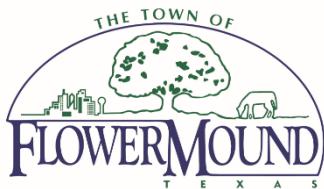


Planning & Zoning Commission



January 13, 2025
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flowermound.gov or by calling 972.874.6350 and leaving a message.

AGENDA

A. CALL TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Donated time can be used for posted agenda items only and speakers are limited to a total of 9 minutes.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

E. COORDINATION OF CALENDARS

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

G. STAFF/DIRECTOR REPORT

1. Training Opportunity

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of December 9, 2024 - Consider approval of the minutes from December 9, 2024.

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP24-0016 - Lakeside Parkway Flex Warehouse & Office - Consider a request for a Site Plan (SP24-0016 – Lakeside Parkway Flex Warehouse & Office) to develop an office-showroom warehouse facility. The property is generally located northeast of Lakeside Parkway and Gerault Road.

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SUP24-0006 - Scrivner Ranch Helistop - Public Hearing to consider an ordinance granting Specific Use Permit No. 495 (SUP24-0006 – Scrivner Ranch Helistop) to permit a helistop. The property is generally located south of Cross Timbers Road and west of Belle Drive.

K. ADJOURN

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the Notice of Meeting was posted on the bulletin board at the Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town's website in accordance with GC Section 551.056 on the following date and time: January 8, 2025, at 4:15 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



December 9, 2024
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Gilmore called the regular meeting to order at 6:30 p.m. with the following members present:

Donald Gilmore, Place 6, Chair
Jason Hobbs, Place 2, Vice-Chair
Gregory Schultz, Place 1
Todd Bayuk, Place 3
Ryan Geddie, Place 4
Scott Langley, Place 5
Michelle Jackson, Place 8 Alternate
Clare Harris, Place 9 Alternate

with the following member(s) absent:
Scott Jostes, Place 7

constituting a quorum with the following members of the Town Staff participating:

Alicia Kreh, Town Attorney
Poornima Kashyap, Planning Manager
Bob Pegg, Assistant Director of Engineering
Chuck Russell, Principal Planner
LauriAnn Cash, Executive Assistant

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

Speaker name and address	Subject (as written on the form)
None	

** Indicates person did not wish to speak*

E. COORDINATION OF CALENDARS

1. Monday, December 23, 2024 - CANCELED
2. Monday, January 13, 2025

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

None

G. STAFF/DIRECTOR REPORT

1. Coordination of Calendars

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

ACTION: Commissioner Schultz moved to approve Items H.1 and H.2. as presented in the agenda caption. Commissioner Jackson seconded the motion.

AYES: Schultz, Hobbs, Bayuk, Geddie, Langley, Jackson

NAYS: None

RESULT: 6 : 0

1. Minutes of November 11, 2024 - Consider approval of the minutes from November 11, 2024.
2. SSP24-0004 - Golf Everywhere / Long Prairie Plaza - Consider a request for a Subdivision Site Plan (SSP24-0004 – Golf Everywhere / Long Prairie Plaza) to

approve infrastructure for a non-residential subdivision. The property is generally located north of Aberdeen Drive and east of Long Prairie Road.

I. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. MISC24-0001 – Radionov Lot-to-Lot Drainage Exception - Consider a request for an exception (MISC24-0001 – Radionov Lot-to-Lot Drainage Exception) to the Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances in order to allow lot-to-lot drainage. The property is generally located west of Morriss Road and south of Hazy Meadows Lane.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Justin Lansdowne, McAdams; present for questions, no presentation

Corry Blount, Grace Homebuilding Co.; present for questions, no presentation

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

	Speaker name and address	Subject (invited to podium by Chair)
1.	Deborah Davis, 5024 Timberglen Dr.	Current Water Concerns

** Indicates person did not wish to speak*

ACTION: Commissioner Schultz moved to recommend approval of I.1. as presented in the agenda caption, with conditions as specified in the staff report. Vice-Chair Hobbs seconded the motion.

AYES: Schultz, Hobbs, Bayuk, Geddie, Langley, Jackson

NAYS: None

RESULT: 6 : 0

2. ZPD23-0007 - Cachet Salons & Spa at Lakeside Crossing, Lot 3 - Public Hearing to consider an ordinance for rezoning (ZPD23-0007 – Cachet Salons & Spa at Lakeside Crossing, Lot 3) to amend Planned Development No. 153 (PD-153) with Campus Commercial uses for both residential and non-residential uses by adding new concept plans and elevations for Lot 3, Block A, of the Lakeside Crossing Addition and to modify development standards. The property is

generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

At 6:59 p.m., Commissioner Harris recused herself from the Council Chambers.

STAFF PRESENTATION:

Poornima Kashyap, Planning Manager

APPLICANT PRESENTATION:

Matt Muse, Cachet Salons

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Langley moved to recommend approval of I.2. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

AYES: Schultz, Hobbs, Bayuk, Geddie, Langley, Jackson

NAYS: None

RECUSED: Harris

RESULT: 6 : 0

At 7:39 p.m., Commissioner Harris returned to the Council Chambers.

3. ZPD24-0004 - Marty B's at Lakeside Crossing, Lot 2 - Public Hearing to consider an ordinance for rezoning (ZPD24-0004 – Marty B's at Lakeside Crossing, Lot 2) to amend Planned Development No. 153 (PD-153) with Campus Commercial uses for both residential and non-residential uses to include new concept plans and elevations for Lot 2, Block A, Lakeside Crossing, to modify development standards, and to request certain exceptions, modifications, and waivers to the Code of Ordinances. The property is generally located south of Lakeside Parkway along and between Long Prairie Road and Northwood Drive.

STAFF PRESENTATION:

Poornima Kashyap, Planning Manager

APPLICANT PRESENTATION:

Jacob Birmelin, Realty Capital

Marty Bryan, Circle Star Brands

Names listed below don't necessarily reflect the order in which each person

spoke and all addresses are located in Flower Mound unless otherwise indicated.

	SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
1.	None	*James Harris, 416 Northwood Dr.	None

** Indicates person did not wish to speak*

ACTION: Commissioner Geddie moved to recommend approval of I.3. as presented in the agenda caption, with a condition to include a definition for a coffee shop in the ordinance. Commissioner Schultz seconded the motion.

AYES: Schultz, Hobbs, Bayuk, Geddie, Langley

NAYS: Jackson

RESULT: 5 : 1

At 8:42 p.m., Chair Gilmore called a recess.

At 8:58 p.m., Chair Gilmore called the meeting back to order.

4. MPA23-0005 - Monarch - Public Hearing to consider an ordinance for a Master Plan Amendment (MPA23-0005 – Monarch) to amend Section 1.0, Land Use Plan and Section 2.0, Area Plans, of the Master Plan by changing the current land use designation within the Denton Creek District Area Plan from Campus Commercial uses to High Density uses. The property is generally located north of Cross Timbers Road, west of Highway 377, and east of Interstate 35-W.

STAFF PRESENTATION:

Poornima Kashyap, Planning Manager

APPLICANT PRESENTATION:

Randi Rivera, McAdams

Darren Andrews, McAdams

Eric Schmitz, 85 and 71 Avalon Holdings, LLC

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Schultz moved to recommend approval of I.4. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

AYES: Schultz, Bayuk, Geddie, Gilmore

NAYS: Hobbs, Langley, Jackson

RESULT: 4 : 3

5. ZPD23-0012 - Monarch - Public Hearing to consider an ordinance amending the zoning (ZPD23-0012 - Monarch) from Interim Holding (IH) and Planned Development District No. 98 (PD-98) with Campus Commercial District (CC) uses to Planned Development District No. 200 (PD-200) with Campus Commercial District (CC) uses and Single Family-Attached (SF-A) uses with certain exceptions, modifications, and waivers to the Code of Ordinances. The property is generally located north of Cross Timbers Road, west of Highway 377, and east of Interstate 35-W.

STAFF PRESENTATION:
Poornima Kashyap, Planning Manager

APPLICANT PRESENTATION:
Randi Rivera, McAdams
Darren Andrews, McAdams
Eric Schmitz, 85 and 71 Avalon Holdings, LLC

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Bayuk moved to recommend approval of I.5. as presented in the agenda caption, with a condition to include trail lighting. Commissioner Geddie seconded the motion.

AYES: Schultz, Bayuk, Geddie, Langley

NAYS: Hobbs, Jackson

RESULT: 4 : 2

At 10:55 p.m., Chair Gilmore called a recess.
At 11:10 p.m., Chair Gilmore called the meeting back to order.

