LOW-E



NORTH



1 FIRST FLOOR PLAN
A1 SCALE: 3/32" = 1'-0"

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DESCRIPTION NEW
CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE

FIRST FLOOR PLAN

SHEET #

A1.01

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DESCRIPTION

NEW
CONSTRUCTION

SCALE

3/32"=1'-0"

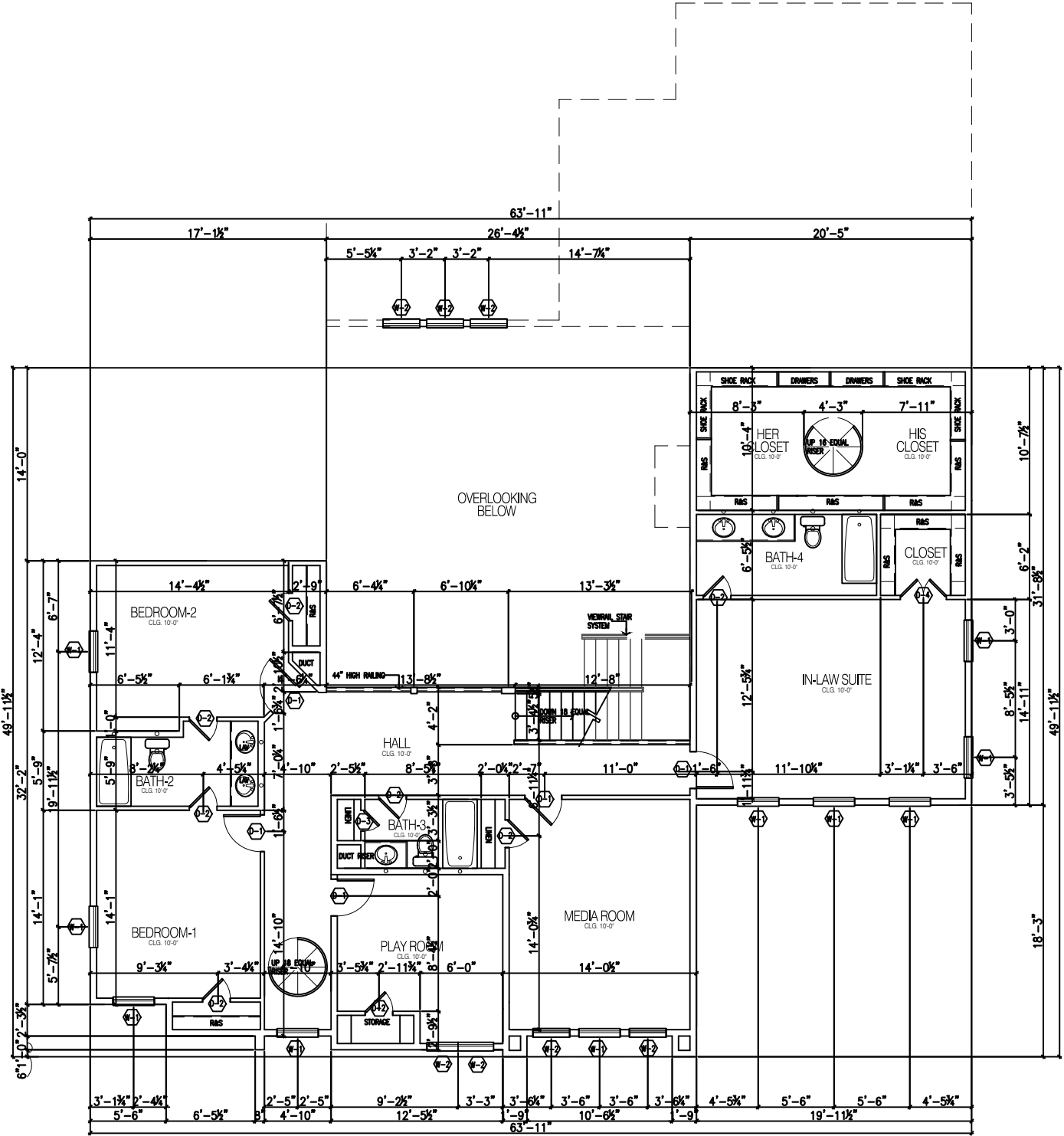
SHEET TITLE

SECOND FLOOR PLAN

SHEET #

A1.02

SECOND FLOOR OPENING SCHEDULE					
SYMBOL	SIZE	COUNT	LIBRARY NAME	MATERIAL	GLAZING
	2'-8"x7'-0"	5	INTERIOR DOOR/ENTRY	WOOD	N/A
	2'-0"x7'-0"	8	INTERIOR DOOR	WOOD	N/A
	1'-6"x7'-0"	1	INTERIOR DOOR	WOOD	N/A
	3'-4"x7'-0"	1	INTERIOR DOOR/TWIN	WOOD	N/A
	3'-0"x6'-0"	15	WINDOW/FIXED GLASS @8'-11" HH	ALUMINUM	LOW-E
	2'-8"x6'-0"	4	WINDOW/SH @8'-11" HH	ALUMINUM	LOW-E



NORTH



1
A2

SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

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DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/16"=1'-0"

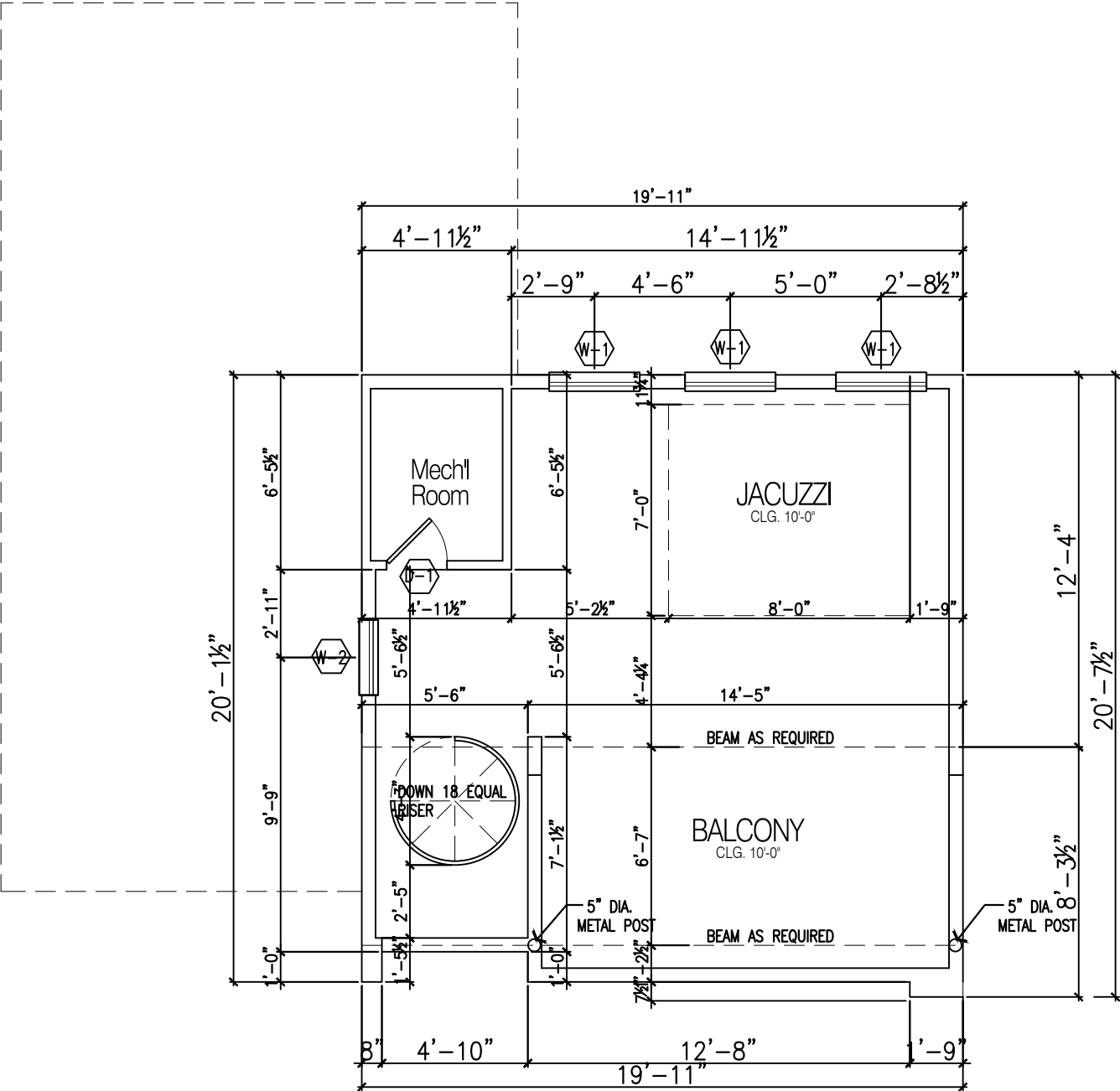
SHEET TITLE

THIRD FLOOR PLAN

SHEET #

A1.03

IN-LAW'S SUIT OPENING SCHEDULE					
SYMBOL	SIZE	COUNT	LIBRARY NAME	MATERIAL	GLAZING
	2'-0"x7'-0"	1	INTERIOR DOOR	WOOD	N/A
	3'-0"x6'-0"	3	WINDOW/FIXED GLASS @8'-11" HH	ALUMINUM	LOW-E
	2'-6"x5'-0"	1	WINDOW/SH @8'-11" HH	ALUMINUM	LOW-E



NORTH



1
A3
THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

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DESCRIPTION
NEW
CONSTRUCTION

