

Planning & Zoning Commission



March 11, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flower-mound.com or by calling 972.874.6350 and leaving a message.

AGENDA

A. CALL TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

E. COORDINATION OF CALENDARS

1. Monday, March 25, 2024
2. Monday, April 8, 2024

F. FUTURE AGENDA ITEM(S)

G. STAFF/DIRECTOR REPORT

1. Quarterly Development Update

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of February 26, 2024 - Consider approval of the minutes from the February 26, 2024, Planning & Zoning Commission Meeting.

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP21-0012 - Lakeside Village Parking Garage - Consider a request for a Site Plan (SP21-0012 – Lakeside Village Parking Garage) to develop a parking garage. The property is generally located south of Sunset Boulevard and north of Rockledge Park.

J. ADJOURN

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the Notice of Meeting was posted on the bulletin board at the Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town’s website in accordance with GC Section 551.056 on the following date and time: March 7, 2024, at 5:00 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



February 26, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Gilmore called the meeting to order, after the SMARTGrowth Commission meeting, at 7:27 p.m. with the following members present:

Donald Gilmore, Place 6, Chair
Janvier Werner, Place 3, Vice Chair
Gregory Schultz, Place 1
Scott Langley, Place 5
Scott Jostes, Place 7
Cheryl Moore, Place 8 Alternate
Todd Bayuk, Place 9 Alternate

with the following member(s) absent:

Jason Hobbs, Place 2
VACANT, Place 4

constituting a quorum with the following members of the Town Staff participating:

Alicia Kreh, Town Attorney
Poornima Kashyap, Planning Manager
Clayton Riggs, Director of Public Works
Bob Pegg, Assistant Director of Engineering
Matthew Hotelling, Assistant Director of Public Works/Transportation
Chuck Russell, Principal Planner
John Chapman, Principal Planner
LauriAnn Cash, Executive Assistant

B. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

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- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

	Speaker name and address	Subject (as written on the form)
1.	Rob Rawson; 1409 Basil Drive	Election

** Indicates person did not wish to speak*

C. COORDINATION OF CALENDARS

1. Monday, March 11, 2024
2. Monday, March 25, 2024

D. FUTURE AGENDA ITEM(S)

None

E. STAFF/DIRECTOR REPORT

1. Staff Leadership Training
2. Annual Growth Profile
3. New & Improved Development Map

F. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of January 22, 2024 - Consider approval of the minutes from the January 22, 2024, meeting.

ACTION: Vice-Chair Werner moved to approve F.1. as presented in the agenda caption. Commissioner Schultz seconded the motion.

AYES: Jostes, Werner, Langley, Schultz, Moore, Bayuk

NAYS: None

RESULT: 6 : 0

G. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SUP23-0007– Prairie Plaza Building 2 Veterinary Dental Clinic - Public Hearing to consider an ordinance granting Specific Use Permit No. 489 (SUP23-0007– Prairie Plaza Building 2 Veterinary Dental Clinic) to permit a veterinary hospital (inside pens) use. The property is generally located north of Cross Timbers Road and west of Long Prairie Road.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICATION PRESENTATION:

Rebecca Everett, Bellaire Development, LLC; present for questions, no presentation

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Langley moved to recommend approval of G.1. as presented in the agenda caption. Vice-Chair Werner seconded the motion.

AYES: Jostes, Werner, Langley, Schultz, Moore, Bayuk

NAYS: None

RESULT: 6 : 0

2. MPA23-0008 Scenic Drive - Public Hearing to consider a request for a Master Plan Amendment (MPA23-0008 – Scenic Drive) to amend Section 7.0,

Thoroughfare Plan, to consider a request to keep Scenic Drive as a Rural Collector street as shown on the Town's Thoroughfare Plan or consider an amendment to the classification of Scenic Drive. (Transportation Commission recommended approval to keep the existing classification by a vote of 6 to 0 at its December 12, 2023, meeting.)

STAFF PRESENTATION:

Matthew Hotelling, Assistant Director of Public Works/Transportation
Clayton Riggs, Director of Public Works

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Schultz moved to recommend keeping Scenic Drive as a Rural Collector street as shown on the Town's Thoroughfare Plan. Commissioner Moore seconded the motion.

AYES: Jostes, Werner, Langley, Schultz, Moore, Bayuk

NAYS: None

RESULT: 6 : 0

H. ADJOURN

Chair Gilmore adjourned the meeting at 8:27 p.m.

I. WORK SESSION

Public Comment Guidelines for Work Sessions

- Work Sessions are not Public Hearings; the Commission cannot take action.
- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time expires.
- Times may be adjusted by the Chair depending on the number of speakers.
- Donated time will not be recognized.
- Please state your name and address when speaking, and direct comments to the Commission.

Chair Gilmore called the Work Session to order at 8:27 p.m.

1. LDR24-0001 – Land Use Update - Work session for a potential Land Development Regulations amendment (LDR24-0001 – “Land Use Update”) to discuss various modifications to Chapter 82 – Development Standards, Chapter 86 – Signs; Chapter 98 – Zoning, and Appendix A – Fees.

STAFF PRESENTATION:

John Chapman, Principal Planner

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

Speaker name and address	Subject (as written on the form)
None	

** Indicates person did not wish to speak*

Chair Gilmore adjourned the Work Session at 9:10 p.m.

TOWN OF FLOWER MOUND, TEXAS

DON GILMORE, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA I.1. NON-DISCRETIONARY ITEM(S)

DATE: March 11, 2024
FROM: Chuck Russell, Principal Planner
ITEM: **Consider a request for a Site Plan (SP21-0012 – Lakeside Village Parking Garage) to develop a parking garage. The property is generally located south of Sunset Boulevard and north of Rockledge Park.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval in order to construct a parking garage within the Lakeside Village development. The parking garage will encompass 73,265 square feet at the surface level and will include two levels of parking spaces below the surface level. The subject parking garage is allowed by right and shown on the approved conceptual plans within the Lakeside DFW Mixed Use Development, Subzone MU-TEN, MZ2 micro-zone. The subject property is currently undeveloped.

The proposed garage will contain a total of 378 parking spaces, six of these spaces are on the surface level. An additional 18 parking spaces are being provided along Sunset Boulevard to the north of the parking garage. The surface level of the garage will contain a circular drive with a ramp to the lower levels with space being allocated for future restaurant pads and a proposed wedding chapel. All of the future buildings will be required to obtain site plan approval by the Planning and Zoning Commission. Access to the parking garage will be provided from an extension of Sunset Boulevard to the north.

On February 5, 2024, the Town Council approved an ordinance amending certain sections of the Lakeside DFW Mixed Use Development, including the area where the proposed garage is located. The purpose of the amendment was to modify the architectural standards related to the MU-TEN and MU-C(3) subzones to add certain building materials and to include architectural standards for the subject parking garage:

- a. Painted concrete (cast-in-place or pre-cast), or a combination of painted concrete and pipe rail fence, shall be allowed on any exposed façade parking garage walls that do not face or front on to a public right-of-way or public parking areas. When pipe rail is used in combination with painted concrete, the minimum height of the concrete wall shall be 33" with a minimum 9" pipe rail on top.
- b. The east, south, and west boundaries of the street-level parking garage shall be secured with cable rail fence in the interim until such time as the first non-residential building develops on top of

the parking garage. Prior to the issuance of a Certificate of Occupancy (CO) for the first non-residential building constructed on top of the garage, any street-level cable rail fence shall be replaced with any of the following types of fence: a minimum 42" tall wrought iron fence, a minimum 42" tall glass fence, or a combination of minimum 33" concrete wall with pipe rail on top for a total of 42" tall fence. No fence shall be required in areas where the final grade is at street level.

The proposed elevations are in compliance with the above ordinance language. The landscape plan depicts required streetscape trees both on the surface of the parking garage as well as along the extension of Sunset Boulevard to the north of the garage.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

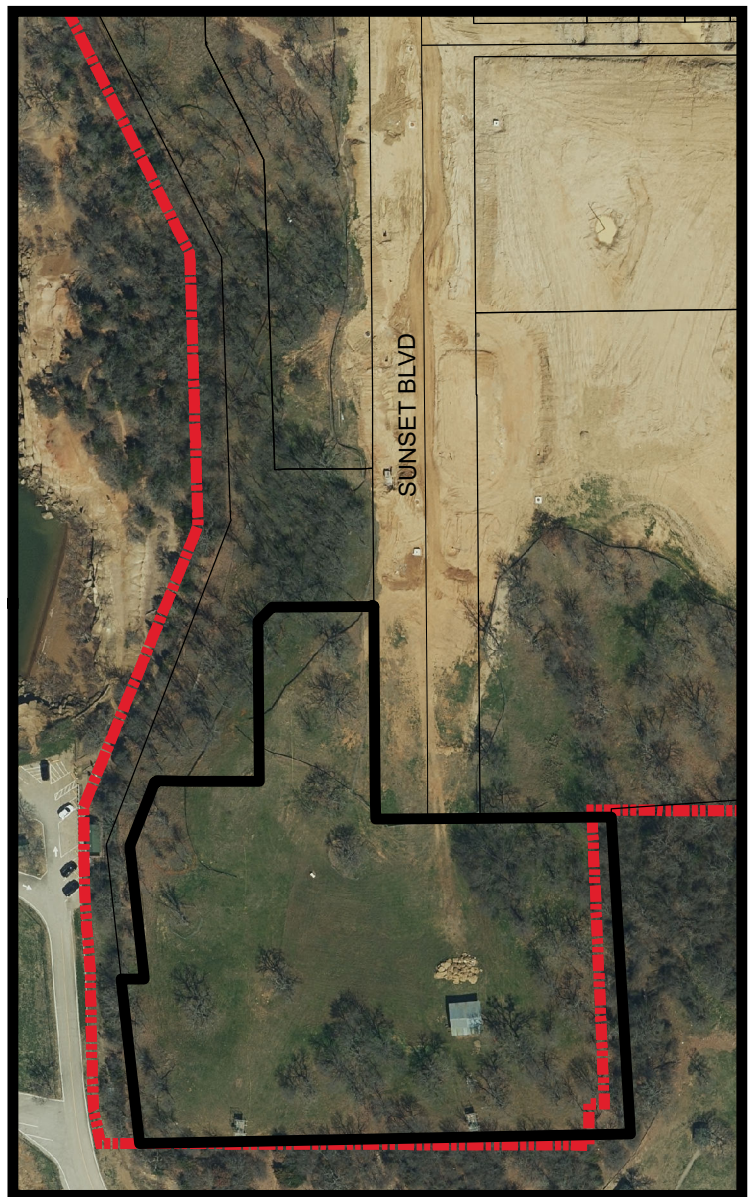
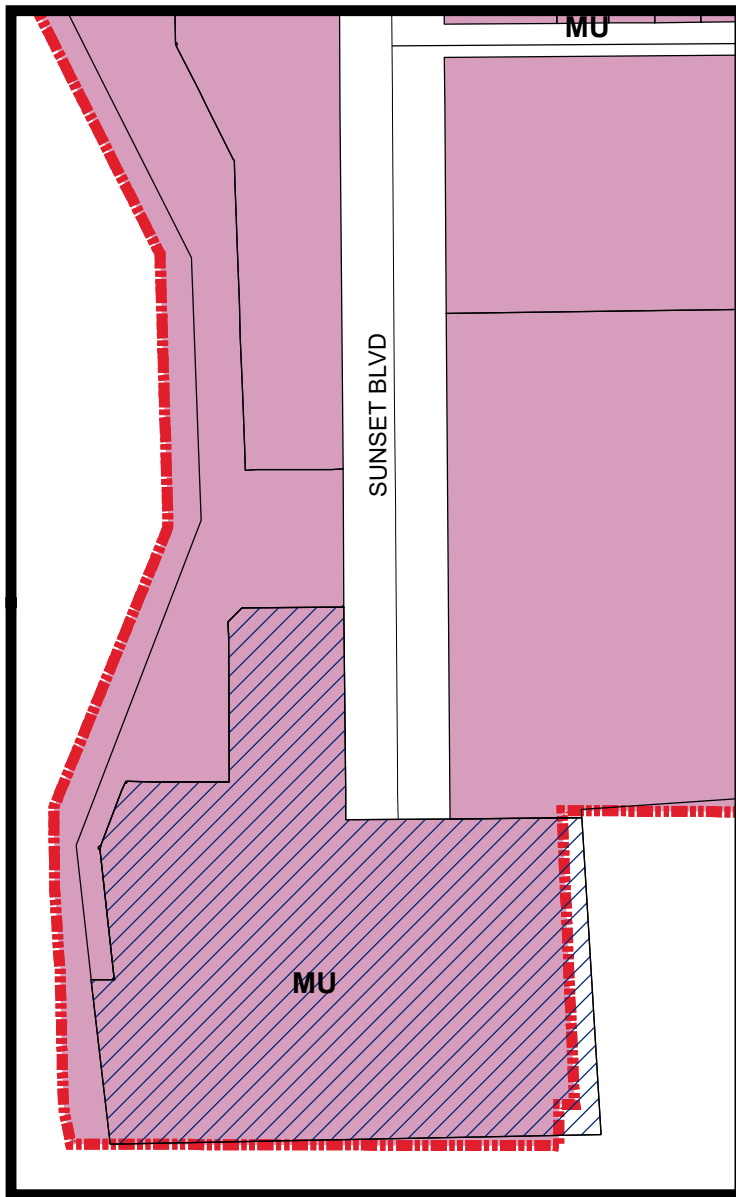
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter of Intent
3. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SP21-0012: Lakeside Village Parking Garage



