

Planning & Zoning Commission



January 8, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flower-mound.com or by calling 972.874.6350 and leaving a message.

AGENDA

A. CALL TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

E. COORDINATION OF CALENDARS

1. Monday, January 22, 2024
2. Monday, February 12, 2024

F. FUTURE AGENDA ITEM(S)

G. STAFF/DIRECTOR REPORT

1. Town Council meeting dates.

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of December 11, 2023 - Consider approval of the minutes from the December 11, 2023, Planning & Zoning Commission meeting.

I. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town’s development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. ZPD23-0006 – Hopewell Gerault Industrial - Public Hearing to consider an ordinance amending the zoning (ZPD23-0006 – Hopewell Gerault Industrial) from Planned Development District No. 174 (PD-174) with Campus Industrial District (CI) uses to Planned Development District No.199 (PD-199) with Campus Industrial District (CI) uses. The property is generally located south of Lakeside Parkway and east of Gerault Road.
2. MU23-0003 - Lakeside DFW MU-TEN & MU-C(3) Material Text Amendment - Public Hearing to consider an ordinance for rezoning (MU23-0003 – Lakeside DFW MU-TEN & MU-C(3) Material Text Amendment) to amend Mixed Use District-1 (MU-1) to amend the Architecture and Building Standards, specifically Section 7.1 B. Materials, for the MU-TEN and MU-C(3) subzones in the Lakeside DFW (Lakeside Village) Development Code. The property is generally located south of Edgemere Road and west of International Parkway. ***(Staff requests this item be postponed to January 22, 2024).***

J. ADJOURN

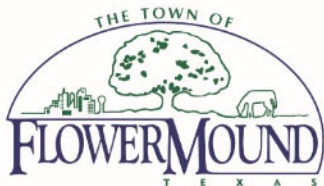
Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the Notice of Meeting was posted on the bulletin board at the Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town’s website in accordance with GC Section 551.056 on the following date and time: January 5, 2024, at 10:00 a.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



December 11, 2023
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Gilmore called the meeting to order at 6:30 p.m. with the following members present:

Donald Gilmore, Place 6, Chair
Janvier Werner, Place 3, Vice Chair
Gregory Schultz, Place 1
Jason Hobbs, Place 2
Brady Kilpper, Place 4
Scott Langley, Place 5
Scott Jostes, Place 7
Cheryl Moore, Place 8 Alternate
Todd Bayuk, Place 9 Alternate

with the following member(s) absent:
None

constituting a quorum with the following members of the Town Staff participating:

Rachel Raggio, Town Attorney
Lexin Murphy, Director of Development Services
Bob Pegg, Assistant Director of Engineering
Poornima Kashyap, Planning Manager
John Chapman, Principal Planner
Claire Barnes, Planner
LauriAnn Cash, Executive Assistant

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Speaker name and address	Subject (as written on the form)
Eric Denkhoff, 1705 Marble Pass	In support of SP22-0017

** Indicates person did not wish to speak*

E. COORDINATION OF CALENDARS

The next two Planning & Zoning Commission meetings will be held Monday, January 8, 2023 and Monday, January 22, 2023.

F. FUTURE AGENDA ITEM(S)

None

G. STAFF/DIRECTOR REPORT

1. Development Update
2. Development Process Overview
3. Accessory Dwelling Unit Discussion
4. Underground Utilities Discussion

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of November 13, 2023 - Consider approval of the minutes from the November 13, 2023, Planning & Zoning meeting.

ACTION: Vice-Chair Werner moved to approve H.1. as presented in the agenda caption. Commissioner Langley seconded the motion.

AYES: Kilpper, Jostes, Werner, Hobbs, Langley, Schultz

NAYS: None

RESULT: 6 : 0

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP22-0017 - The Brokerage at Stone Hill Farms Retail Addition No.2 - Consider a Site Plan (SP22-0017 – The Brokerage at Stone Hill Farms Retail Addn No. 2) to develop an office building. The property is generally located west of Stone Hill Farms Parkway and south of Justin Road.

STAFF PRESENTATION:

Claire Barnes, Planner

APPLICANT PRESENTATION:

Michael Bates, Bates Martin Architects; present for questions, no presentation
Steven Homeyer, Homeyer Engineering; present for questions, no presentation
Steve Koehler, The Koehler Co.; present for questions, no presentation
Cheryl Hopkin, The Brokerage; present for questions, no presentation
Cristin Hopkin-Boshop, The Brokerage; present for questions, no presentation

ACTION: Vice-Chair Werner moved to approve I.1. as presented in the agenda caption. Commissioner Jostes seconded the motion.

AYES: Kilpper, Jostes, Werner, Hobbs, Langley, Schultz

NAYS: None

RESULT: 6 : 0

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. ZPD23-0004 - Titensor Dental - Public Hearing to consider an ordinance for rezoning (ZPD23-0004 – Titensor Dental) to amend Planned Development No.

64 (PD-64) with Office District and Retail District-1 uses to modify the conceptual plans, add conceptual elevations, and modify the development standards, with certain modifications and exceptions to the Code of Ordinances. The property is generally located west of Long Prairie Road and north of Bob White Lane.

At 7:07 p.m. Vice-Chair Werner recused herself from the Council Chambers.

STAFF PRESENTATION:

Claire Barnes, Planner

APPLICANT PRESENTATION:

Brett Titensor, Titensor Dental

Tim Shoemaker, RTM Engineering

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SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION:

Commissioner Schultz moved to recommend approval of J.1. as presented in the agenda caption and with the condition that the retention pond match the wall and fence design proposed by the Embree development. Commissioner Kilpper seconded the motion.

AYES:

Kilpper, Jostes, Hobbs, Langley, Schultz

NAYS:

None

RECUSED:

Werner

RESULT:

5 : 0

At 7:38 p.m. Vice-Chair Werner returned to the Council Chambers.

2. ZPD23-0008 - Robertson's Creek Addition Lot 4ARA, Block A Signage Amendment - Public Hearing to consider an ordinance for rezoning (ZPD23-0008- Robertson's Creek Addition Lot 4ARA, Block A Signage Amendment) to amend Planned Development District-95 (PD-95) with Retail District-2 uses by amending the comprehensive sign standards of PD-95 to allow additional signage for Lot 4ARA, Block A. The property is generally located south of Dixon Lane and west of Long Prairie Road at 5891 Long Prairie Road.

STAFF PRESENTATION:

Claire Barnes, Planner

APPLICANT PRESENTATION:

Taylor Tompkins, Willow Creek Signs; present for questions, no presentation

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SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Schultz moved to recommend approval of J.2. as presented in the agenda caption. Commissioner Jostes seconded the motion.

AYES: Kilpper, Jostes, Werner, Hobbs, Langley, Schultz

NAYS: None

RESULT: 6 : 0

K. ADJOURN

Chair Gilmore adjourned the meeting at 7:53 p.m.

TOWN OF FLOWER MOUND, TEXAS

DON GILMORE, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA I.1. REGULAR ITEM(S)

DATE: January 8, 2024
FROM: Chuck Russell, Principal Planner
ITEM: **Public Hearing to consider an ordinance amending the zoning (ZPD23-0006 – Hopewell Gerault Industrial) from Planned Development District No. 174 (PD-174) with Campus Industrial District (CI) uses to Planned Development District No.199 (PD-199) with Campus Industrial District (CI) uses. The property is generally located south of Lakeside Parkway and east of Gerault Road.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

On November 4, 2019, the Town Council approved an ordinance for the subject property establishing Planned Development District-174 (PD-174) with Campus Industrial (C-I) uses. The approved concept plan allowed for the development of a single tenant office building consisting of two phases and containing approximately 98,710 square feet. The office project was not constructed and the subject property remains undeveloped.

The applicant is proposing to develop the site with two warehouse and distribution buildings, each with an office component. Both buildings are one-story in height, the first building will contain 64,406 square feet and the second with contain 59,504 square feet (123,910 total square feet). Since the existing approved conceptual plans with PD-174 are specific to the development of an office building, the proposed development necessitates an amendment to the existing zoning.

Prior to the approval of PD-174, the subject property was a part of PD-83 (Lakeside Ranch). The overall conceptual plan for Lakeside Ranch contemplated two warehouse distribution buildings being constructed on the subject property similar to what is being proposed now. The subject property is located within the Lakeside Business District Area Plan with Campus Industrial uses. The proposed zoning change is in compliance with the Town's Master Plan.

Access to the site is provided through existing mutual access drives to the south and northeast as well as a new driveway entrance on Gerault Road that lines up with an existing median opening. Required parking for the proposed buildings is one space per 250 square feet of office and one space per 2,000 square feet of warehouse space. The total number of required parking spaces is 94 and the concept plan depicts 111 spaces which is within the Town's allowable 20 percent parking deviation. A shared parking agreement will be established between the two building sites at the time

of site plan and platting.

The conceptual landscape plan depicts required street buffer, street yard, and parking lot trees that meet or exceed the Town's landscaping requirements. The proposed building is predominately textured tilt wall masonry with stone accents and complies with the Town's Urban Design Plan.

BOARD REVIEW/CITIZEN FEEDBACK:

I. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. ZPD23-0006 had a total of 19 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

ATTACHMENTS:

1. Letter of Intent
2. Zoning Planned Development Package
3. Draft Development Standards

DRAFT MOTION: Move to approve as presented in the agenda caption.



August 07, 2023

Town of Flower Mound
Planning & Zoning Committee
2121 Cross Timbers Road
Flower Mound, TX 75028

**EXHIBIT A – STATEMENT OF INTENT
APPLICATION FOR REZONING - TOWN OF FLOWER MOUND, TEXAS**

Kimley-Horn on behalf of Hopewell Development II, LP (the “Developer”) request a rezoning of the approximately 7.8 acres of land located at the SE corner of Gerault Rd. and Lakeside Pkwy. and identified by Denton County parcel numbers, (524213 and 524212) (the “Property”) from planned development (PD) with Campus Industrial Use (CI) uses to planned development with Campus Industrial Use (CI). A rezone of the property is necessary to develop the property as shown in the proposed concept plan.

The property is adjacent to Campus Industrial Use zoning on the north, east, and south side of the property, as well as Industrial 2 zoning on the west side of the property. The proposed zoning of PD with Campus Industrial use is consistent with the future land use plan and adjoining uses and is not anticipated to adversely affect adjoining properties.

The purpose of this PD is to allow the property to be developed for two office and warehouse speculative use buildings with a footprint of 64,681 square feet (SF), and 59,607 SF and supporting paving and utility infrastructure. This type of product allows for a variety of wholesale tenants to utilize the space and is typically associated with light manufacturing activities. This development will utilize Town of Flower Mound water, sewer, and storm infrastructure and is not anticipated to adversely affect the existing infrastructure capacity.