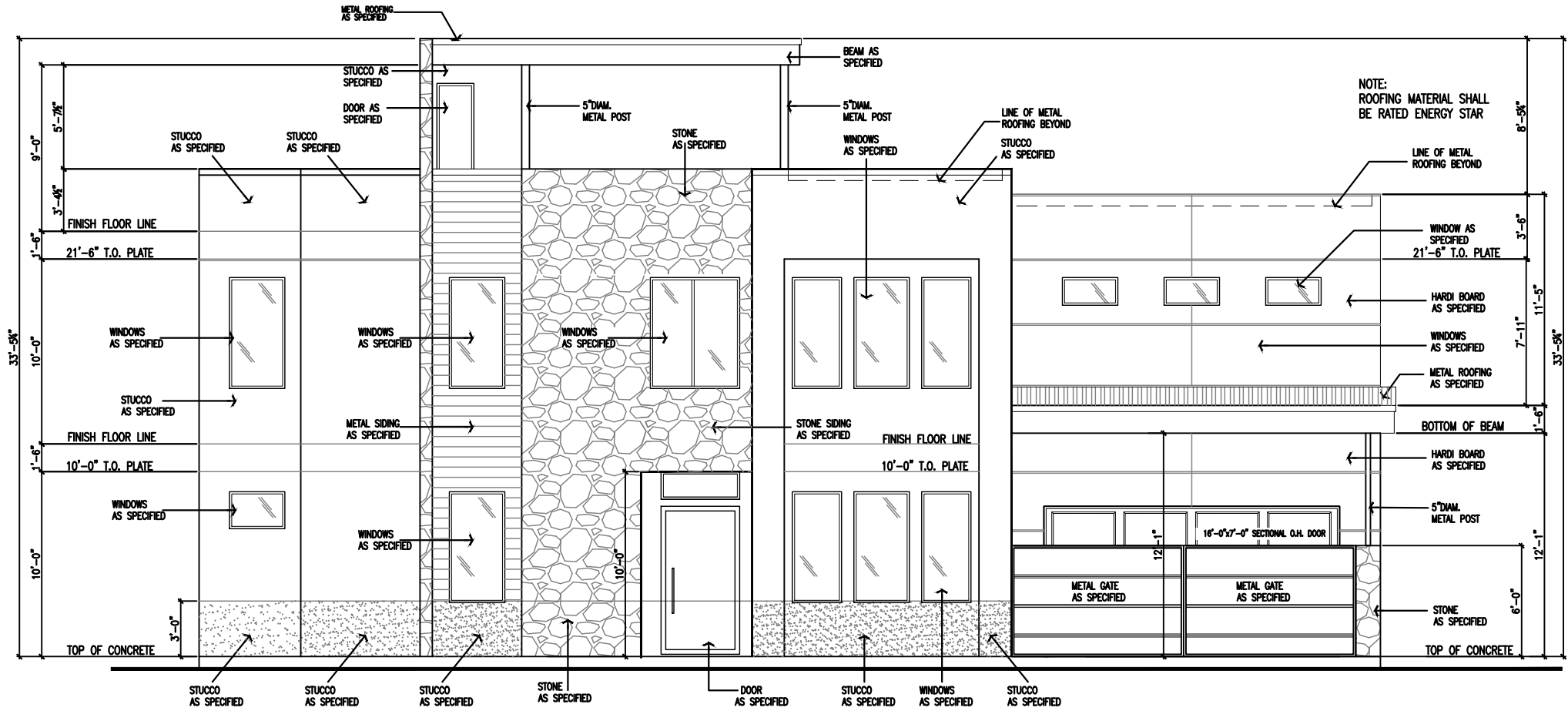
SCALE
1/8"=1'-0"

SHEET TITLE

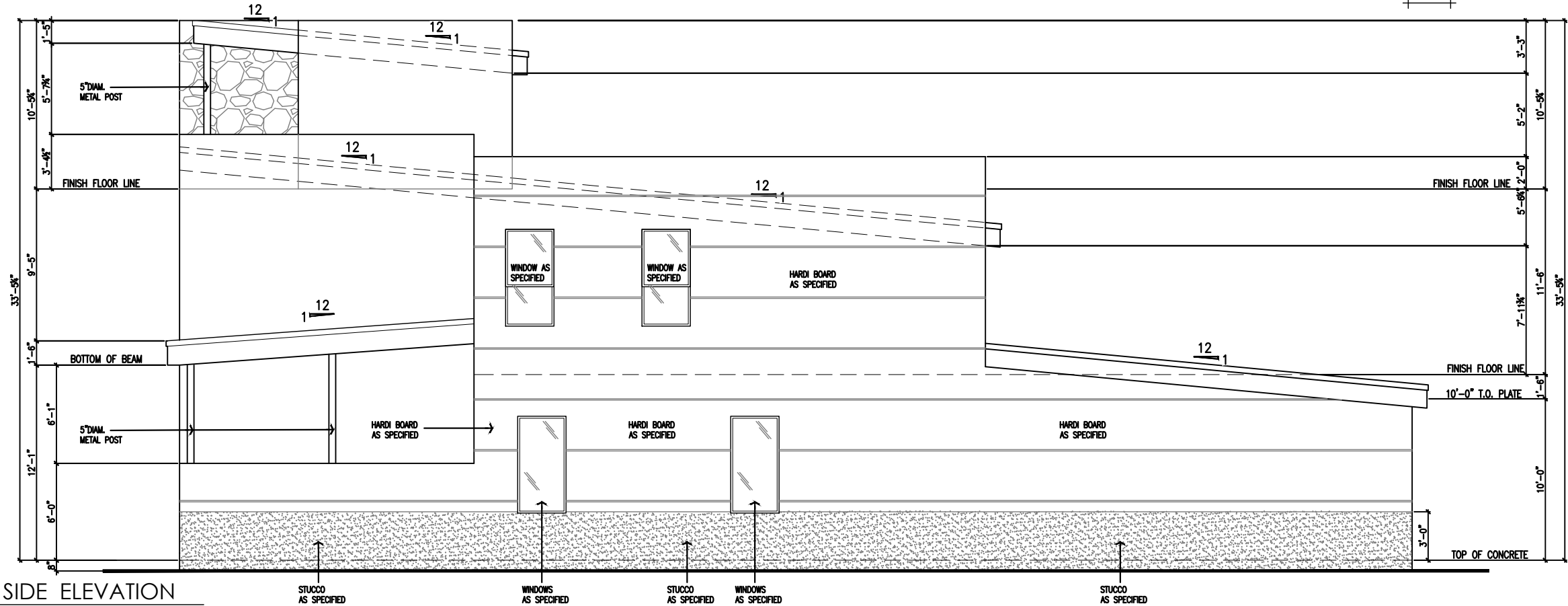
ELEVATIONS

SHEET #

A1.04



1 FRONT ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

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CONSTRUCTION

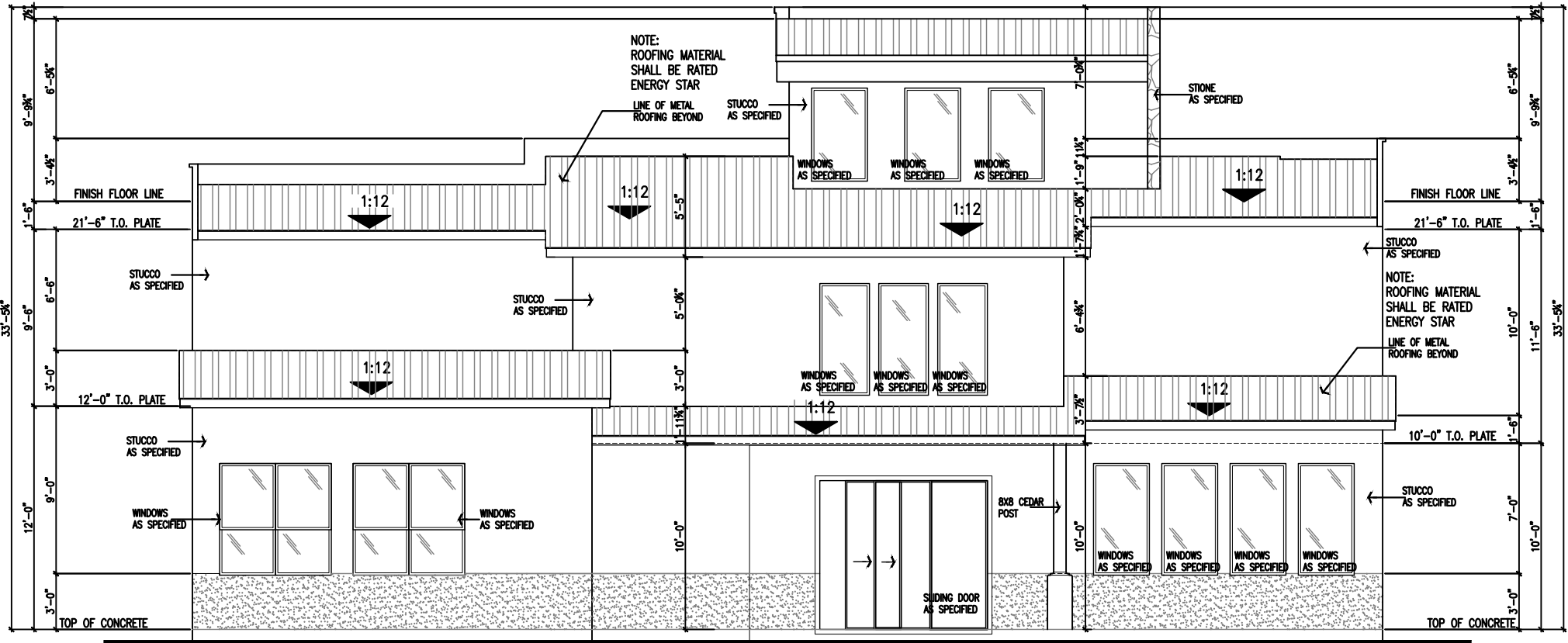
SCALE
1/8"=1'-0"