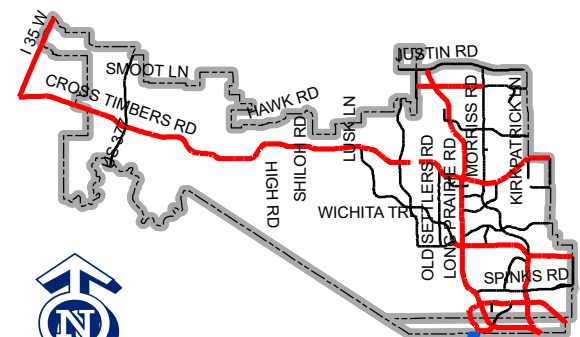
LEGEND

Mixed Use

Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location

0 125 250 500 Feet

March 7th, 2024

Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

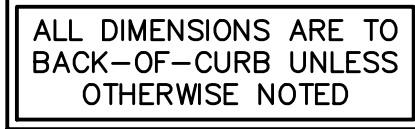
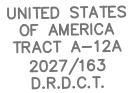
RE: Letter of Intent – Southern Lakeside Village Parking Garage, Detention Pond, and Sunset Blvd Extension

To Whom it May Concern:

The purpose of this site plan submittal is to build a two-story underground parking garage (Level 1 is 73,265 square feet, Level B1 is 73,265 square feet, and Level B2 is 70,615 square feet for a total of 217,145 square feet) to serve various commercial buildings within Lakeside Village, an above-ground detention pond, and the final phase of Sunset Blvd (connecting to the parking garage). The parking garage will contain 378 parking spaces and Sunset Blvd. will contain 18 spaces for a total of 396 spaces.

Sincerely,

Austin Gray
Realty Capital Management
AGray@RealtyCapital.com
(469) 533-4125

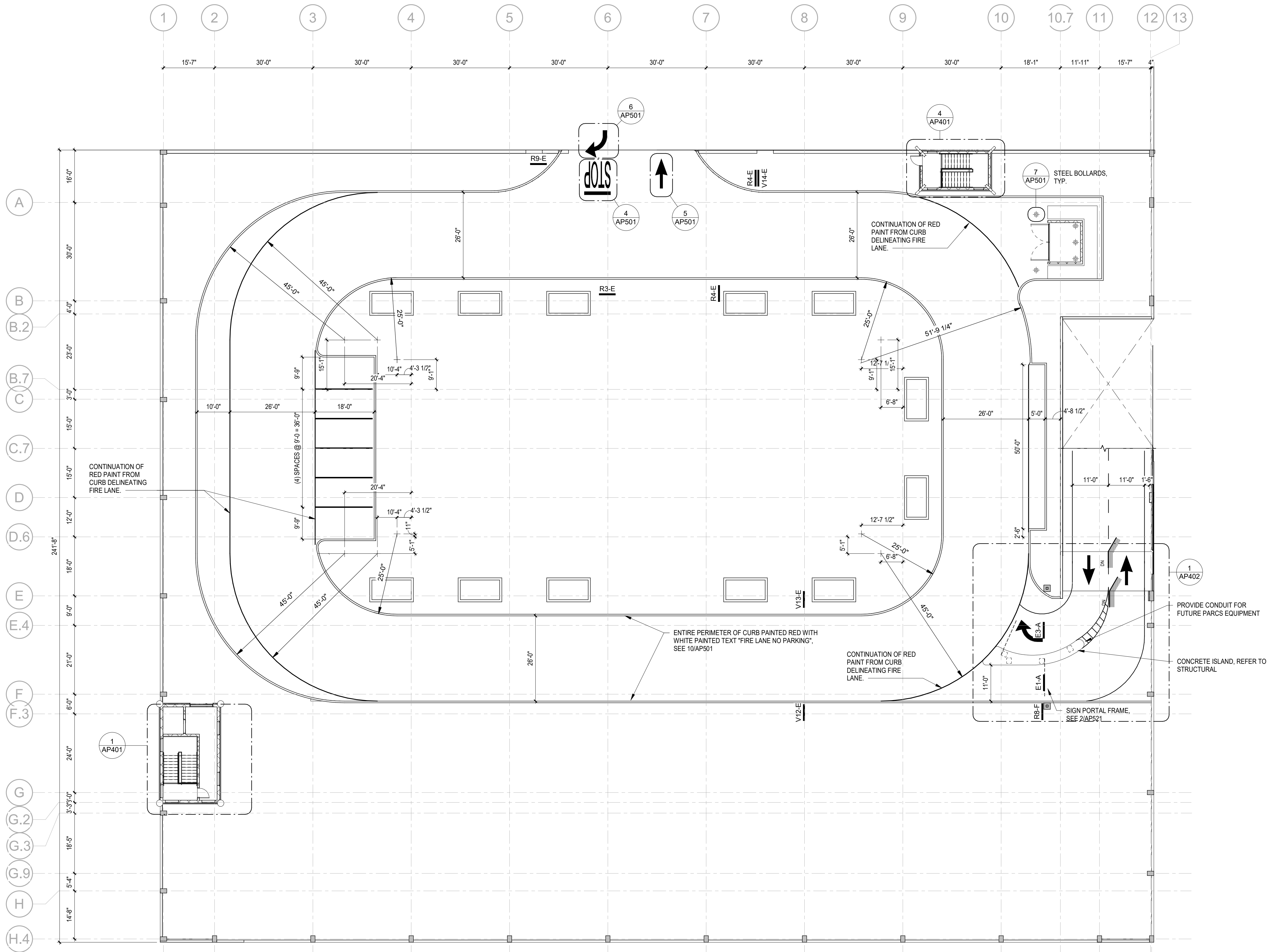


- ISSUED FOR PERMITTING PURPOSES ONLY**
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE **NOT** BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

A rectangular stamp with a double border. The top section contains the word "PRELIMINARY" in large, bold, black capital letters. Below it, in smaller bold black capital letters, is "NOT FOR CONSTRUCTION". A horizontal line separates this from the text below, which reads: "THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES." Another horizontal line follows, and the bottom section contains the text: "PLANS PREPARED UNDER THE DIRECT SUPERVISION OF PATRICK T. BRAUN, P.E. TEXAS REGISTRATION NO. 134155 DATE: 02/07/2024".

PARKING GARAGE INFRASTRUCTURE & DETENTION AREA



1 LEVEL 1 - ARCHITECTURAL PARKING
SCALE: 1/16" = 1'-0"

SIGN SCHEDULE - ENTRY-EXIT SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
E1-A	8'-2" CLEARANCE 8'-2"	10/AP511	D	1
E2-A	7'-0" CLEARANCE 7'-0"	11/AP511	D	1
E3-A	(DNE) DO NOT ENTER (DNE)	12/AP511	D	1

SIGN SCHEDULE - VEHICULAR SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
V1-C	Park →	1/AP512	A	2
V2-C	← Park	2/AP512	A	7
V3-C	← Park ↑	3/AP512	A	5
V4-C	Exit →	4/AP512	A	14
V5-C	↑ Exit	5/AP512	A	2
V6-C	← Exit	6/AP512	A	1
V7-B	← Exit Park →	7/AP512	A	1
V8-C	← Exit Park ↑	8/AP512	A	1
V9-C	← Park Level B2 (ST)	9/AP512	A	1
V10-C	← Park Level B2	10/AP512	A	1
V11-C	↑ Exit (ST) Level B2 →	11/AP512	A	1
V12-E	↑ Park	12/AP512	A	1
V13-E	← Exit	13/AP512	A	1
V14-E	Exit →	14/AP512	A	1

SIGN SCHEDULE - PEDESTRIAN SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
P1-B	LEVEL 1	1/AP513	C	36
P2-B	Stair-Elevator	2/AP512	C	1
P3-C	← Stair-Elevator	3/AP512	C	8
P4-C	Stair-Elevator →	4/AP512	C	4
P5-C	Stair	5/AP512	C	2
P6-B	WEST STAIR EXIT UP	6/AP512	C	2
P7-B	WEST STAIR EXIT THIS LEVEL	7/AP513	C	1
P8-B	NORTH STAIR EXIT UP	8/AP513	C	2
P9-B	NORTH STAIR EXIT THIS LEVEL	9/AP513	C	1