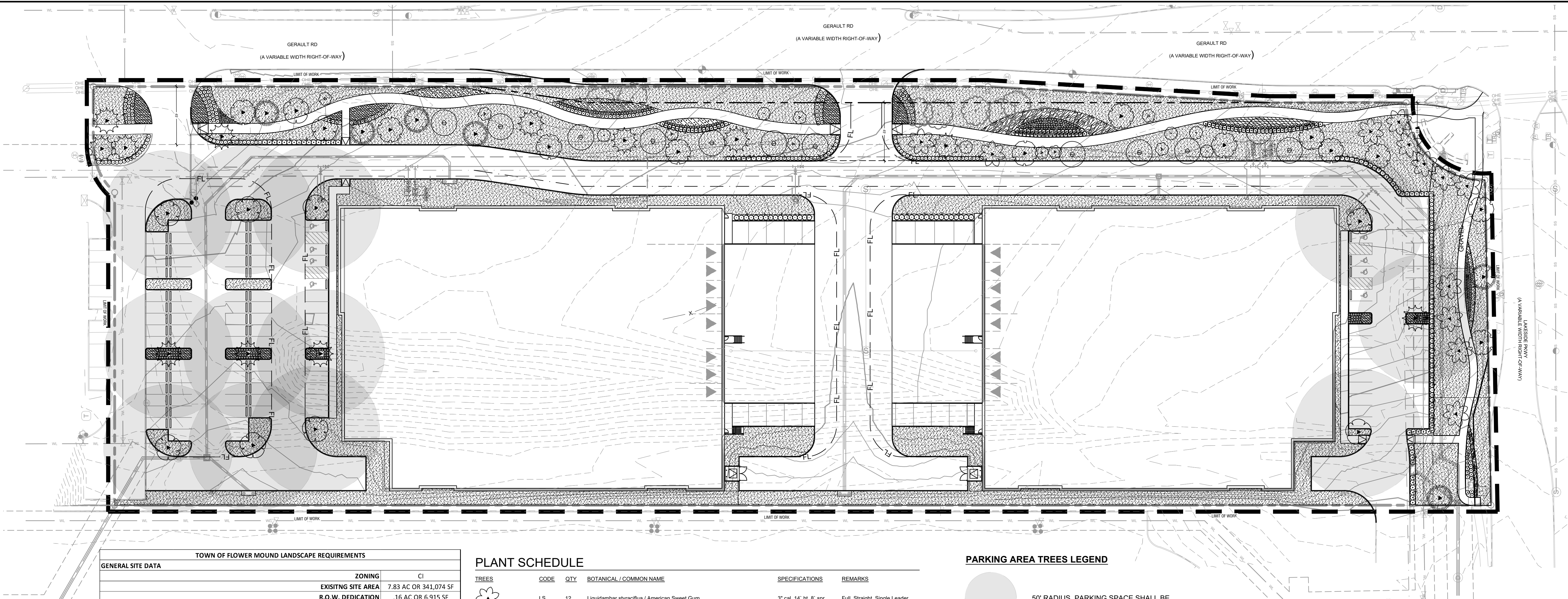
The developer has determined that the developed property will meet the need for office and warehouse demand in the Town of Flower Mound, as well as determined that the proposed development will meet the necessary thresholds needed for the development to be considered economically viable. After the rezoning is complete, the developer intends to submit development plans, site plan application and civil drawings for the site following our tentatively scheduled Town Council meeting. Following the approval of the civil engineering drawings a final plat to combine the existing 2 parcels into one property will be submitted to the Town of Flower Mound.

We respectfully ask for your consideration and approval of this rezoning request.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tyler Scott'.

Tyler Scott, P.E.
Kimley-Horn,
Project Manager

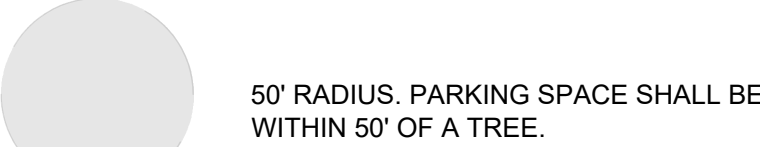


TOWN OF FLOWER MOUND LANDSCAPE REQUIREMENTS		
GENERAL SITE DATA		
	ZONING	CI
	EXISTING SITE AREA	7.83 AC OR 341,074 SF
	R.O.W. DEDICATION	.16 AC OR 6,915 SF
	PROPOSED SITE AREA	7.67 AC OR 334,159 SF
STREET YARD - GERAULT RD. - TOTAL STREET YARD S.F. 90,130 S.F.	REQUIRED	PROVIDED
10 CANOPY TREES / FIRST 10,000 S.F. 10,000 S.F. = 10 TREES	10 CANOPY TREES	10 CANOPY TREES
1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F. 90,130 S.F. - 10,000 = 80,130/ 2,500 = 32 TREES	32 CANOPY TREES	26 CANOPY TREES 5 ORNAMENTAL TREES (15/3 = 5 TREES) 8 EXISTING CANOPY TREES
STREET YARD - LAKESIDE PKWY - TOTAL STREET YARD S.F. 28,900 S.F.	REQUIRED	PROVIDED
10 CANOPY TREES / FIRST 10,000 S.F. 10,000 S.F. = 10 TREES	10 CANOPY TREES	10 CANOPY TREES
1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F. 28,900 S.F. - 10,000 = 18,900 S.F. / 2,500 = 7.56 = 8 TREES	8 CANOPY TREES	8 CANOPY TREES
STREET BUFFER - GERAULT RD. - TOTAL STREET YARD S.F. 900 L.F.	REQUIRED	PROVIDED
1 CANOPY TREE / 30 L.F. 900 L.F. / 30 L.F. = 30	30 CANOPY TREES	44 CANOPY TREES
STREET BUFFER - LAKESIDE PKWY - TOTAL STREET YARD 252.64 L.F.	REQUIRED	PROVIDED
1 CANOPY TREE / 30 L.F. 252.64 L.F. / 30 L.F. = 8.4 = 9	9 CANOPY TREES	10 CANOPY TREES
STREET YARD LANDSCAPE- GERAULT RD.-TOTAL STREET YARD 90,130 S.F.	REQUIRED	PROVIDED
MIN. 20% OF STREET YARD SHALL BE LANDSCAPE	18,026S. F.	39,553 S.F.
90,130 S.F X .20 = 18,026 S.F.		
STREET YARD LANDSCAPE- LAKESIDE PKWY- TOTAL STREET YARD 28,900 S.F.	REQUIRED	PROVIDED
MIN. 20% OF STREET YARD SHALL BE LANDSCAPE 29,900 S.F X .20 = 5,780 S.F.	5,780 S.F.	9,841 S.F.
PARKING LOT TREES- TOTAL PARKING SPACES 111	REQUIRED	PROVIDED
1 TREE / 10 PARKING SPACE ALL PACES ARE WITHIN 50' OF A TREE 111 / 10 = 11.1 = 12	12 TREES	12 TREES
PARKING LOT LANDSCAPE= TOTAL PARKING SPACES 111	REQUIRED	PROVIDED
LANDSCAPE AREA WITHIN OFF STREET PARKING SHOULD HAVE A MIN. OF 90 S.F. PER 12 SPACES. 111 / 12 = 9.25 * 90 = 832.5	832.5 S.F.	985 S.F.
SCREENING OF SURFACE PARKING LOT		
	REQUIRED	PROVIDED
SCREENING TO EXTEND ENTIRE STREET FRONTAGE OF SURFACE PARKING LOT. PLANTING MATERIALS TO BE MIN. 36" IN HEIGHT.	YES	YES
PARKING AREA TREES		
	REQUIRED	PROVIDED
ALL PARKING SPACES MUST BE LOCATED WITHIN 50' OF A TREE	YES	YES

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
LS	12		Liquidambar styraciflua / American Sweet Gum	3" cal, 14' ht, 8" spr	Full, Straight, Single Leader
MG	12		Magnolia grandiflora / Southern Magnolia	3" cal, 12' ht, 5'-7" spr	Full, Straight, Single Leader
QS	6		Quercus shumardi / Shumard Red Oak	3" cal, 14' ht, 5'-6" spr	Full, Straight, Single Leader
QV	12		Quercus virginiana / Southern Live Oak	3" cal, 16' ht, 6" spr	Full, Straight, Single Leader
TD	12		Taxodium distichum / Bald Cypress	3" cal, 14' ht, 5" spr	Full, Straight, Single Leader
UC	10		Ulmus crassifolia / Cedar Elm	3" cal, 14' ht, 6" spr	Full, Straight, Single Leader
ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
JS	32		Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	3" cal, 10' ht, 4" spr	Full, Straight, Single Leader
LN	6		Lagerstroemia x 'Natchez' / Crape Myrtle Natchez	3" cal, 14' ht, 6" spr	Full, Single Leader
MC	9		Myrica cerifera / Wax Myrtle	3" cal, 14' ht, 5" spr	Full, Multi-Trunk
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
ABE	109		Abelia x grandiflora / Glossy Abelia	24" ht, 18" spr, 36" oc	Full
HES	336		Hesperaloe parviflora / Red Yucca	18" ht, 18" spr, 24" oc	Full
IXH	48		Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	36" ht, 24" spr, 48" oc	Full
LGG	171		Loropetalum chinense / Loropetalum	24" ht, 18" spr, 36" oc	Full
MCW	86		Myrica cerifera / Wax Myrtle	36" ht, 24" spr, 48" oc	Full
PAS	75		Perovskia atriplicifolia / Russian Sage	18" ht, 18" spr, 24" oc	Full
PC2	41		Prunus caroliniana / Carolina Cherry Laurel	36" ht, 24" spr, 48" oc	Full
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
EUF	509		Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.
MIX 1	570		Hemerocallis fulva 'Aztec Gold' /Liriope muscari / Aztec Gold Daylily/Liriope	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
LHG	539		Lantana x 'New Gold' / New Gold Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
MISC	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
SOD	TBD		Cynodon dactylon / Common Bermuda		Solid sod, rolled tight with sand filled joints 100% weed, disease, and pest free
MULCH	TBD		Shredded hardwood mulch		3" depth. All trees in sod to receive a 4" dia. mulch ring
STEEL EDGING	TBD				3/16" x 4", Black

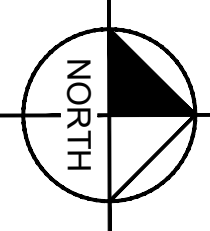
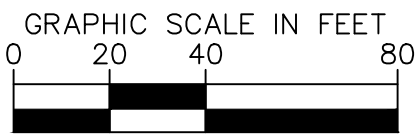
PARKING AREA TREES LEGEND