6. MPA24-0005 - Pine Hill - Public Hearing to consider an ordinance amending the Master Plan (MPA24-0005 – Pine Hill) to amend Section 1.0, Land Use Plan, of the Master Plan to change the current land use designation from Low Density Residential uses to Medium High Density Residential uses. The property is generally located south of Cross Timbers Road and east of Grace Pearl Lane.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Geoff Wescott, Brockett Street Capital

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: William Langley moved to recommend denial of I.6. as presented in the agenda caption. Commissioner Jackson seconded the motion.

AYES: Hobbs, Bayuk, Geddie, Langley, Jackson

NAYS: Schultz

RESULT: 5 : 1

7. ZPD24-0007 - Pine Hill - Public Hearing to consider an ordinance amending the zoning (ZPD24-0007 – Pine Hill) from Planned Development District No. 173 (PD-173) with Agricultural District (A) uses and a nursing or congregate care facility to Planned Development District No. 207 (PD-207) with modified Single Family District-5 (SF-5) uses, with certain waivers, exceptions and modifications to the Code of Ordinances including but not limited to an exception to the access management policy and criteria, regarding driveway spacing, contained in the Town's Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances. The property is generally located south of Cross Timbers Road and east of Grace Pearl Lane.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Geoff Wescott, Brockett Street Capital

Names listed below don't necessarily reflect the order in which each person

spoke and all addresses are located in Flower Mound unless otherwise indicated.

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

** Indicates person did not wish to speak*

ACTION: Commissioner Langley moved to recommend denial of I.7. as presented in the agenda caption. Commissioner Jackson seconded the motion.

AYES: Schultz, Hobbs, Bayuk, Geddie, Langley, Jackson

NAYS: None

RESULT: 6 : 0

J. ADJOURN

Chair Gilmore adjourned the meeting at 12:03 a.m. on Tuesday, December 10, 2024.

TOWN OF FLOWER MOUND, TEXAS

DON GILMORE, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA I.1. NON-DISCRETIONARY ITEM(S)

DATE: January 13, 2025
FROM: Codie Freeman, Planner
ITEM: **Consider a request for a Site Plan (SP24-0016 – Lakeside Parkway Flex Warehouse & Office) to develop an office-showroom warehouse facility. The property is generally located northeast of Lakeside Parkway and Gerault Road.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a non-residential building on Lot 1R2R, Block C of the Lakeside Ranch Business Park Addition. The subject property is currently undeveloped and contains approximately 2.4 acres. On June 27, 2022, the Planning and Zoning Commission approved a site plan for a 22,475 square foot office-showroom/warehouse use on the subject property. The project was not constructed.

The property is located within Planned Development District No. 83 (PD-83) with Campus Industrial (CI) permitted uses. The site plan provides for a 35,090 square foot one story non-residential building for an office-showroom/warehouse use. The Town's definition for this use requires a minimum of 25 percent of the total building area to be dedicated for office uses and the proposed site plan identifies approximately 11,516 square-foot or 32.8 percent dedicated to office uses.

The office-showroom/warehouse use requires 50 parking spaces calculated at the ratio of one space per 300 square feet for the office portion and 1 space per 2,000 square feet for the showroom/warehouse portion. The site plan provides for 57 parking spaces on site, which is within the Town's allowable 20 percent parking deviation. Access to the site will be from Lakeside Parkway and Gerault Road through mutual access easements.

The landscape plan depicts the previously constructed eight-foot hike/bike trail within the required 45-foot landscape buffer, along with required street yard trees, street buffer trees, and parking lot trees that meet or exceed the PD-83 and Town's landscaping requirements.

The proposed elevations utilize a combination of tilt wall and stone with some metal accents and complies with the Town's Urban Design Plan and PD-83 development standards.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

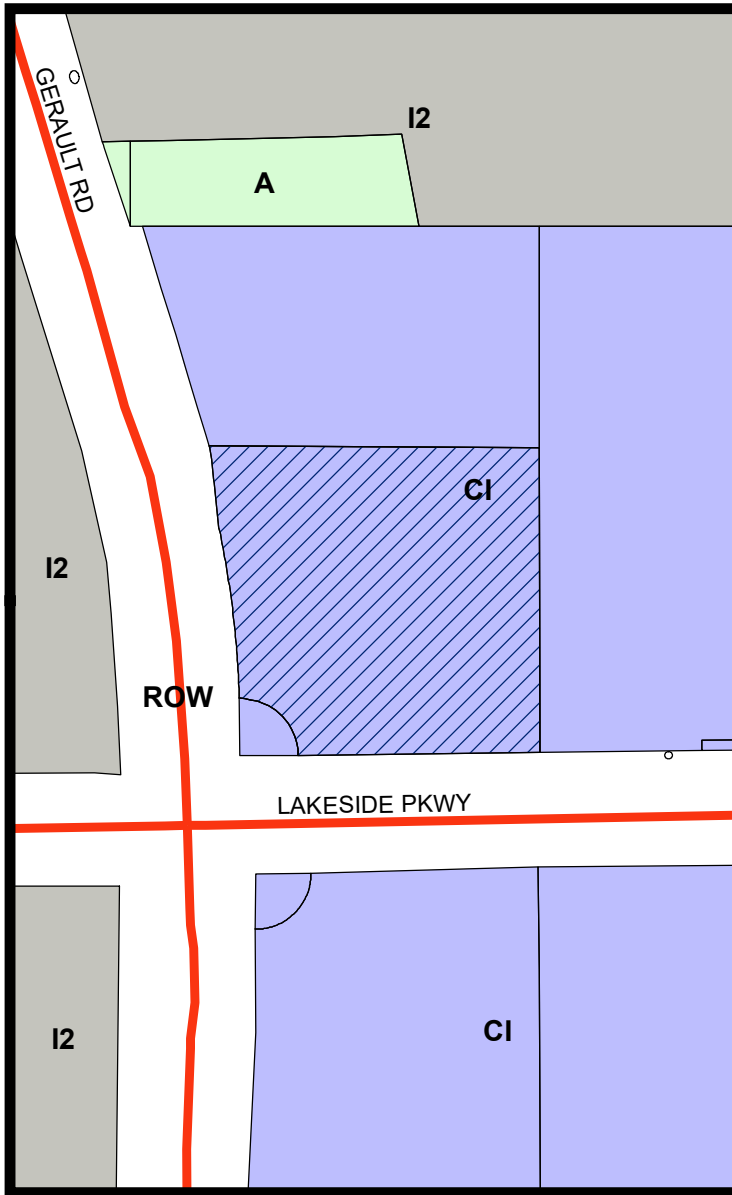
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter of Intent
3. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SP24-0016: Lakeside Parkway Flex Warehouse & Office



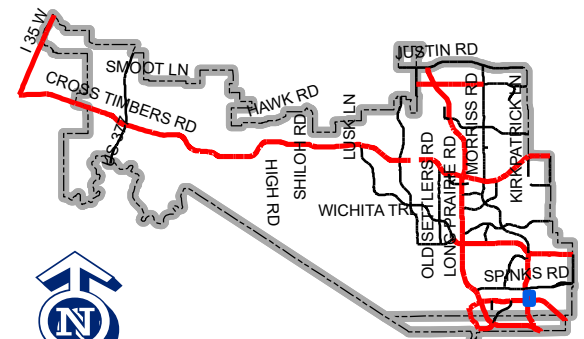
LEGEND

 Agriculture  Campus Industrial  Industrial 2

 — Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location

0 155 310 620 Feet

August 28, 2024
Revised January 8, 2025

Town of Flower Mound
Development Services Department
2121 Cross Timbers Road
Flower Mound, TX 75028
Attn: Development Services Department

**RE: Letter of Intent
Lakeside Parkway Flex - Office Building
NE Corner of Gerault Road and Lakeside Parkway
Lakeside Ranch Business Park Addition
Block C, Lot 1R2R
Flower Mound, Denton County, TX**

To Whom It May Concern,

The current owner plans to develop the 2.402-acre lot located at the Northeast intersection of Gerault Road and Lakeside Parkway, more specifically identified as Block C, Lot 1R2R, of the Lakeside Ranch Business Park Addition in the Town of Flower Mound, Denton County, Texas.

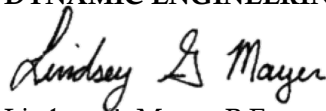
The site is currently located within the previously approved Planned Development District No. 83 with a base use of Campus Industrial (CI). The proposed development is in conformity with this PD as the proposed use will be showroom/warehouse and office spaces.

The site also is located within the Lakeside Business District Campus Industrial Area Plan. The proposed development is in compliance with this area plan as campus industrial allows large scale developments as corporate offices, office parks, service/repair, light industry, clean assembly and similar uses. In this area plan, service areas such as truck docks, layout or storage yards, utility components, trash handling and similar elements are essential to appropriate commercial and industrial uses. These service areas should be planned for locations internal to the major surrounding streets.