SHEET TITLE

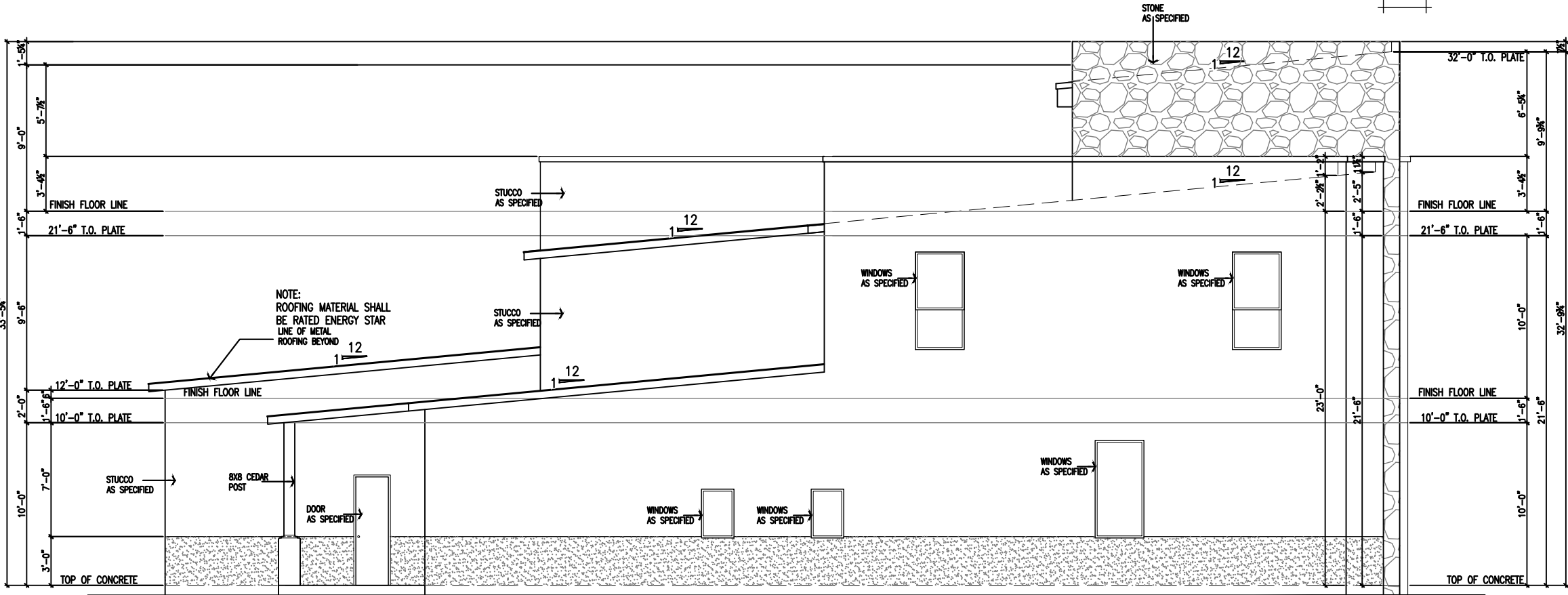
ELEVATIONS

SHEET #

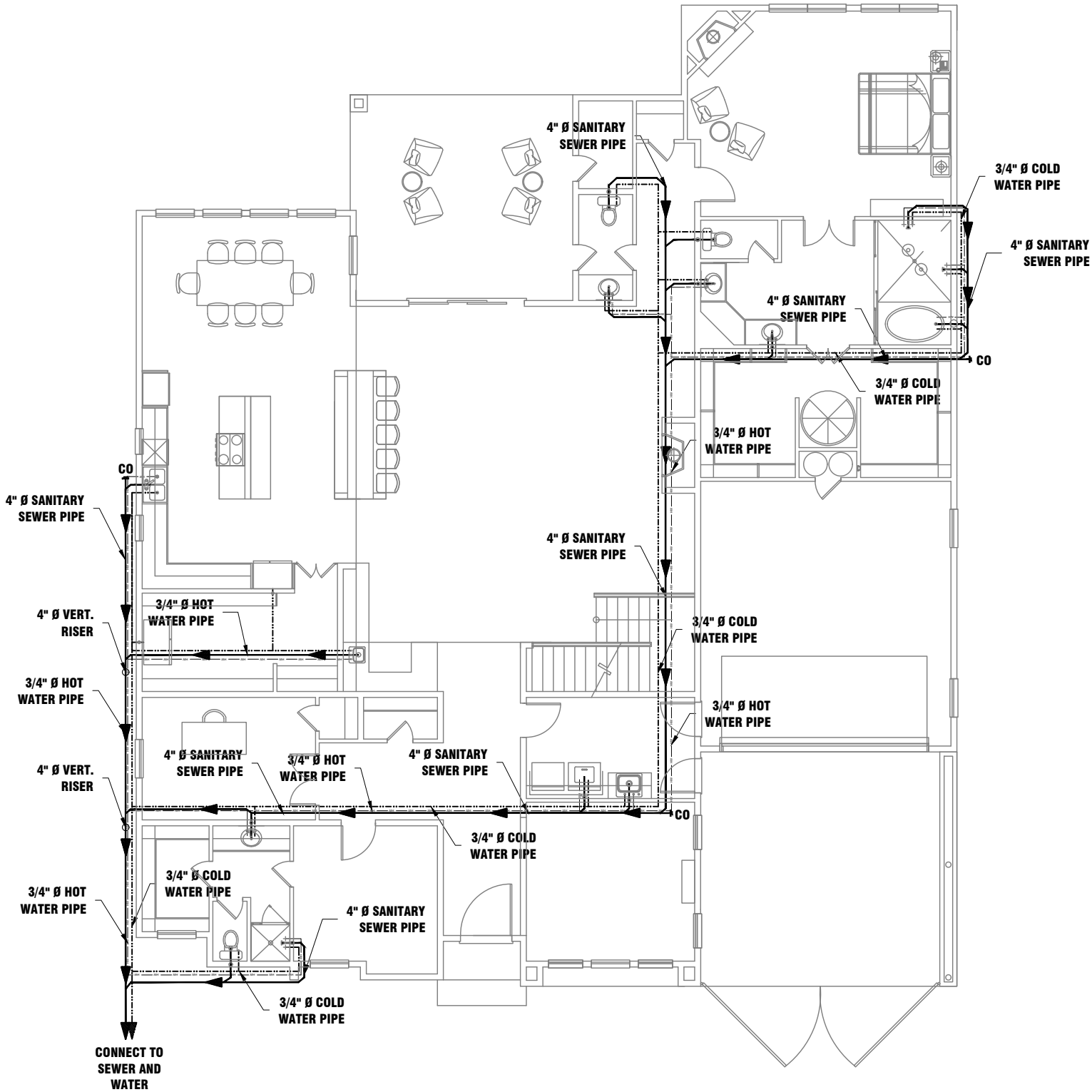
A1.05



1 REAR ELEVATION
A5 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A5 SCALE: 1/8" = 1'-0"



1	FIRST FLOOR PLUMBING PLAN
P1	SCALE: 3/32" = 1'-0"

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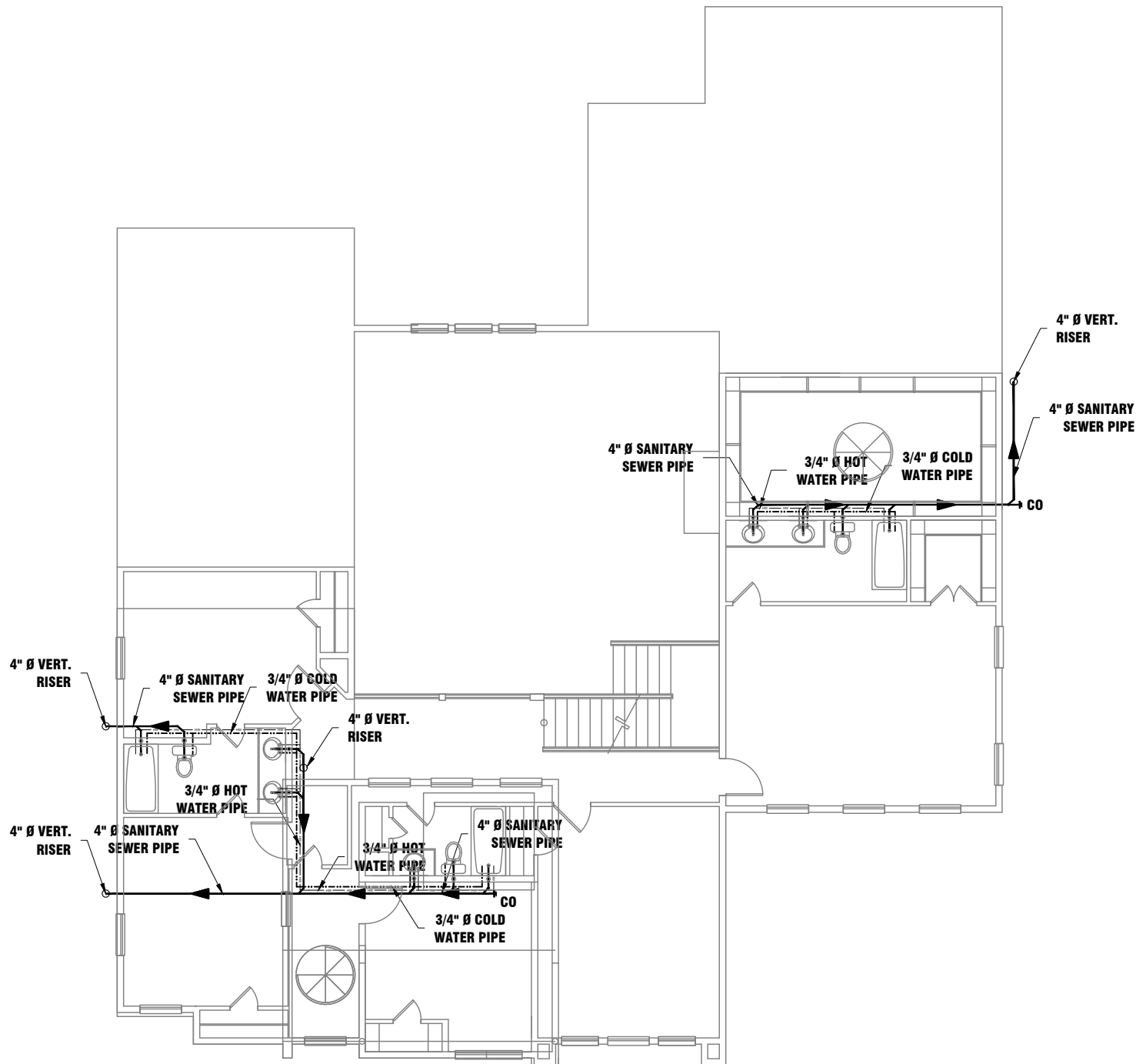
DESCRIPTION
NEW CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE
FIRST FLOOR PLUMBING PLAN