SIGN SCHEDULE - REGULATORY SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
R1-B	ADA	1/AP514	E	4
R1-D	ADA	1/AP514	E	3
R2-B	ADA VAN	2/AP514	E	2
R3-E	ONE-WAY →	3/AP514	E	1
R4-E	WRONG WAY	4/AP514	E	2
R5-B	STAIRS	5/AP514	E	5
R6-B	IN CASE OF FIRE...	6/AP514	E	3
R7-B	ELEVATOR	7/AP514	E	3
R8-F	LIVE LOAD	8/AP514	E	1
R9-E	STOP	9/AP514	E	1

SIGN SCHEDULE - BUILDING ROOM SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
B1-F	TRASH ROOM	10/AP513	F	1
B2-F	FIRE RISER ROOM	10/AP513	F	1
B3-F	ELECTRICAL ROOM	10/AP513	F	1
B4-F	STORM SEWER LIFTS	10/AP513	F	1
B5-F	I.T. ROOM	10/AP513	F	1

PARKING SPACE COUNT				
LEVEL	STANDARD	ADA CAR	ADA VAN	TOTAL
LEVEL 1	6	0	0	6
B1	176	4	2	182
B2	188	2	0	190
	370	6	2	378

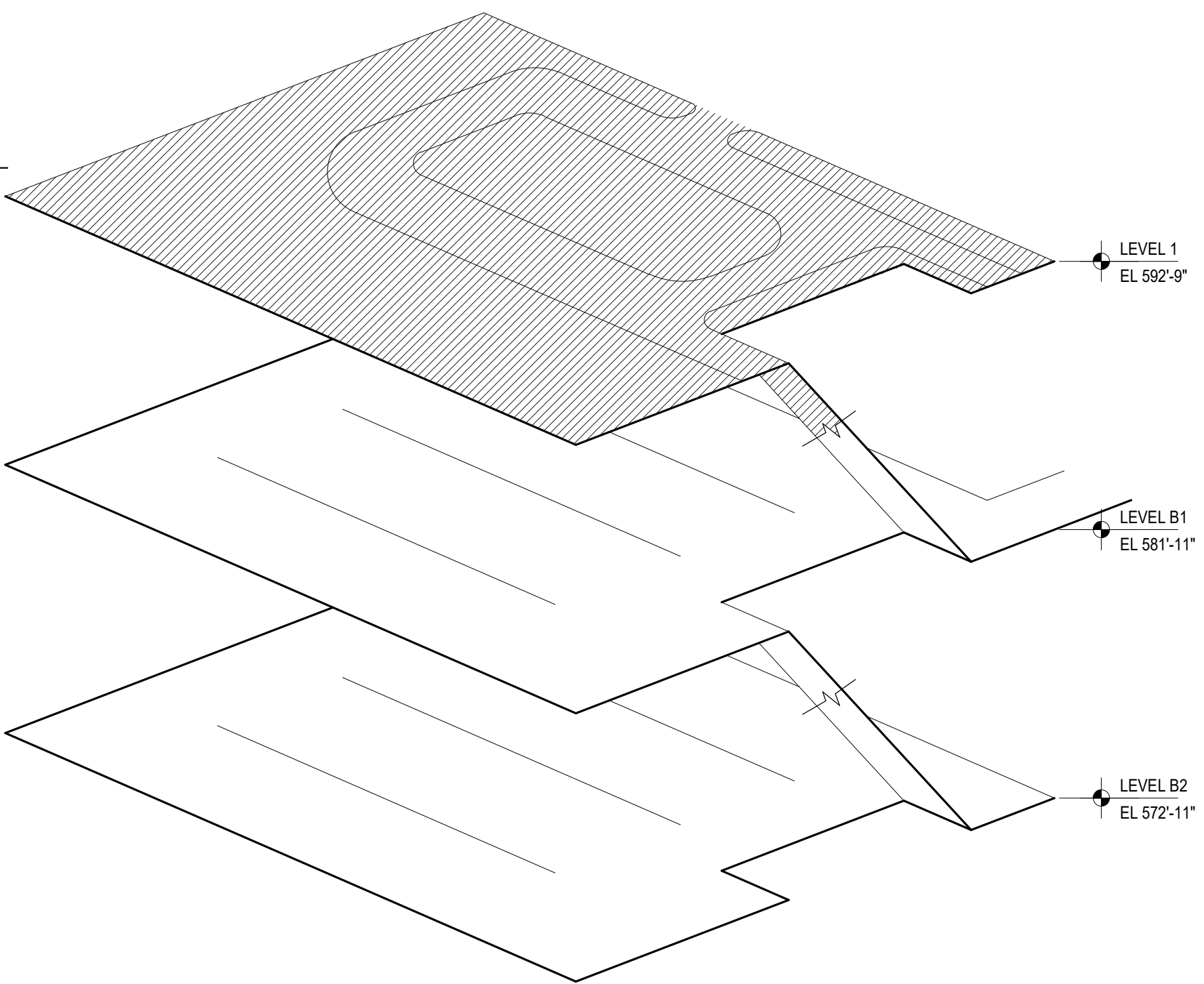
SIGN MOUNTING LEGEND		DET NO.
A	CLEARANCE BAR	1/AP521
B	WALL/COLUMN/BEAM FACE MOUNT	3/AP521
C	SWING FRAME	4 & 5/AP521
D	GALV POST WITH BOLLARD	6/AP521
E	GALV POST	9/AP521
F	BY MANUFACTURER	-

SIGN SYMBOL LEGEND		DET NO.
(DNE)	DO NOT ENTER	8/AP511
(ADA)	INTERNATIONAL SYMBOL OF ACCESSIBILITY	9/AP511
(ST)	STOP	4/AP511
(STR)	STAIRS	-
(ELE)	ELEVATOR	-
(EV)	ELECTRIC VEHICLE CHARGING	9/AP511

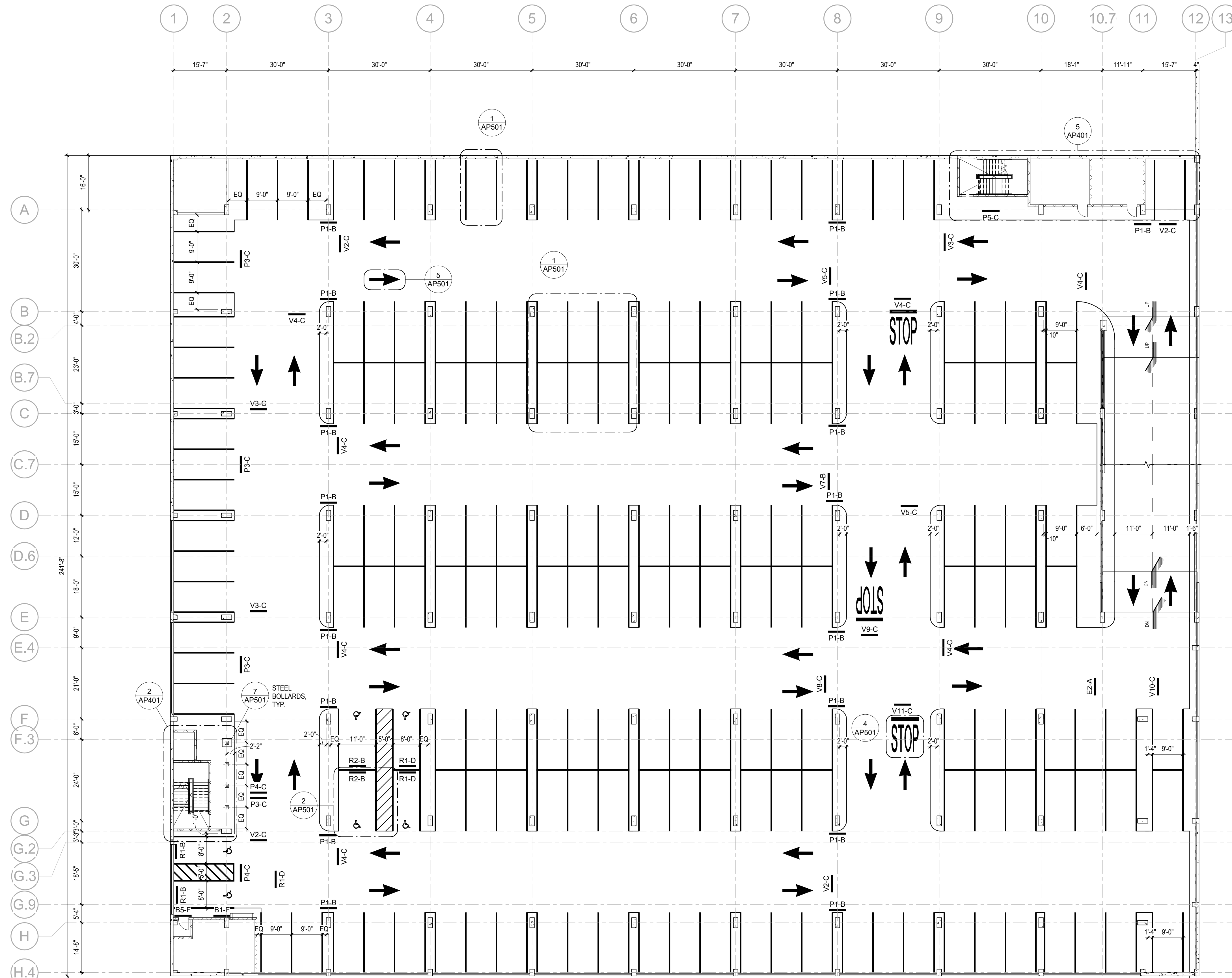
SIGN LEVEL COLOR CHART		TEXT/GRAPHICS COLOR
LEVEL	BACKGROUND COLOR (3M)	
B1	#7725-13 TOMATO RED	WHITE
B2	#7725-47 INTENSE BLUE	WHITE

- SHEET NOTES:**
- 1 SYMB NOTE
REPRESENTS PLAN MATCH LINE BETWEEN LEVELS.
 - 2 PARKING SPACE STRIPING TO BE 4" WIDE TRAFFIC YELLOW STRIPING - SINGLE LINE CONFIGURATION. ALSO REFER TO SHEET AP501 FOR ADDITIONAL STRIPING INFORMATION.
 - 3 CROSS HATCH STRIPING TO BE 4" WIDE TRAFFIC YELLOW STRIPING AT 24" OC WITH BACK-ROLLED REFLECTIVE BEADS AS SHOWN IN PLANS. REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 4 DIRECTIONAL ARROWS TO BE PAINTED TRAFFIC YELLOW WITH BACK-ROLLED REFLECTIVE BEADS AS SHOWN ON PLANS. REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 5 PAVEMENT GRAPHICS TO BE PAINTED AS SHOWN ON PLANS. REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 6 AISLE CENTERLINE STRIPING TO BE 4" WIDE TRAFFIC YELLOW STRIPING WITH BACK-ROLLED REFLECTIVE BEADS AS SHOWN ON PLANS.
 - 7 XXX-X REPRESENTS SIGN MARK AS DEFINED ON SIGN SCHEDULE. THE LETTER AFTER THE DASH (X) REPRESENTS THE MOUNTING DETAIL. REFER TO SIGN MOUNTING LEGEND. SIGN TO BE PLACED APPROXIMATELY AS SHOWN ON PLANS. REFER TO DETAIL 7/AP521 FOR ADDITIONAL INFORMATION.
 - 8 ALL SIGNS LOCATED AT ENTRY/EXIT SHALL BE CENTERED IN LANES, TYPICAL.
 - 9 REPRESENTS A STEEL BOLLARD (CONCRETE FILLED), REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 10 PROVIDE PIPE GUARDS AT ALL PIPES AND CONDUITS EXPOSED TO VEHICLE IMPACT. REFER TO DETAILS 8 AND 9/AP501.