The site is currently undeveloped, and the owner plans to develop an approximately 35,090 square foot building containing five (5) separate tenant spaces; each of which contains approximately 25% office space and 75% showroom/warehouse space. The overall development will be developed in one (1) phase. Underground detention will be utilized within the proposed development. No overhead utilities will be proposed for the development. No special considerations are required for the development.

Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Sincerely,
DYNAMIC ENGINEERING CONSULTANTS, PC



Lindsey G. Mayer, P.E.
Project Manager

www.dynamiccec.com

BENCHMARKS:
X-CUT SET AT THE SOUTHEASTELY EDGE OF A CONCRETE STORM DRAIN INLET, BEING 249' EASTERLY FROM THE EASTERLY RIGHT-OF-WAY LINE OF GERAULT ROAD, AND BEING 62.3' NORTHERLY FROM THE EXISTING NORTHERLY BACK OF CURB FOR LAKESIDE PARKWAY. ELEVATION=540.86'

811

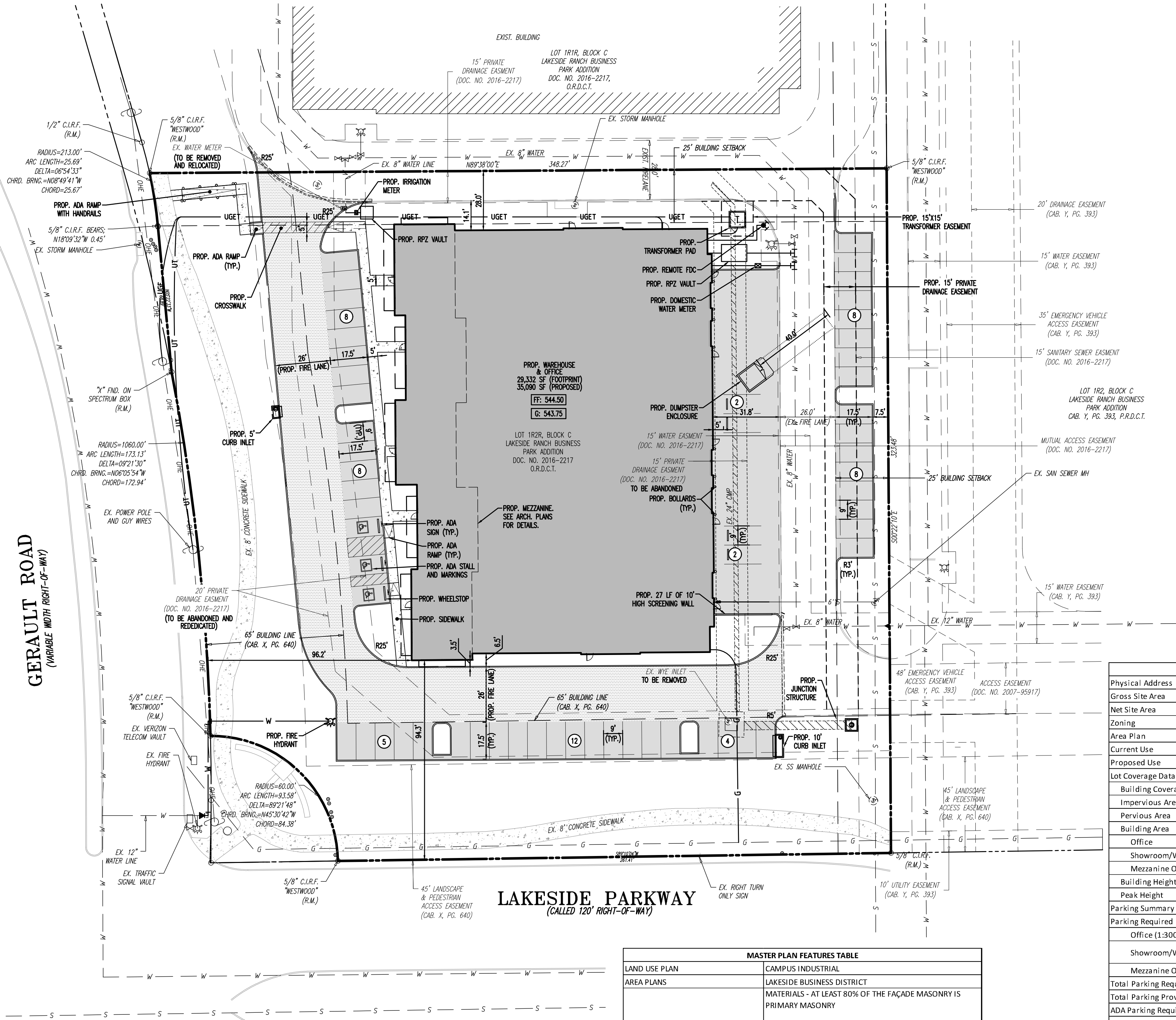
Call before you dig

PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON RESPONDING TO DISCOVER THE EARTH'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

GERAULT ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)



LAKESIDE PARKWAY
(CALLED 120' RIGHT-OF-WAY)

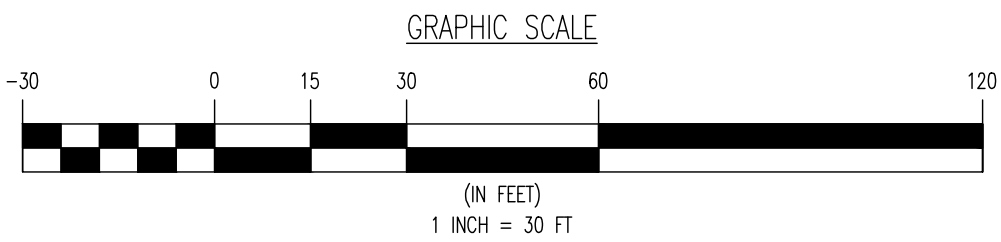
MASTER PLAN FEATURES TABLE	
LAND USE PLAN	CAMPUS INDUSTRIAL
AREA PLANS	LAKESIDE BUSINESS DISTRICT MATERIALS - AT LEAST 80% OF THE FAÇADE MASONRY IS PRIMARY MASONRY
URBAN DESIGN PLAN	COLORS - AT LEAST 80% OF THE SOLID SURFACE FAÇADE OF THE BUILDINGS ARE PRIMARILY NATURAL AND EARTH TONE COLORS
PARKS AND TRAILS	ARTICULATION - EACH BUILDING ELEVATION PROVIDES TWO PLANES
OPEN SPACE PLAN	EXISTING 8' TOWN TRAIL ALONG GERAULT ROAD AND EXISTING 8' TOWN TRAIL ALONG LAKESIDE PARKWAY NOT A CONSERVATION DEVELOPMENT
THOROUGHFARE PLAN	GERAULT ROAD - MAJOR ARTERIAL - VARIABLE WIDTH RIGHT-OF-WAY AT THE WEST SIDE OF THE PROPERTY LAKESIDE PARKWAY - MAJOR ARTERIAL - 120' RIGHT-OF-WAY AT THE SOUTH SIDE OF THE PROPERTY
WATER PLAN	EXISTING CROSS ACCESS TO THE PROPERTY TO THE NORTH AND EAST LAKESIDE BUSINESS DISTRICT - 12" WATER LINE ALONG EAST SIDE OF GERAULT ROAD AND 8" WATER LINE ALONG NORTH AND EAST SIDE OF PROPERTY ALONG EXISTING CROSS ACCESS.
WASTEWATER PLAN	LAKESIDE BUSINESS DISTRICT - 12" SANITARY SEWER LINE ALONG LAKESIDE PARKWAY AND 8" SANITARY SEWER LINE AT EAST SIDE OF PROPERTY.

PROPERTY OWNER/DEVELOPER
COLLING BUSINESS PARK, LLC.
RANDAL G. COLLING
3804 BOYNTON BOULEVARD
FLOWER MOUND, TX 75022
EMAIL: COLLINGGROUP@GMAIL.COM

ARCHITECT
MEINHARDT & ASSOCIATES ARCHITECTS, PLLC
14643 DALLAS PARKWAY, SUITE 636
DALLAS, TEXAS 75254
T: 972-980-8900

CIVIL ENGINEER
DYNAMIC ENGINEERING CONSULTANTS, PC
LINDSEY G. MAYER, P.E.
714 S. GREENVILLE AVENUE, SUITE 100
ALLEN, TX 75002
T: 972-534-2100
EMAIL: LMAYER@DYNAMICCEC.COM

FLOOD PLAIN NOTE
ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) NO. 4812100685G, DATED 04/18/2011, PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X. NO FLOODPLAIN EXISTS ON THIS SITE.