SHEET #

P1.01



1 SECOND FLOOR PLUMBING PLAN
P2 SCALE: 3/32" = 1'-0"

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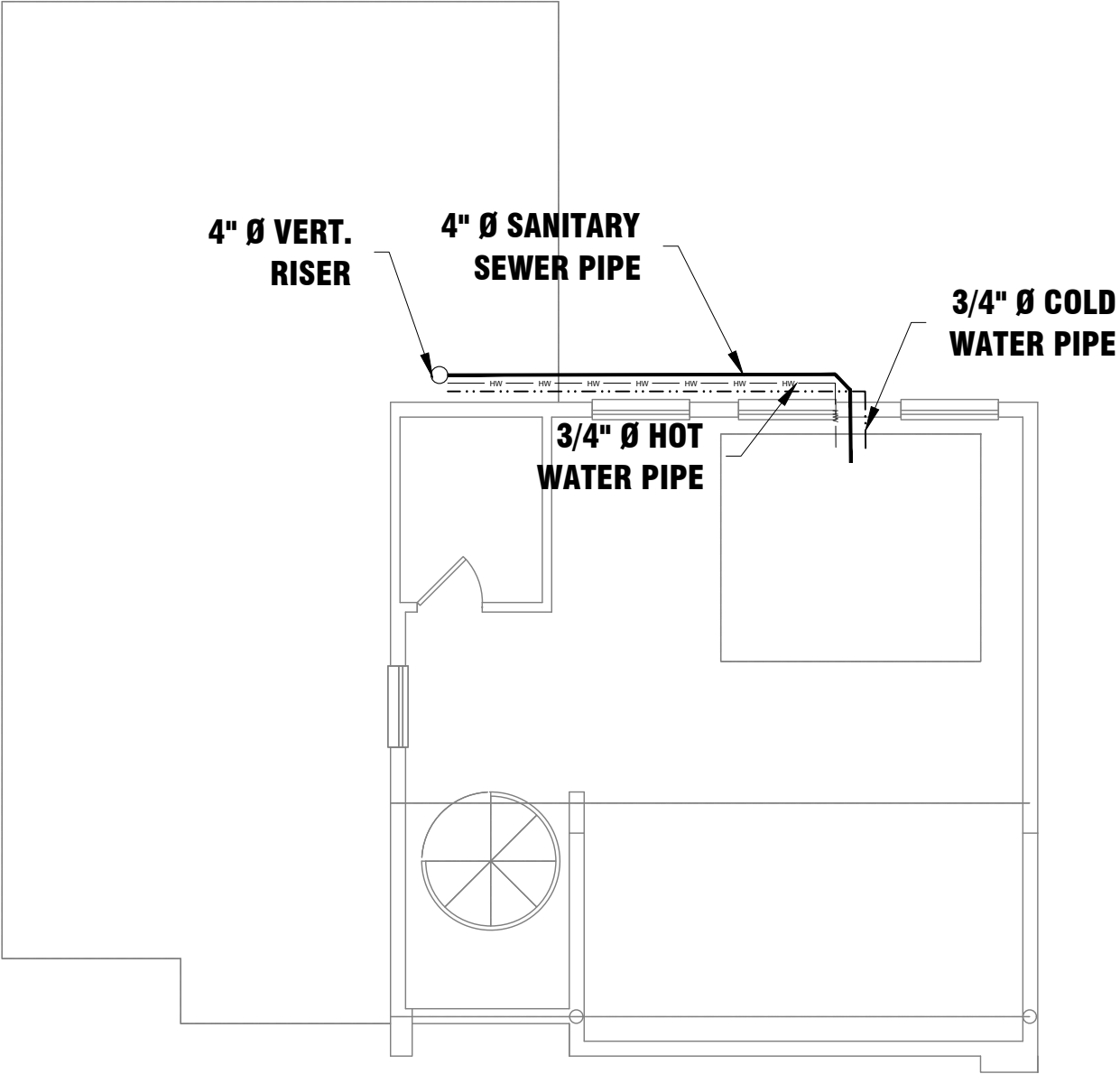
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DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/32"-1'-0"

SHEET TITLE
SECOND FLOOR
PLUMBING PLAN

SHEET #
P1.02



1	THIRD FLOOR PLUMBING PLAN
P3	SCALE: 3/16" = 1'-0"

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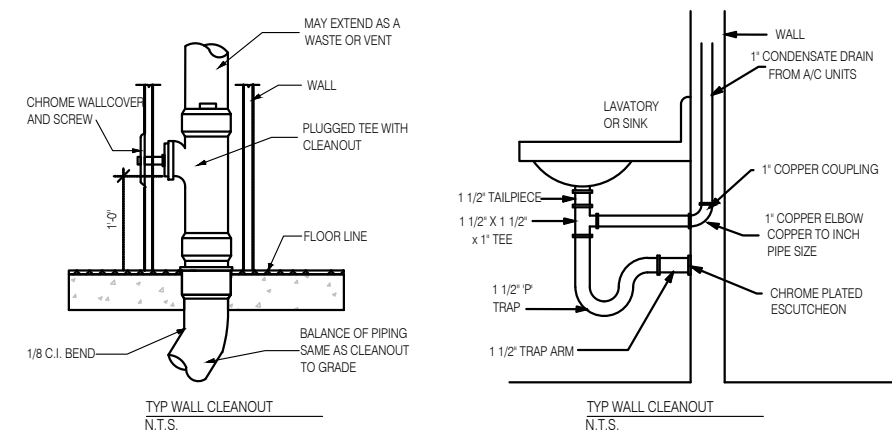
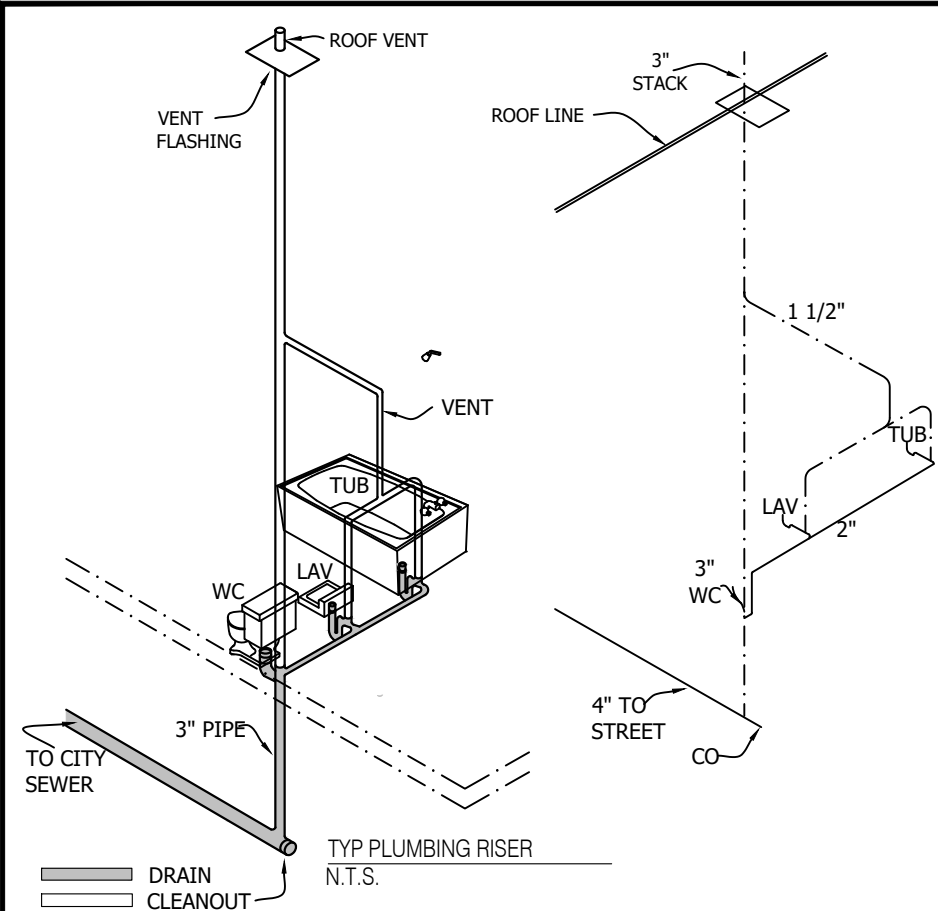
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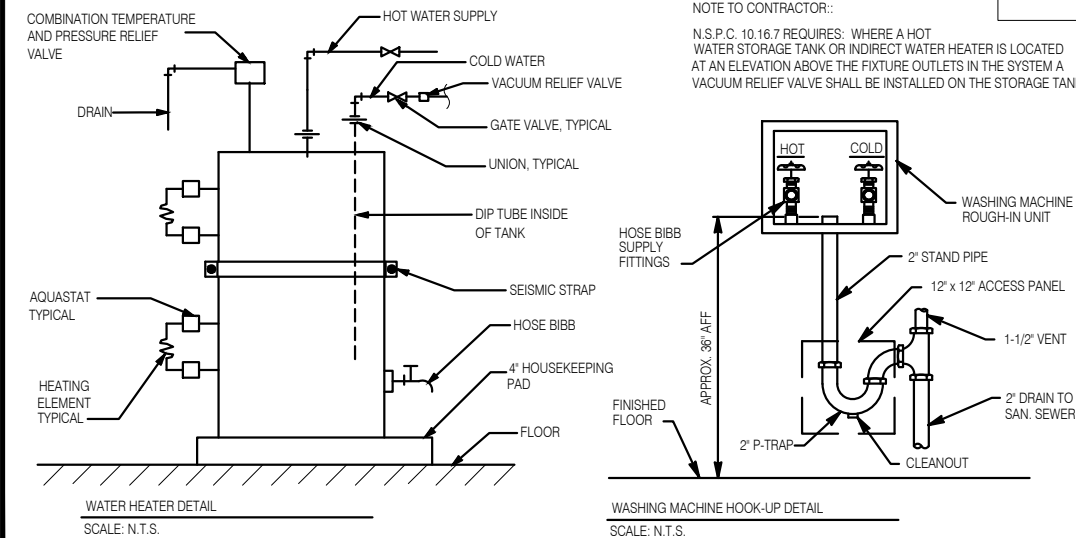
SCALE
3/16"–1'–0"

