

Planning & Zoning Commission



April 22, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flower-mound.com or by calling 972.874.6350 and leaving a message.

AGENDA

A. CALL TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

E. COORDINATION OF CALENDARS

1. Monday, May 13, 2024
2. Monday, June 10, 2024

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

G. STAFF/DIRECTOR REPORT

1. Town Council Work Session - FloMo Convos

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of April 8, 2024 - Consider approval of the minutes from April 8, 2024.

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP23-0017 - Southgate Commercial NE Tract Lot 1R1, Block A - Consider a request for a Site Plan (SP23-0017 - Southgate NE Lot 1R1, Block A) to develop one non-residential building. The property is generally located north of Patriot Way and east of Gerault Road.

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town’s development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SUP24-0002 - Petfolk Veterinary Hospital - Public hearing to consider an ordinance granting Specific Use Permit No. 491 (SUP24-0002- Petfolk Veterinary Hospital) to permit a veterinary hospital (inside pens) use. The property is generally located north of Cross Timbers Road and east of Long Prairie Road.

K. ADJOURN

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the Notice of Meeting was posted on the bulletin board at the Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town’s website in accordance with GC Section 551.056 on the following date and time: April 18, 2024, at 3:30 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



April 8, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Gilmore called the regular meeting to order at 6:30 p.m. with the following members present:

Donald Gilmore, Place 6, Chair
Janvier Werner, Place 3, Vice Chair
Gregory Schultz, Place 1
Jason Hobbs, Place 2
Scott Langley, Place 5
Cheryl Moore, Place 8 Alternate (*left at 6:32 p.m.*)
Todd Bayuk, Place 9 Alternate

with the following member(s) absent:

Vacant, Place 4
Scott Jostes, Place 7

constituting a quorum with the following members of the Town Staff participating:

Rachel Raggio, Town Attorney
Poornima Kashyap, Planning Manager
Bob Pegg, Assistant Director of Engineering
Chuck Russell, Principal Planner
Codie Freeman, Planner
LauriAnn Cash, Executive Assistant

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

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- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

Speaker name and address	Subject (as written on the form)
None	

** Indicates person did not wish to speak*

E. COORDINATION OF CALENDARS

1. Monday, April 22, 2024
2. Monday, May 13, 2024

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

None

G. STAFF/DIRECTOR REPORT

1. Setbacks

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of March 25, 2024 - Consider approval of the minutes from the March 25, 2024, meeting.

ACTION: Vice-Chair Werner moved to approve H.1. as presented in the agenda caption. Commissioner Hobbs seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP23-0009 - Hampton Inn Hotel - Consider a request for a Site Plan (SP23-0009 – Hampton Inn Hotel) to develop a hotel. The property is generally located east of International Parkway and south of Lakeside Parkway.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Daniel Stewart, DEC; present for questions, no presentation

ACTION: Commissioner Hobbs moved to approve I.1. as presented in the agenda caption. Vice-Chair Werner seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. RC24-0001 - Lungren Addition Lot 1, Block A - Consider a request for a Record Plat (RC24-0001-Lungren Addition Lot 1 Block A) to create a residential subdivision with an exception to lot width to depth ratio pursuant to Section 90-272(a), of the Code of Ordinances. The property is generally located north of Stapleton and west of Kirkpatrick Lane.

STAFF PRESENTATION:

Codie Freeman, Planner

APPLICANT PRESENTATION:

Applicant not present

ACTION: Commissioner Langley moved to recommend approval of J.1. as presented in the agenda caption. Vice-Chair Werner seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

2. CSP24-0001 - Tesla - Public Hearing to consider a request for a Comprehensive Sign Package (CSP24-0001- Tesla) to allow a ground sign and additional wall signs on the building. The property is generally located south of Justin Road and west of Stone Hill Farms Parkway.

STAFF PRESENTATION:

Codie Freeman, Planner

APPLICANT PRESENTATION:

Dhwani Dave, Tesla; present for questions, no presentation

ACTION: Commissioner Hobbs moved to recommend approval of J.2. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

3. MPA23-0009 - Box Investment Group - Public Hearing to consider an ordinance for a Master Plan Amendment (MPA23-0009 – Box Investment Group) to amend Section 1.0, Land Use Plan and Section 2.0, Area Plans, of the Master Plan by changing the current land use designation within the Lakeside Business District Area Plan from Campus Commercial uses to Campus Industrial uses. The property is generally located south of Lakeside Parkway and east of Silveron Boulevard.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Todd Marchesani, Box Investment Group
Kori Haug, Belle Firma
Mark Sullivan, GDA Architects

ACTION: Vice-Chair Werner moved to recommend approval of J.3. as presented in the agenda caption. Commissioner Schultz seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

4. ZPD23-0015 - Box Investment Group - Public Hearing to consider an ordinance amending the zoning (ZPD23-0015 - Box Investment Group) from Planned Development District No. 31 (PD-31) with Campus Commercial District (CC) uses to Planned Development District No. 201 (PD-201) with Campus Commercial District (CC) uses and certain Campus Industrial District (CI) uses, with certain waivers, exceptions and modifications to the Code of Ordinances including but not limited to an exception to Section 98-147, "Topographical Slope Protection", and an exception to the access management policy and criteria, regarding driveway spacing, contained in the Town's Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances. The property is generally located south of Lakeside Parkway and east of Silveron Boulevard.

STAFF PRESENTATION:
Chuck Russell, Principal Planner

APPLICANT PRESENTATION:
Todd Marchesani, Box Investment Group
Kori Haug, Belle Firma
Mark Sullivan, GDA Architects

ACTION: Commissioner Schultz moved to recommend approval of J.4. as presented in the staff presentation. Commissioner Langley seconded the motion.

AYES: Werner, Hobbs, Langley, Schultz, Bayuk

NAYS: None

RESULT: 5 : 0

K. ADJOURN

Chair Gilmore adjourned the meeting at 7:54 p.m.

TOWN OF FLOWER MOUND, TEXAS

DON GILMORE, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA I.1. NON-DISCRETIONARY ITEM(S)

DATE: April 22, 2024
FROM: Codie Freeman, Planner
ITEM: **Consider a request for a Site Plan (SP23-0017 - Southgate NE Lot 1R1, Block A) to develop one non-residential building. The property is generally located north of Patriot Way and east of Gerault Road.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop an office/retail building on Lot 1R1, Block A of the Southgate Commercial Northeast Tract Addition. The subject property is currently undeveloped and contains approximately 1.30 acres.

The property is located within Planned Development District-134 (PD-134) for the Southgate Development with both non-residential and residential uses in compliance with the Campus Commercial land use designation within the Lakeside Business District. The area of consideration for this site plan application is located within the SG-C2 subzone of the Northeast Tract. This PD created distinctive zones within each Tract and provided development standards for each zone in terms of street and thoroughfare standards, open space and landscape standards, parking standards, architectural standards, etc.

The site plan provides for a one-story building that contains 10,783 square feet of enclosed office and retail space. Access is provided from Gerault Road and Glenview Avenue.

The required and proposed parking for the proposed building in accordance with the Southgate ordinance is 43 parking spaces calculated at a blended ratio of one space for every 250 square feet for a combination of office and retail uses. As required by the Southgate ordinance, the plan identifies block corners where parking is not permitted.

The landscape plan depicts required landscape buffer trees, street yard trees, parking lot trees and Town trail. The standards within SG-C2 allows the building front entrances to be oriented either towards Gerault Road or Glenview Avenue. Though the proposed building has front entrances oriented towards Glenview Avenue, which is an internal street, all facades are similarly articulated. The attached site plan, landscape plan, and elevations comply with the applicable provisions in PD-

134 and the Town standards. The building elevations complement the two office/retail buildings within this subdivision in terms of building designs, colors, and materials.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

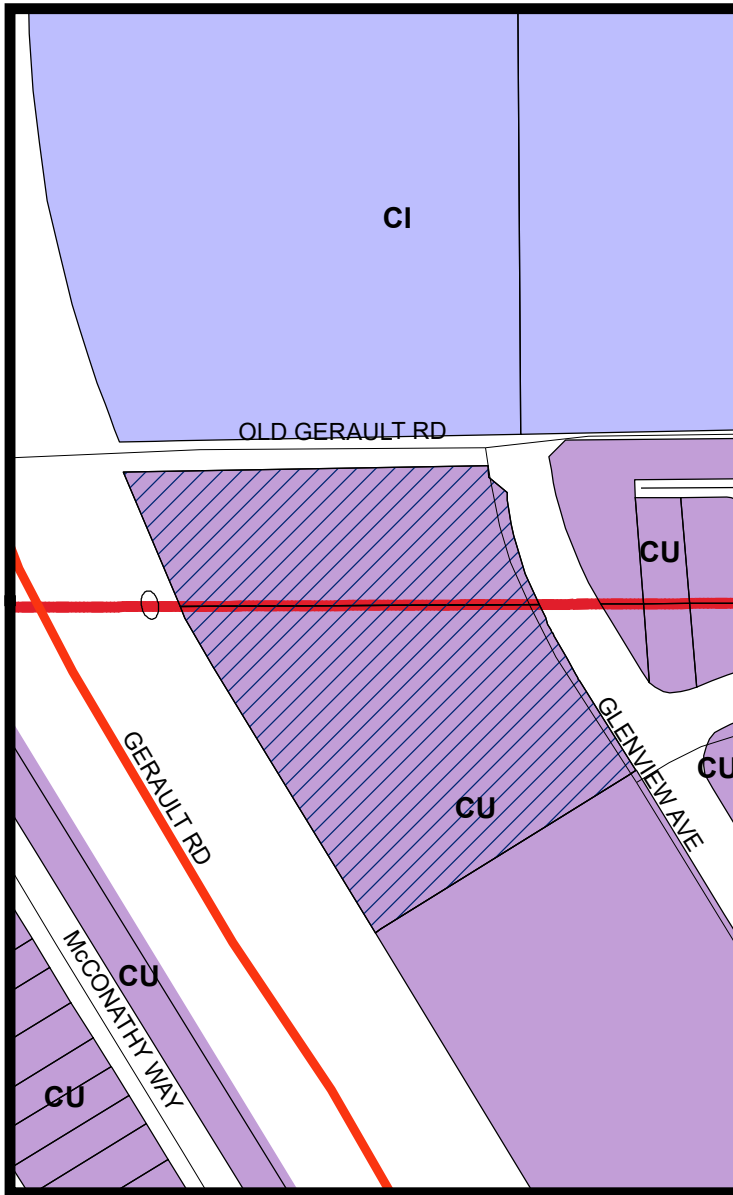
ATTACHMENTS:

1. Zoning & Aerial Map
2. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SP23-0017: Southgate Commercial NE Tract



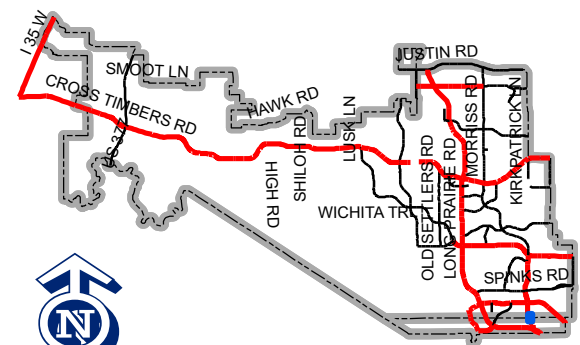
LEGEND

 Campus Industrial  *Combined Uses-See Ordinance

 Subject Property

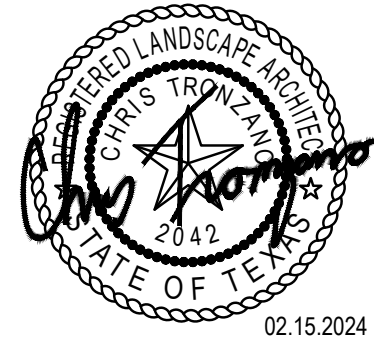
Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location

0 90 180 360 Feet



MEDICAL OFFICE DEVELOPMENT

300 GERAULT ROAD
FLOWER MOUND, TEXAS

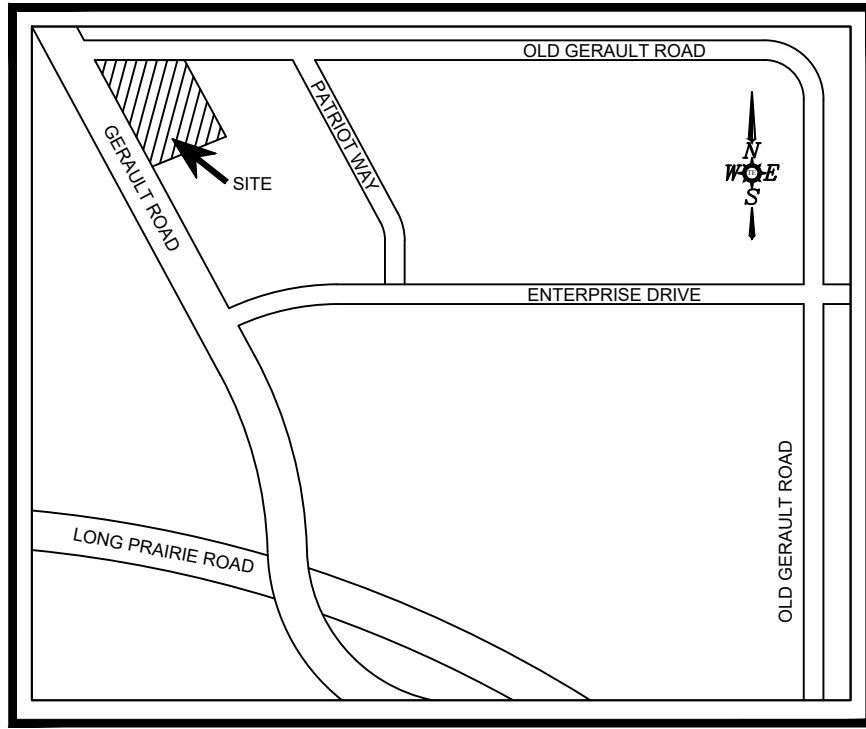
ISSUE:
FOR APPROVAL 09.18.2023
CITY COMMENTS 11.09.2023
CITY COMMENTS 01.22.2024
CITY COMMENTS 02.15.2024

DATE:
02.15.2024

SHEET NAME:
LANDSCAPE PLAN

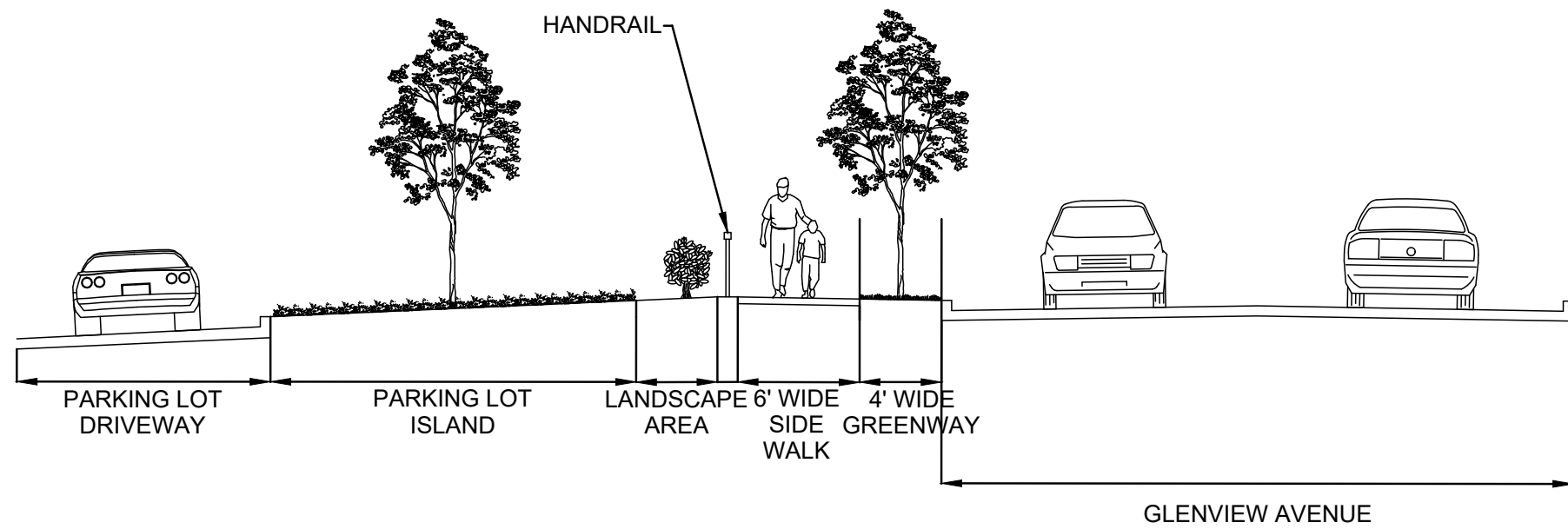
SHEET NUMBER:

L.2



VICINITY MAP
N.T.S.

02 CROSS SECTION A
SCALE N.T.S.



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

IRRIGATION NOTE

- ALL LANDSCAPE TO BE 100% IRRIGATED.

OPEN SPACE NOTE

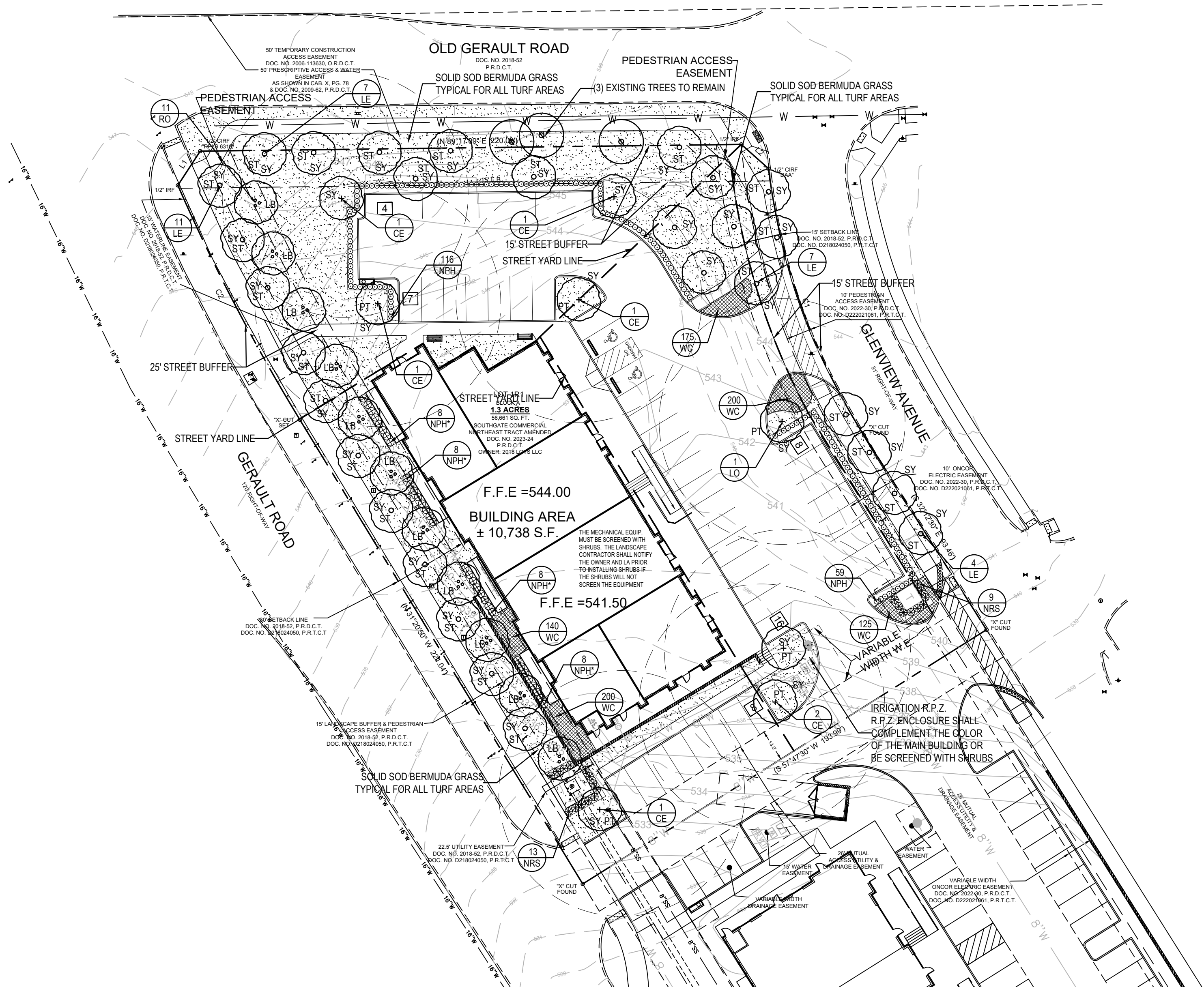
- OPEN SPACE TO BE DEDICATED AND MAINTAINED BY THE SOUTHGATE PROPERTY OWNER'S ASSOCIATION.