- SIGNAGE SHEET NOTES:**
- 1 NO NOTE
FOR COMPONENT DIMENSIONS, REFER TO SIGN COMPONENT DETAILS ON SHEET AP511.
 - 2 SPACE BETWEEN LETTERS IS EQUAL TO THE VERTICAL STROKE WIDTH OF THE LETTERS. (UNLESS REQUIRED TO MAKE THE SIGN DIMENSIONS WORK ±10% OF STROKE WIDTH).
 - 3 DIMENSION(S) MAY VARY ±1" TO MAKE SIGN WORK.
 - 4 ALL SIGNS TO BE MOUNTED PLUMB AND LEVEL.
 - 5 MOUNTING HEIGHTS SHOWN ARE TO THE BOTTOM OF SIGN.
 - 6 PRE-PUNCHED MOUNTING HOLE LOCATIONS SHOULD BE LOCATED 3/4" AWAY FROM SIGN EDGES. SIGNS 4'-0" AND LONGER SHALL HAVE SIX (6) PRE-PUNCHED HOLES WITH THE ADD'L TWO LOCATED AT TOP & BOTTOM MID-POINTS.



ISOMETRIC VIEW



1 LEVEL B1 - ARCHITECTURAL PARKING
SCALE: 1/16" = 1'-0"

SIGN SCHEDULE - ENTRY-EXIT SIGNS					
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT	
E1-A	8'-2" CLEARANCE 8'-2"	10/AP511	D	1	
E2-A	7'-0" CLEARANCE 7'-0"	11/AP511	D	1	
E3-A	(DNE) DO NOT ENTER (DNE)	12/AP511	D	1	

SIGN SCHEDULE - VEHICULAR SIGNS					
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT	
V1-C	Park →	1/AP512	A	2	
V2-C	← Park	2/AP512	A	7	
V3-C	← Park ↑	3/AP512	A	5	
V4-C	Exit →	4/AP512	A	14	
V5-C	↑ Exit	5/AP512	A	2	
V6-C	← Exit	6/AP512	A	1	
V7-B	← Exit Park →	7/AP512	A	1	
V8-C	← Exit Park ↑	8/AP512	A	1	
V9-C	← Park Level B2 (ST)	9/AP512	A	1	
V10-C	← Park Level B2	10/AP512	A	1	
V11-C	↑ Exit (ST) Level B2 →	11/AP512	A	1	
V12-E	↑ Park	12/AP512	A	1	
V13-E	← Exit	13/AP512	A	1	
V14-E	Exit →	14/AP512	A	1	

SIGN SCHEDULE - PEDESTRIAN SIGNS					
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT	
P1-B	LEVEL B1	1/AP513	C	36	
P2-B	Stair-Elevator	2/AP512	C	1	
P3-C	← Stair-Elevator	3/AP512	C	8	
P4-C	Stair-Elevator →	4/AP512	C	4	
P5-C	Stair	5/AP512	C	2	
P6-B	WEST STAIR EXIT UP	6/AP512	C	2	
P7-B	WEST STAIR EXIT THIS LEVEL	7/AP513	C	1	
P8-B	NORTH STAIR EXIT UP	8/AP512	C	2	
P9-B	NORTH STAIR EXIT THIS LEVEL	9/AP513	C	1	

SIGN SCHEDULE - REGULATORY SIGNS					
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT	
R1-B	ADA	1/AP514	E	4	
R1-D	ADA	1/AP514	E	3	
R2-B	ADA VAN	2/AP514	E	2	
R3-E	ONE-WAY	3/AP514	E	1	
R4-E	WRONG WAY	4/AP514	E	2	
R5-B	STAIRS	5/AP514	E	5	
R6-B	IN CASE OF FIRE	6/AP514	E	3	
R7-B	ELEVATOR	7/AP514	E	1	
R8-F	LIVE LOAD	8/AP514	E	1	
R9-E	STOP	9/AP514	E	1	

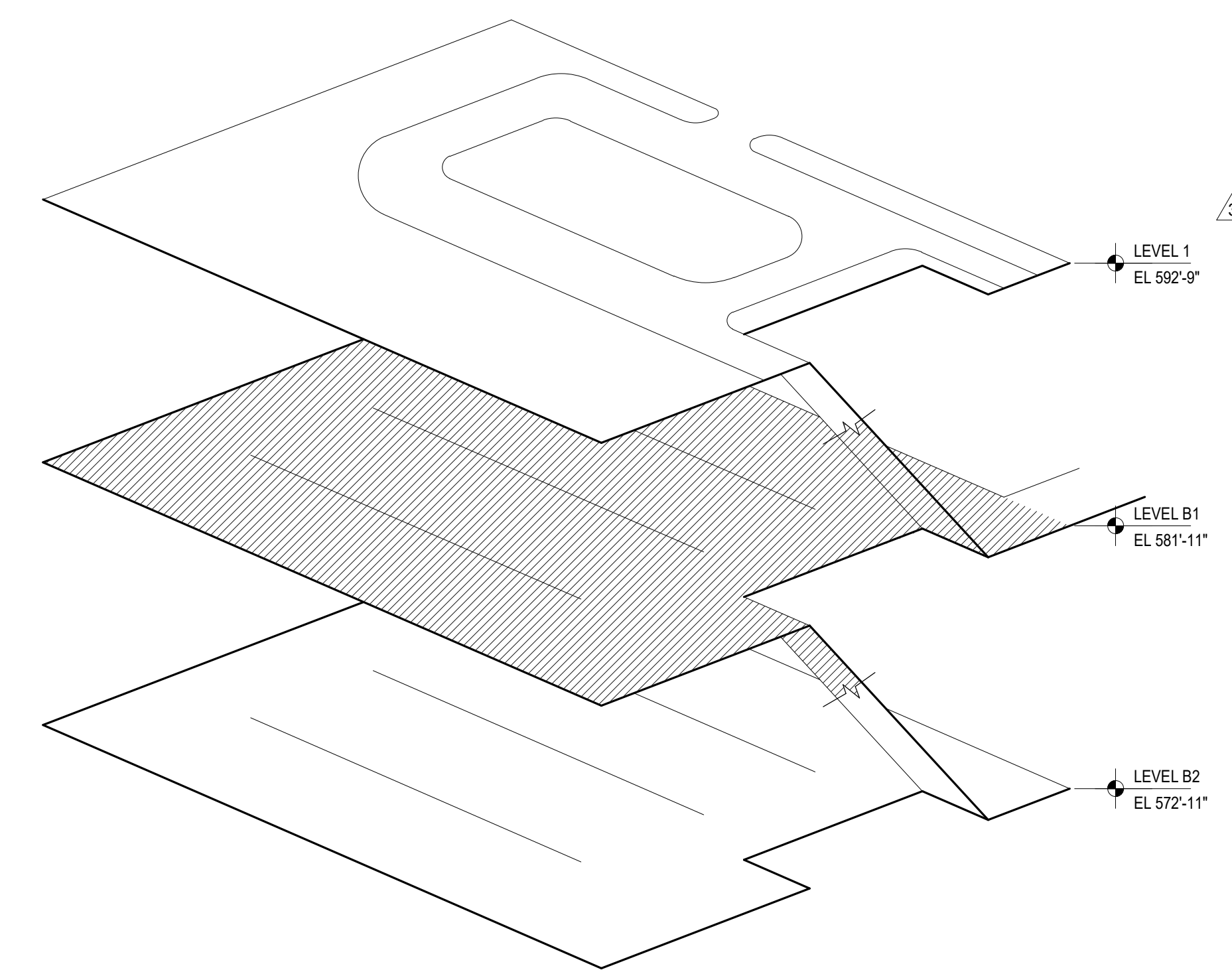
SIGN SCHEDULE - BUILDING ROOM SIGNS					
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT	
B1-F	TRASH ROOM	10/AP513	F	1	
B2-F	FIRE RISER ROOM	10/AP513	F	1	
B3-F	ELECTRICAL ROOM	10/AP513	F	1	
B4-F	STORM SEWER LIFTS	10/AP513	F	1	
B5-F	I.T. ROOM	10/AP513	F	1	

PARKING SPACE COUNT					
LEVEL	STANDARD	ADA CAR	ADA VAN	TOTAL	
LEVEL 1	6	0	0	6	
B1	176	4	2	182	
B2	188	2	0	190	
	370	6	2	378	

SIGN MOUNTING LEGEND			DET NO.
A	CLEARANCE BAR	1/AP521	
B	WALL/COLUMN/BEAM FACE MOUNT	3/AP521	
C	SWING FRAME	4 & 5/AP521	
D	GALV POST WITH BOLLARD	6/AP521	
E	GALV POST	9/AP521	
F	BY MANUFACTURER	-	

SIGN SYMBOL LEGEND			DET NO.
(DNE)	DO NOT ENTER	8/AP511	
(ADA)	INTERNATIONAL SYMBOL OF ACCESSIBILITY	9/AP511	
(ST)	STOP	4/AP511	
(STR)	STAIRS	-	
(ELE)	ELEVATOR	-	
(EV)	ELECTRIC VEHICLE CHARGING	9/AP511	

SIGN LEVEL COLOR CHART		
LEVEL	BACKGROUND COLOR (3M)	TEXT/GRAPHICS COLOR
B1	#7725-13 TOMATO RED	WHITE
B2	#7725-47 INTENSE BLUE	WHITE