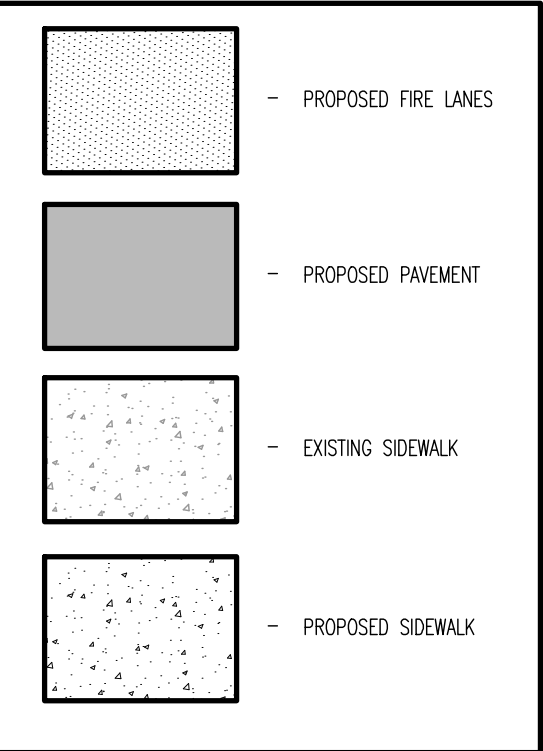
VICINITY MAP

N.T.S.

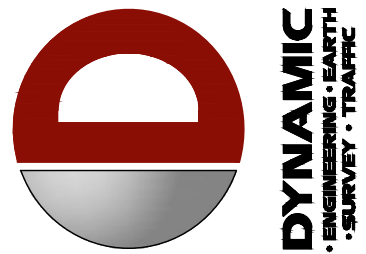
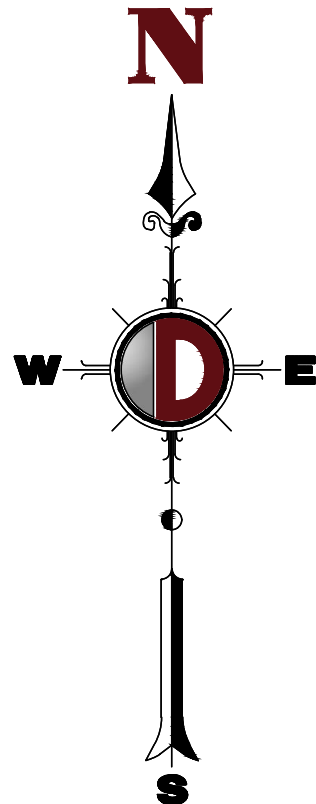
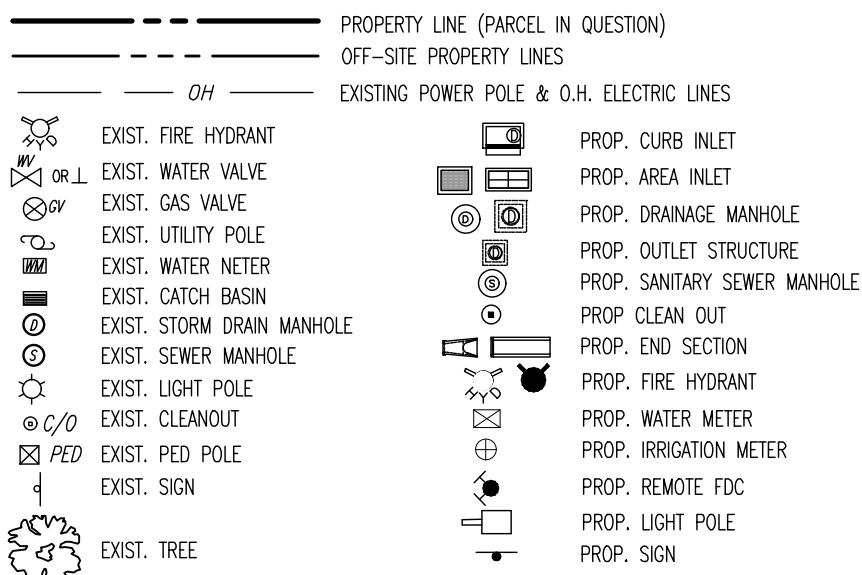
TOWN OF FLOWER MOUND SITE PLAN NOTES:

- ALL RETAINING/DRAINAGE WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
- OR ALL RETAINING/DRAINAGE WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
- ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
- ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
- DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
- DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
- SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
- FLAG POLES MUST COMPLY WITH THE REGULATIONS IN SECTION 86-4. - PROHIBITED SIGNS.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS AND THE TOWN OF FLOWER MOUND STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
- ALL ROAD WORK AND UTILITY WORK IN TxDOT RIGHT-OF-WAY SHALL REQUIRE A TxDOT PERMIT.
- THE TOWN OF FLOWER MOUND STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- ANY LIGHTING DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS AT THE TIME OF PERMIT REVIEW.

PAVING LEGEND



SITE LEGEND



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: JK CHECKED BY: LM

PROJECT: LAKESIDE PARKWAY WAREHOUSE & OFFICE LAKESIDE RANCH BUSINESS PARK ADDITION CAB. Y, PG. 393, P.R.D.C.T. 1100 LAKESIDE PARKWAY BLK C LOT R2R 2.4019 AC. FLOWER MOUND, DENTON COUNTY, TEXAS 75028

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING
(dca) MIDWEST DYNAMIC ENGINEERING CONSULTANTS, PC
714 S. GREENVILLE AVENUE
SUITE 100
ALLEN, TX 75002
T: 972.534.2100
Offices conveniently located throughout the United States:
New Jersey • Delaware • Florida • Maryland • Pennsylvania • Texas

www.dynamiccec.com

PRELIMINARY PLAN FOR REVIEW ONLY
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AND MARKUP UNDER THE AUTHORITY OF LINDSEY G. MAYER, STATE LICENSE NUMBER 1072537 ON 1/08/2025. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

LINDSEY G. MAYER
PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 1072537

SITE PLAN

SCALE: (H) 1"=30'
(V) DATE: 1/08/2025
PROJECT No: 4166-24-02351

SHEET No: 1 OF 1
Rev. #: 0

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK

- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE DESIGN, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

- CONTAINER AND BALLED-AND-BURLAPPED PLANTS: FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS; SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHARPED ROOTS).
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
- ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/4" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- COMPOST: WELL-COMPOSTED, STABLE, AND WEEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6.5, MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT, PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/CM; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING LABORATORY (SEE BELOW).
- MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- TREE STAKING AND GUYING
 - STAKES: 6" LONG GREEN METAL, T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE RIBBED, 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGES TO THE SOIL REPORT OR RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADES IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECOMMEND APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
- SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOGRAPH OR SAMPLES OF MULCHES, AND TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5 ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING:
 - TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER GROWN TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT IF SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1-2" TREES: TWO STAKES PER TREE
 - 2-12" 4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

- SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING:
 - DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL, AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- SODDING:
 - SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- MULCH:
 - INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

C. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREA (ON A NEAT, ORDERLY CONDITION).
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- INSPECTION AND ACCEPTANCE:
 - UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INDICATED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

D. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL BURLAP CLOTH PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE (12) SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

E. WARRANTY PERIOD

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATES IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHICH PLANT DEATH CAN NOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

LANDSCAPE CALCULATIONS

RIGHT OF WAY ZONE			
STANDARD	TOTAL R.O.W. ZONE (SQ. FT.)	PROVIDED	
GERAULT RD. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	3,981 SF	EXISTING NATIVE GRASS SEED AREA AND EXISTING BERMUDA TO BE PRESERVED	
LAKESIDE PKWY. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	968 SF	EXISTING NATIVE GRASS SEED AREA AND EXISTING BERMUDA TO BE PRESERVED	

RIGHT OF WAY ZONE TREES			
STANDARD	STREET FRONTAGE (LINEAL FEET)	REQUIRED	PROVIDED
GERAULT RD. - 1 CANOPY TREE/60 LF STREET FRONTAGE	267 LF	5 TREES	10 EXISTING TREES
LAKESIDE PKWY. - 1 CANOPY TREE/70 LF STREET FRONTAGE	261 LF	4 TREES	4 EXISTING TREES

STREET BUFFER ZONE			
STREET NAME	REQUIRED BUFFER WIDTH	PROVIDED	
GERAULT ROAD	25 FT	25 FT	
LAKESIDE PARKWAY	25 FT	25 FT	

STANDARD	TOTAL STREET BUFFER ZONE (SF)	PROVIDED	
GERAULT RD. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	6,737 SF	NATIVE GRASS SEED AREA PROVIDED AND EXISTING BERMUDA PRESERVED	
GERAULT RD. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	6,582 SF	NATIVE GRASS SEED AREA PROVIDED AND EXISTING BERMUDA PRESERVED	

STREET BUFFER ZONE TREES			
STANDARD	STREET FRONTAGE (LINEAR FT.)	REQUIRED	PROVIDED
GERAULT ROAD 1 PER 70LF	267 LF	4 TREES	12 EXISTING TREES
LAKESIDE PARKWAY 1 PER 70LF	261 LF	4 TREES	10 EXISTING TREES

STREET BUFFER ZONE UNDERSTORY TREES			
STANDARD	CANOPY TREE DIAMETER (LINEAR FEET)	REQUIRED	PROVIDED
GERAULT RD. - 1 UNDERSTORY TREE/20 LF CANOPY TREE PERIMETER	190	10	12 EXISTING TREES
LAKESIDE PKWY. - 1 UNDERSTORY TREE/20 LF CANOPY TREE PERIMETER	135	7	7 EXISTING TREES

STREET BUFFER ZONE TREES & UNDERSTORY MIXTURE			
STANDARD	REQUIRED LENGTH (LINEAR FEET)	PROVIDED	
GERAULT RD. - 1 UNDERSTORY TREE/20 LF CANOPY TREE PERIMETER	40	40	
LAKESIDE PKWY. - 1 UNDERSTORY TREE/20 LF CANOPY TREE PERIMETER	40	40	

LANDSCAPE SETBACK BUFFER ZONE			
STANDARD	REQUIRED BUFFER WIDTH	PROVIDED	
GERAULT ROAD	20 FT.	20 FT.	
LAKESIDE PARKWAY	20 FT.	20 FT.	