SHEET TITLE
THIRD FLOOR
PLUMBING PLAN

SHEET #
P1.03



NOTE TO CONTRACTOR:
N.S.P.C. 10.16.7 REQUIRES: WHERE A HOT WATER STORAGE TANK OR INDIRECT WATER HEATER IS LOCATED AT AN ELEVATION ABOVE THE FIXTURE OUTLETS IN THE SYSTEM A VACUUM RELIEF VALVE SHALL BE INSTALLED ON THE STORAGE TANK.



GREEN/ENERGY CODE COMPLIANCE OUTLINE 2015 IECC

1. WATER EFFICIENCY:

- 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
- 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
- 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE

2. STORM WATER:

- 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE

3. POLY SEAL:

- 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
- 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
- 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
- 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
- 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
- 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
- 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE

4. INSULATION:

- 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
- 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
- 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
- 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
- 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHERDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
- 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL

5. HVAC/SERVICE WATER:

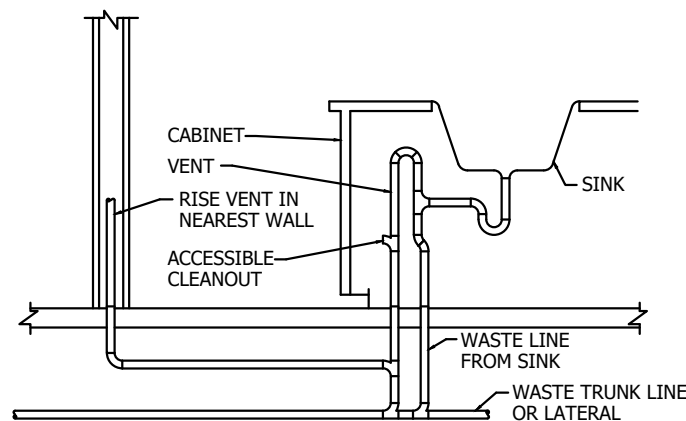
- 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
- 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION

6. WINDOWS AND DOORS:

- 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
- 6.2. MUST HAVE A SHGC OF .25 OR LESS

7. LIGHTING:

- 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
- 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

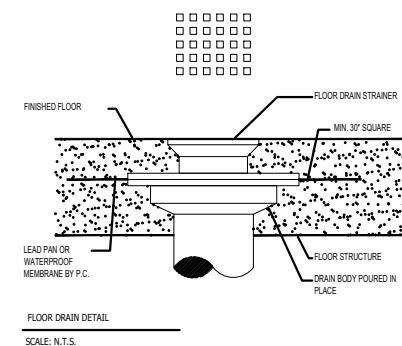


ISLAND PLUMBING DETAIL

not to scale

PLUMBING GENERAL NOTES

1. ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
2. ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
3. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
4. SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
5. ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
6. WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
7. PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
8. ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
9. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
10. INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
11. PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
12. PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
13. COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.



FLOOR DRAIN DETAIL
SCALE: N.T.S.

SEAL

Project Consulting & Construction
DESIGN + BUILD + CONSULTANCY

Ennis, TX. 75119
TEL. (214) 399-3662

REVISIONS

NO.	DESCRIPTION	DATE
△		

ADDRESS

4729 ASH ST
FLOWER MOUND, TX.
75028

DATE

08/29/2022

DRAWN BY

MAF

CHECKED BY

DESCRIPTION

NEW
CONSTRUCTION

SCALE

NTS

SHEET TITLE

PLUMBING NOTES
& DETAILS

SHEET #

P1.04

SEAL

Project Consulting & Construction
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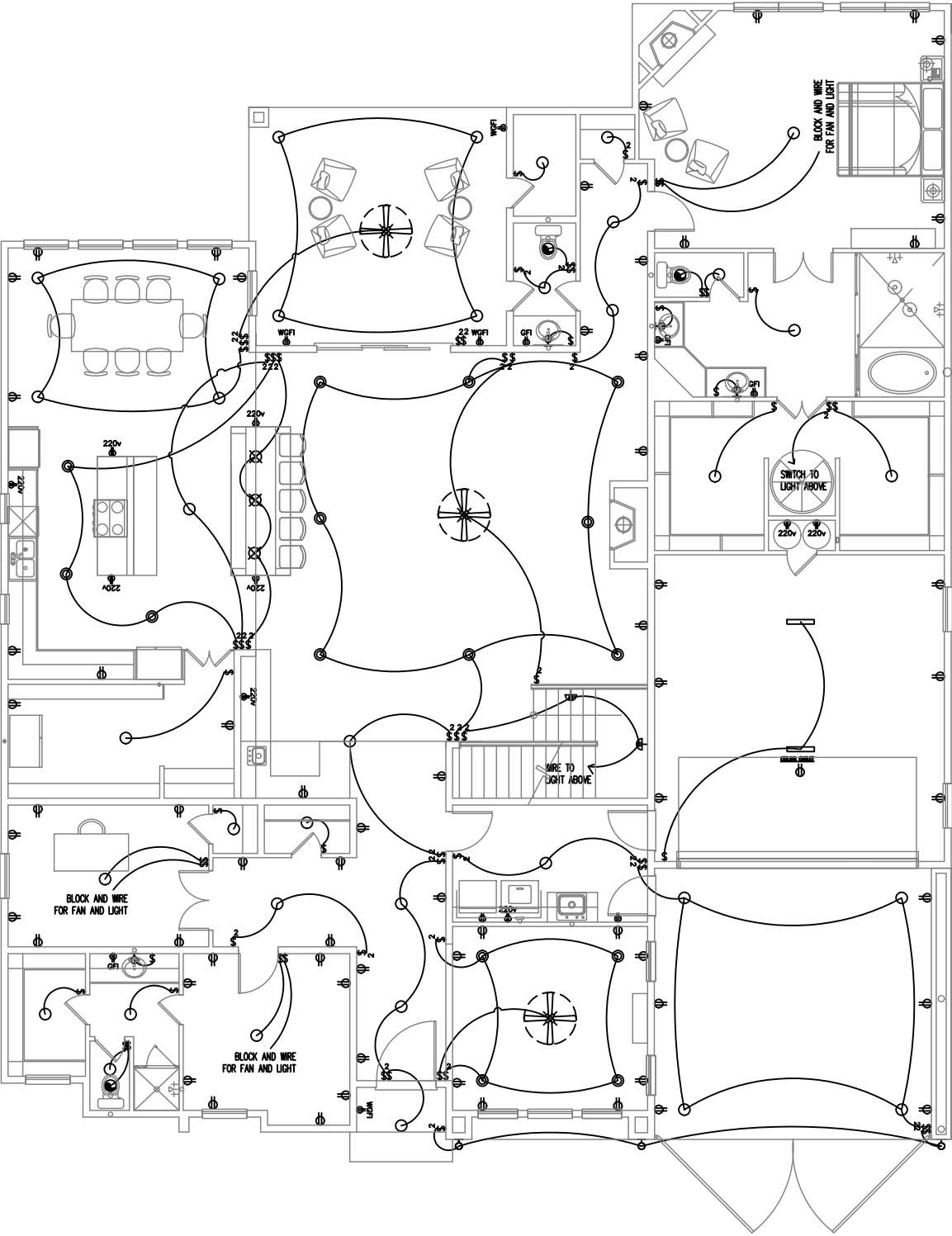
CHECKED BY

DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE
FIRST FLOOR
ELECTRICAL PLAN