- SHEET NOTES:**
- 1 SYMB NOTE
REPRESENTS PLAN MATCH LINE BETWEEN LEVELS.
 - 2 PARKING SPACE STRIPING TO BE 4" WIDE TRAFFIC YELLOW STRIPING - SINGLE LINE CONFIGURATION. ALSO REFER TO SHEET AP501 FOR ADDITIONAL STRIPING INFORMATION.
 - 3 CROSS HATCH STRIPING TO BE 4" WIDE TRAFFIC YELLOW STRIPING AT 24" OC WITH BACK-ROLLED REFLECTIVE BEADS AS SHOWN IN PLANS. REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 4 DIRECTIONAL ARROWS TO BE PAINTED TRAFFIC YELLOW WITH BACK-ROLLED REFLECTIVE BEADS AS SHOWN ON PLANS. REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
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 - 7 XXX-X REPRESENTS SIGN MARK AS DEFINED ON SIGN SCHEDULE. THE LETTER AFTER THE DASH (X) REPRESENTS THE MOUNTING DETAIL. REFER TO SIGN MOUNTING LEGEND. SIGN TO BE PLACED APPROXIMATELY AS SHOWN ON PLANS. REFER TO DETAIL 7/AP521 FOR ADDITIONAL INFORMATION.
 - 8 ALL SIGNS LOCATED AT ENTRY/EXIT SHALL BE CENTERED IN LANES, TYPICAL.
 - 9 REPRESENTS A STEEL BOLLARD (CONCRETE FILLED), REFER TO SHEET AP501 FOR ADDITIONAL INFORMATION.
 - 10 PROVIDE PIPE GUARDS AT ALL PIPES AND CONDUITS EXPOSED TO VEHICLE IMPACT. REFER TO DETAILS 8 AND 9/AP501.

- SIGNAGE SHEET NOTES:**
- 1 NOTE
FOR COMPONENT DIMENSIONS, REFER TO SIGN COMPONENT DETAILS ON SHEET AP511.
 - 2 SPACE BETWEEN LETTERS IS EQUAL TO THE VERTICAL STROKE WIDTH OF THE LETTERS. (UNLESS REQUIRED TO MAKE THE SIGN DIMENSIONS WORK ±10% OF STROKE WIDTH).
 - 3 DIMENSION(S) MAY VARY ±1" TO MAKE SIGN WORK.
 - 4 ALL SIGNS TO BE MOUNTED PLUMB AND LEVEL.
 - 5 MOUNTING HEIGHTS SHOWN ARE TO THE BOTTOM OF SIGN.
 - 6 PRE-PUNCHED MOUNTING HOLE LOCATIONS SHOULD BE LOCATED 3/4" AWAY FROM SIGN EDGES. SIGNS 4'-0" AND LONGER SHALL HAVE SIX (6) PRE-PUNCHED HOLES WITH THE ADD'L TWO LOCATED AT TOP & BOTTOM MID-POINTS.

ISSUE/REVISION
1 10/12/2023 ISSUE FOR PERMIT
2 10/12/2023 PERMIT REV 1
3 02/28/2024 PERMIT REV 2

DATE
1 10/12/2023
2 10/12/2023
3 02/28/2024

NO.
1
2
3

TXS&FIRM NO. 15305

21.307'x97'

wGInc.com
814 WALNUT HILL LANE SUITE 800 DALLAS, TX 75201

02/28/2024

RAYMOND TALFORD SMITH
148719
LICENSED PROFESSIONAL ENGINEER
State of Texas

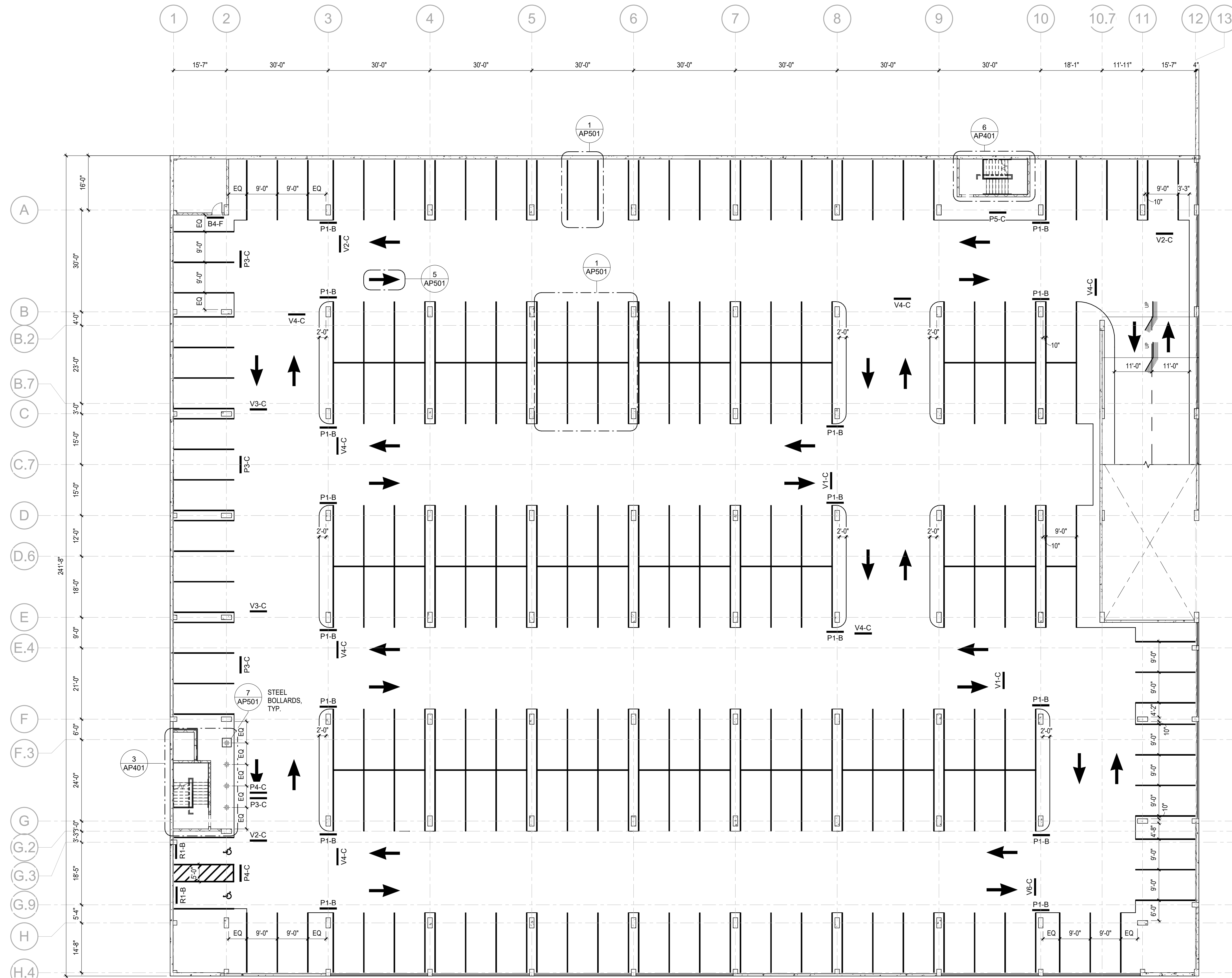
PERMIT REV 2

PROJECT:
LAKESIDE VILLAGE SOUTH
FLOWER MOUND, TEXAS 75022

SHEET TITLE:
LEVEL B1 - ARCHITECTURAL PARKING

AP102

SCALE: As indicated



1 LEVEL B2 - ARCHITECTURAL PARKING
SCALE: 1/16" = 1'-0"

SIGN SCHEDULE - ENTRY-EXIT SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
E1-A	8'-2" CLEARANCE 8'-2"	10/AP511	D	1
E2-A	7'-0" CLEARANCE 7'-0"	11/AP511	D	1
E3-A	(DNE) DO NOT ENTER (DNE)	12/AP511	D	1

SIGN SCHEDULE - VEHICULAR SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
V1-C	Park →	1/AP512	A	2
V2-C	← Park	2/AP512	A	7
V3-C	← Park ↑	3/AP512	A	5
V4-C	Exit →	4/AP512	A	14
V5-C	↑ Exit	5/AP512	A	2
V6-C	← Exit	6/AP512	A	1
V7-B	← Exit Park →	7/AP512	A	1
V8-C	← Exit Park ↑	8/AP512	A	1
V9-C	← Park Level B2 (ST)	9/AP512	A	1
V10-C	← Park Level B2	10/AP512	A	1
V11-C	↑ Exit (ST) Level B2 →	11/AP512	A	1
V12-E	↑ Park	12/AP512	A	1
V13-E	← Exit	13/AP512	A	1
V14-E	Exit →	14/AP512	A	1

SIGN SCHEDULE - PEDESTRIAN SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
P1-B	LEVEL ID.	1/AP513	C	36
P2-B	Stair-Elevator	2/AP512	C	1
P3-C	← Stair-Elevator	3/AP512	C	8
P4-C	Stair-Elevator →	4/AP512	C	4
P5-C	Stair	5/AP512	C	2
P6-B	WEST STAIR EXIT UP	6/AP512	C	2
P7-B	WEST STAIR EXIT THIS LEVEL	7/AP513	C	1
P8-B	NORTH STAIR EXIT UP	8/AP513	C	2
P9-B	NORTH STAIR EXIT THIS LEVEL	9/AP513	C	1

SIGN SCHEDULE - REGULATORY SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
R1-B	ADA	1/AP514	E	4
R1-D	ADA	1/AP514	E	3
R2-B	ADA VAN	2/AP514	E	2
R3-E	ONE-WAY	3/AP514	E	1
R4-E	WRONG WAY	4/AP514	E	2
R5-B	STAIRS	5/AP514	E	5
R6-B	IN CASE OF FIRE...	6/AP514	E	3
R7-B	ELEVATOR	7/AP514	E	3
R8-F	LIVE LOAD	8/AP514	E	1
R9-E	STOP	9/AP514	E	1