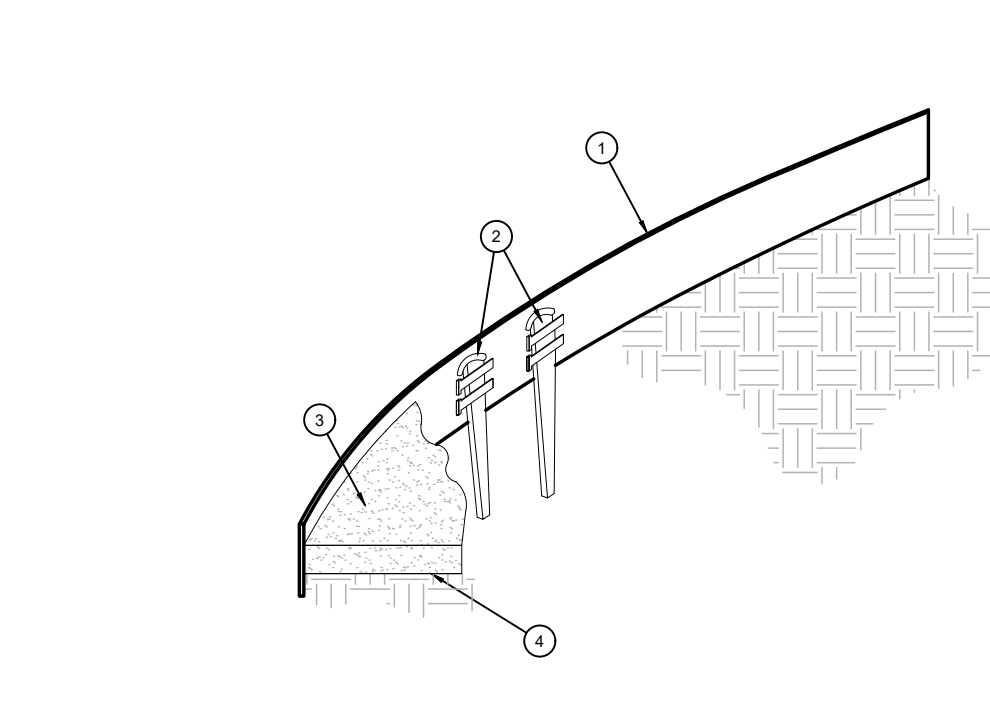
STANDARD	TOTAL STREET BUFFER ZONE (SF)	PROVIDED	
GERAULT RD. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	5,691 SF	NATIVE GRASS SEED AREA PROVIDED AND EXISTING BERMUDA PRESERVED	
LAKESIDE PKWY. - BUFFER ZONE TO CONTAIN NATIVE GRASS SEED AREA AND PRESERVE EXISTING BERMUDA	5,483 SF	NATIVE GRASS SEED AREA PROVIDED AND EXISTING BERMUDA PRESERVED	

LANDSCAPE SETBACK BUFFER ZONE TREE & UNDERSTORY MIXTURE			
STANDARD	REQUIRED LENGTH (SF)	PROVIDED	
GERAULT RD. - MIN. 144 SQUARE FEET ADDED ADDITIONAL	144	148	
LAKESIDE PKWY. - MIN. 288 SQUARE FEET ADDED ADDITIONAL	288	296	

PARKING AREA TREES			
STANDARD	PARKING AREA (SF)	REQUIRED	PROVIDED
1 PER 5,500 SF OF PARKING BUT NOT LESS THAN 1 PER LANDSCAPE ISLAND	26,252 SF	5	8

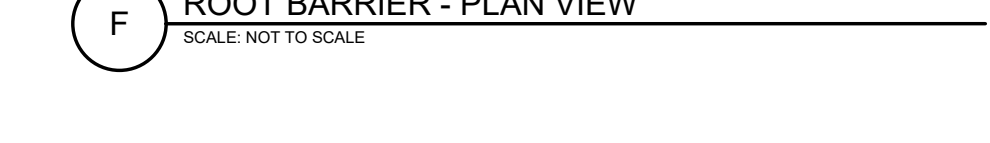
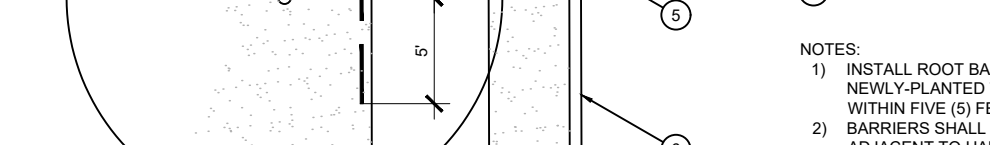
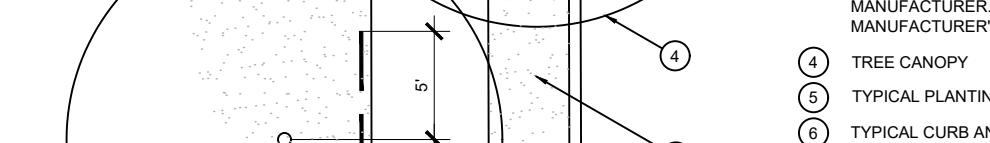
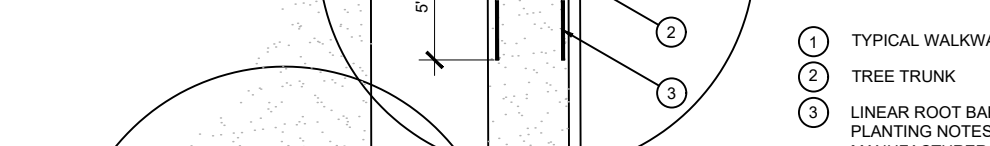
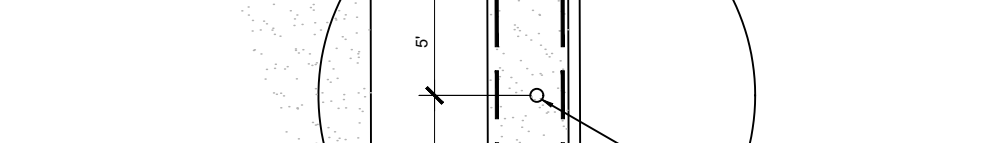
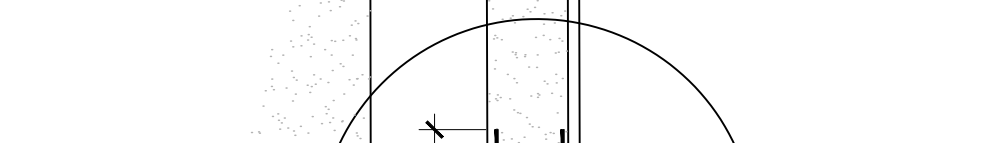
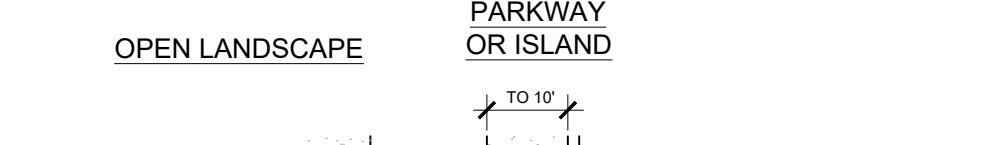
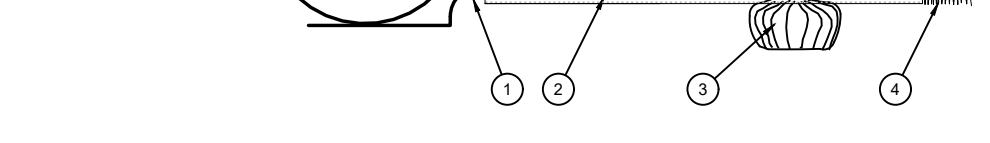
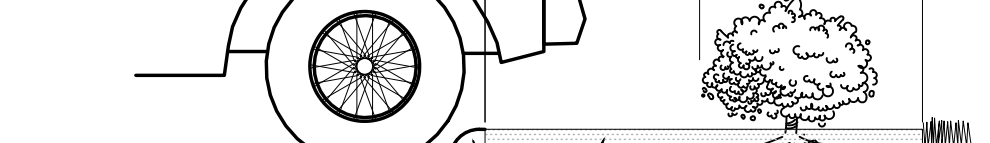
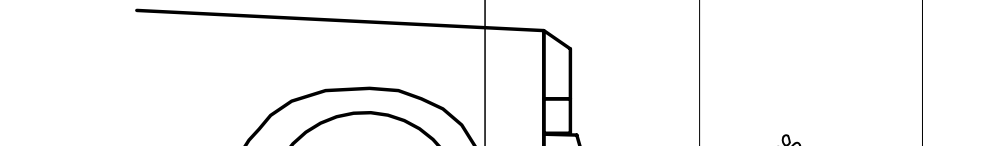
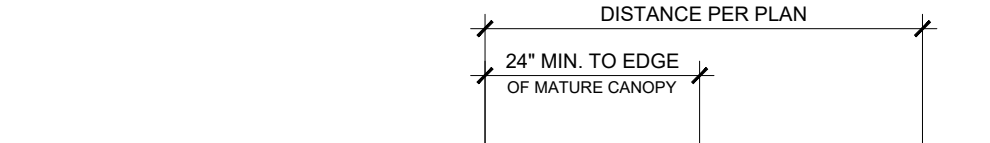
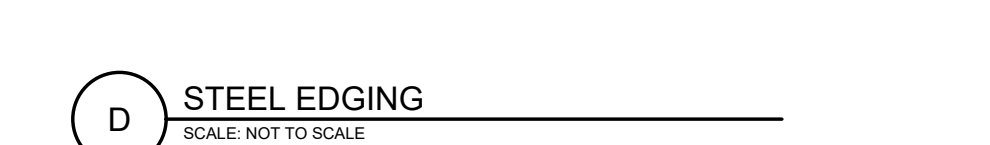
PARKING AREA SCREENING		
STANDARD	REQUIRED	PROVIDED
MIN. 75% OF PARKING AREA FRONTAGE TO BE SCREENED WITH SHRUBS	75%	100%