LANDSCAPE TABULATIONS

Street Buffer Landscaping			
Street		Required Buffer Width	Provided Buffer Width
Glenview Avenue		15'	15'
Old Gerault Road		15'	15'
Gerault Road		15'	26'
Street Buffer Trees			
Standard	Street Frontage	Required	Provided
1 Tree per 30 L.F.	Old Gerault Road - 220 L.F.	7 Trees (3" cal.)	7 Trees (3" cal.)
	Glenview Avenue - 224 L.F.	7 Trees (3" cal.)	7 Trees (3" cal.)
	Gerault Road - 328 L.F.	11 Trees (3" cal.)	11 Trees (3" cal.)
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
10,000 - 110,000 S.F. = 10 + 1 tree every 2,500 S.F. After 10,000 S.F.	Glenview Avenue 18,914 S.F.	14 Trees (3" cal.)	14 Trees (3" cal.)
	Old Gerault Road 15,094 S.F.	12 Trees (3" cal.)	12 Trees (3" cal.)
	Gerault Road 10,126 S.F.	10 Trees (3" cal.)	10 Trees (3" cal.)
Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
90 S.F. per 12 Spaces	43 Spaces	322 S.F.	2,405 S.F.
Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 Tree per 10 Spaces	43 Spaces	5 Trees (3" cal.)	6 Trees (3" cal.)
All parking spaces to be located within 50' of a parking lot tree			
Parking Area Screening			
Standard		Required	Provided
All head in parking to be screened from street view		Landscape berm or screening shrubs (3" H.L.)	Screening Shrubs (3" H.L.)
Open Space - Linear Park - Gerault Street			
Standard		Required	Provided
Minimum Area		5% 5,000 SF	15% 11,193 SF
Minimum Width		15'	15'
Trees		30 O.C. (20' - 30' + 11 TREES)	11 Trees (3" cal.)

TREE LEGEND-

LB- LANDSCAPE BUFFER (OPEN SPACE)
PT- PARKING LOT TREE
ST- STREET TREE
SY - STREET YARD TREES



01 LANDSCAPE PLAN
SCALE 1"=30'-0"

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

TREE TABLE			
ID	COMMON NAME	DBH (INCHES)	STATUS
4034	OAK	6	REMOVE
4035	CEDAR	8	REMOVE
4036	HACKBERRY	8	REMOVE
4037	HACKBERRY	6	REMOVE
4038	OAK	30	TO REMAIN
4039	OAK	30	TO REMAIN
4040	OAK	24	TO REMAIN
4041	CEDAR	6	REMOVE
4042	HACKBERRY	8	REMOVE

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, instal, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armocon with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

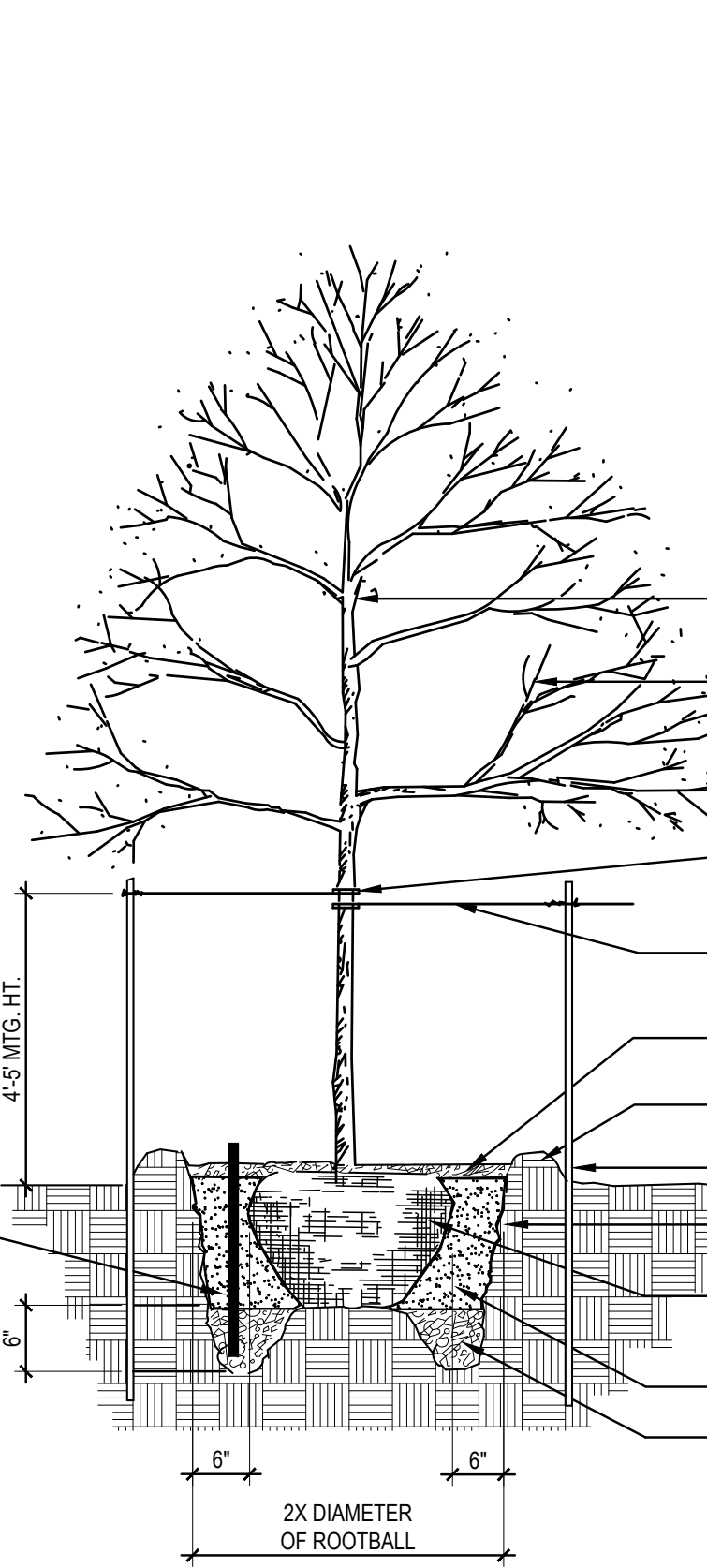
- Shrub and tree pits shall be no less than two (2") feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
- Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
- Pruning shall be done with clean, sharp tools.
- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

- Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be 3/4" maximum height above grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks.
 - Cut steel edging at 45 degree angle where edging meets sidewalk.

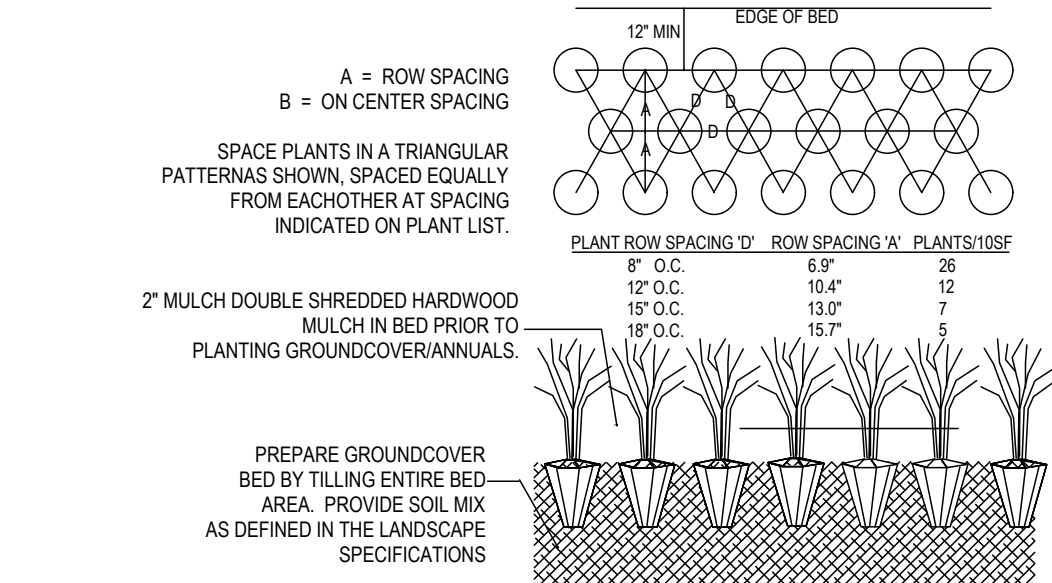
3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