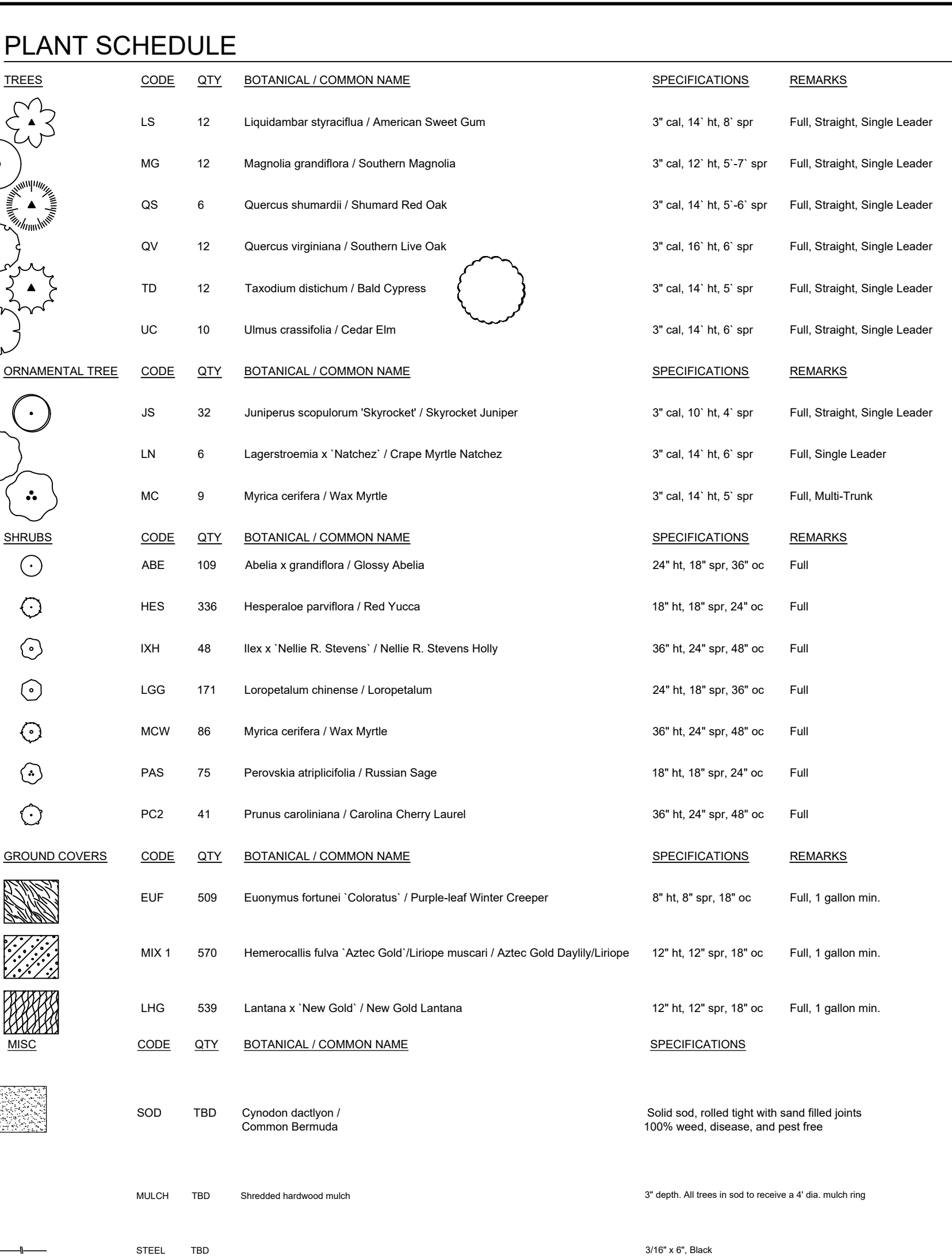


NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

LANDSCAPE TREE PRECENTAGE					
COMMON NAME	# OF TREES	SPECIES	% OF SPECIES	GENUS	% OF GENUS
AMERICAN SWEET GUM	12	STYRACIFLUA	19%	LIQUIDAMBAR	19%
SOUTHERN MAGNOLIA	12	GRANDIFLORA	19%	MAGNOLIA	19%
SHUMARD RED OAK	6	SHUMARDII	9%	QUERCUS	28%
SOUTHERN LIVE OAK	12	VIRGINIANA	19%	QUERCUS	
BALD CYPRESS	12	DISTICHUM	19%	TAXODIUM	19%
CEDAR ELM	10	CRASSIFOLIA	16%	ULMUS	16%
TOTAL # OF TREES	64				





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STREET YARD LANDSCAPE- LAKESIDE PKWY- TOTAL STREET YARD 28,900 S.F. MIN. 20% OF STREET YARD SHALL BE LANDSCAPE 29,900 S.F X .20 = 5,780 S.F.	REQUIRED 5,780 S.F.	PROVIDED 9,841 S.F.
PARKING LOT TREES- TOTAL PARKING SPACES 111 1 TREE / 10 PARKING SPACE ALL PACES ARE WITHIN 50' OF A TREE 111 / 10 = 11.1 = 12	REQUIRED 12 TREES	PROVIDED 12 TREES
PARKING LOT LANDSCAPE= TOTAL PARKING SPACES 111 LANDSCAPE AREA WITHIN OFF STREET PARKING SHOULD HAVE A MIN. OF 90 S.F. PER 12 SPACES. 111 / 12 = 9.25 * 90 = 832.5	REQUIRED 832.5 S.F.	PROVIDED 985 S.F.
SCREENING OF SURFACE PARKING LOT		
SCREENING TO EXTEND ENTIRE STREET FRONTAGE OF SURFACE PARKING LOT. PLANTING MATERIALS TO BE MIN. 36" IN HEIGHT.	REQUIRED YES	PROVIDED YES
PARKING AREA TREES		
ALL PARKING SPACES MUST BE LOCATED WITHIN 50' OF A TREE	REQUIRED YES	PROVIDED YES

[illegible]



<u>ORNAMENTAL TREE</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>
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NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

STREET YARD - GERALD RD. - TOTAL STREET YARD S.F. 90,130 S.F. <u>10 CANOPY TREES / FIRST 10,000 S.F.</u> 10,000 S.F. = 10 TREES
<u>1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F.</u> 90,130 S.F. - 10,000 = 80,130 / 2,500 = 32 TREES

STREET YARD - LAKESIDE PKWY - TOTAL STREET YARD S.F. 28,900 S.F.
10 CANOPY TREES / FIRST 10,000 S.F.
10,000 S.F. = 10 TREES
1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F.
28,900 S.F. - 10,000 = 18,900 S.F. / 2,500 = 7.56 = 8 TREES
STREET BUFFER - GERAUT RD. - TOTAL STREET YARD S.F. 900 L.F.

900 L.F. / 30 L.F. = 30

STREET BUFFER - LAKESIDE PKWY - TOTAL STREET YARD 252.64 L.F.

1 CANOPY TREE / 30 L.F.
252.64 L.F. / 30 L.F.= 8.4 = 9

STREET YARD LANDSCAPE, GERALD RD. TOTAL STREET YARD 90 120 S.F.

MIN. 20% OF STREET YARD SHALL BE LANDSCAPE
90,130 S.F. X .20 = 18,026 S.F.
STREET YARD LANDSCAPE, LAKESIDE PKWY. TOTAL STREET YARD 28,900 S.F.

MIN. 20% OF STREET YARD SHALL BE LANDSCAPE
29,900 S.F X .20 = 5,780 S.F.

PARKING LOT TREES- TOTAL PARKING SPACES 111

1 TREE / 10 PARKING SPACE ALL PACES ARE WITHIN 50' OF A TREE
 $111 / 10 = 11.1 = 12$

PARKING LOT LANDSCAPE= TOTAL PARKING SPACES 111

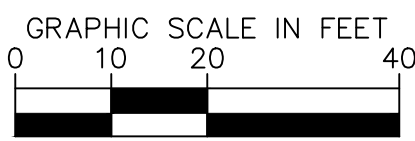
LANDSCAPE AREA WITHIN OFF STREET PARKING SHOULD HAVE A MIN. OF 90 S.F. PER 12 SPACES.