SHEET #
E1.01



1	FIRST FLOOR ELECTRICAL PLAN
E1	SCALE: 3/32" = 1'-0"

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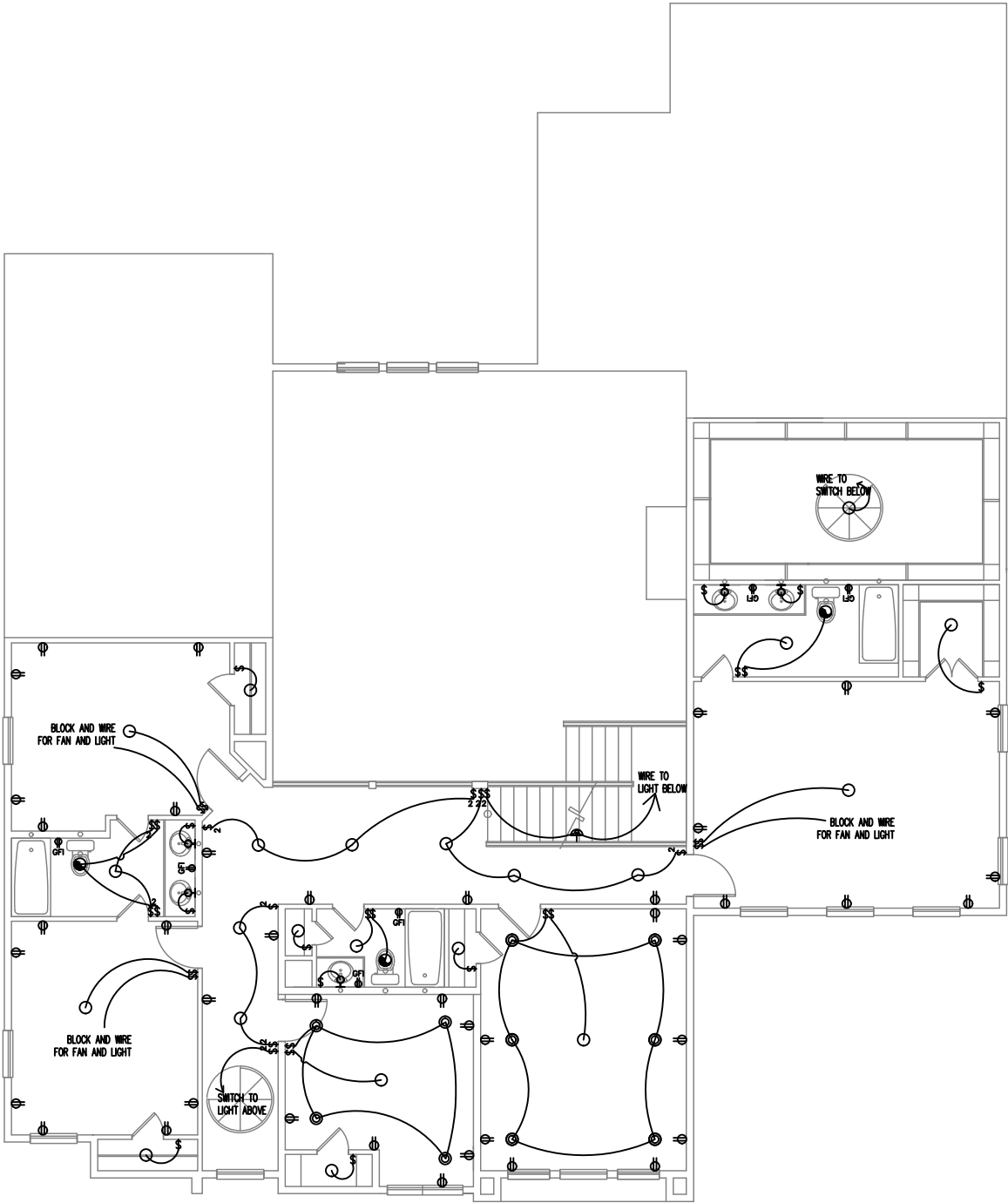
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DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/32"=1'-0"

SHEET TITLE
SECOND FLOOR
ELECTRICAL PLAN

SHEET #
E1.02



1 SECOND FLOOR ELECT'L PLAN
E2 SCALE: 3/32" = 1'-0"

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75028

DATE
08/29/2022

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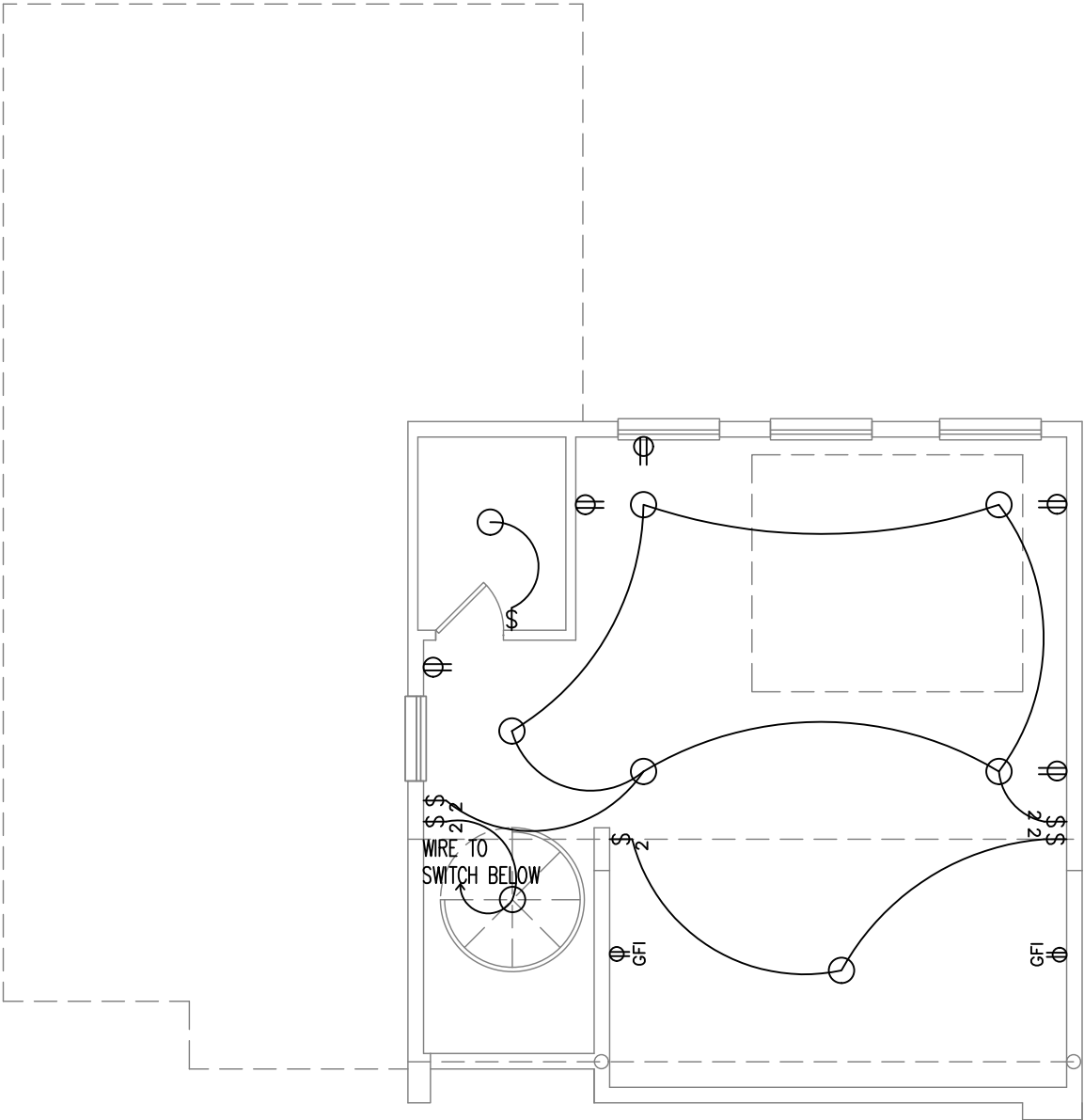
CHECKED BY

DESCRIPTION
NEW
CONSTRUCTION

SCALE
3/16"=1'-0"