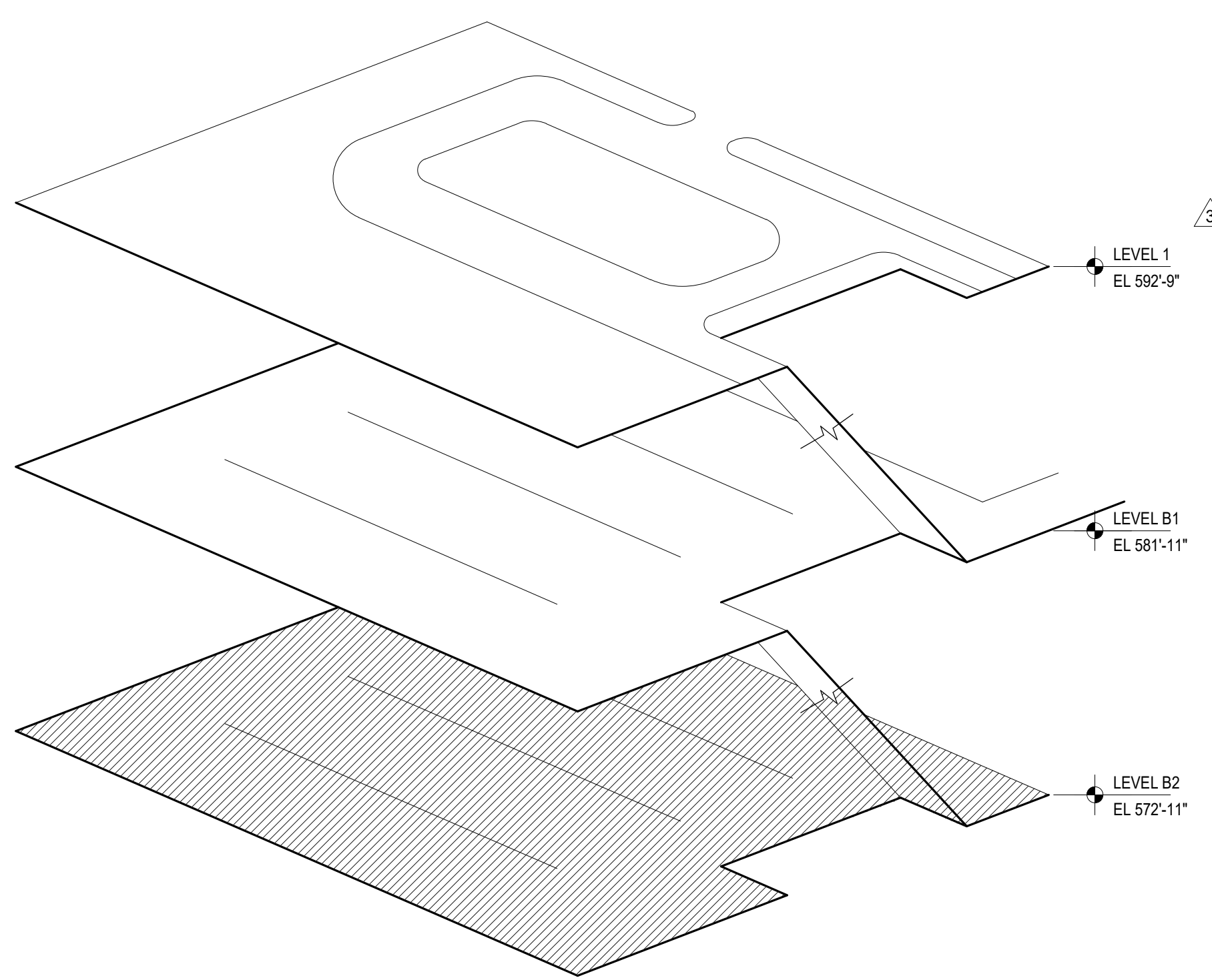
SIGN SCHEDULE - BUILDING ROOM SIGNS				
SIGN MARK	SIGN MESSAGE	SIGN DETAIL	SPEC TYPE	COUNT
B1-F	TRASH ROOM	10/AP513	F	1
B2-F	FIRE RISER ROOM	10/AP513	F	1
B3-F	ELECTRICAL ROOM	10/AP513	F	1
B4-F	STORM SEWER LIFTS	10/AP513	F	1
B5-F	I.T. ROOM	10/AP513	F	1

PARKING SPACE COUNT				
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SIGN MOUNTING LEGEND		DET NO.
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C	SWING FRAME	4 & 5/AP521
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E	GALV POST	9/AP521
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SIGN SYMBOL LEGEND		DET NO.
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(STR)	STAIRS	-
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(EV)	ELECTRIC VEHICLE CHARGING	9/AP511

SIGN LEVEL COLOR CHART	
LEVEL	BACKGROUND COLOR (3M)
B1	#7725-13 TOMATO RED
B2	#7725-47 INTENSE BLUE
	TEXT/GRAPHICS COLOR
	WHITE



ISOMETRIC VIEW

- SHEET NOTES:**
- 1 SYMB NOTE
REPRESENTS PLAN MATCH LINE BETWEEN LEVELS.
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ISSUE/REVISION		DATE	NO.	ISSUE FOR PERMIT	PERMIT REV.
1	2				
1	10/12/2023		1	ISSUE FOR PERMIT	
2	10/12/2023		2	PERMIT REV. 1	
3	02/28/2024		3	PERMIT REV. 2	

TEXAS FIRM NO. 153085

WGL
wglinc.com
8144 WALNUT HILL LANE SUITE 800 DALLAS, TX 75231

02/28/2024

STATE OF TEXAS
RAYMOND TALFORD SMITH
148719
LICENSED PROFESSIONAL ENGINEER
My exp. 02/28/2027

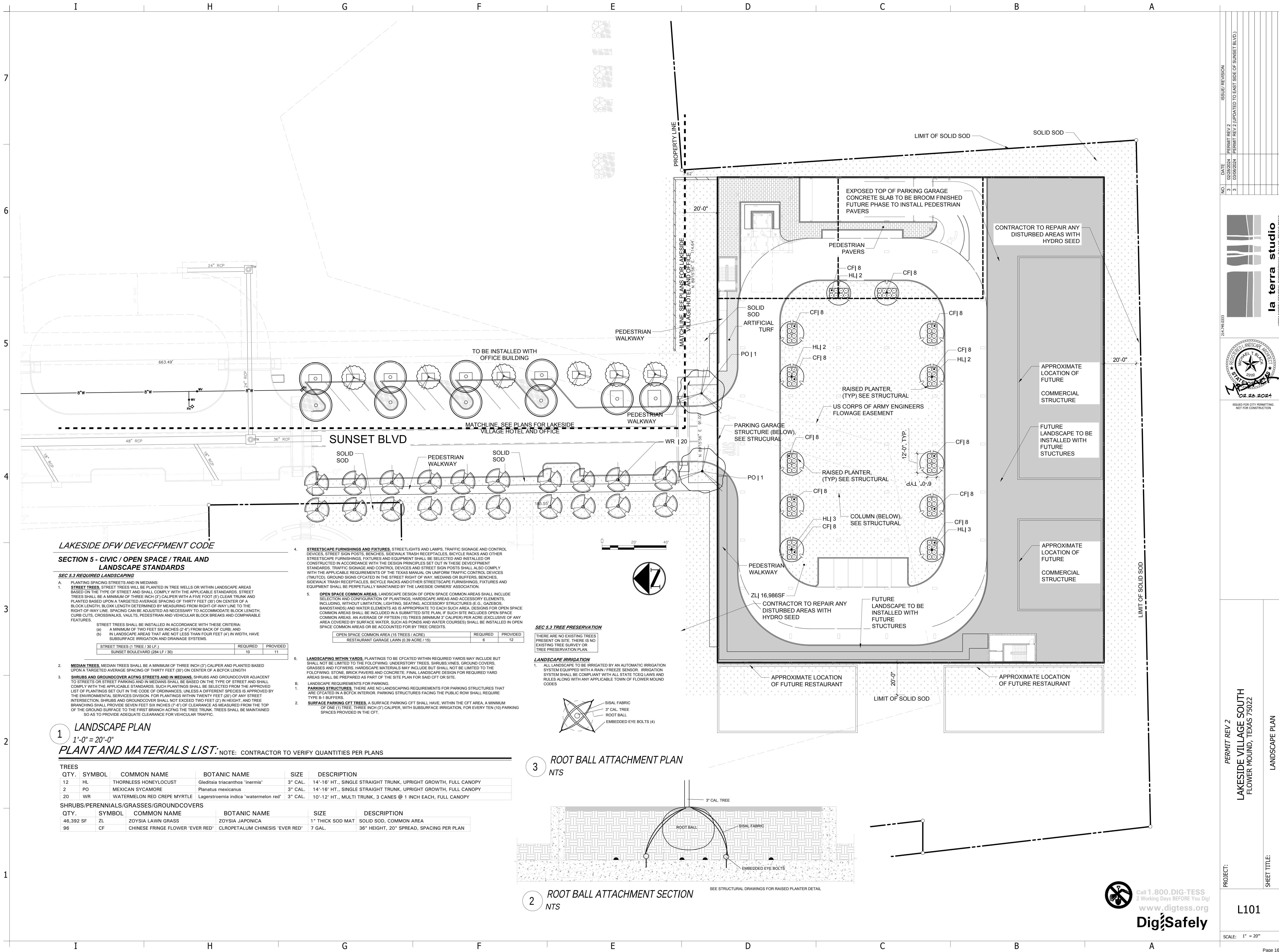
PROJECT: **PERMIT REV 2**
LAKESIDE VILLAGE SOUTH
FLOWER MOUND, TEXAS 75022

SHEET TITLE: **LEVEL B2 - ARCHITECTURAL PARKING**

AP103

SCALE: As indicated

Page 15 of 19



LAKESIDE DFW DEVECFPMPT CODE

SECTION 5 - CIVIC / OPEN SPACE / TRAIL AND LANDSCAPE STANDARDS

SEC 5.3 REQUIRED LANDSCAPING

- A. PLANTING SPACING STREETS AND IN MEDIANS:
1. **STREET TREES.** STREET TREES WILL BE PLANTED IN TREE WELLS OR WITHIN LANDSCAPE AREAS BASED ON THE TYPE OF STREET AND SHALL COMPLY WITH THE APPLICABLE STANDARDS. STREET TREES SHALL BE A MINIMUM OF THREE INCH (3") CALIPER WITH A FIVE FOOT (5') CLEAR TRUNK AND PLANTED BASED UPON A TARGETED AVERAGE SPACING OF THIRTY FEET (30') ON CENTER OF A BLOCK LENGTH. BLOCK LENGTH DETERMINED BY MEASURING FROM RIGHT-OF-WAY LINE TO THE RIGHT-OF-WAY LINE. SPACING CAN BE ADJUSTED AS NECESSARY TO ACCOMMODATE BLOCK LENGTH, CURB CUTS, CROSSWALKS, VAULTS, PEDESTRIAN AND VEHICULAR BLOCK BREAKS AND COMPARABLE FEATURES.
- STREET TREES SHALL BE INSTALLED IN ACCORDANCE WITH THESE CRITERIA:
- (a) A MINIMUM OF TWO FEET SIX INCHES (2'-6") FROM BACK OF CURB; AND
- (b) IN LANDSCAPE AREAS THAT ARE NOT LESS THAN FOUR FEET (4') IN WIDTH, HAVE SUBSURFACE IRRIGATION AND DRAINAGE SYSTEMS.