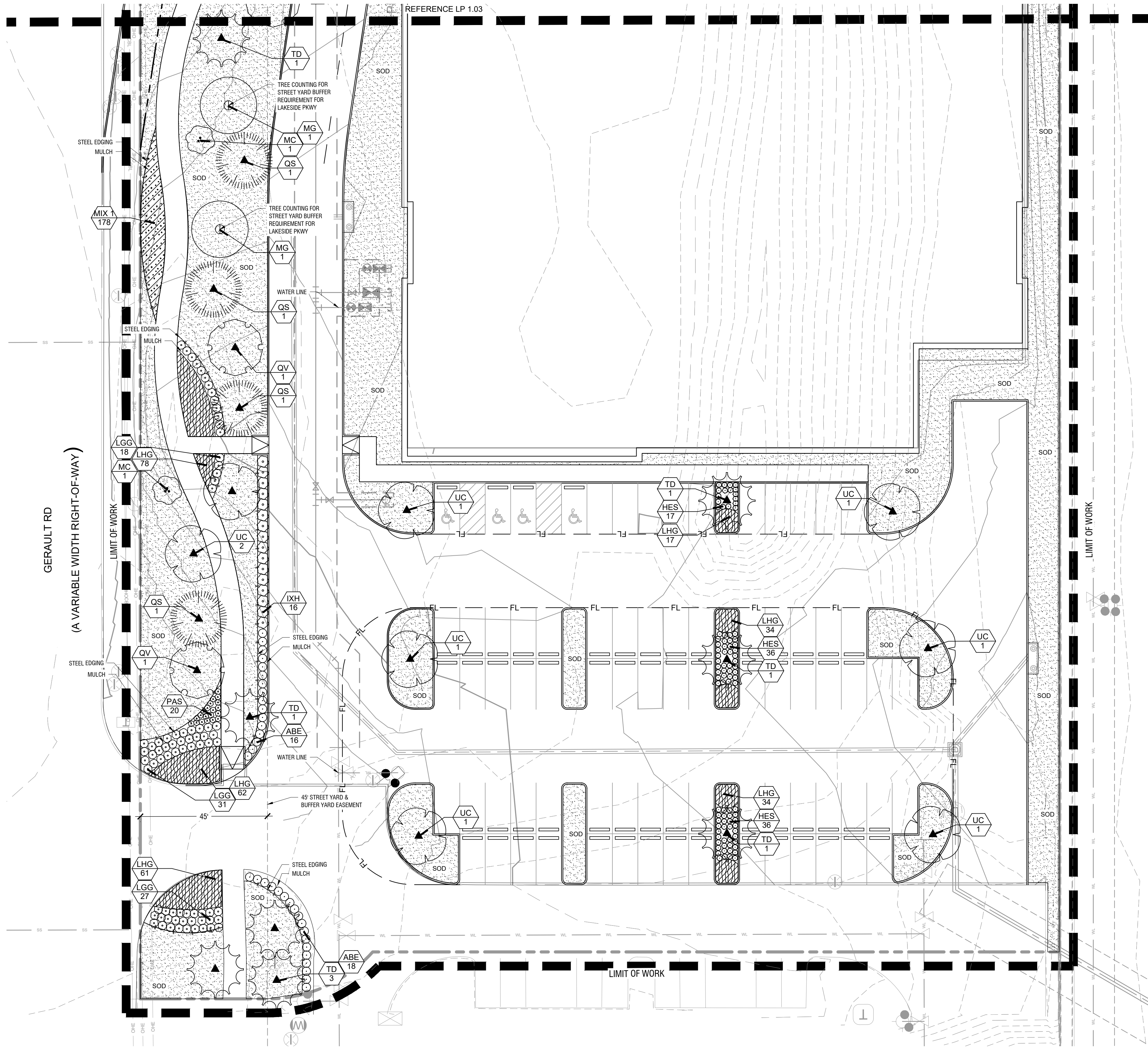
$111 / 12 = 9.25 * 90 = 832.5$

SCREENING OF SURFACE PARKING LOT

SCREENING TO EXTEND ENTIRE STREET FRONTAGE OF SURFACE PARKING LOT. PLANTING MATERIALS TO BE MIN. 36" IN HEIGHT.
PARKING AREA TREES

COMMON NAME	# OF TREES	SPECIES	% OF SPECIES	GENUS	% OF GENUS
AMERICAN SWEET GUM	12	STYRACIFLUA	19%	LIQUIDAMBAR	19%
SOUTHERN MAGNOLIA	12	GRANDIFLORA	19%	MAGNOLIA	19%
SHUMARD RED OAK	6	SHUMARDII	9%	QUERCUS	28%
SOUTHERN LIVE OAK	12	VIRGINIANA	19%	QUERCUS	28%
BALD CYPRESS	12	DISTICHUM	19%	TAXODIUM	19%
CEDAR ELM	10	CRASSIFOLIA	16%	ULMUS	16%
TOTAL # OF TREES	64				





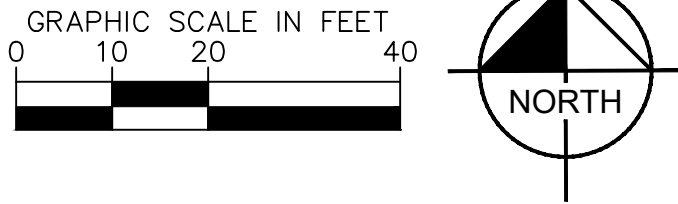
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	LS	12	Liquidambar styraciflua / American Sweet Gum	3" cal, 14' ht, 8" spr	Full, Straight, Single Leader
	MG	12	Magnolia grandiflora / Southern Magnolia	3" cal, 12' ht, 5'-7" spr	Full, Straight, Single Leader
	QS	6	Quercus shumardii / Shumard Red Oak	3" cal, 14' ht, 5'-6" spr	Full, Straight, Single Leader
	QV	12	Quercus virginiana / Southern Live Oak	3" cal, 16' ht, 6" spr	Full, Straight, Single Leader
	TD	12	Taxodium distichum / Bald Cypress	3" cal, 14' ht, 5" spr	Full, Straight, Single Leader
	UC	10	Ulmus crassifolia / Cedar Elm	3" cal, 14' ht, 6" spr	Full, Straight, Single Leader
ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	JS	32	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	3" cal, 10' ht, 4" spr	Full, Straight, Single Leader
	LN	6	Lagerstroemia x 'Natchez' / Crape Myrtle Natchez	3" cal, 14' ht, 6" spr	Full, Single Leader
	MC	9	Myrica cerifera / Wax Myrtle	3" cal, 14' ht, 5" spr	Full, Multi-Trunk
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	ABE	109	Abelia x grandiflora / Glossy Abelia	24" ht, 18" spr, 36" oc	Full
	HES	336	Hesperaloe parviflora / Red Yucca	18" ht, 18" spr, 24" oc	Full
	IXH	48	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	36" ht, 24" spr, 48" oc	Full
	LGG	171	Loropetalum chinense / Loropetalum	24" ht, 18" spr, 36" oc	Full
	MCW	86	Myrica cerifera / Wax Myrtle	36" ht, 24" spr, 48" oc	Full
	PAS	75	Perovskia atriplicifolia / Russian Sage	18" ht, 18" spr, 24" oc	Full
	PC2	41	Prunus caroliniana / Carolina Cherry Laurel	36" ht, 24" spr, 48" oc	Full
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	EUF	509	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.
	MIX 1	570	Hemerocallis fulva 'Azttec Gold' / Liriope muscari / Azttec Gold Daylily/Liriope	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	LHG	539	Lantana x 'New Gold' / New Gold Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
MISC	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	SOD	TBD	Cynodon dactylon / Common Bermuda		Solid sod, rolled tight with sand filled joints 100% weed, disease, and pest free
	MULCH	TBD	Shredded hardwood mulch	3" depth. All trees in sod to receive a 4" dia. mulch ring	

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

LANDSCAPE TREE PRECENTAGE					
COMMON NAME	# OF TREES	SPECIES	% OF SPECIES	GENUS	% OF GENUS
AMERICAN SWEET GUM	12	STYRACIFLUA	19%	LIQUIDAMBAR	19%
SOUTHERN MAGNOLIA	12	GRANDIFLORA	19%	MAGNOLIA	19%
SHUMARD RED OAK	6	SHUMARDII	9%	QUERCUS	28%
SOUTHERN LIVE OAK	12	VIRGINIANA	19%	QUERCUS	19%
BALD CYPRESS	12	DISTICHUM	19%	TAXODIUM	16%
CEDAR ELM	10	CRASSIFOLIA	16%	ULMUS	16%
TOTAL # OF TREES	64				



TOWN OF FLOWER MOUND LANDSCAPE REQUIREMENTS		
GENERAL SITE DATA		
	ZONING	CI
	EXISTING SITE AREA	7.83 AC OR 341,074 SF
	R.O.W. DEDICATION	.16 AC OR 6,915 SF
	PROPOSED SITE AREA	7.67 AC OR 334,159 SF
STREET YARD - GERAULT RD. - TOTAL STREET YARD S.F. 90,130 S.F.		
10 CANOPY TREES / FIRST 10,000 S.F. 10,000 S.F. = 10 TREES	REQUIRED	PROVIDED
	10 CANOPY TREES	10 CANOPY TREES
1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F. 90,130 S.F. - 10,000 = 80,130 / 2,500 = 32 TREES		26 CANOPY TREES 5 ORNAMENTAL TREES (15/3 = 5 TREES) 8 EXISTING CANOPY TREES
	32 CANOPY TREES	
STREET YARD - LAKESIDE PKWY - TOTAL STREET YARD S.F. 28,900 S.F.		
10 CANOPY TREES / FIRST 10,000 S.F. 10,000 S.F. = 10 TREES	REQUIRED	PROVIDED
	10 CANOPY TREES	10 CANOPY TREES
1 CANOPY TREE / PER EACH ADDITIONAL 2,500 S.F. 28,900 S.F. - 10,000 = 18,900 S.F. / 2,500 = 7.56 = 8 TREES		8 CANOPY TREES
	8 CANOPY TREES	8 CANOPY TREES
STREET BUFFER - GERAULT RD. - TOTAL STREET YARD S.F. 900 L.F.		
1 CANOPY TREE / 30 L.F. 900 L.F. / 30 L.F. = 30	REQUIRED	PROVIDED
	30 CANOPY TREES	44 CANOPY TREES
STREET BUFFER - LAKESIDE PKWY - TOTAL STREET YARD 252.64 L.F.		
1 CANOPY TREE / 30 L.F. 252.64 L.F. / 30 L.F. = 8.4 = 9	REQUIRED	PROVIDED
	9 CANOPY TREES	10 CANOPY TREES
STREET YARD LANDSCAPE- GERAULT RD.-TOTAL STREET YARD 90,130 S.F.		
MIN. 20% OF STREET YARD SHALL BE LANDSCAPE 90,130 S.F X .20 = 18,026 S.F.	REQUIRED	PROVIDED
	18,026 S.F.	39,553 S.F.
STREET YARD LANDSCAPE- LAKESIDE PKWY- TOTAL STREET YARD 28,900 S.F.		
MIN. 20% OF STREET YARD SHALL BE LANDSCAPE 28,900 S.F X .20 = 5,780 S.F.	REQUIRED	PROVIDED
	5,780 S.F.	9,841 S.F.
PARKING LOT TREES- TOTAL PARKING SPACES 111		
1 TREE / 10 PARKING SPACE ALL PACES ARE WITHIN 50' OF A TREE 111 / 10 = 11.1 = 12	REQUIRED	PROVIDED
	12 TREES	12 TREES
PARKING LOT LANDSCAPE= TOTAL PARKING SPACES 111		
LANDSCAPE AREA WITHIN OFF STREET PARKING SHOULD HAVE A MIN. OF 90 S.F. PER 12 SPACES. 111 / 12 = 9.25 * 90 = 832.5	REQUIRED	PROVIDED
	832.5 S.F.	985 S.F.
SCREENING OF SURFACE PARKING LOT		
SCREENING TO EXTEND ENTIRE STREET FRONTAGE OF SURFACE PARKING LOT. PLANTING MATERIALS TO BE MIN. 36" IN HEIGHT.	REQUIRED	PROVIDED
	YES	YES
PARKING AREA TREES		
ALL PARKING SPACES MUST BE LOCATED WITHIN 50' OF A TREE	REQUIRED	PROVIDED
	YES	YES

PROJECT No. 061311115
DATE: JANUARY 2024
SCALE: AS SHOWN
DESIGNED BY: BTM
DRAWN BY: BTM
CHECKED BY: MFP

HOPEWELL GERAULT INDUSTRIAL
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

LANDSCAPE PLAN
SHEET NUMBER
LP 1.04

Kimley»Horn

801 CHERRY ST. UNIT 11, STE 950, FORT WORTH, TX 76102
PHONE: 817-335-6511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. MICHAEL F. POLANSKI
L.A. No. 3479 Date: 01/04/2024

01/04/2024

REVISIONS

BY

DATE

Page 15 of 22

URBAN DESIGN PLAN

3. FACADE ARTICULATION

3.3. EACH BUILDING ELEVATION GREATER THAN 250 LINEAR FEET, SHOULD HAVE A MINIMUM OF THREE PLANES, EACH OFFSET BY A MINIMUM OF TWO FEET.