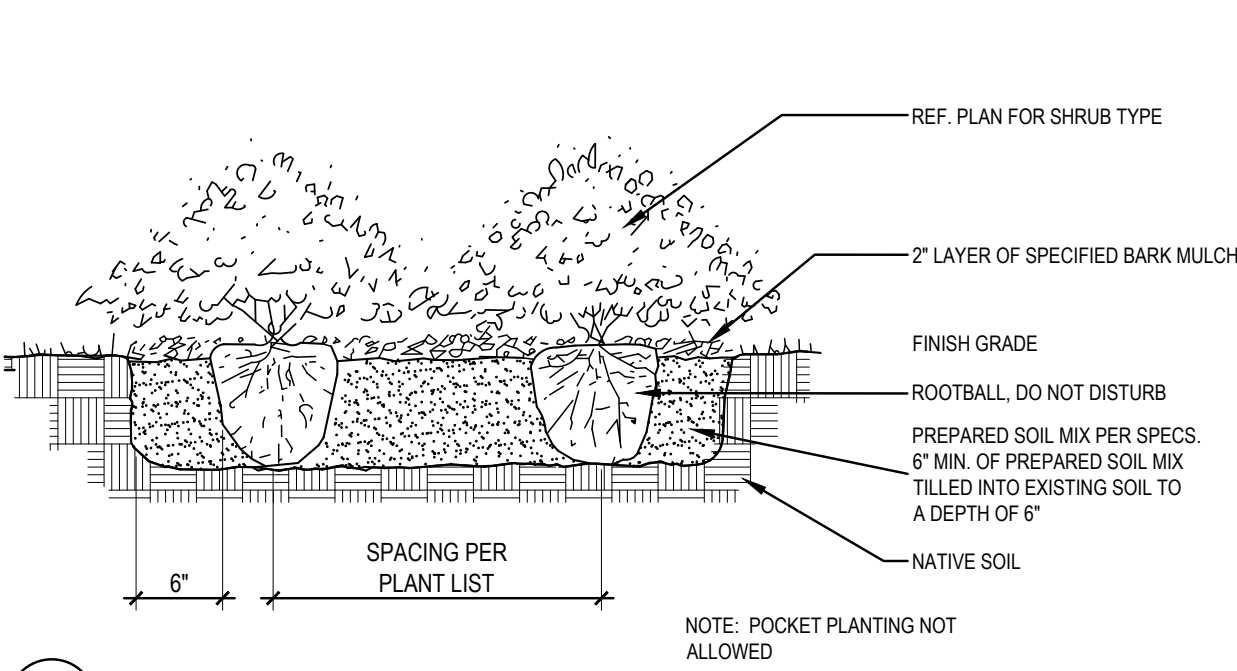
END OF SECTION



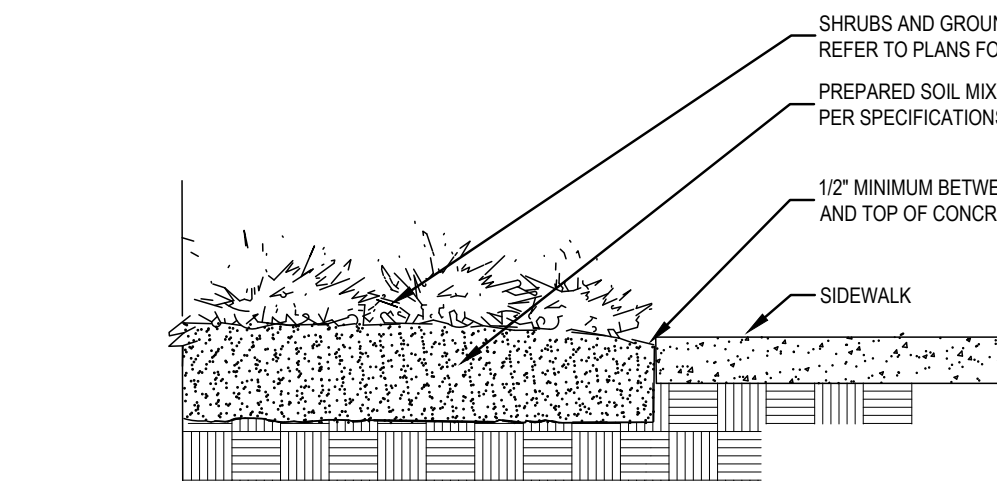
01 TREE PLANTING DETAIL
NOT TO SCALE



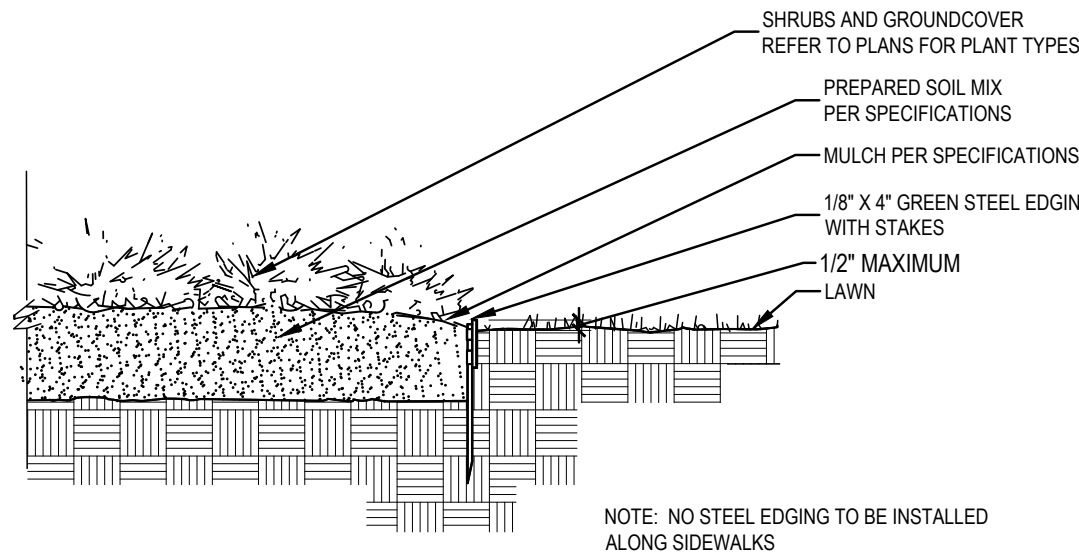
02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



03 SHRUB PLANTING DETAIL
NOT TO SCALE



04 SIDEWALK / MULCH DETAIL
no steel along sidewalks
NOT TO SCALE



05 STEEL EDGING DETAIL
NOT TO SCALE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



MEDICAL OFFICE DEVELOPMENT

300 GERAULT ROAD
FLOWER MOUND, TEXAS

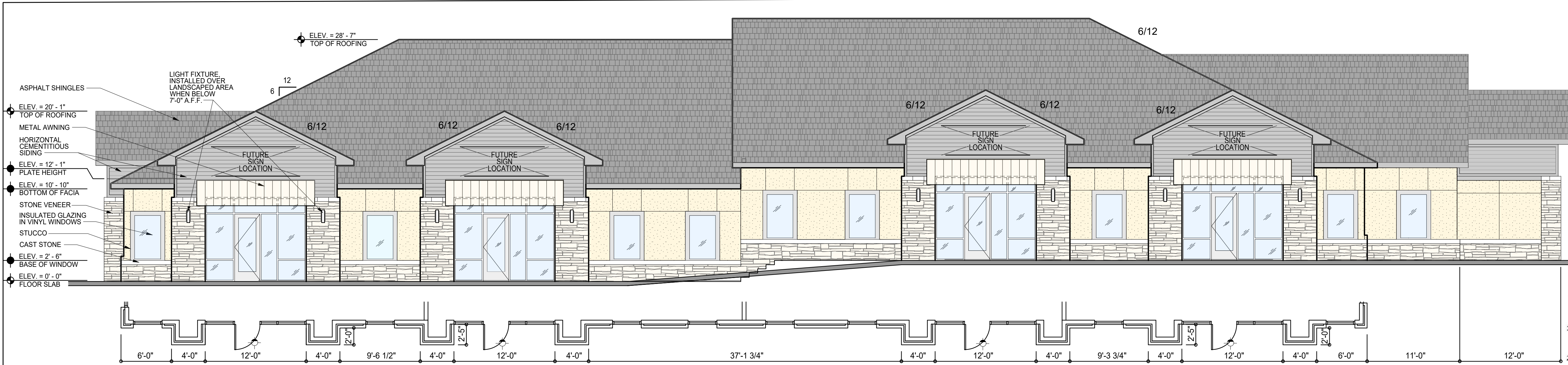
ISSUE:
FOR APPROVAL 09.18.2023

DATE:
09.18.2023

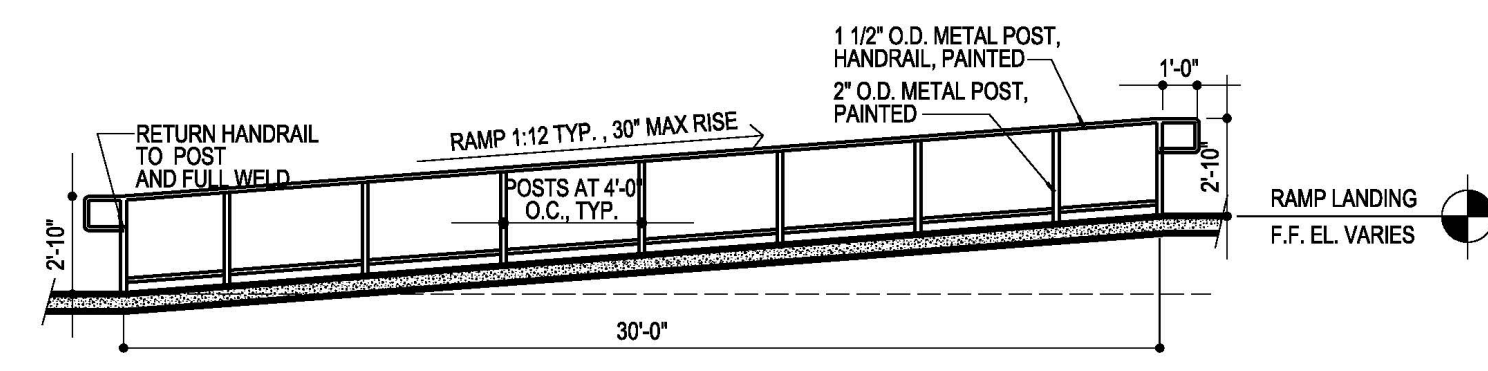
SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