STREET TREES (1 TREE / 30 LF.)	REQUIRED	PROVIDED
SUNSET BOULEVARD (284 LF / 30)	10	11

2. **MEDIAN TREES.** MEDIAN TREES SHALL BE A MINIMUM OF THREE INCH (3") CALIPER AND PLANTED BASED UPON A TARGETED AVERAGE SPACING OF THIRTY FEET (30') ON CENTER OF A BLOCK LENGTH.
3. **SHRUBS AND GROUND COVER ADJACENT TO STREETS AND IN MEDIANS.** SHRUBS AND GROUND COVER ADJACENT TO STREETS OR STREET PARKING AND IN MEDIANS SHALL BE BASED ON THE TYPE OF STREET AND SHALL COMPLY WITH THE APPLICABLE STANDARDS. SUCH PLANTINGS SHALL BE SELECTED FROM THE APPROVED LIST OF PLANTINGS SET OUT IN THE CODE OF ORDINANCES, UNLESS A DIFFERENT SPECIES IS APPROVED BY THE ENVIRONMENTAL SERVICES DIVISION. FOR PLANTINGS WITHIN TWENTY FEET (20') OF ANY STREET INTERSECTION, SHRUBS AND GROUND COVER SHALL NOT EXCEED TWO FEET (2') IN HEIGHT, AND TREE BRANCHING SHALL PROVIDE SEVEN FEET SIX INCHES (7'-6") OF CLEARANCE AS MEASURED FROM THE TOP OF THE GROUND SURFACE TO THE FIRST BRANCH ACROSS THE TREE TRUNK. TREES SHALL BE MAINTAINED SO AS TO PROVIDE ADEQUATE CLEARANCE FOR VEHICULAR TRAFFIC.

1 LANDSCAPE PLAN

1'-0" = 20'-0"

PLANT AND MATERIALS LIST: NOTE: CONTRACTOR TO VERIFY QUANTITIES PER PLANS

TREES	QTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	DESCRIPTION
12	HL		THORNLESS HONEYLOCUST	Gleditsia triacanthos 'inermis'	3" CAL.	14'-18' HT., SINGLE STRAIGHT TRUNK, UPRIGHT GROWTH, FULL CANOPY
2	PO		MEXICAN SYCAMORE	Platanus mexicana	3" CAL.	14'-18' HT., SINGLE STRAIGHT TRUNK, UPRIGHT GROWTH, FULL CANOPY
20	WR		WATERMELON RED CREPE MYRTLE	Lagerstroemia indica 'watermelon red'	3" CAL.	10'-12' HT., MULTI TRUNK, 3 CANES @ 1" INCH EACH, FULL CANOPY

SHRUBS/PERENNIALS/GRASSES/GROUNDCOVERS

QTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	DESCRIPTION
46,392 SF	ZL	ZOYSIA LAWN GRASS	ZOYSIA JAPONICA	1" THICK SOD MAT	SOLID SOD, COMMON AREA
96	CF	CHINESE FRINGE FLOWER 'EVER RED'	CLROPETALUM CHINESE 'EVER RED'	7 GAL.	36" HEIGHT, 20" SPREAD, SPACING PER PLAN

4. **STREETSCAPE FURNISHINGS AND FIXTURES.** STREETLIGHTS AND LAMPS, TRAFFIC SIGNAGE AND CONTROL DEVICES, STREET SIGN POSTS, BENCHES, SIDEWALK TRASH RECEPTACLES, BICYCLE RACKS AND OTHER STREETSCAPE FURNISHINGS, FIXTURES AND EQUIPMENT SHALL BE SELECTED AND INSTALLED OR CONSTRUCTED IN ACCORDANCE WITH THE DESIGN PRINCIPLES SET OUT IN THESE DEVELOPMENT STANDARDS. TRAFFIC SIGNAGE AND CONTROL DEVICES AND STREET SIGN POSTS SHALL ALSO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD). GROUND SIGNS LOCATED IN THE STREET RIGHT OF WAY, MEDIANS OR BUFFERS, BENCHES, SIDEWALK TRASH RECEPTACLES, BICYCLE RACKS AND OTHER STREETSCAPE FURNISHINGS, FIXTURES AND EQUIPMENT SHALL BE PERPETUALLY MAINTAINED BY THE LAKESIDE OWNERS' ASSOCIATION.
5. **OPEN SPACE COMMON AREAS.** LANDSCAPE DESIGN OF OPEN SPACE COMMON AREAS SHALL INCLUDE SELECTION AND CONFIGURATION OF PLANTINGS, HARDSCAPE AREAS AND ACCESSORY ELEMENTS INCLUDING, WITHOUT LIMITATION, LIGHTING, SEATING, ACCESSORY STRUCTURES (E.G., GAZEBOS, BANDSTANDS) AND WATER ELEMENTS AS IS APPROPRIATE TO EACH SUCH AREA. DESIGNS FOR OPEN SPACE COMMON AREAS SHALL BE INCLUDED IN A SUBMITTED SITE PLAN. IF SUCH SITE INCLUDES OPEN SPACE COMMON AREAS, AN AVERAGE OF FIFTEEN (15) TREES (MINIMUM 3" CALIPER) PER ACRE (EXCLUSIVE OF ANY AREA COVERED BY SURFACE WATER, SUCH AS PONDS AND WATER COURSES) SHALL BE INSTALLED IN OPEN SPACE COMMON AREAS OR BE ACCOUNTED FOR BY TREE CREDITS.

OPEN SPACE COMMON AREA (15 TREES / ACRE)	REQUIRED	PROVIDED
RESTAURANT GARAGE LAWN (0.39 ACRE / 15)	6	12

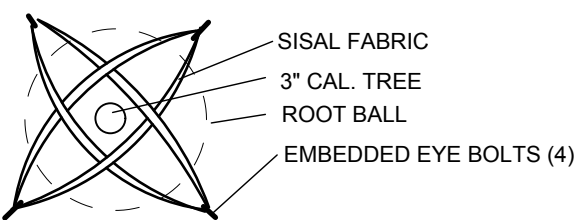
6. **LANDSCAPING WITHIN YARDS.** PLANTINGS TO BE CREATED WITHIN REQUIRED YARDS MAY INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: UNDERSTORY TREES, SHRUBS, VINES, GROUND COVERS, GRASSES AND FLOWERS. HARDSCAPE MATERIALS MAY INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: STONE, BRICK, PAVERS AND CONCRETE. FINAL LANDSCAPE DESIGN FOR REQUIRED YARD AREAS SHALL BE PREPARED AS PART OF THE SITE PLAN FOR SAID CFT OR SITE.
8. **LANDSCAPE REQUIREMENTS FOR PARKING.**
1. **PARKING STRUCTURES.** THERE ARE NO LANDSCAPING REQUIREMENTS FOR PARKING STRUCTURES THAT ARE CREATED IN A GROUND INTERIOR. PARKING STRUCTURES FACING THE PUBLIC ROW SHALL REQUIRE TYPE B-1 BUFFERS.
2. **SURFACE PARKING CFT TREES.** A SURFACE PARKING CFT SHALL HAVE, WITHIN THE CFT AREA, A MINIMUM OF ONE (1) TREE, THREE INCH (3") CALIPER, WITH SUBSURFACE IRRIGATION, FOR EVERY TEN (10) PARKING SPACES PROVIDED IN THE CFT.

SEC 5.3 TREE PRESERVATION

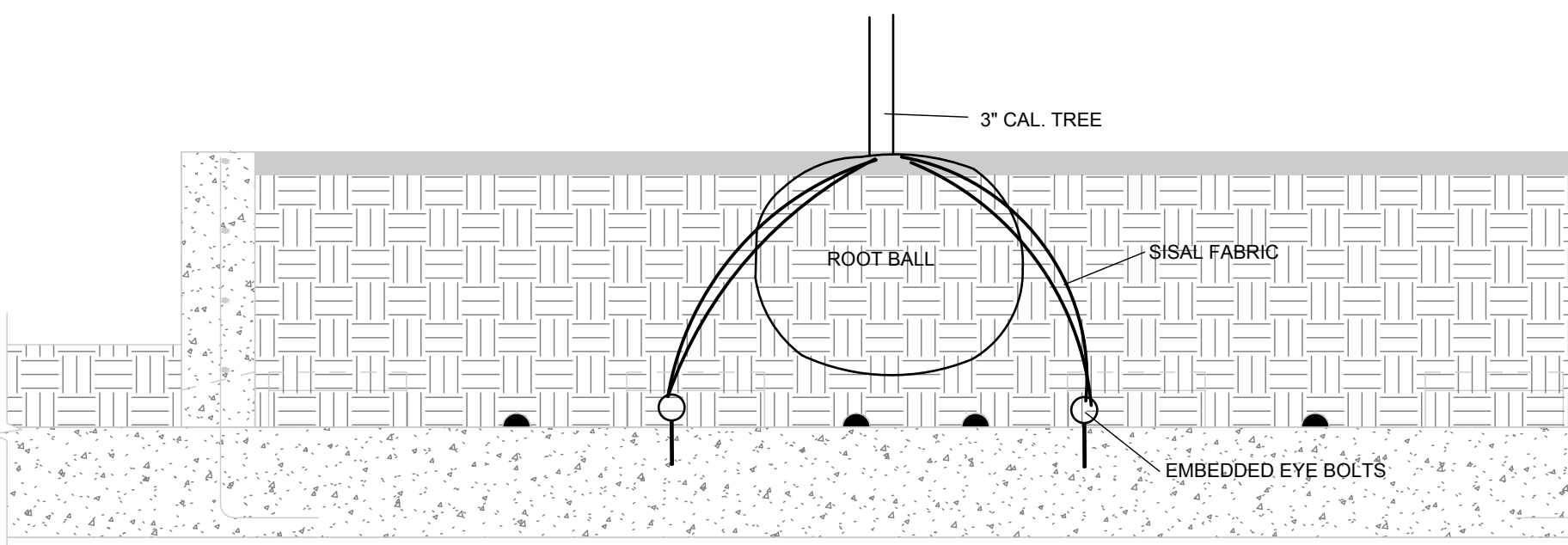
THERE ARE NO EXISTING TREES PRESENT ON SITE. THERE IS NO EXISTING TREE SURVEY OR TREE PRESERVATION PLAN.

LANDSCAPE IRRIGATION

1. ALL LANDSCAPE TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN / FREEZE SENSOR. IRRIGATION SYSTEM SHALL BE COMPLIANT WITH ALL STATE TCEQ LAWS AND RULES ALONG WITH ANY APPLICABLE TOWN OF FLOWER MOUND CODES.