BUILDING LANDSCAPING			
STANDARD	BUILDING PERIMETER	REQUIRED	PROVIDED
MIN. 30% OF FACADE TO BE LANDSCAPED WITH SHRUB PLANTINGS (EXCLUDING LOADING AREAS)	206 LF	62 LF	179 LF



- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



COLOR SELECTION KEY

ST-01

ELDORADO STONE
AUTUMN LEAF ROUGH CUT

PT-01

FIELD COLOR
SW 7105 PAPERWHITE

PT-02

MEDIUM ACCENT COLOR
SW 7538 IRISH CREAM

PT-03

DARK ACCENT COLOR
SW 7538 TAMARIND

AL-01

PRE-FINISHED CLEAR ANODIZED
ALUMINUM

GL-01

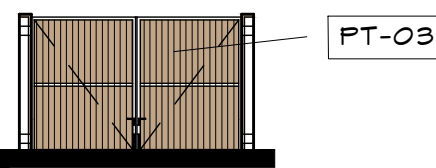
1" INSULATED GRAY GLASS



07 EAST ELEVATION-DUMPTSTER
SCALE: 3/32" = 1'-0"



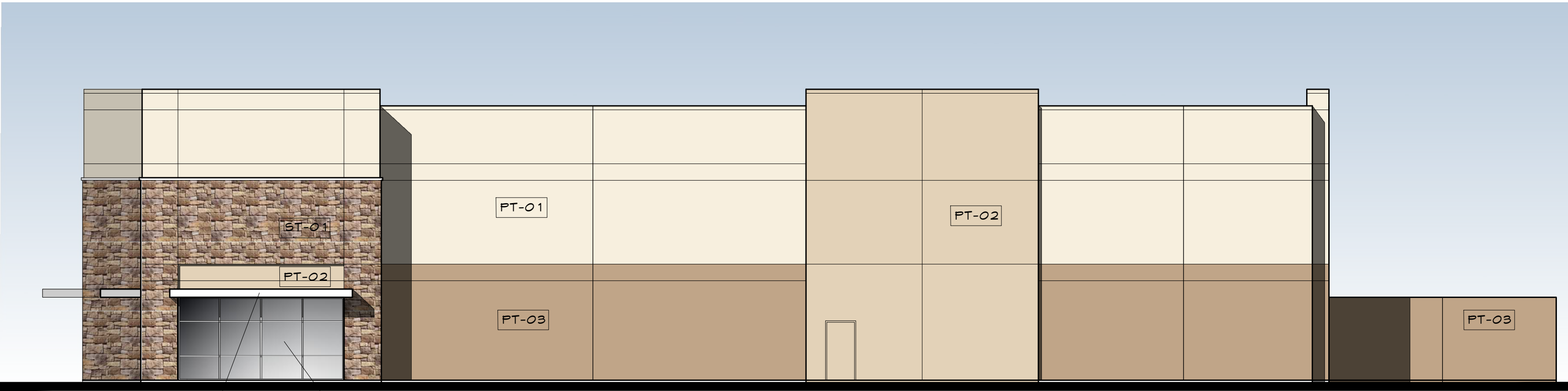
06 SOUTH ELEVATION-DUMPTSTER
SCALE: 3/32" = 1'-0"



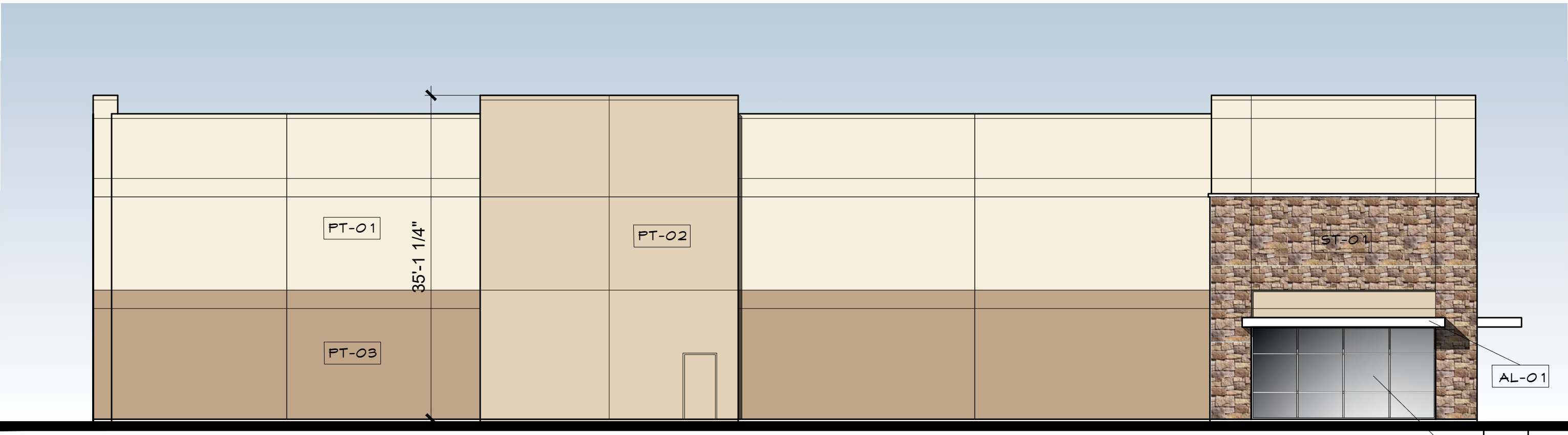
05 NORTH ELEVATION-DUMPTSTER
SCALE: 3/32" = 1'-0"