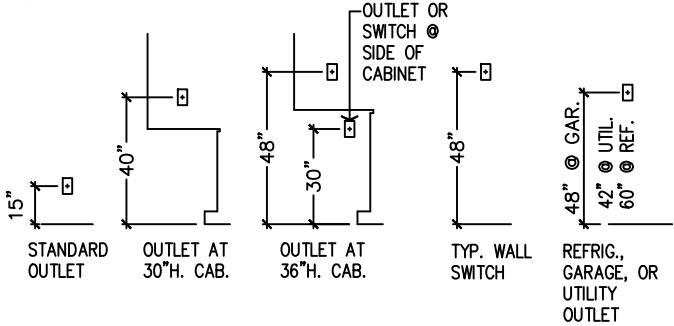
SHEET TITLE
THIRD FLOOR
ELECTRICAL PLAN

SHEET #
E1.03



1 THIRD FLOOR ELECT'L PLAN
E3 SCALE: 3/16" = 1'-0"

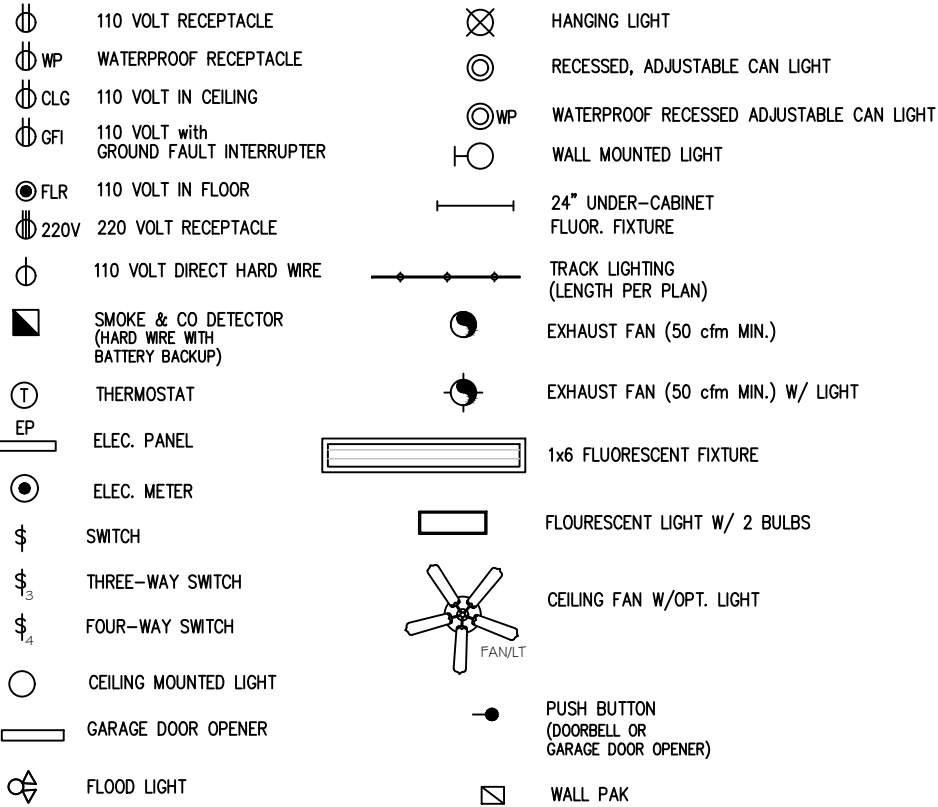
ELECTRIC FIXTURE HEIGHTS
(UNLESS NOTED OTHERWISE)



GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

ELECTRICAL LEGEND



GENERAL NOTE:
ALL LIGHTING FIXTURES SHALL BE LED
(Light-Emitting Diode)

SEAL

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DESCRIPTION

NEW
CONSTRUCTION

SCALE

NTS

SHEET TITLE

ELECTRICAL NOTES

SHEET #

E1.04

Sec. 98-395. - Minimum and maximum dimensions.

- (a) *Minimum lot area per dwelling.* The minimum lot area per dwelling unit in the SF-10 single-family district-10 shall be 10,000 square feet, subject to section 98-1023.
- (b) *Minimum lot width.* The minimum lot width for residential uses in the SF-10 single-family district-10 shall be 70 feet, subject to section 98-1024.
- (c) *Minimum floor area per unit.* The minimum floor area per dwelling unit in the SF-10 single-family district-10 shall be 1,800 square feet, subject to section 98-1025.
- (d) *Minimum front yard.* The minimum front yard for all uses in the SF-10 single-family district-10 shall be 25 feet, subject to section 98-1026.
- (e) *Minimum side yard.* The minimum side yard in the SF-10 single-family district-10 shall be ten feet for all uses, subject to section 98-1027.
- (f) *Minimum rear yard.* The minimum rear yard in the SF-10 single-family district-10 shall be 25 feet, subject to section 98-1028.
- (g) *Maximum lot coverage.* The maximum lot coverage in the SF-10 single-family district-10 shall be 40 percent for all uses, subject to section 98-1029.
- (h) *Maximum floor area ratio.* There shall be no maximum floor area requirement in the SF-10 single-family district-10.
- (i) *Maximum height.* The maximum height of buildings and structures in the SF-10 single-family district-10 shall be three stories or 35 feet for all uses, subject to section 98-1031.

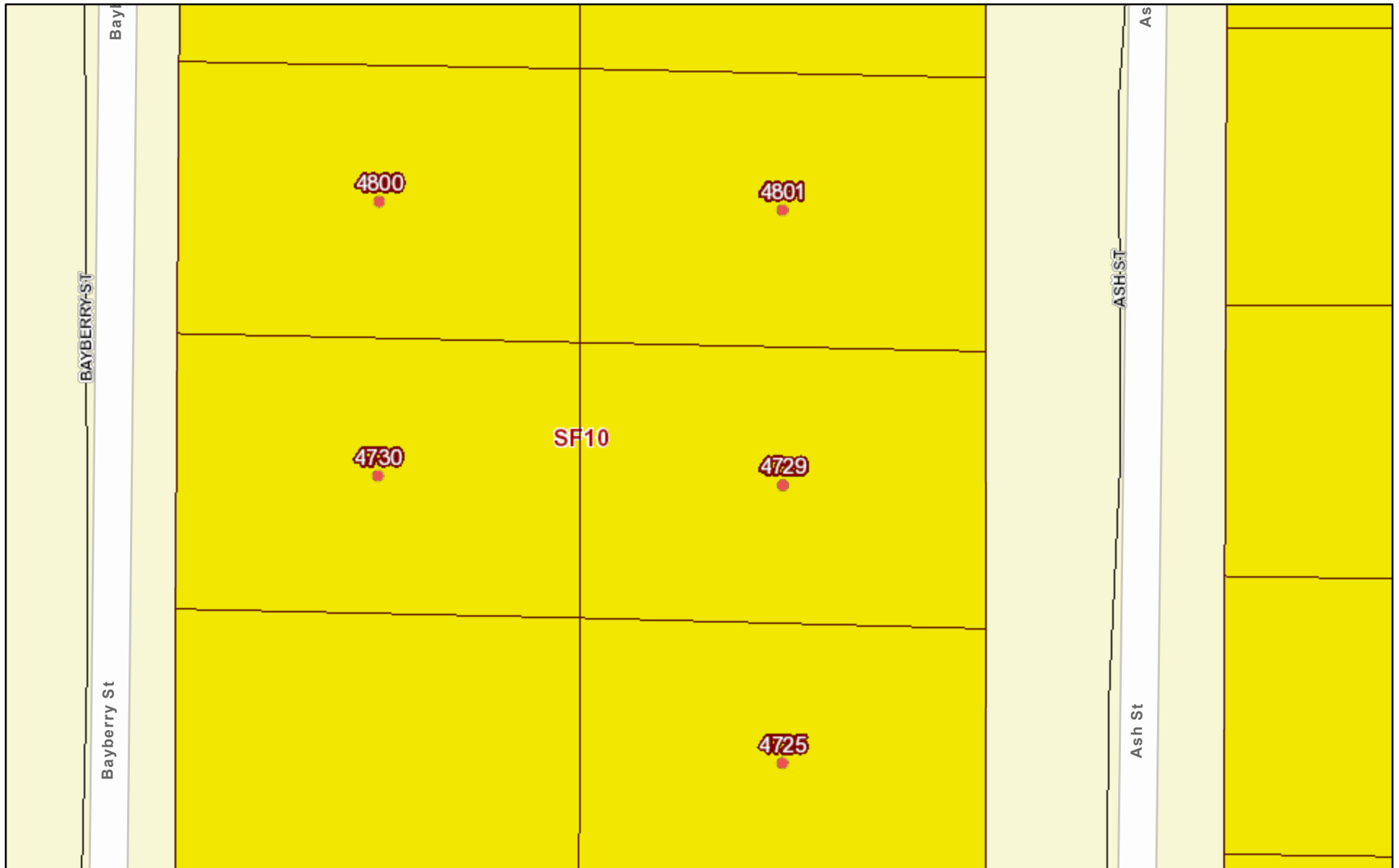
(Code 1989, ch. 12, § 3.12(e)—(m))

Sec. 98-1029. - Maximum lot coverage.

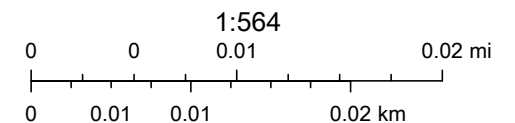
- (a) *Generally.* The size of buildings shall comply with the maximum lot coverage standards contained in the district regulations and summarized in the residential and nonresidential dimensional regulations schedules, as may be modified by additional provisions in the district regulations, in this section or elsewhere in this chapter.
- (b) *Measurement.* Lot coverage refers to the percentage of the lot area covered by the foundation or first floor of the main and all accessory buildings. In all districts permitting residential structures, the main residential building and all accessory buildings shall not cover more than 50 percent of that portion of the lot lying to the rear of a line joining the mid-point on one side lot line with the mid-point of the opposite side lot line.

(Code 1989, ch. 12, § 3.06(i))

ZONING MAP



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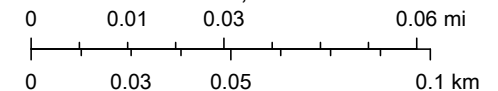
Town of Flower Mound, DCAD, TAD, Esri Community Maps Contributors,
Town of Flower Mound, Texas Parks & Wildlife, © OpenStreetMap, Microsoft,