3 ROOT BALL ATTACHMENT PLAN NTS



2 ROOT BALL ATTACHMENT SECTION NTS

PROJECT: LAKESIDE VILLAGE SOUTH
FLOWER MOUND, TEXAS 75022

PERMIT REV 2

LANDSCAPE PLAN

NO. DATE

3 02/28/2024

3 03/08/2024

ISSUE/REVISION

PERMIT REV 2

PERMIT REV 2 (UPDATED TO EAST SIDE OF SUNSET BLVD.)

la terra studio

12001 NORTH CENTRAL EXPRESSWAY, DALLAS, TEXAS 75243

247-990-0333

2024

2024

ISSUED FOR CITY PERMITTING
NOT FOR CONSTRUCTION

2024

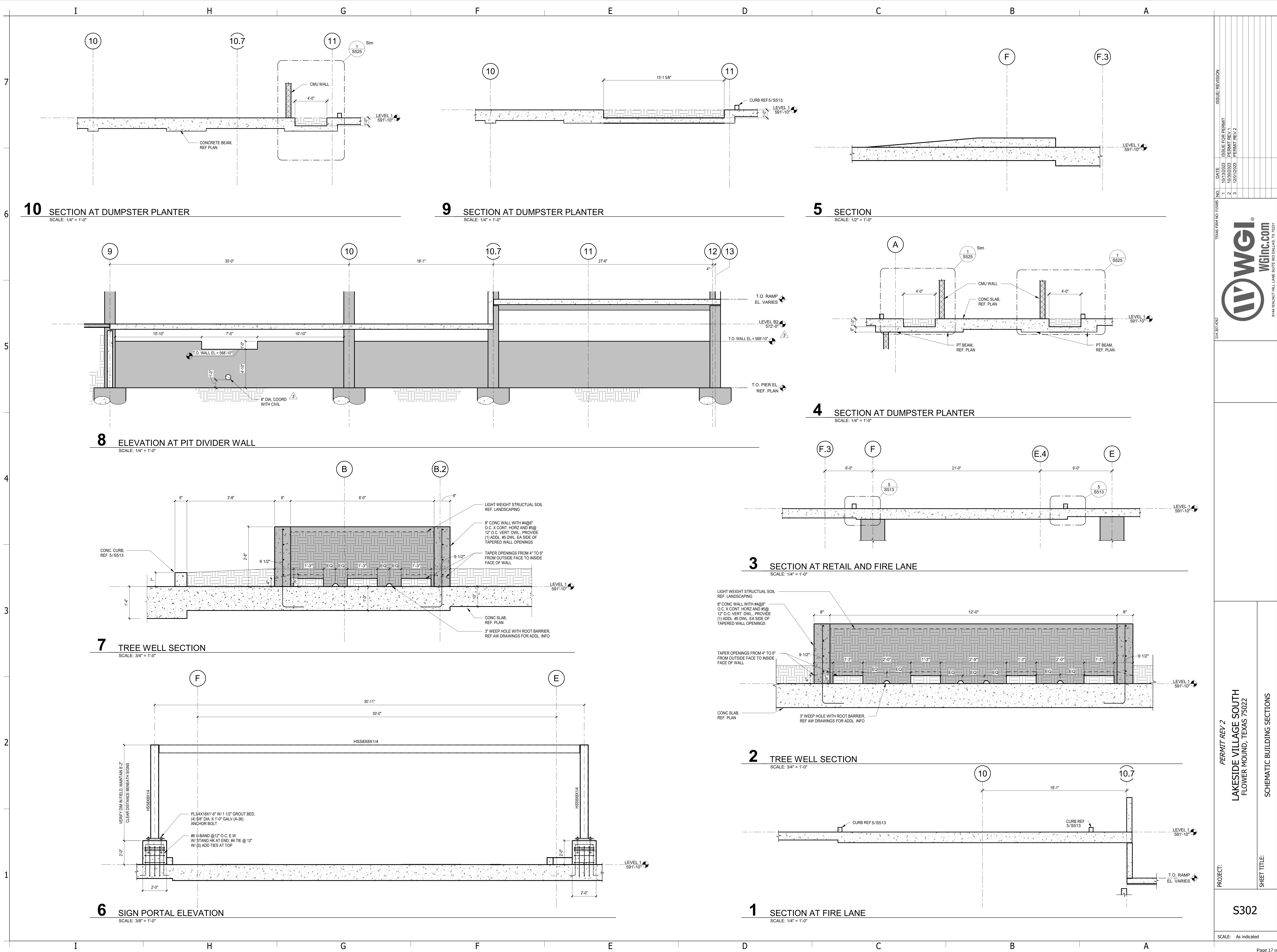
2024

Call 1.800.DIG-TESS
2 Working Days BEFORE You Dig!
www.dig-tess.org

Dig Safely

1" = 20"

Page 16 of 19



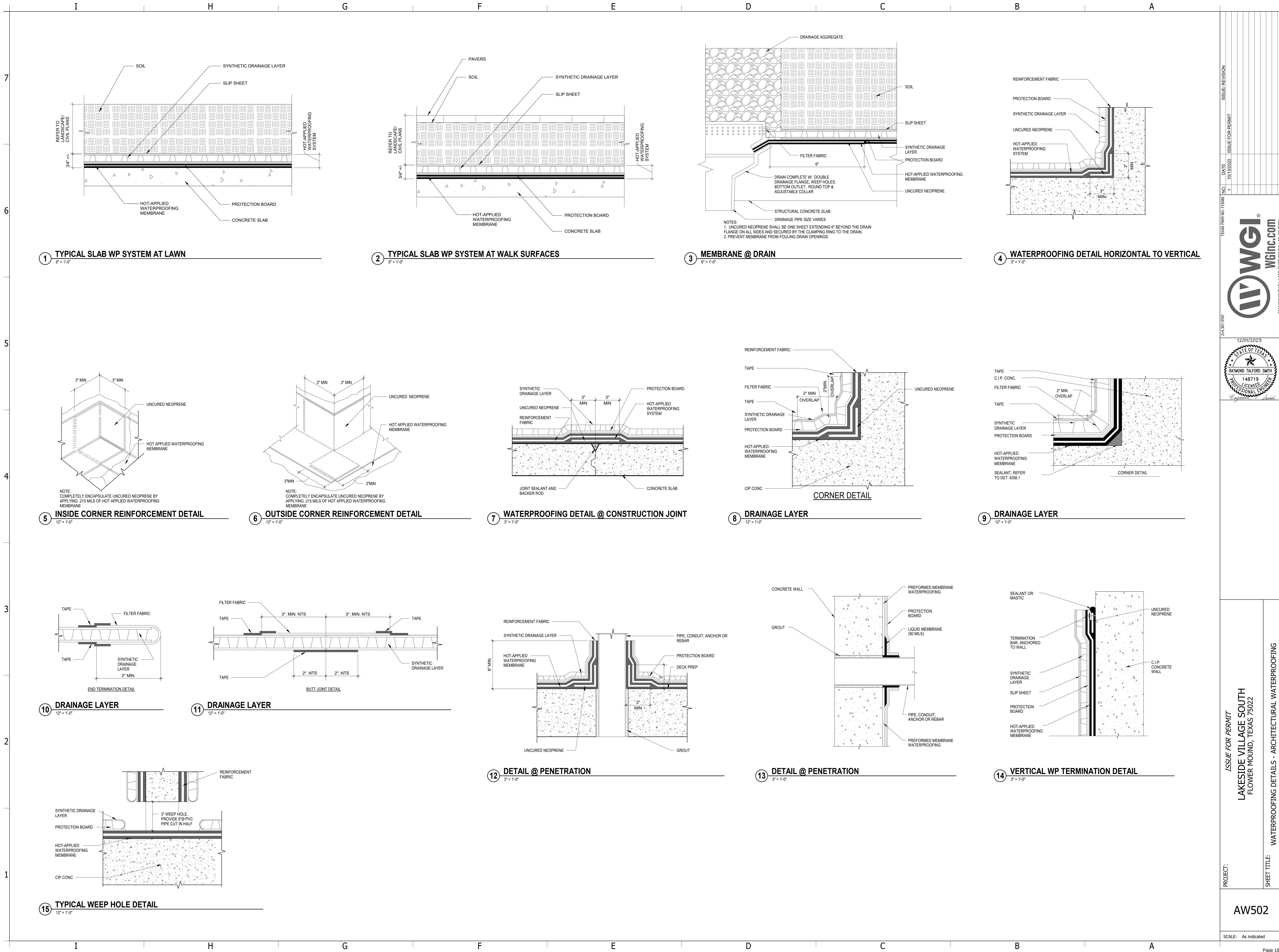
ISSUE/REVISION		
NO.	DATE	ISSUE/REVISION
1	10/13/2023	ISSUE FOR PERMIT
2	10/13/2023	PERMIT REV 1
3	10/13/2023	PERMIT REV 2

TEXAS FIRM NO. 115085	210.307.4767	WGL wglinc.com 814 WALNUT HILL LANE SUITE 800 DALLAS, TX 75201
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PROJECT:	PERMIT REV 2 LAKESIDE VILLAGE SOUTH FLOWER MOUND, TEXAS 75022
SHEET TITLE:	SCHEMATIC BUILDING SECTIONS

S302

SCALE: As indicated



ISSUE/REVISION

NO.	DATE	ISSUE FOR PERMIT
1	10/13/2023	

TXS&FIRM NO. 13505

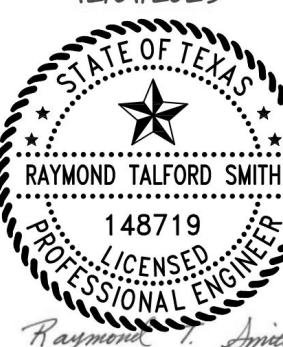


WGI
wGinc.com

814 WALNUT HILL LANE SUITE 803 DALLAS, TX 75201

21.307.4797

12/01/2023



STATE OF TEXAS
RAYMOND TALFORD SMITH
148719
LICENSED PROFESSIONAL ENGINEER
In good standing

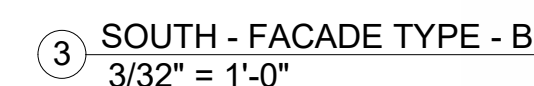
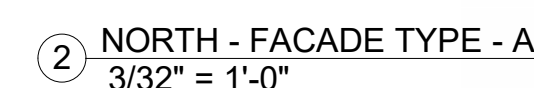
ISSUE FOR PERMIT

PROJECT:
LAKESIDE VILLAGE SOUTH
FLOWER MOUND, TEXAS 75022

SHEET TITLE:
WATERPROOFING DETAILS - ARCHITECTURAL WATERPROOFING

AW502

SCALE: As indicated



① EAST - FACADE TYPE - B
3/32" = 1'-0"