5. FACADE MATERIALS

5.1. ELEVATIONS OF LOW-RISE NON-RESIDENTIAL BUILDINGS (ONE TO TWO STORIES) SHOULD BE A MINIMUM OF 50% MASONRY, EXCLUDING DOORS AND WINDOWS, CONSISTING OF STONE, BRICK, STUCCO OR FINISHED TILT-WALL CONCRETE, OR A MIXTURE OF THOSE MATERIALS. SEE EXCEPTIONS FOR WAREHOUSE BUILDINGS LISTED BELOW 13.1.2.

5.3. AT LEAST 80% OF EACH BUILDING ELEVATION, EXCLUDING DOORS AND WINDOWS, SHOULD BE PRIMARY MASONRY, CONSISTING OF... TILT-WALL CONCRETE. UP TO 20% OF EACH BUILDING ELEVATION MAY BE SECONDARY MASONRY.

6. FACADE COLORS

6.1. COLORS COMPRISING AT LEAST 80% OF EACH ELEVATION OF THE BUILDING SHOULD BE PRIMARILY NATURAL AND EARTH TONE COLORS.

7. PEDESTRIAN SCALE

7.1. A PEDESTRIAN SCALE IS DESIRED NEAR ENTRY POINTS OF BUILDINGS TO RELATE TO THE USERS. THIS SCALE CAN BE ACHIEVED THROUGH THE USE... CANOPIES.

8. BUILDING ENTRY POINTS

8.1. BUILDINGS SHOULD HAVE A RECOGNIZABLE MAIN ENTRY, WHICH SHOULD DIRECTLY RELATE TO THE PRIMARY STREET ADDRESS OF THAT BUILDING. THESE ENTRY POINTS SHOULD HAVE AN IDENTIFIABLE DESIGN PRESENCE.

13. "BIG BOX" AND WAREHOUSE/INDUSTRIAL DEVELOPMENT

13.1.1. GENERALLY, BUILDINGS SHOULD AVOID LONG, MONOTONOUS, UNINTERRUPTED WALLS OR ROOF PLANES. THE LOCATION OF REQUIRED BUILDING WALL OFFSETS, INCLUDING PROJECTIONS, AND RECESSES SHOULD BE IN CONTEXT WITH THE LENGTH OF THE BUILDING AND USED TO ADD ARCHITECTURAL INTEREST AND VARIETY. AND TO RELIEVE THE VISUAL EFFECT OF A SIMPLE, LONG WALL. ROOFLINE OFFSETS SHOULD BE PROVIDED IN ORDER TO PROVIDE ARCHITECTURAL INTEREST AND VARIETY TO THE MASSING OF THE BUILDING AND TO BREAK THE ROOF INTO SMALLER SCALE COMPONENTS. CONCENTRATING ARTICULATION FOR "BIG BOX" RETAIL AND LARGE SCALE WAREHOUSE/INDUSTRIAL BUILDINGS AT ENTRY POINTS AND THE CORNERS OF THE BUILDING MAY BE ACCEPTABLE IF OTHER ARCHITECTURAL DETAILS ACCENTS AND ENHANCED LANDSCAPING ARE USED TO MITIGATE THE EXPANSIVENESS OF THE WALL.

13.1.2. TILT-WALL CONCRETE THAT IS USED TO MEET THE MINIMUM MASONRY REQUIREMENT OF 80% ON ANY ELEVATION SHOULD INCLUDE DETAILS AND PATTERNS THAT PROVIDE INTEREST TO THE TILT-WALL COMPONENT. SUCH DETAIL CAN BE ACCOMPLISHED BY PATTERNED SCORING, CASTING, TEXTURING, OR OTHER FINISHING TREATMENT.

INTERNALIZED SERVICE AREAS: SCREENING SHOULD BE BY PLANTING, LANDFORMS OR WALLS.

ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET WALLS OR ARCHITECTURL ELEMENTS TO ONE FOOT ABOVE EQUIPMENT PER TOWN CODE SECTION 82-273.

LEGEND

GLASS:

VISION GLASS

MATERIALS:

METAL CANOPY, DARK BRONZE

FORMLINER TEXTURE

STONE VENEER MASONRY ACCENT

PAINT COLORS:

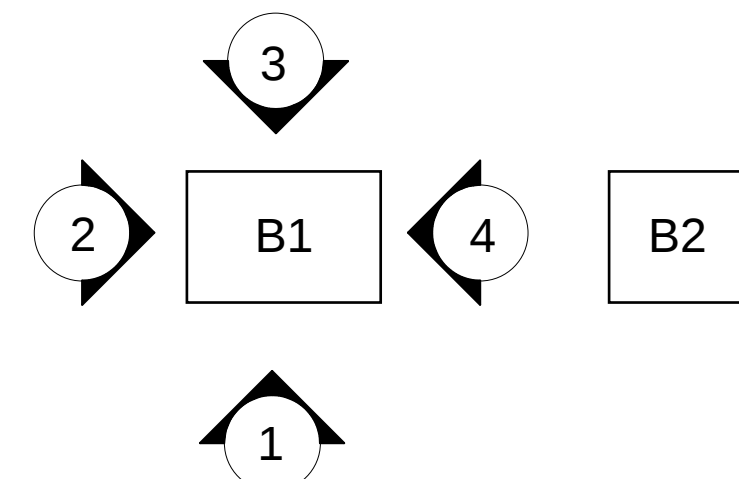
SHERWIN WILLIAMS SW 7015 - "REPOSE GRAY"

SHERWIN WILLIAMS SW 7016 - "MINDFUL GRAY"

SHERWIN WILLIAMS SW 9170 - "ACIER"

SHERWIN WILLIAMS SW 7019 - "GAUNTLET GRAY"

KEY PLAN



WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering
3090 Nowitzki Way
Suite 300
Dallas, TX 75219
P 469.563.5979

**LAKESIDE RANCH
BUSINESS PARK**
GERAULT RD & LAKESIDE PKWY
FLOWER MOUND, TEXAS 75028

EXTERIOR ELEVATIONS - BLDG 1

DATE	REMARKS
07/26/2023	SITE PLAN SUBMITTAL
09/25/2023	SITE PLAN SUBMITTAL
11/03/2023	SITE PLAN SUBMITTAL
11/22/2023	SITE PLAN SUBMITTAL

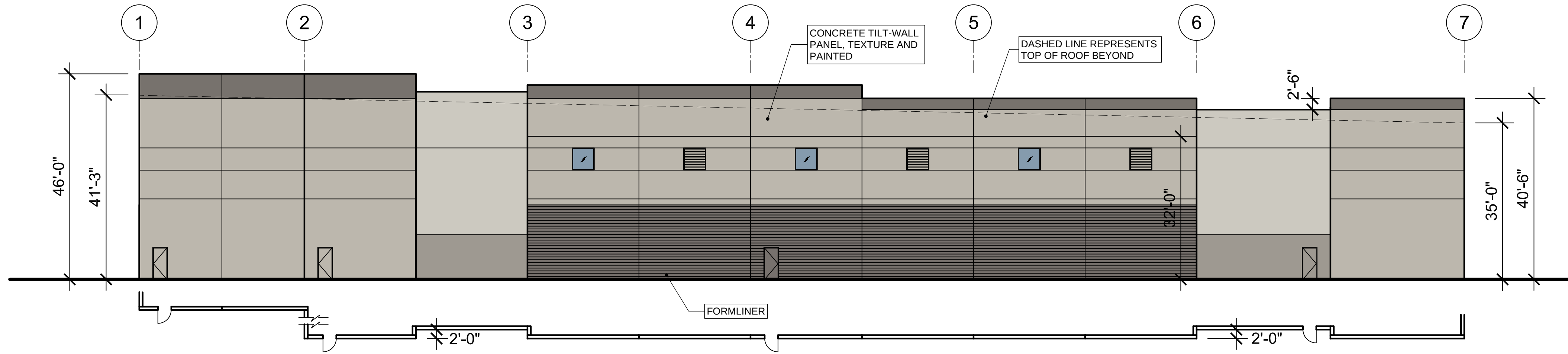
PA/PM: J.THOMFORDE

DRAWN BY: SM/JT

JOB NO.: DAL22-0111-00

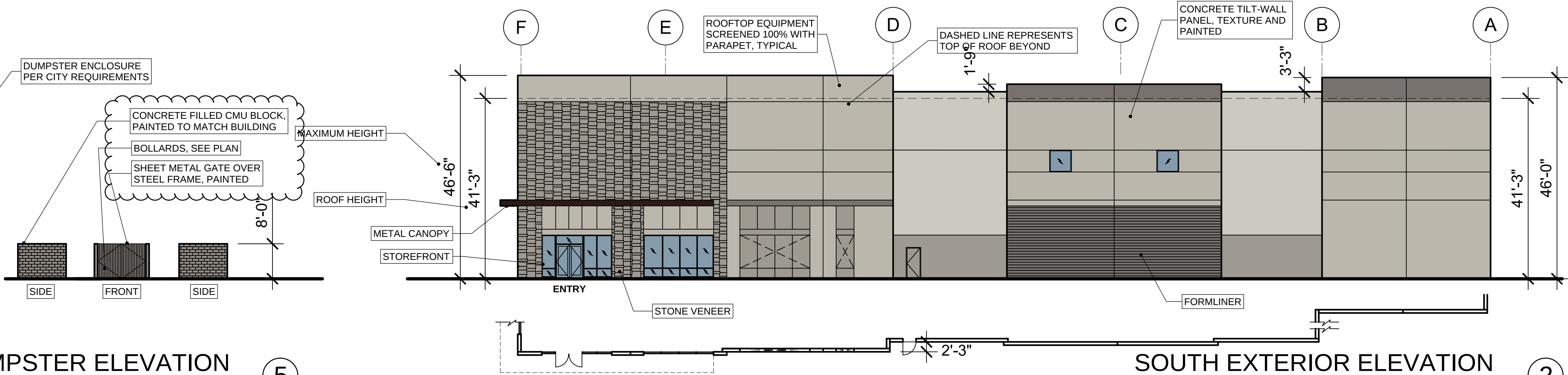
SHEET

A4.1c



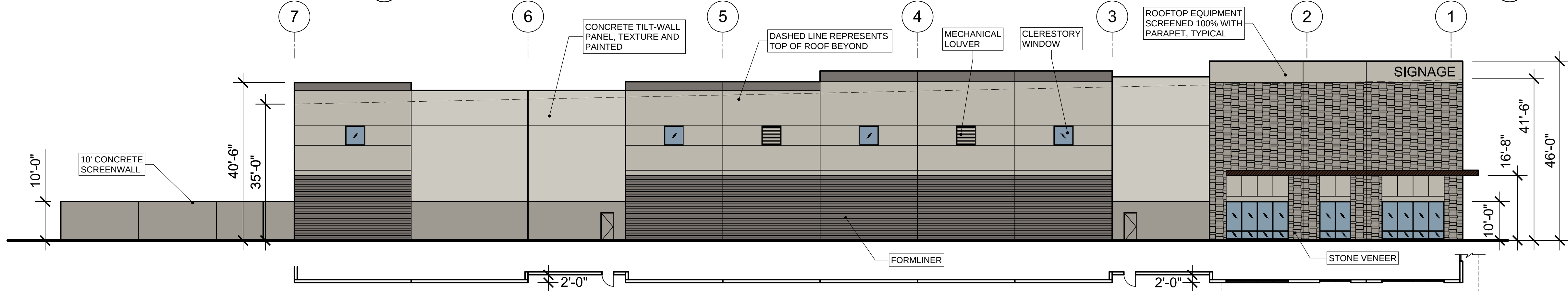
EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