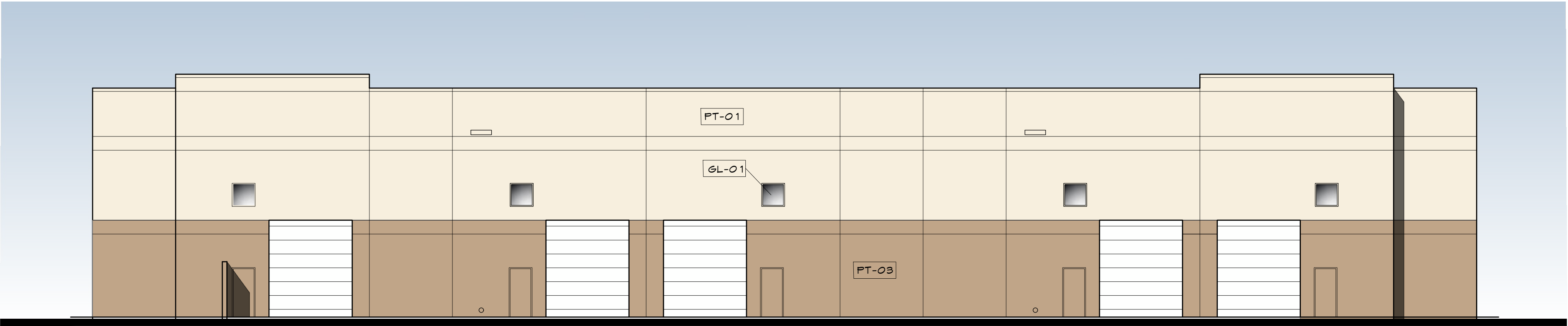
04 WEST ELEVATION
SCALE: 3/32" = 1'-0"



03 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



02 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



01 EAST ELEVATION
SCALE: 3/32" = 1'-0"

REVISIONS:

LAKESIDE PARKWAY ELEVATION PLAN
FLOWER MOUND, TEXAS
DENTON COUNTY, TEXAS



MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C
14643 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972 980-8980

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

DATE: 01.08.25

DRAWN BY:

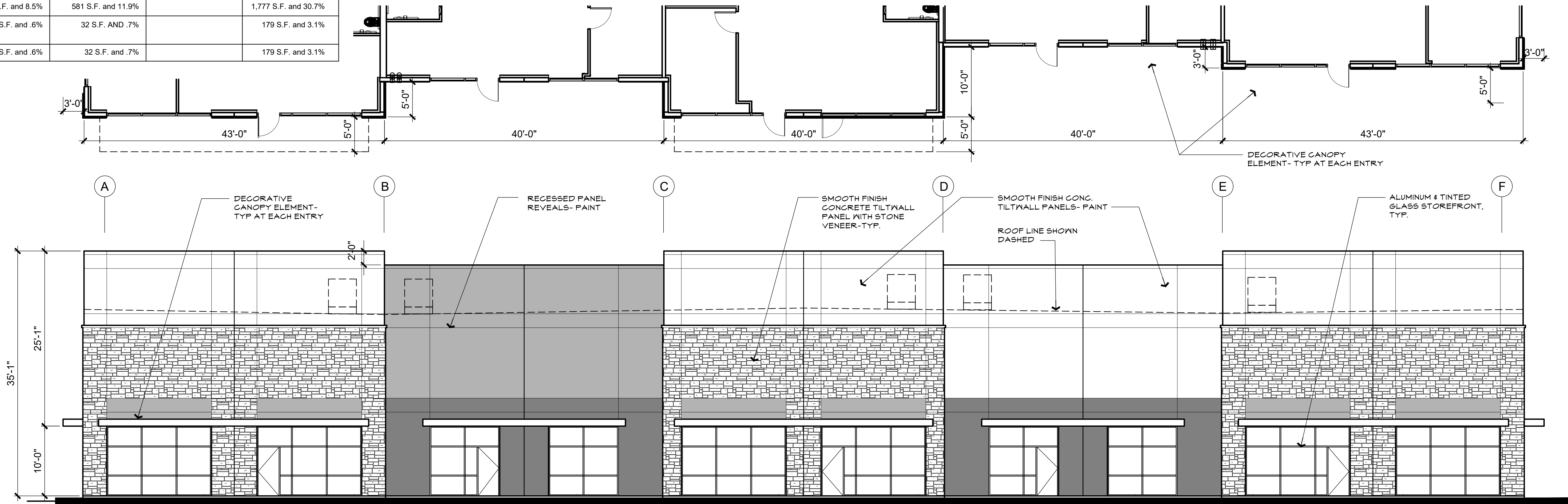
CHECKED BY:

SHEET:

ELEVATION
PLAN-COLOR

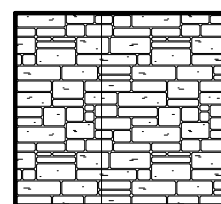
MATERIAL USE TABLE

	MATERIAL	NORTH ELEV.	SOUTH ELEV.	EAST ELEV.	WEST ELEV.
1.	TOTAL FACADE S.F.	5,088 S.F.	5,102 S.F.	6,621 S.F.	7,085 S.F.
2.	FACADE (EXCLUSIVE OF DOOR AND WINDOWS)	4,867 S.F.	4,881 S.F.	5,631 S.F.	5,785 S.F.
3.	DOORS AND WINDOWS S.F.	221 S.F.	221 S.F.	990 S.F.	1,300 S.F.
4.	PRIMARY MASONRY TOTALS- (MIN. 80%)	4,840 S.F. and 99.4%	4,849 S.F. and 99.3%	5,631 S.F. and 100%	5,606 S.F. and 96.9%
	*TILT WALL S.F.	4,423 S.F. and 90.9%	4,268 S.F. and 87.4%	5,631 S.F. and 100%	3,829 S.F. and 66.2%
	*TEXTURED STONE S.F.	417 S.F. and 8.5%	581 S.F. and 11.9%		1,777 S.F. and 30.7%
5.	SECONDARY TOTALS - (MAX. 20%)	27 S.F. and .6%	32 S.F. AND .7%		179 S.F. and 3.1%
	*METAL ACCENT S.F.	27 S.F. and .6%	32 S.F. and .7%		179 S.F. and 3.1%

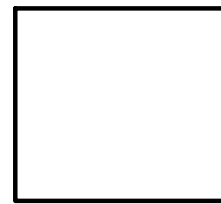


02 WEST ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SELECTION KEY



ST-01 ELDORADO STONE
AUTUMN LEAF ROUGH CUT



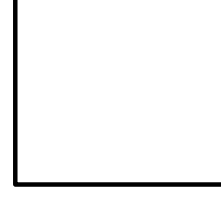
PT-01 FIELD COLOR
SW 7105 PAPERWHITE



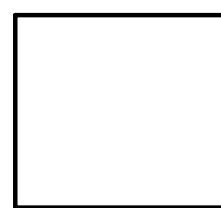
PT-02 MEDIUM ACCENT COLOR
SW 7530 IRISH CREAM



PT-03 DARK ACCENT COLOR
SW 7530 TAMARIND

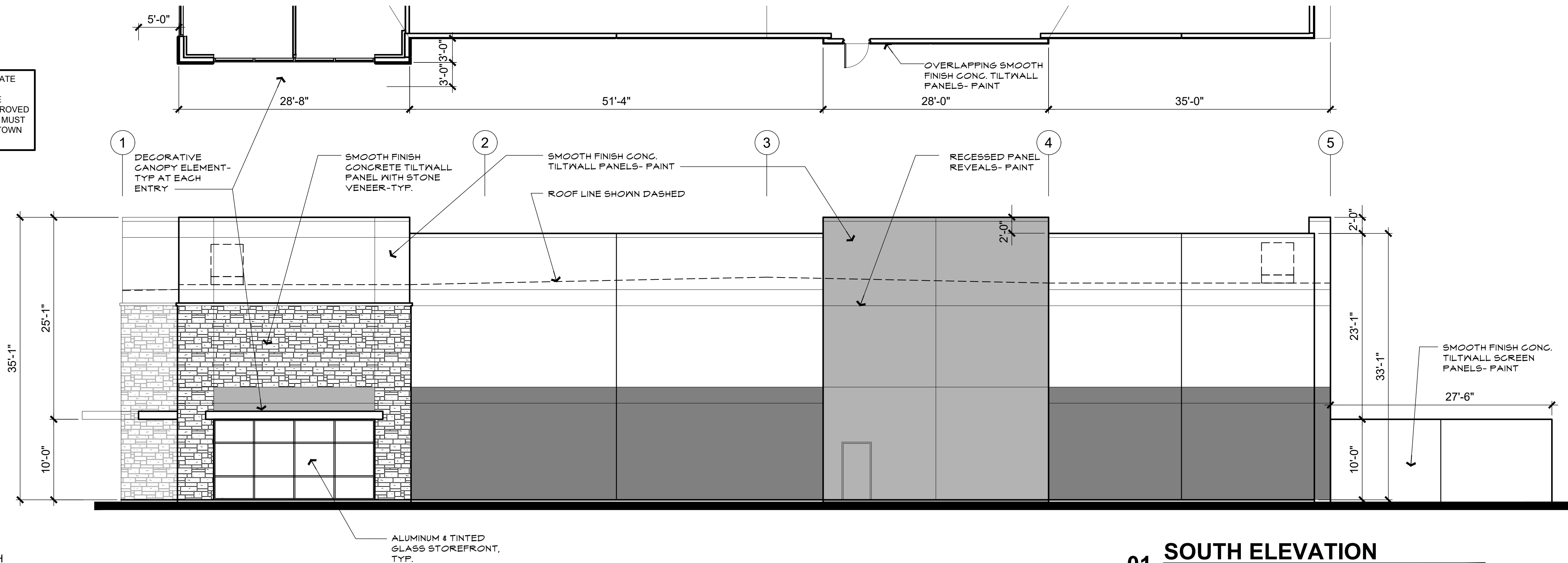


AL-01 PRE-FINISHED CLEAR ANODIZED
ALUMINUM



GL-01 1" INSULATED GRAY GLASS

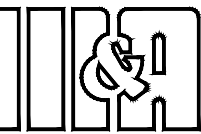
NOTE: SIGNS REQUIRE A SEPARATE BUILDING PERMIT, ANY SIGNS DEPICTED ON THE SUBJECT SITE PLANELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.