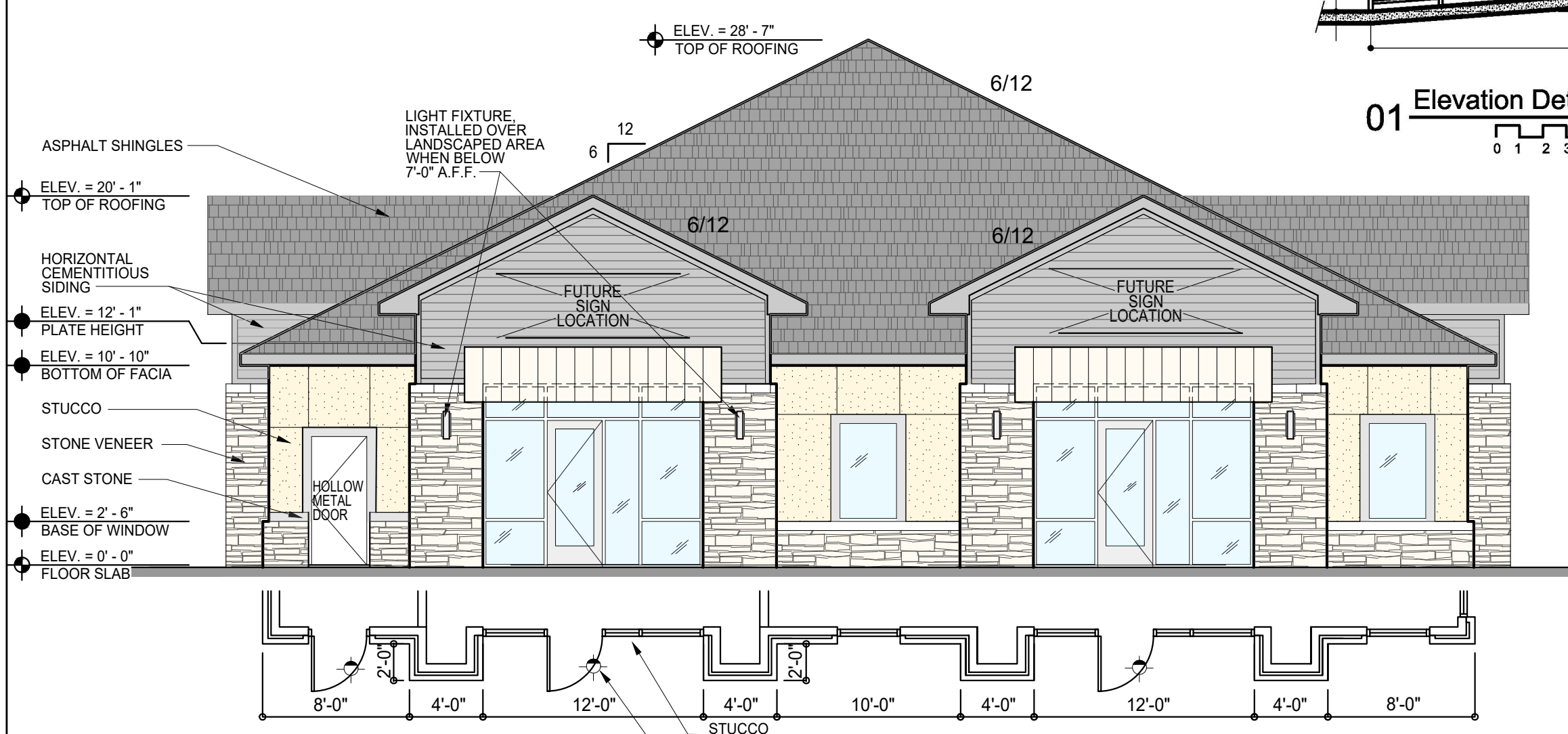
L.3



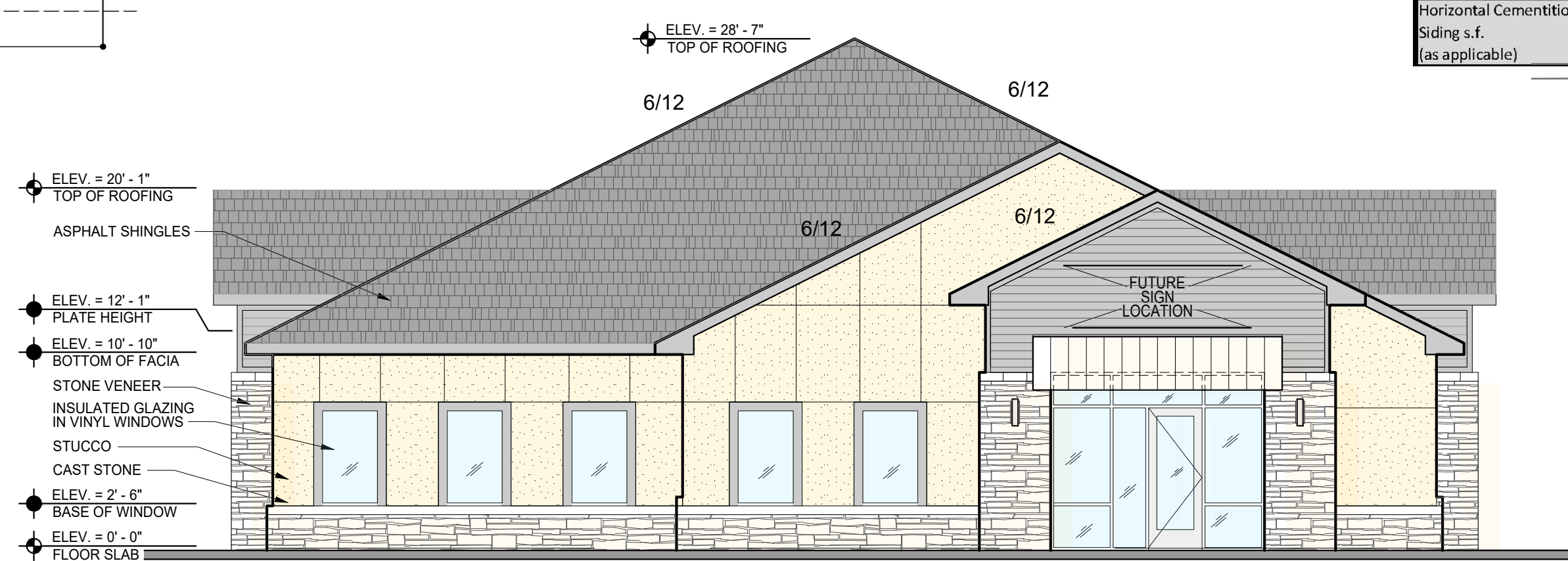
01 Front (East) Elevation



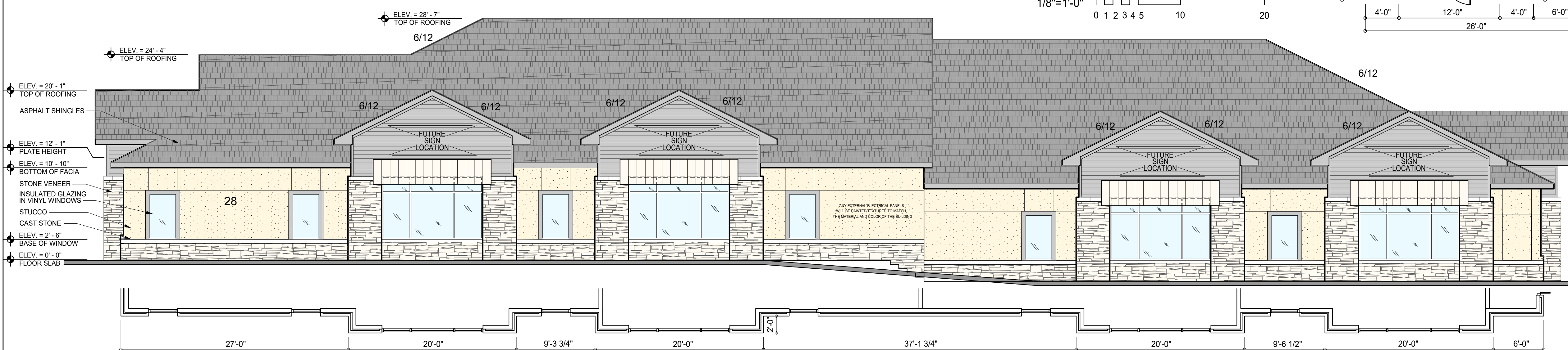
01 Elevation Detail



02 South Elevation



03 North Elevation



04 West Elevation

Material Calculation for Southgate Lot 1R1, Southgate Plan Development PD-134				
	North	South	East	West
1 Total Façade S.F.	981 s.f.	958 s.f.	2443 s.f.	2373 s.f.
2 Façade S.F. (exclusive of doors and windows)	751 s.f.	656 s.f.	1736 s.f.	1855 s.f.
3 Doors and Windows S.F.	230 s.f.	302 s.f.	707 s.f.	518 s.f.
4 Primary Masonry total (Min. 80%)	751 s.f. - 100%	656 s.f. - 100%	1736 s.f. - 100%	1855 s.f. - 100%
5 Cast Stone	24 s.f. - 3%	18 s.f. - 3%	67 s.f. - 5%	76 s.f. - 5%
6 Stone s.f. (as applicable)	185 s.f. - 26%	206 s.f. - 31%	535 s.f. - 30%	621 s.f. - 34%
7 Stucco s.f. (as applicable)	404 s.f. - 54%	156 s.f. - 24%	541 s.f. - 31%	607 s.f. - 33%
8 Horizontal Cementitious Siding s.f. (as applicable)	138 s.f. - 17%	276 s.f. - 42%	593 s.f. - 34%	551 s.f. - 28%

MATERIALS LEGEND	
MASONRY	ROOFING
STUCCO	GAF SHINGLES 30 YEAR FIBERGLASS TIMBERLINE-HDZ COLOR - PEWTER
CHOPPED LEUDERS LIMESTONE	ALUMINUM STOREFRONT SYSTEM
CAST STONE	CLEAR ANODIZED ALUMINUM BY KAWNEER OR EQUAL
CEMENTITIOUS SIDING - HORIZONTAL	AWNING METAL
	METAL ROOF STANDING SEAM AS MANUFACTURED BY ASC BUILDING PRODUCTS - LIGHT STONE

OWNER / DEVELOPER
BEVERLY CORP.
EDWIN GARCIA
949-297-5961

SOUTHGATE LOT 1R1
300 GERAULT RD.
LOT 1R1, BLOCK A
SOUTHGATE COMMERCIAL

ARCHITECT:
T.W. SNIDER & ASSOCIATES, L.L.C.
ARCHITECTURE & CONSTRUCTION MANAGEMENT
3922 CLEAR WATER LN.
NEVADA, TX 75173
TONY SNIDER 972-416-5165

If the adjacent seal block does not contain the architect's seal, signature, and date, then this document is incomplete and may not be for construction.
Tony Snider, TX Reg No. 16473
The Texas Board of Architectural Examiners has jurisdiction over compliance regarding the professional practices of persons registered as Architects in TX. PO Box 12307, Austin, TX 78711-2307. Ph: 512-305-8000. www.tbaa.org