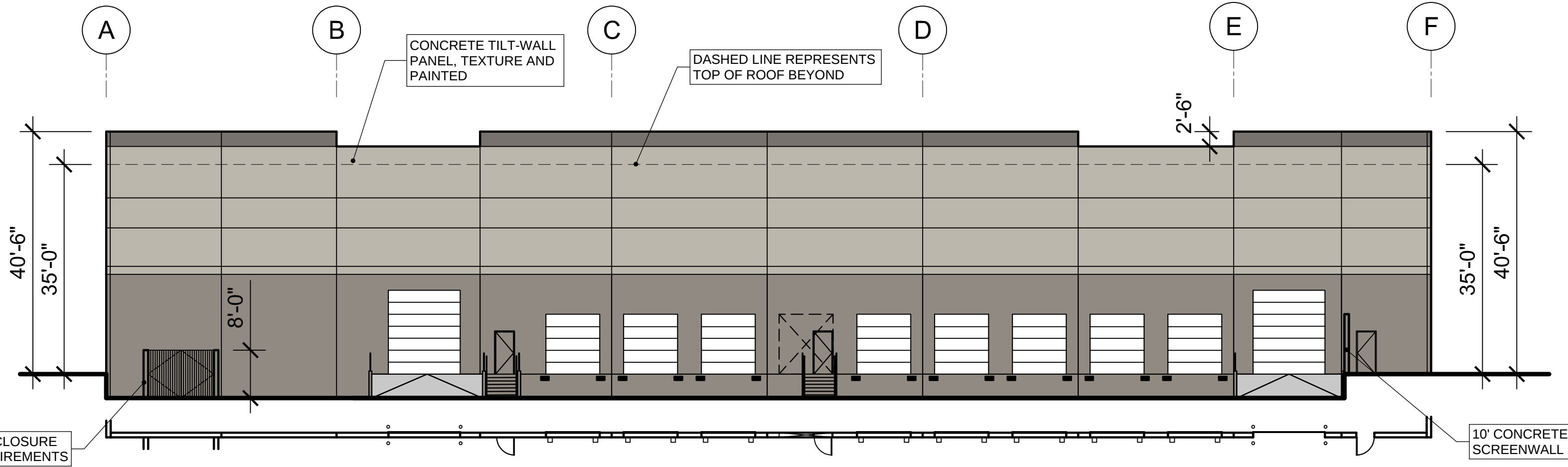
SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



NORTH EXTERIOR ELEVATION

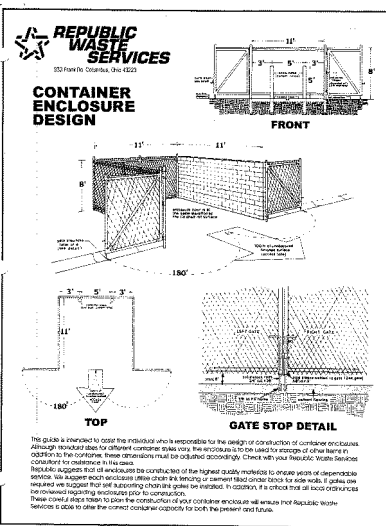
SCALE: 1/16" = 1'-0"

MATERIAL CALCULATIONS

		NORTH	SOUTH	EAST	WEST
1	TOTAL FAÇADE S.F.	9,500	9,930	12,557	12,557
2	FAÇADE S.F. (exclusive of doors and windows)	8,381	9,539	12,323	11,965
3	DOORS AND WINDOWS S.F.	1,119	391	234	592
4a	PRIMARY MASONRY: TILT WALL	8,381	8,134	12,323	9,994
		100%	85%	100%	84%
4b	PRIMARY MASONRY: STONE VENEER	0	1,340	0	1,885
		0%	14%	0%	16%
5	SECONDARY MATERIAL: METAL CANOPY	0	65	0	86
		0%	1%	0%	1%

1/16" = 1'-0"

0 4' 8' 16' 32' 64'



DUMPSTER ELEVATION

SCALE: 1/16" = 1'-0"

THESE ELEVATIONS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THESE ELEVATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WARE MALCOMB.

URBAN DESIGN PLAN

3. FACADE ARTICULATION

3.3. EACH BUILDING ELEVATION GREATER THAN 250 LINEAR FEET, SHOULD HAVE A MINIMUM OF THREE PLANES, EACH OFFSET BY A MINIMUM OF TWO FEET.

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5.1. ELEVATIONS OF LOW-RISE NON-RESIDENTIAL BUILDINGS (ONE TO TWO STORIES) SHOULD BE A MINIMUM OF 50% MASONRY, EXCLUDING DOORS AND WINDOWS, CONSISTING OF STONE, BRICK, STUCCO OR FINISHED TILT-WALL CONCRETE, OR A MIXTURE OF THOSE MATERIALS. SEE EXCEPTIONS FOR WAREHOUSE BUILDINGS LISTED BELOW 13.1.2.

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LEGEND

GLASS:

VISION GLASS

MATERIALS:

METAL CANOPY, DARK BRONZE

FORMLINER TEXTURE

STONE VENEER MASONRY ACCENT

PAIN T COLORS:

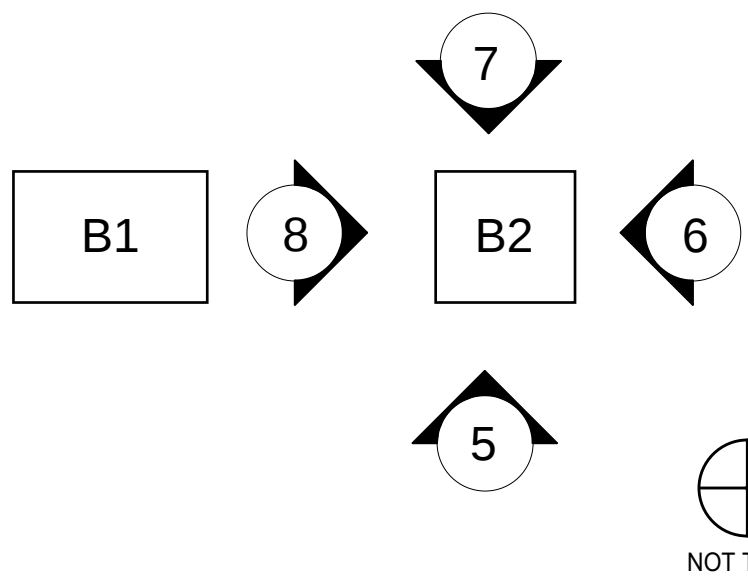
SHERWIN WILLIAMS SW 7015 - "REPOSE GRAY"

SHERWIN WILLIAMS SW 7016 - "MINDFUL GRAY"

SHERWIN WILLIAMS SW 9170 - "ACIER"

SHERWIN WILLIAMS SW 7019 - "GAUNTLET GRAY"

KEY PLAN



WARE, MALCOMB
Leading Design for Commercial Real Estate

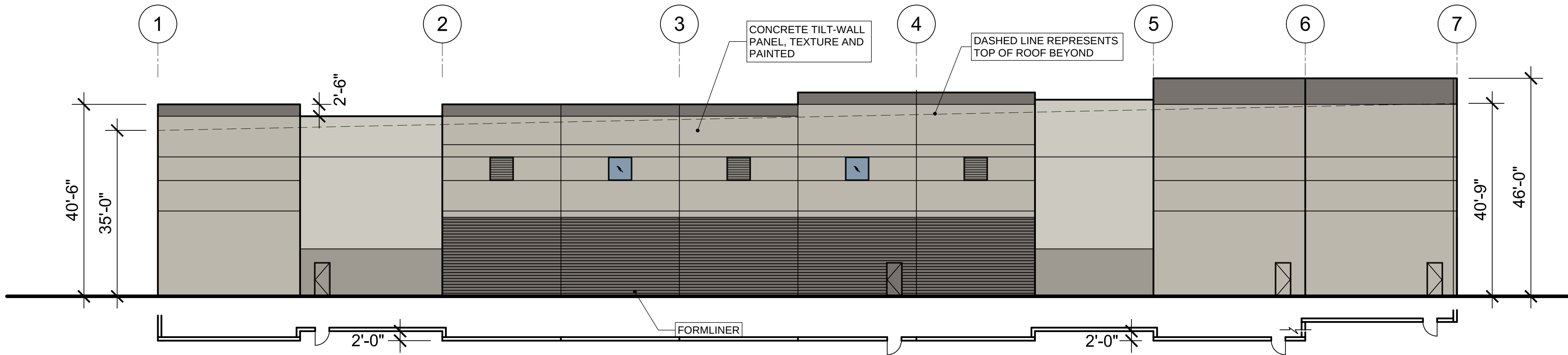
architecture
planning
interiors
graphics
civil engineering
3090 Nowitzki Way
Suite 300
Dallas, TX 75219
P 469.363.979