200' PROPERTY OWNER NOTICE MAP



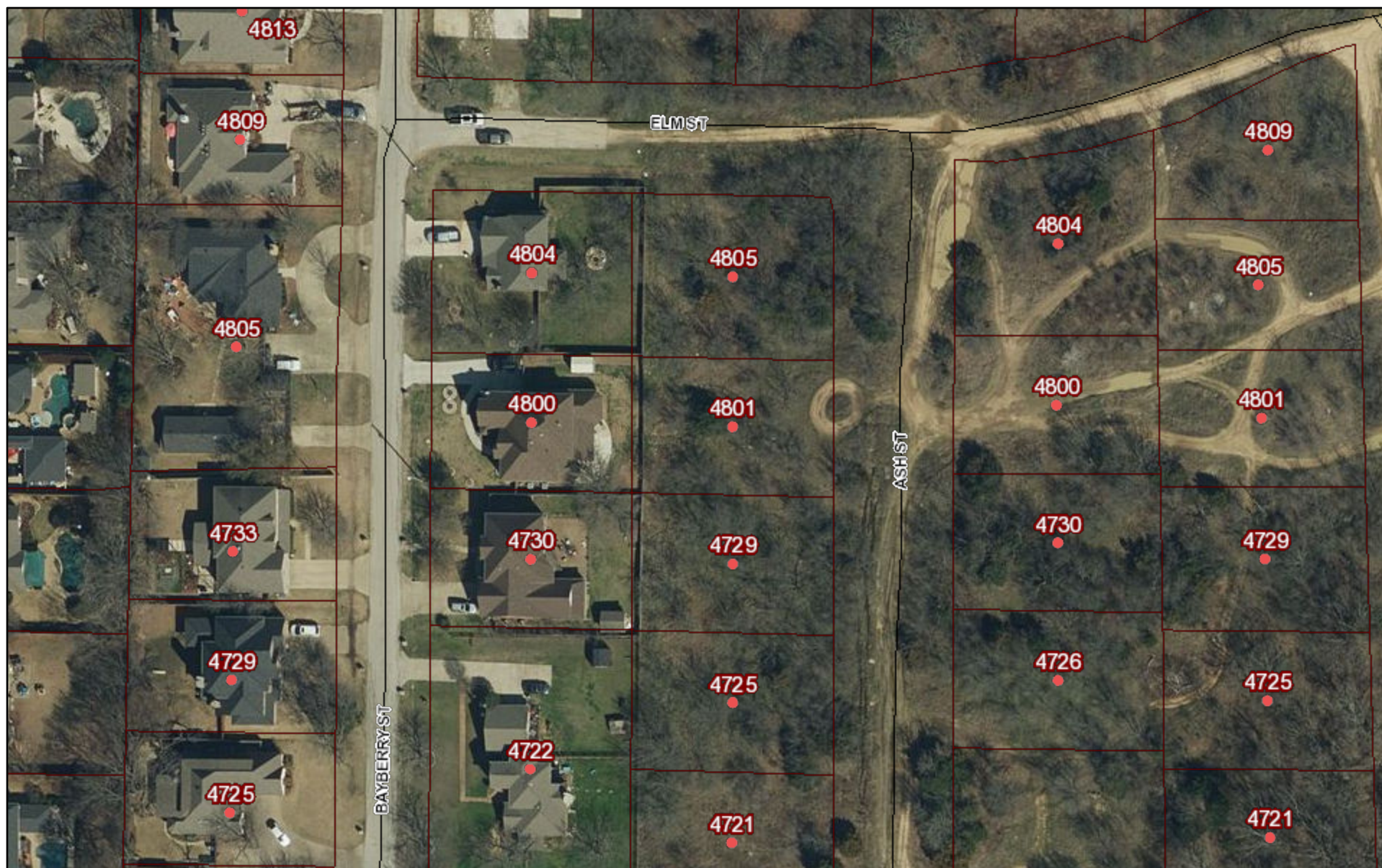
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1:2,257

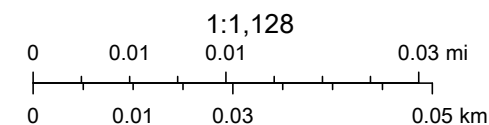


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AERIAL PHOTOGRAPH



9/20/2022, 12:53:30 PM



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 Town of Flower Mound, Texas Parks & Wildlife, © OpenStreetMap, Microsoft,

PUBLIC HEARING

Notice is hereby given that the Board of Adjustment of the Town of Flower Mound, Texas, will hold a public hearing on Wednesday, October 12, 2022 at 6:30pm. The meeting will be held at the Flower Mound Town Hall, 2121 Cross Timbers Road, or via Virtual Meeting (Video Conference). If the meeting is held via video conference, login and public access details will be made available on the first page of the meeting agenda posted to the Town's Agenda Center page at <https://www.flower-mound.com/agendacenter>. The purpose of the hearing is to consider a request from Arielle Comer for a variance from Section 98-395(g) – "Minimum and maximum dimensions" of the Code of Ordinances. The property is generally located North of Cross Timbers Rd and West of Long Prairie Rd and is locally known as 4729 Ash St, Lot 14, Block 21 of the Pecan Acres subdivision.

Tasha Coates
Plans Review Manager
Town of Flower Mound

To Run in Denton Record Chronicle: Friday, September 30th, and Saturday/Sunday (print edition), October 1st, 2022 & October 2nd, 2022
To Run in Lewisville/Flower Mound/Highland Village Neighbors: Friday, September 30th, 2022

Denton Record Chronicle:
FAX: 940-381-9667
Attn: Ann
e-mail: classads@dentonrc.com
Attn: Legal Notice Rep

ANY QUESTIONS OR PROBLEMS PLEASE CALL Tasha Coates at 972-874-6367.

(Ref: Case No. BOA22-0003)

Town of Flower Mound Account Number: 100041132



September 27, 2022

Board of Adjustment Case No. BOA22-0003

**NOTICE OF APPLICATION
FOR A VARIANCE TO THE LAND DEVELOPMENT CODE
FOR THE TOWN OF FLOWER MOUND**

A request has been received from Arielle Comer for a variance from Section 98-395(g) – “Minimum and maximum dimensions” of the Code of Ordinances. The property is generally located North of Cross Timbers Rd and West of Long Prairie Rd and is locally known as 4729 Ash St, Lot 14, Block 21 of the Pecan Acres subdivision.

The Board of Adjustment of the Town of Flower Mound, Texas will hold a public hearing on this request on **Wednesday, October 12, 2022, at 6:30 p.m. at the Flower Mound Town Hall, 2121 Cross Timbers Road (FM 1171), or via Virtual Meeting (Video Conference).** **If the meeting is held via video conference, login and public access details will be made available on the first page of the meeting agenda posted to the Town's Agenda Center page at <https://www.flower-mound.com/agendacenter>.** As an interested property owner, you are requested to make your views known by attending this hearing. If you cannot attend the hearing, it is requested that you express your views by email to BOA@flower-mound.com. Please note that Board members are unable to reply to your message(s) due to Open Meetings regulations. In addition, correspondence received two hours prior to the meeting start time may not be read as Board members are preparing for the meeting. Please note that your correspondence is considered public information; however, your email address, or other information deemed confidential by law, would not be disclosed.

Sincerely,

Tasha Coates
Plans Review Manager

PARCEL	ADDRESS	OWNER NAME	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP
R13991	4804 Ash St	WOZNIAK, CEZARY & EDYTA	2601 MAYWOOD CT	FLOWER MOUND	TX	75028
R13994	4800 Ash St	WOZNIAK, CEZARY & EDYTA	2601 MAYWOOD CT	FLOWER MOUND	TX	75028
R13996	4730 Ash St	AYOUBI, SAMMY S	14421 ADMIRAL DR APT 4209	FORT WORTH	TX	76155
R13999	4726 Ash St	AYOUBI, SAMMY S	14421 ADMIRAL DR APT 4209	FORT WORTH	TX	76155
R14047	4725 Plum St	HALLAK FAMILY TRUST, HALLAK RIM TRUSTEE	257 PHEASANT HILL DR	ROCKWALL	TX	75032
R14048	4729 Plum St	FAULK, MELVA DORIS & ROBBS, BETH TRS FAULK REVOCABLE TRUST	2252 GRAHAM GROVE RD	COLLINSVILLE	TX	76233
R14049	4801 Plum St	HALLAK FAMILY TRUST, HALLAK RIM TRUSTEE	257 PHEASANT HILL DR	ROCKWALL	TX	75032
R14051	4804 Bayberry St	MARTINEZ, CHRIS GUZMAN & AMANDA CHRISTINE	4804 BAYBERRY ST	FLOWER MOUND	TX	75028
R14058	4800 Bayberry St	SAFCIK, WILLIAM III & IVY	4800 Bayberry St	Flower Mound	TX	75028
R14059	4730 Bayberry St	IODANESCU, IORDAN & ADRIANA LIFE ESTATE ETAL	4730 BAYBERRY ST	FLOWER MOUND	TX	75028
R14067	4718 Bayberry St	LOMBARD, LEON L	4714 BAYBERRY ST	FLOWER MOUND	TX	75028
R14075	4717 Ash St	PUENTE, JORGE & ELIDA	4717 ASH ST	FLOWER MOUND	TX	75028
R14076	4721 Ash St	TRAN, TOMMY	3415 SPRING MEADOW LN	FLOWER MOUND	TX	75028
R14077	4725 Ash St	WISE, LYLE E	8281 COUNTY ROAD 134	CELINA	TX	75009
R14078	4729 Ash St	WISE, LYLE E	8281 COUNTY ROAD 134	CELINA	TX	75009
R14079	4801 Ash St	MOOSAVI, AMIR	185 CANYON OAKS DR	ARGYLE	TX	76226
R14080	4805 Ash St	WISE, LYLE E	8281 COUNTY ROAD 134	CELINA	TX	75009
R14115	4733 Bayberry St	STILLWELL, MELISSA ANNE	4733 BAYBERRY ST	FLOWER MOUND	TX	75028
R14116	4729 Bayberry St	IRIZARRY, ISMARIE TORRES & VELEZ, JOSE ALBERTO DELGADO	4729 BAYBERRY ST	FLOWER MOUND	TX	75028
R14118	4725 Bayberry St	KWON, DOO & JUNG	4725 BAYBERRY ST	FLOWER MOUND	TX	75028
R169370	4718 Ash St	STARR HOMES LLC	4626 SPRUCE ST	FLOWER MOUND	TX	75028
R184972	4722 Bayberry St	HAYNES, DAVID	4722 BAYBERRY ST	FLOWER MOUND	TX	75028
R215726	4805 Bayberry St	DRAKE, VICTORIA MARIE & SMITH, KEVIN	4805 BAYBERRY ST	FLOWER MOUND	TX	75028