04-10-24

ISSUE:
CITY REVIEW
04-10-24

SHEET
A1.1
Elevations

GAF Shingles

30 year Figerglass- Timberline-HDZ
Color- Pewter Gray



Stucco

Color- SW7008 Alabaster



Chopped Leuders

Natural Stone-
Cream to light tan range



Cementitious Horizontal Siding &Trim

Hardi Plank Shiplap-Timber Bark Window
Trim- Color SW7008 Anoymous



Aluminum

Clear Annodized Aluminum
by Kawneer or equal



Sconce

Chrome Finish to match Aluminum Storefront



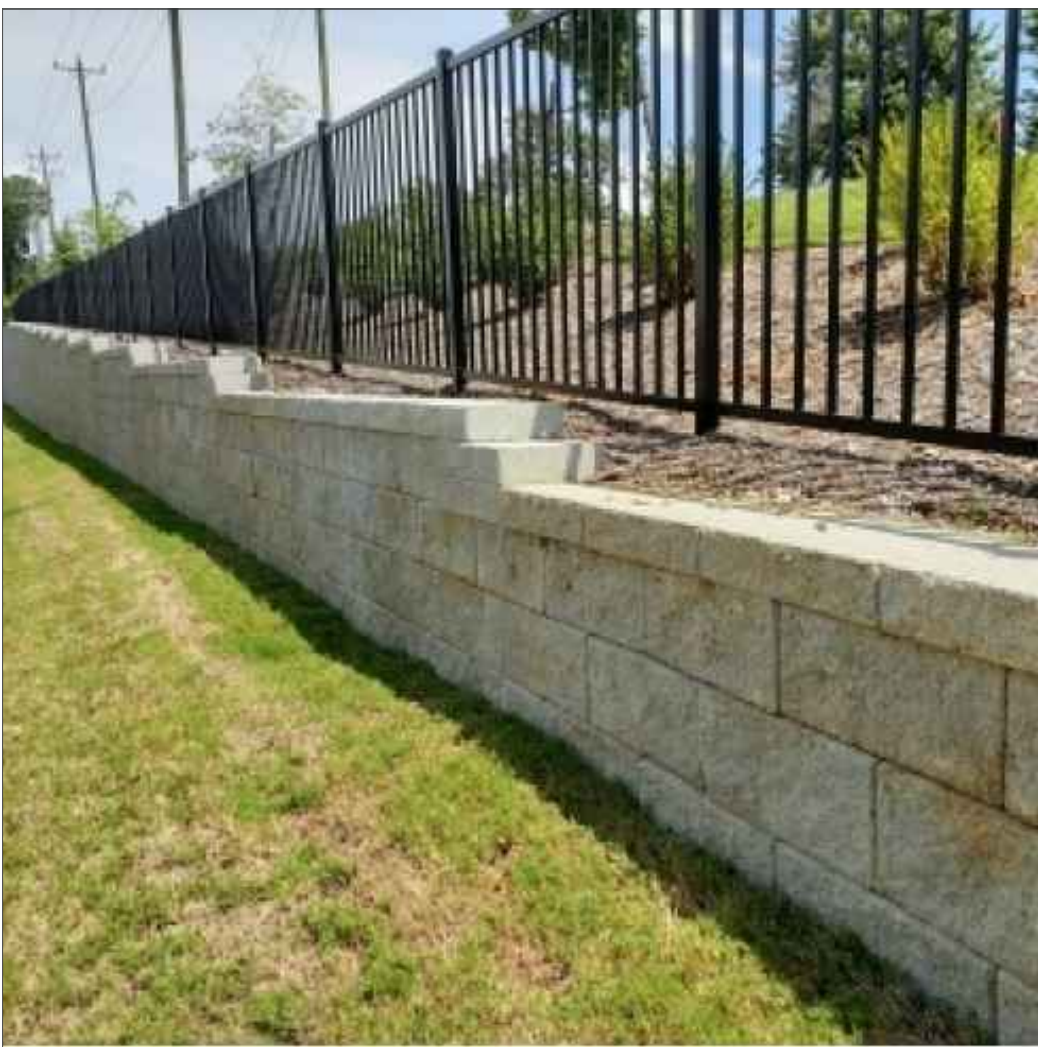
Awning Metal

Metal roof standing seam as manufactured
by ASC Building Products- Light Stone



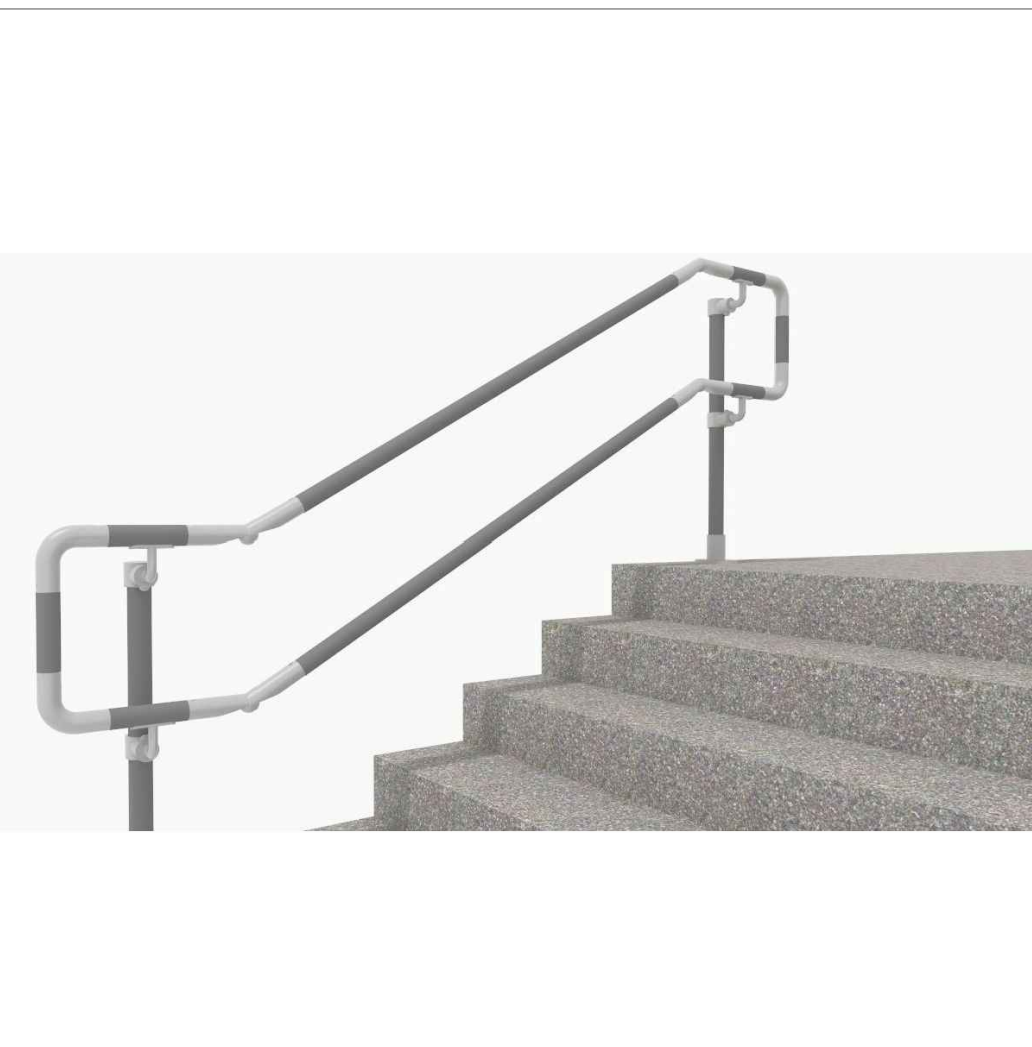
Aluminum fence

4' high at top of retaining
wall Black annodized finish



Stairs & Railing

2 rail ADA compliant painted-Black

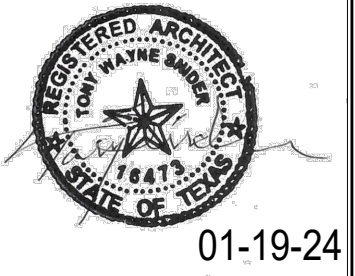


OWNER / DEVELOPER
BEVERLY CORP.
EDWIN GARCIA
949-295-5961

SOUTHGATE LOT - 1
300 GERAULT RD.
FLOWER MOUND, TX 75028
LOT 1, BLOCK A
SOUTHGATE COMMERCIAL

ARCHITECT:
T.W. SNIDER & ASSOCIATES, LLC
ARCHITECTURE & CONSTRUCTION
MANAGEMENT
3922 CLEAR WATER LN
DALLAS, TX 75219
TONY SNIDER 972-6165169

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ISSUE:
CITY REVIEW
01-19-24

SHEET
A1.1
SAMPLE BOARD



PLANNING & ZONING COMMISSION AGENDA J.1. REGULAR ITEM(S)

DATE: April 22, 2024
FROM: Codie Freeman, Planner
ITEM: **Public hearing to consider an ordinance granting Specific Use Permit No. 491 (SUP24-0002- Petfolk Veterinary Hospital) to permit a veterinary hospital (inside pens) use. The property is generally located north of Cross Timbers Road and east of Long Prairie Road.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the application is to request approval of a Specific Use Permit (SUP 491) to permit a veterinary hospital (inside pens) use to occupy approximately 2,900 square feet within the Timber Prairie Plaza building. The subject site contains approximately 1.69 acres and includes one building.

The property is zoned Retail 2 (R-2) and a veterinary hospital (inside pens) use requires approval of a Specific Use Permit (SUP) in the R-2 zoning district. Veterinary hospitals (inside pens) require one parking space per 250 square feet of floor area, the proposed use requires 12 spaces. The site was constructed with 75 parking spaces and there will be adequate parking spaces for current tenants and the proposed use. The applicant is proposing no exterior changes to the site.

Per Sec. 98-998, Town code requires that veterinary hospitals (inside pens) be wholly enclosed in a building that is treated acoustically to prevent noise from being perceptible at the property line. The proposed hours of operation are 8:00 am to 5:00pm Monday through Friday and 8:00am to 6:00pm Saturday through Sunday.

The ordinance for the SUP will include the following condition for the veterinary hospital (inside pens) use:

1. The building must be treated acoustically so that noise generated by the enterprise is not perceptible at the bounding property boundary line as required by Sec. 98-998 of the Code of Ordinances.

BOARD REVIEW/CITIZEN FEEDBACK:

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning application requests. SUP24-0002 had a total of 15 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

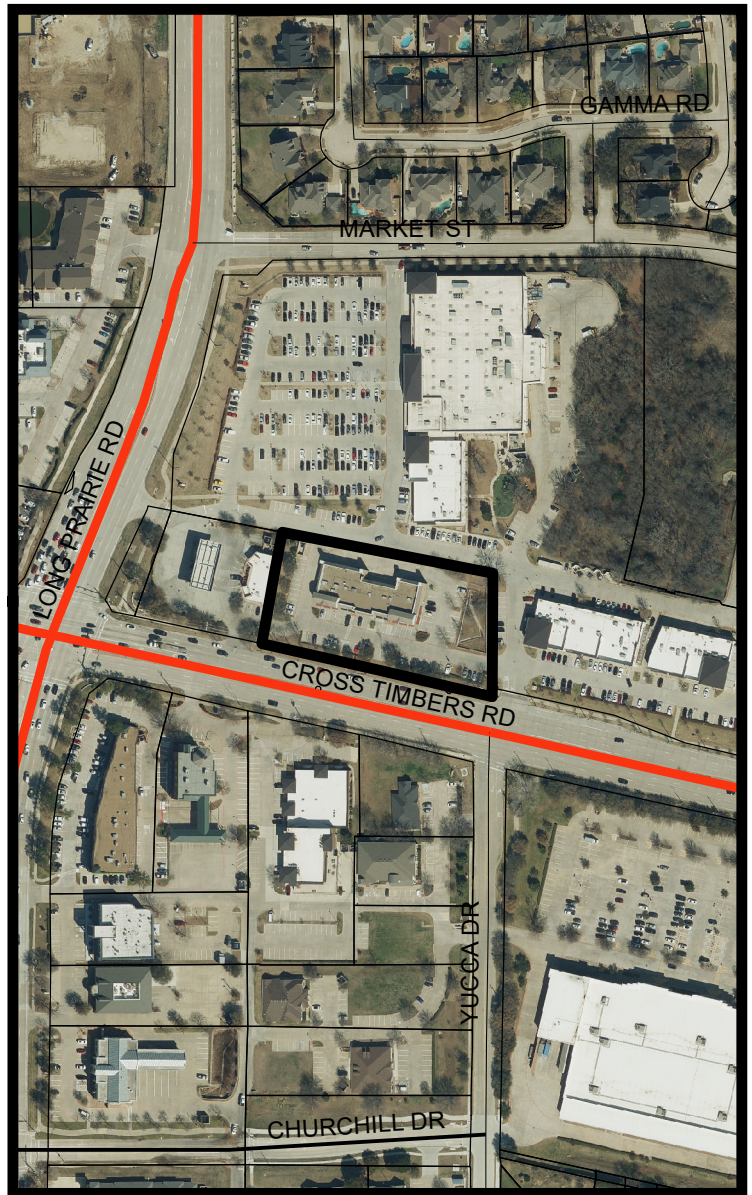
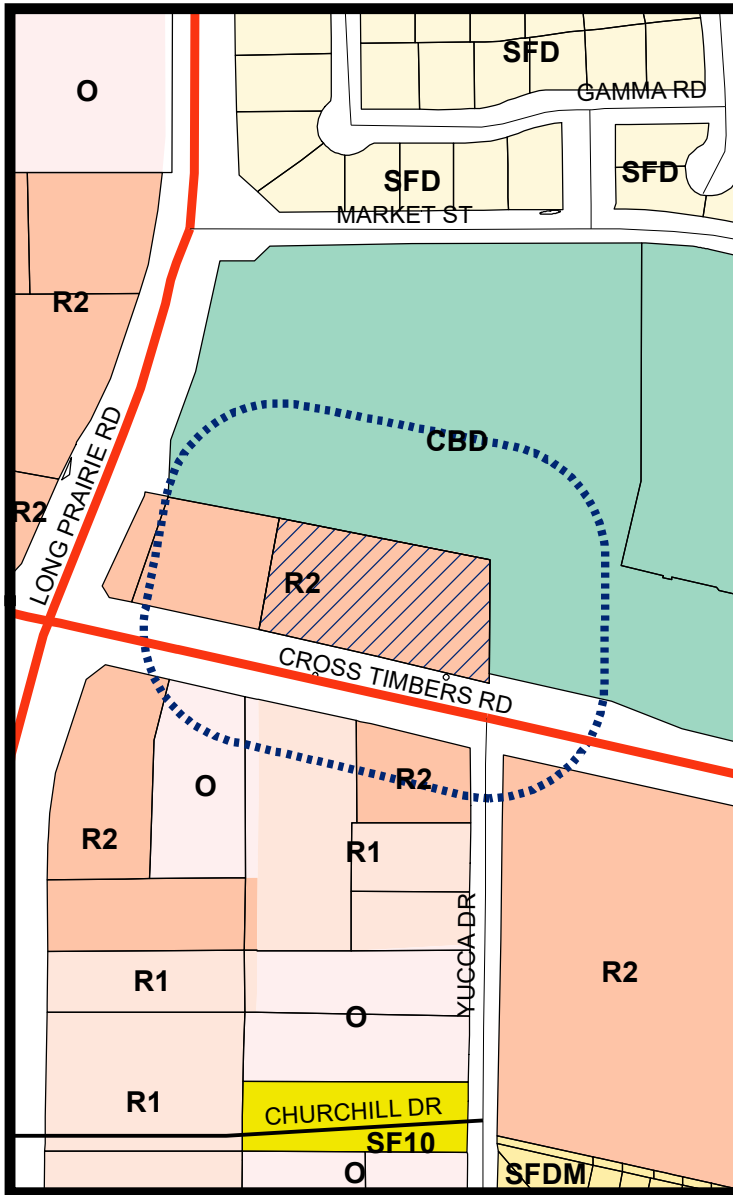
ATTACHMENTS:

1. Zoning & Aerial Map
2. Specific Use Permit Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

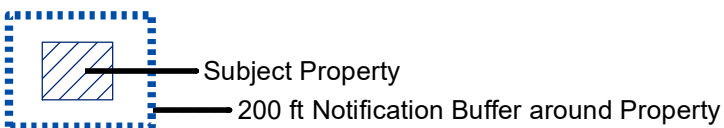
Vicinity Map

SUP24-0002: Petfolk Veterinary Hospital



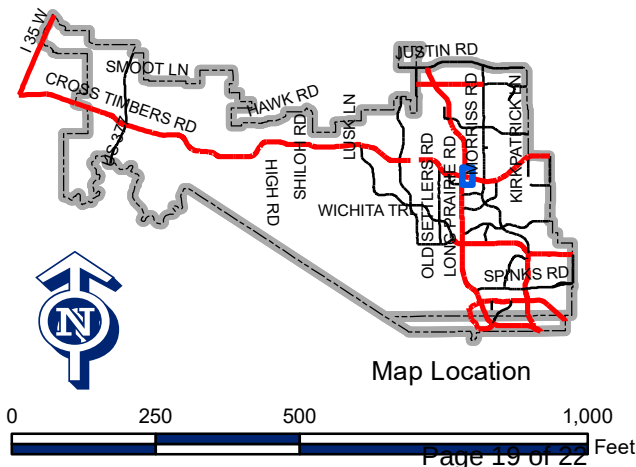
LEGEND

	Central Business District		Office		Retail 1		Retail 2
	Single Family 10		Single Family Density Medium		Single Family Detached		



Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flower-mound.com/notifyme> to sign up for text message and/or email alerts for future projects.



F.M. HIGHWAY NO. 2499
LONG PRAIRIE ROAD

LOT 1
BLOCK 1A
CHEVRON ADDITION
CAB. R, PG. 236
M.R.D.C.T.
CHEVRON U.S.A. INC.
CAB. 4148, PG. 30
D.R.D.C.T.

FLOWER MOUND DEVELOPMENT VENTURE
17.4779 ACRE TRACT
(PART OF 229.56 ACRES OF LAND)
CAB. 1361, PG. 879
D.R.D.C.T.

SITE DATA

SITE AREA:	1.691 Ac. (73,671 s.f.)
ZONED:	RETAIL - DISTRICT 2
ADDRESS:	2550 CROSS TIMBERS ROAD
BUILDING AREA:	12,286 S.F.
BUILDING/SITE RATIO:	12.17%
PARKING REQUIRED:	77
PARKING PROVIDED:	75
HANDICAP PARKING REQUIRED:	4
HANDICAP PARKING PROVIDED:	4
PROPOSED USES:	RETAIL, RESTAURANT
BLDG. HEIGHT	36'
NO. STORIES	1
TOTAL FLOOR AREA	12,286 S.F.

NOTE:
1. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.

LEGEND

- FIRE LANE
- EXISTING GENERAL SYSTEM M.H.

FLOWER MOUND DEVELOPMENT VENTURE
17.4779 ACRE TRACT
(PART OF 229.56 ACRES OF LAND)
CAB. 1361, PG. 879
D.R.D.C.T.

NOTE:
THE PURPOSE OF THIS SITE PLAN
IS TO DEVELOP A RETAIL BUILDING.
PROPOSED USE IS RETAIL W/ 3000 S.F.
RESTAURANT (MAX.)

7.5' EASEMENT TO
DENTON COUNTY ELECTRIC COOPERATIVE, INC.,
VOL. 1156, PG. 592

TOWN OF FLOWER MOUND
20' WATER LINE EASEMENT
VOL. 1064, PG. 990

DETENTION FACILITY MAINTENANCE PLAN

DETENTION FACILITIES MUST BE PROPERLY MAINTAINED IF THEY ARE TO FUNCTION AS INTENDED OVER A LONG PERIOD OF TIME. THE FOLLOWING MEASURES ARE REQUIRED TO ENSURE THE FACILITY FUNCTIONS PROPERLY:

1. **MOWING:** FACILITIES SHOULD BE MOWED AT LEAST TWICE A YEAR TO CONTROL WEEDS AND DISCOURAGE WOODY GROWTH.
2. **DEBRIS CONTROL:** DEBRIS, LITTER AND ACCUMULATED SEDIMENT SHOULD BE REMOVED FROM DETENTION FACILITIES AT LEAST TWICE A YEAR. PARTICULAR ATTENTION SHOULD BE GIVEN TO REMOVAL OF DEBRIS: LITTER AND SEDIMENT AROUND OUTLET STRUCTURES.
3. **CONFORMANCE:** CONFORMANCE WITH THE MAINTENANCE PLAN APPROVED BY THE TOWN ENGINEER IS THE RESPONSIBILITY OF THE OWNER OF THE DETENTION FACILITIES.
4. **THE MAINTENANCE PLAN IS SUBJECT TO MODIFICATION UPON WRITTEN NOTICE FROM THE TOWN AND IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE THE TOWN WITH THE NECESSARY REVISED MAINTENANCE INFORMATION.**
5. ALL DETENTION PONDS ARE PRIVATE AND WILL BE MAINTAINED BY OWNER.

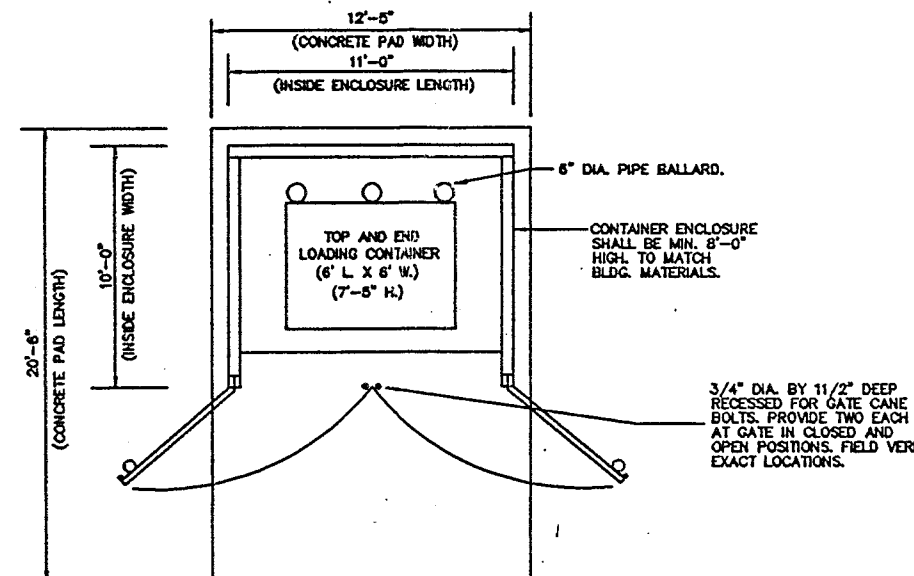
F.M. HIGHWAY NO. 1171

CROSS TIMBERS ROAD

(110' RIGHT-OF-WAY)

SPECIFIC PLAN AREA

1. THE PROPOSED VILLAGE RETAIL USE IS COMPLIANT WITH SPA-1.
2. THE PROPOSED BUILDING PROVIDES HIPPED AND SLOPING ROOF STRUCTURES ALONG 100% OF ITS PERIMETER THAT SCREEN ALL FLAT ROOF AREAS AND ROOF-TOP EQUIPMENT FROM VIEW.
3. EXTERIOR BUILDING MATERIALS ARE SIMILAR TO AND COMPATIBLE WITH EXISTING STRUCTURES IN THE AREA. ALL EXTERIOR MATERIALS HAVE NEUTRAL EARTH TONE COLORS.
4. THE SURFACE PARKING AREAS ARE SMALL AND SHALL BE LANDSCAPED IN ACCORDANCE WITH GOVERNING CODES AND ORDINANCES.
5. A SINGLE TEMPORARY CURB CUT ALONG FM 1171 COMPLIES WITH SPA-1 REQUIREMENT FOR LIMITED SITE ACCESS. FUTURE SITE ACCESS WHICH COMPLIES WITH SPA-1 REQUIREMENT FOR ROADWAY CONNECTION WILL BE PROVIDED BY A CURB CUT THAT WILL ALIGN WITH YUCCA DRIVE.
6. ACCESS DRIVES WITHIN THE SITE ARE COORDINATED WITH ADJACENT PROPERTIES AND PROVIDE CROSS-VEHICULAR MOVEMENT.
7. SEVERAL EXISTING MATURE TREES ARE BEING PRESERVED WHERE PROPOSED SITE GRADING WILL ALLOW. NEW TREES SELECTED FROM THE APPROVED TREE PLANTING LIST WILL BE ADDED TO THE SITE.
8. THE BUILDING ORIENTATION AND WATER DETENTION AREA PROVIDE THE OPPORTUNITY FOR SPATIAL RELATIONSHIP WITH FUTURE PUBLIC OPEN SPACE AMENITY TO BE LOCATED ON UNDEVELOPED PROPERTY TO THE NORTH AND EAST.
9. LIVING SCREEN LANDSCAPE BUFFERS ARE NOT REQUIRED SINCE THERE ARE NO ADJACENT RESIDENTIAL LAND USES.
10. THE NORTH AND SOUTH FACADES OF THE PROPOSED BUILDING PROVIDE VERTICAL AND HORIZONTAL ARTICULATION WITH WALL OFFSETS, AWNINGS OVER DOORS, AND BREAKS IN SLOPING ROOF ELEMENTS.