LAKESIDE RANCH
BUSINESS PARK
GERAULT RD & LAKESIDE PKWY
FLOWER MOUND, TEXAS 75028

EXTERIOR ELEVATIONS - BLDG 2

PA/PM: J.THOMFORDE
DRAWN BY: SM/JT
JOB NO.: DAL22-0111-00

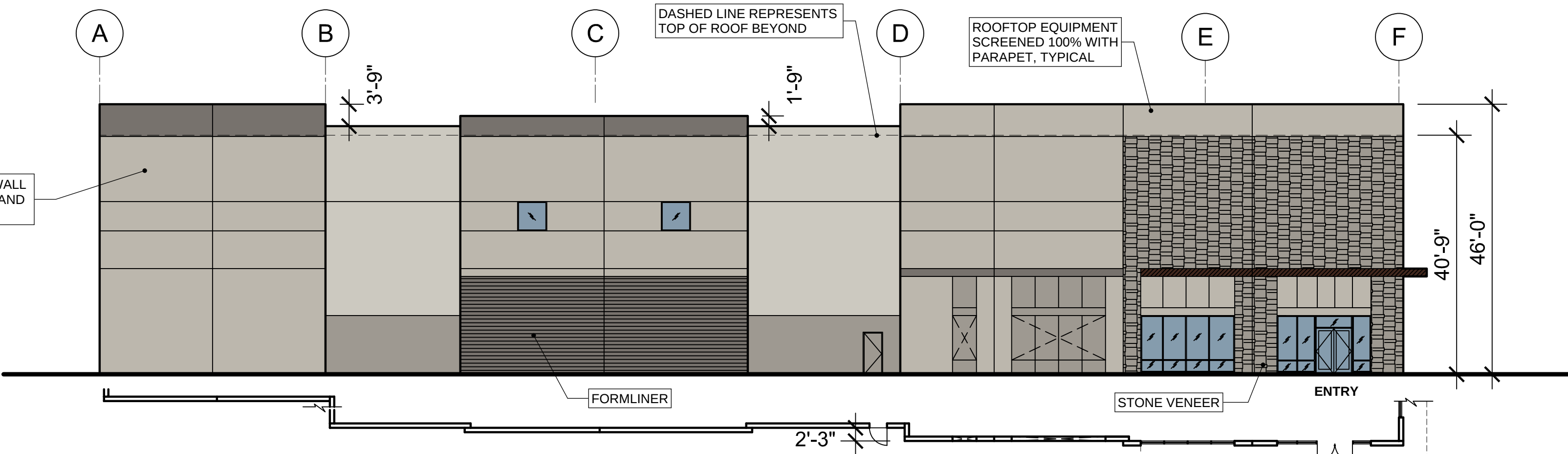
SHEET
A4.2c



EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

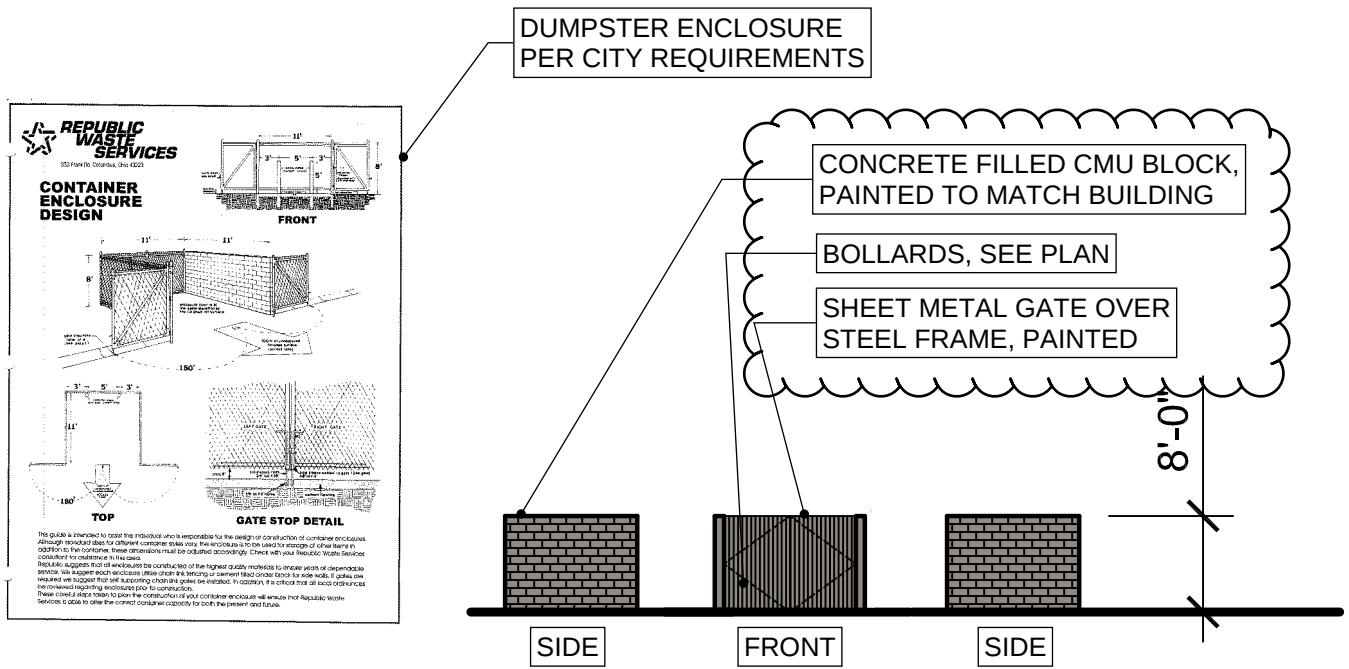
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NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

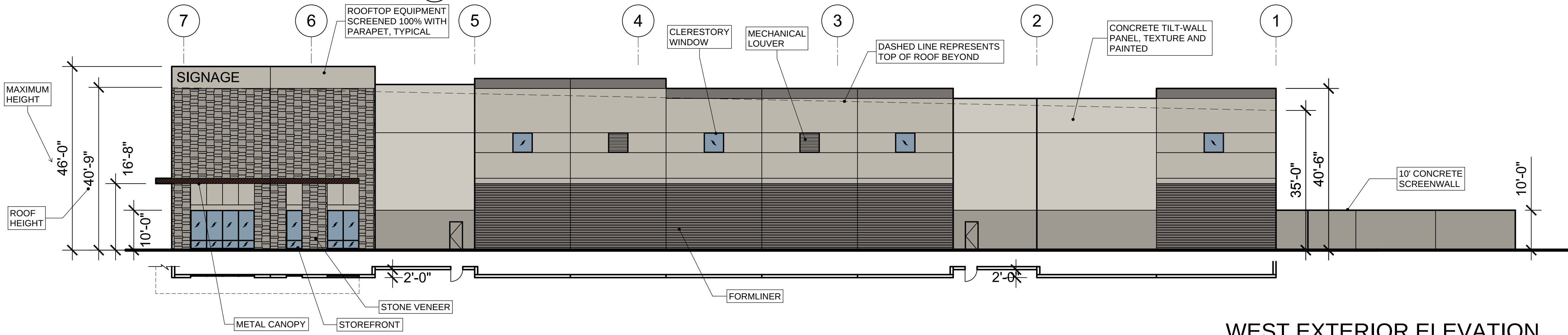
6



DUMPSTER ELEVATION

SCALE: 1/16" = 1'-0"

5



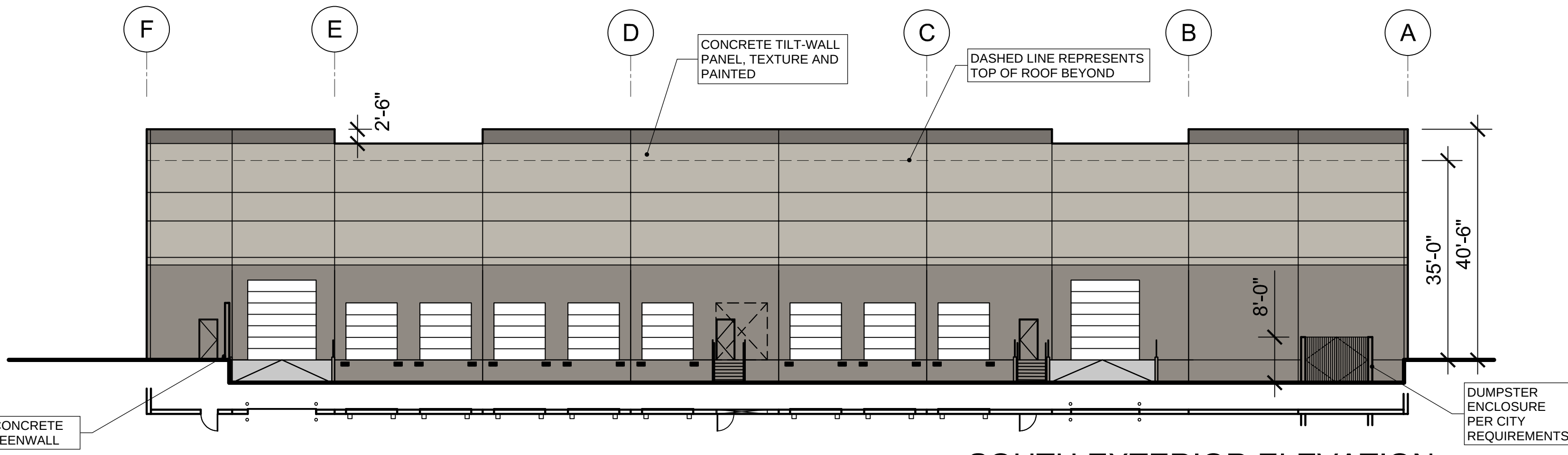
WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

7

MATERIAL CALCULATIONS

		NORTH	SOUTH	EAST	WEST
1	TOTAL FAÇADE S.F.	9,930	9,500	11,562	11,552
2	FAÇADE S.F. (exclusive of doors and windows)	9,539	8,381	11,374	11,080
3	DOORS AND WINDOWS S.F.	391	1,119	188	472
4a	PRIMARY MASONRY: TILT WALL	8,134	8,381	11,374	9,470
		85%	100%	100%	85%
4b	PRIMARY MASONRY: STONE VENEER	1,340	0	0	1,542
		13%	0%	0%	14%
5	SECONDARY MATERIAL: METAL CANOPY	65	0	0	68
		1%	0%	0%	1%



SOUTH EXTERIOR ELEVATION

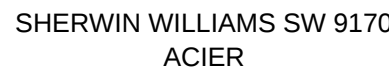
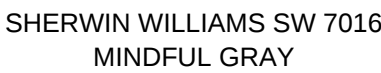
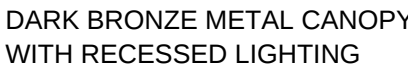
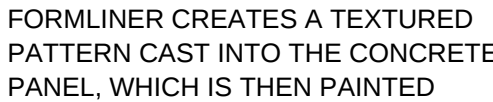
SCALE: 1/16" = 1'-0"

8



PHYSICAL SAMPLE BOARD CAN BE
DELIVERED TO CITY UPON REQUEST

ALUMINUM STOREFRONT



DATE: 11/1/2011	TIME: 11:00
BY: J.THOMFORDE	SM/JT
OB NO.: DAL22-0111-00	

	DATE	REMARKS
	09/25/2023	SITE PLAN SUBMITTAL
	11/03/2023	SITE PLAN SUBMITTAL
	11/22/2023	SITE PLAN SUBMITTAL

SHEET

A5.0

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BUSINESS PARK**
GERAULT RD & LAKESIDE PKWY
FLOWER MOUND, TEXAS 75028

Exhibit B
Development Standards

Planned Development District - 199 (PD-199)
Hopewell Gerault Industrial

The development on the property comprising approximately 66.900 acres of land within the corporate limits of the Town of Flower Mound ("Town") shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements:

A. EXHIBITS.

1. The following Exhibits are incorporated into this planned development.

- a. Exhibit "C": Conceptual Site Plan.
- b. Exhibit "D": Conceptual Landscape Plan.
- c. Exhibit "E": Conceptual Elevations.

B. PERMITTED USES. The uses listed as Permitted Uses in the Campus Industrial District (CI) in the Town's Zoning Ordinance shall be permitted within PD-199.

C. SPECIFIC USES. The uses listed as Specific Uses in the Campus Industrial District (CI) in the Town's Zoning Ordinance shall be permitted within PD-199 with a Specific Use Permit (SUP) approved by the Town Council.

D. TEMPORARY USES. The uses listed as Temporary Uses in the Campus Industrial District (CI) in the Town's Zoning Ordinance shall be permitted within PD-199 as only upon approval of a temporary use permit in accordance with the procedures and standards of 78-87 of the Land Development Code, "Temporary Use Permits."

E. DIMENSIONAL REGULATIONS. The dimensional regulations listed in the Campus Industrial District (CI) in the Town's Zoning Ordinance shall be required for PD-199.

F. LANDSCAPE AND SCREENING REQUIREMENTS. All landscaping and screening shall be provided in a consistent manner as shown on Exhibit "D".

G. ELEVATIONS. All elevations shall be provided in a consistent manner as shown on Exhibit "E".



PLANNING & ZONING COMMISSION AGENDA I.2. REGULAR ITEM(S)

DATE: January 8, 2024
FROM: Claire Barnes, Planner
ITEM: **Public Hearing to consider an ordinance for rezoning (MU23-0003 – Lakeside DFW MU-TEN & MU-C(3) Material Text Amendment) to amend Mixed Use District-1 (MU-1) to amend the Architecture and Building Standards, specifically Section 7.1 B. Materials, for the MU-TEN and MU-C(3) subzones in the Lakeside DFW (Lakeside Village) Development Code. The property is generally located south of Edgemere Road and west of International Parkway. (Staff requests this item be postponed to January 22, 2024).**

BACKGROUND:

I. ITEM SUMMARY

The applicant is in agreement with staff's decision to postpone this item to the January 22, 2024, Planning and Zoning Commission meeting to allow staff to review additional information submitted by the applicant prior to this meeting.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The Mixed Use zoning for Lakeside DFW was originally approved by the Town Council on November 19, 2012, for approximately 155 acres. Since the approval of this ordinance, the Town Council has approved several zoning amendments to modify certain sections of the development standards with a major amendment being approved on April 16, 2018, which added acreage to this development and replaced the original Lakeside DFW Code with a new [Code](#).

The purpose of this amendment is to modify the architectural standards related to the MU-TEN and MU-C(3) subzones of the Lakeside DFW/Village ordinance to add certain unrestricted building materials and to include architectural standards for the parking garage located within the MZ2 micro-zone.

BOARD REVIEW/CITIZEN FEEDBACK:

I. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. MU23-0003 had a total of 36 Property Owner Notifications mailed. At the time this report was written, staff had received no items of correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

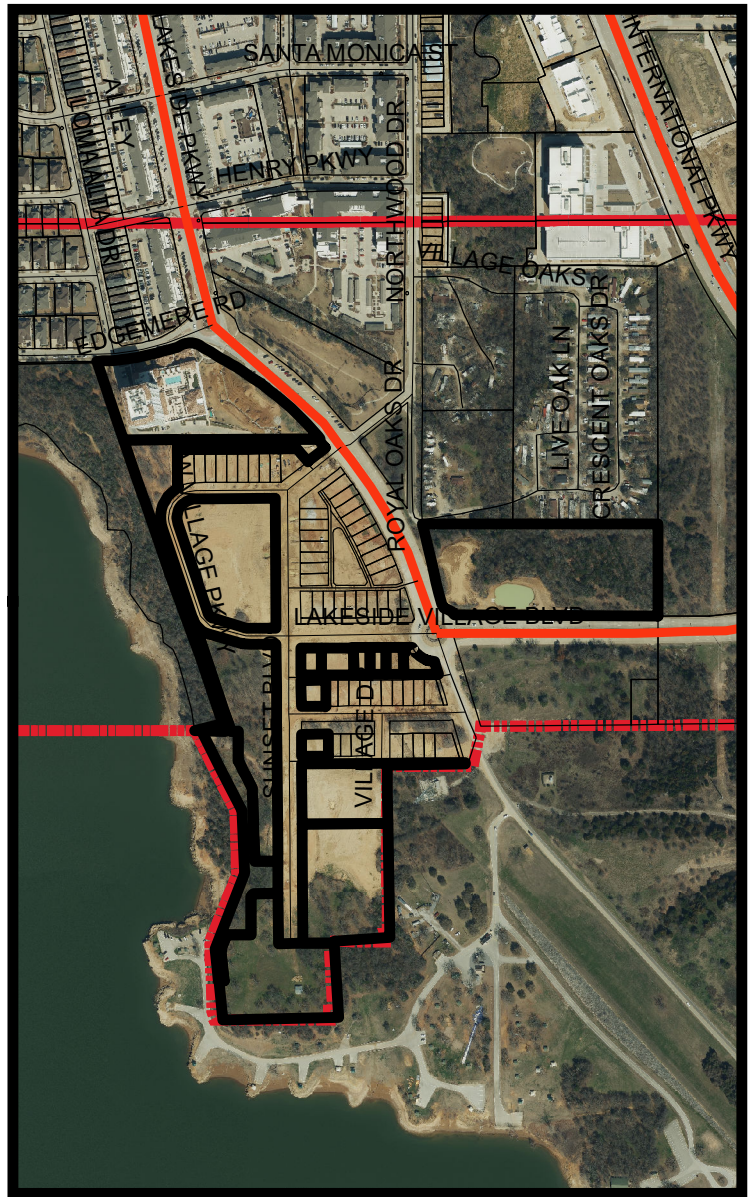
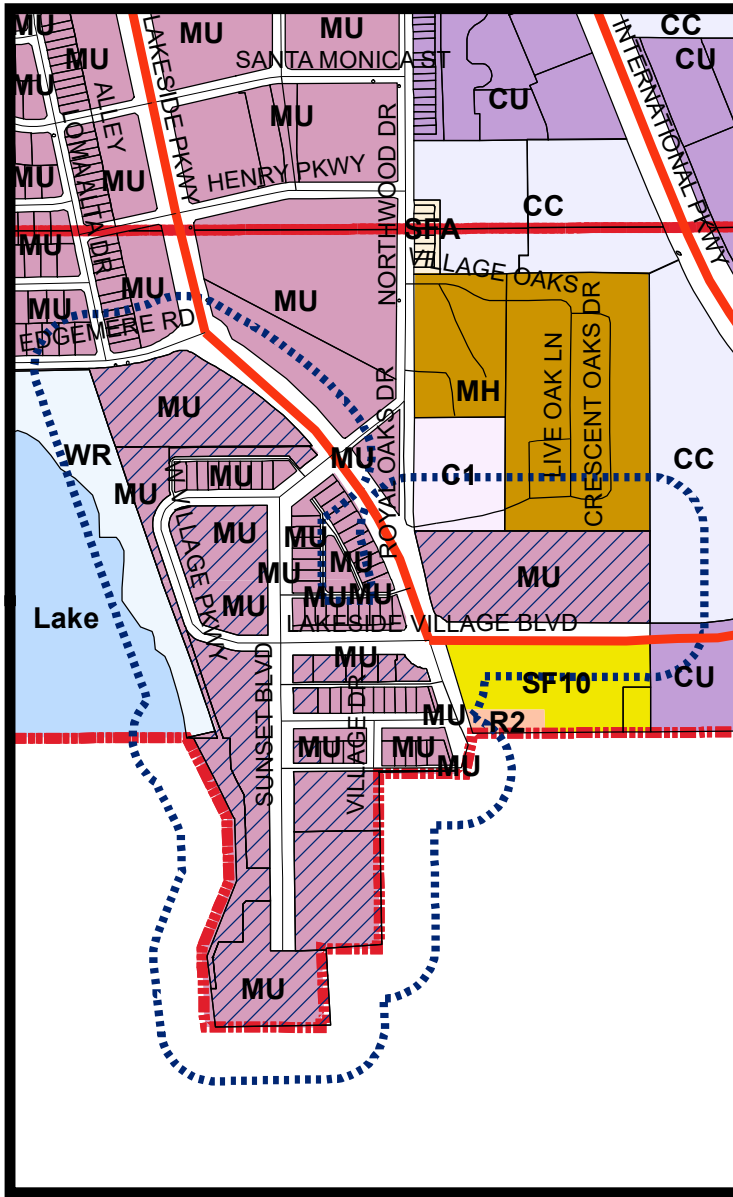
ATTACHMENTS:

1. Map - Zoning & Aerial

DRAFT MOTION: Move to approve as presented in the agenda caption.

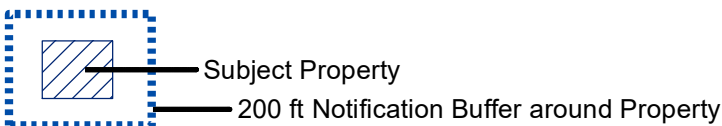
Vicinity Map

MU23-0003: Lakeside Village Text Amendment



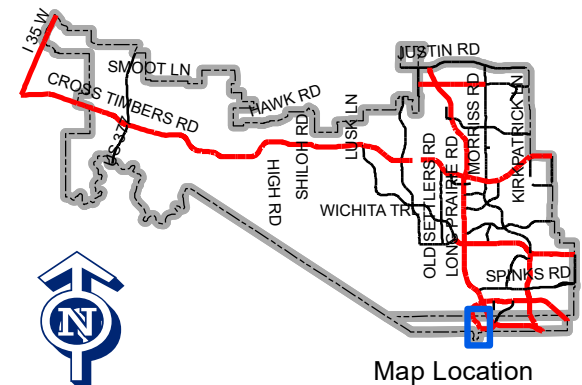
LEGEND

	Campus Commercial		*Combined Uses-See Ordinance		Commercial 1		Lake		Mixed Use
	Mobile Home		Retail 2		Single Family 10		Water Recreation		



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0 500 1,000 2,000 Feet