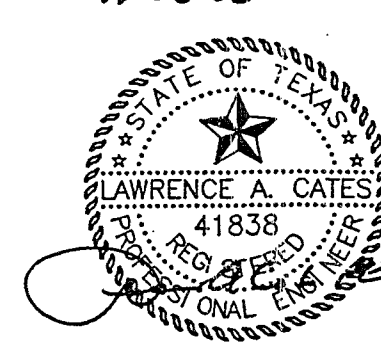
CONTAINER ENCLOSURE PLAN

DEVELOPER
CENCOR REALTY
3102 MAPLE AVE. SUITE 500
DALLAS, TEXAS 75201
(214) 954-0300
CONTACT: JARED CAPLAN

PROJECT ARCHITECT:
HALBACH DIETZ
3102 MAPLE AVE. SUITE 450
DALLAS, TEXAS 75201
(214) 953-9380
CONTACT: RANDY KLEIN

ENGINEER / SURVEYOR:
LAWRENCE A. CATES & ASSOCIATES, INC.
14200 MIDWAY ROAD, SUITE 122
DALLAS, TEXAS 75244
(972) 385-2272
FAX (972) 980-1627

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
LAWRENCE A. CATES, P.E. 41838
ON 10-25-03



The Following Represents The
Approved Document / Graphic
P&Z 10/27/03
TC 11/12/03
See file for Conditions

SITE PLAN

LOT 1, BLOCK 1 - TIMBER PRAIRIE PLAZA ADDITION					
1.6913 Ac. - J.T. STEWART SURVEY, ABST. 1161					
TOWN OF FLOWER MOUND, TEXAS					
LAWRENCE A. CATES & ASSOC., INC.					
14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 CONSULTING ENGINEERS DALLAS, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
LAC	LAC	7/2003	1" = 20'	D.P.	22121 SITE C-2

RECEIVED

NOV 07 2003

TOWN OF FLOWER MOUND
COMMUNITY DEVELOPMENT

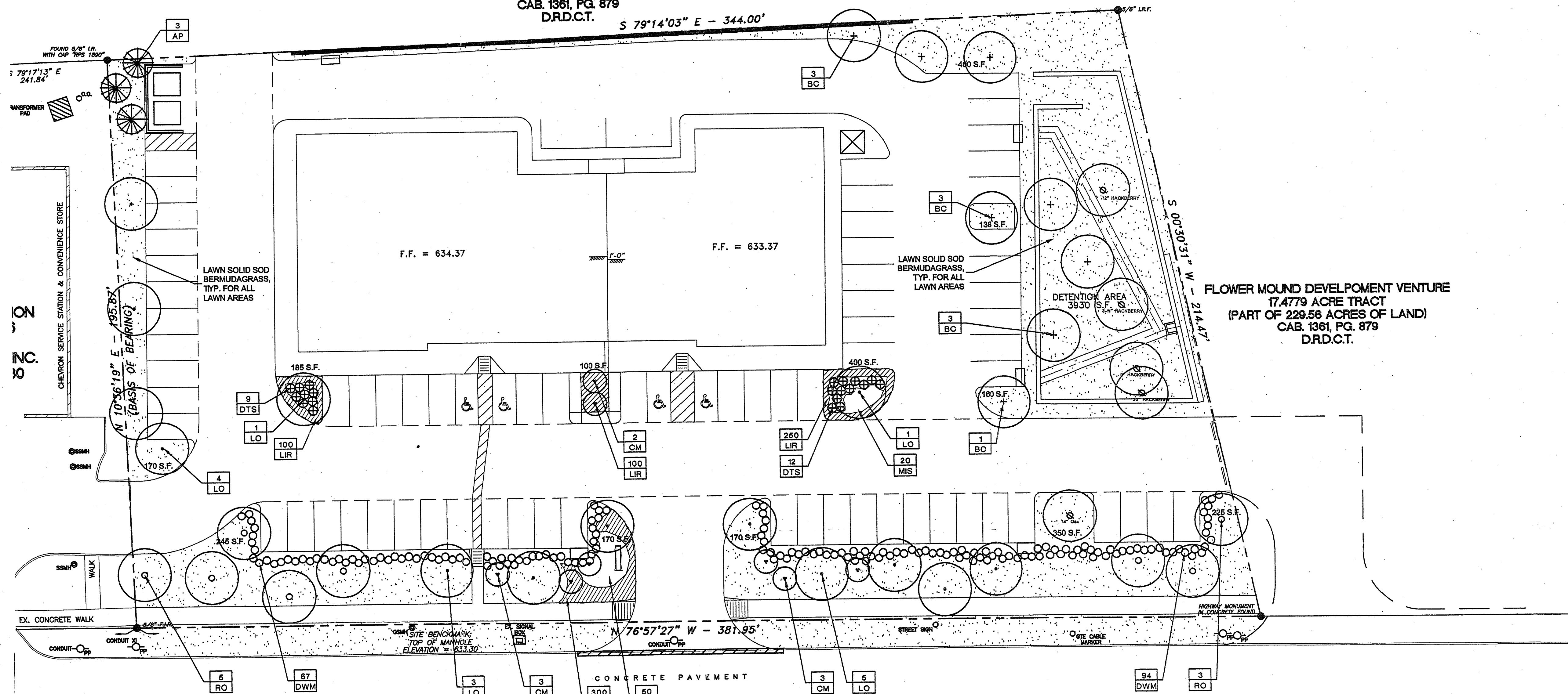
0 10 20 40
1" = 20'

VICINITY MAP

N.T.S.

FLOWER MOUND DEVELOPMENT VENTURE
17.4779 ACRE TRACT
(PART OF 229.56 ACRES OF LAND)
CAB. 1361, PG. 879
D.R.D.C.T.

S 79°14'03" E - 344.00'



F.M. HIGHWAY NO. 1171

CROSS TIMBERS ROAD

(110' RIGHT-OF-WAY)

LANDSCAPE TABULATIONS

STREETYARD

Requirements: 20% of Streetyard to be landscape
(1) tree per 2,500 s.f. of streetyard plus (10) trees

F.M. HIGHWAY 1171 (35,300 s.f.)
Required 7,050 s.f.
14 trees plus 10 = (24) trees, 3" cal.

Provided 2,388 s.f.
(22) trees, 3" cal.
(1) existing tree, 14" dbh
(6) ornamental trees

note: 3:1 substitution for ornamental to shade tree

PARKING LOT (73 spaces)

Requirements: (1) tree, 3" cal., per 10 spaces
90 s.f. per ea. 12 spaces

Required (8) trees, 3" cal.
555 s.f.

Provided (9) trees, 3" cal.
(2) existing tree, 14" dbh
2,713 s.f.

STREET BUFFER

Requirements: (1) tree, 3" cal., per 30 l.f.

F.M. HIGHWAY 1171 (382 l.f.)
Required (12) trees, 3" cal.

Provided (12) trees, 3" cal.

PLANT LIST

TREES

BOTANICAL NAME

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
Lagerstroemia indica 'Tuscarora'	Crape Myrtle 'Tuscarora'	17	8' ht.	B&B or container grown, 3-5 trunk, no cross canes, 4' spread, matching
Pinus nigra	Austrian Pine	3	6' ht.	B&B or container grown, 3' spread, full to base
Quercus shumardii	Red Oak	8	3" cal.	container grown, 12' ht., 4' spread, 5' branching ht., matching
Quercus virginiana	Live Oak	14	3" cal.	container grown, 12' ht., 4' spread, 5' branching ht., matching
Taxodium distichum	Bald Cypress	8	3" cal.	container grown, 12' ht., 4' spread, 5' branching ht., matching

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

SHRUBS/GROUND COVER

BOTANICAL NAME

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
Leucophyllum frutescens 'Green Cloud'	Texas Sage 'Green Cloud'	12	5 gal.	container full, 24" spread min., 36" o.c.
Liriodendron 'Big Blue'	Liriope 'Big Blue'	750	4" pots	container full top of container, 12" o.c.
Miscanthus sinensis 'Gracillimus'	Miscanthus	70	3 gal.	container full, 24" o.c.
Myrica pusilla	Dwarf Wax Myrtle	161	36" ht.	container full, 24" spread, 30" o.c.
Cynodon dactylon	Common Bermudagrass			solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

PLANT LEGEND

QUANTITY	PLANT TYPE
AP	Asian Jasmine
BC	Bald Cypress
CM	Texas Sage 'Green Cloud'
DTS	Crape Myrtle 'Tuscarora'
DWM	Dwarf Wax Myrtle
LIR	Liriope 'Big Blue'
LO	Live Oak
MIS	Miscanthus
RO	Red Oak

SYMBOL PLANT TYPE

SYMBOL	PLANT TYPE
AP	Asian Jasmine
BC	Bald Cypress
CM	Texas Sage 'Green Cloud'
DTS	Crape Myrtle 'Tuscarora'
DWM	Dwarf Wax Myrtle
LIR	Liriope 'Big Blue'
LO	Live Oak
MIS	Miscanthus
RO	Red Oak

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn. BID AS ADD ALTERNATE
5. Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
6. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Architect prior to installation.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 2" below final desired grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures.
5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system.
7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

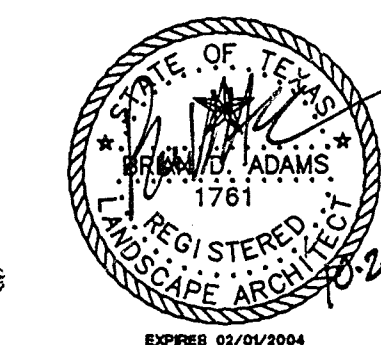
1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscapes.
2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
5. All plant material which dies shall be replaced with plant material of equal or better value.
6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

The Following Represents The
Approved Document / Graphic
P & Z 10/27/03
T C 11/12/03
See the For Conditions

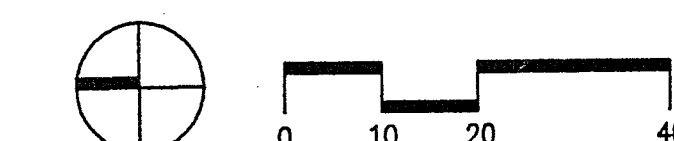
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TOWN OF FLOWER MOUND
COMMUNITY DEVELOPMENT



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REV.	DATE	REMARKS
3	10.20.03	CHY COMMENTS
2	09.17.03	CHY COMMENTS
1	08.18.03	CHY COMMENTS
REV.	DATE	REMARKS
LANDSCAPE PLAN		
RETAIL SHELL BUILDING		
1.6913 Ac. - J.T. STEWART SURVEY, ABST. 1161		
TOWN OF FLOWER MOUND, TEXAS		
LAWRENCE A. CATES & ASSOC., INC. CONSULTING ENGINEERS 14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 DALLAS, TEXAS		
DESIGN	DRAWN	DATE
KAH	KAH	07.21.03
SCALE	NOTES	FILE
1" = 20'		
NO.		
L1.01		

CP17-03-1

CONCEPT ELEVATIONS

TIMBER PRAIRIE PLAZA

FLOWER MOUND, TEXAS



East Elevation



South Elevation

CENCOR REALTY SERVICES

3102 MAPLE AVENUE SUITE 500
DALLAS, TEXAS 75201
214/954-0300 FAX 214/953-0860

Halbach • Dietz
Architects