01 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS:

LAKESIDE PARKWAY ELEVATION PLAN
FLOWER MOUND,
DENTON COUNTY, TEXAS



MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C
14643 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972 980-8980

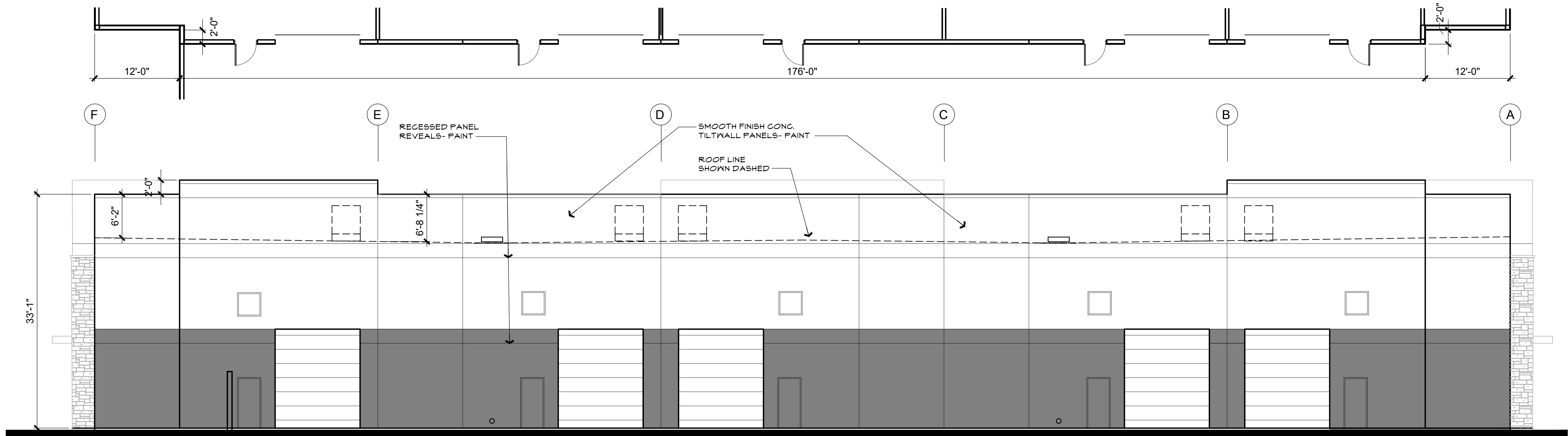
NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

DATE: 01.08.25
DRAWN BY:
CHECKED BY:
SHEET:

ELEVATION
PLAN-BW 1

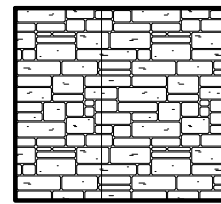
MATERIAL USE TABLE

	MATERIAL	NORTH ELEV.	SOUTH ELEV.	EAST ELEV.	WEST ELEV.
1.	TOTAL FACADE S.F.	5,088 S.F.	5,102 S.F.	6,621 S.F.	7,085 S.F.
2.	FACADE (EXCLUSIVE OF DOOR AND WINDOWS)	4,867 S.F.	4,881 S.F.	5,631 S.F.	5,785 S.F.
3.	DOORS AND WINDOWS S.F.	221 S.F.	221 S.F.	990 S.F.	1,300 S.F.
4.	PRIMARY MASONRY TOTALS- (MIN. 80%)	4,840 S.F. and 99.4%	4,849 S.F. and 99.3%	5,631 S.F. and 100%	5,606 S.F. and 96.9%
	*TILT WALL S.F.	4,423 S.F. and 90.9%	4,268 S.F. and 87.4%	5,631 S.F. and 100%	3,829 S.F. and 66.2%
	*TEXTURED STONE S.F.	417 S.F. and 8.5%	581 S.F. and 11.9%		1,777 S.F. and 30.7%
5.	SECONDARY TOTALS - (MAX. 20%)	27 S.F. and .6%	32 S.F. AND .7%		179 S.F. and 3.1%
	*METAL ACCENT S.F.	27 S.F. and .6%	32 S.F. and .7%		179 S.F. and 3.1%

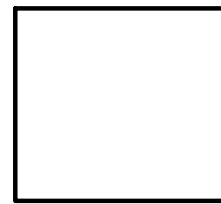


02 EAST ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SELECTION KEY



ST-01 ELDORADO STONE
AUTUMN LEAF ROUGH CUT



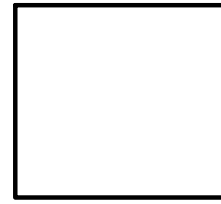
PT-01 FIELD COLOR
SW 7105 PAPERWHITE



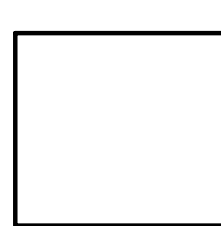
PT-02 MEDIUM ACCENT COLOR
SW 7538 IRISH CREAM



PT-03 DARK ACCENT COLOR
SW 7538 TAMARIND



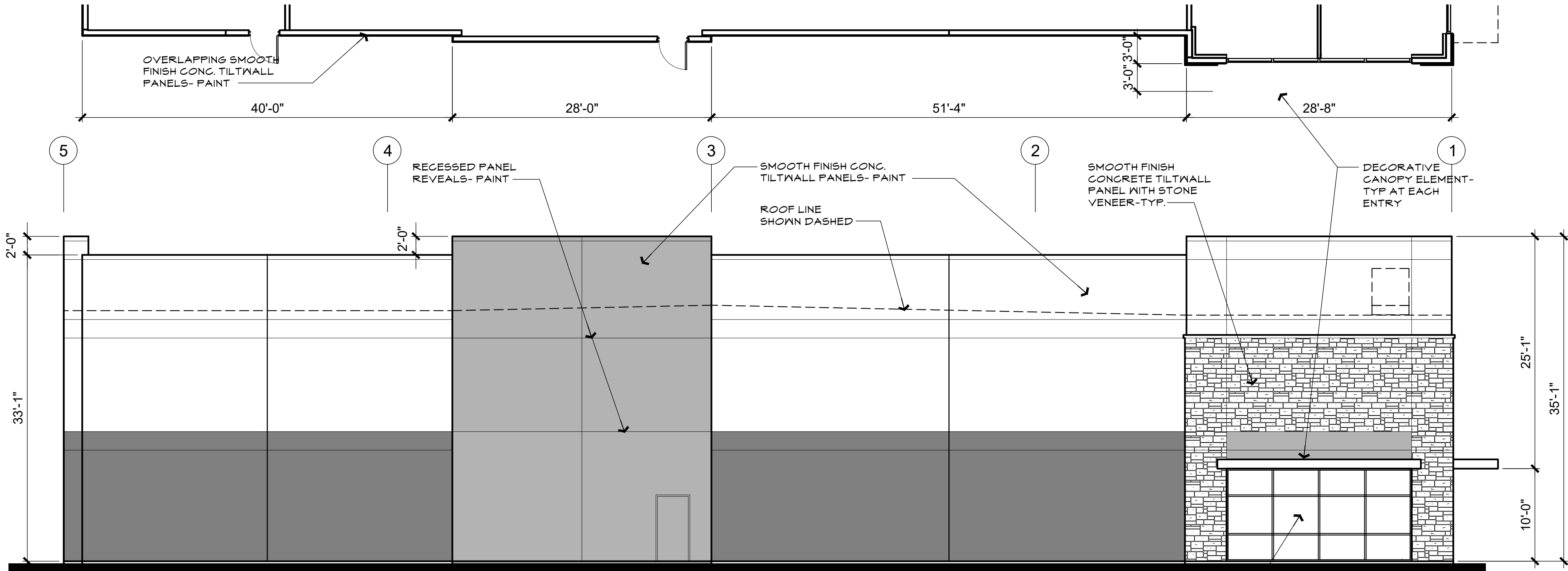
AL-01 PRE-FINISHED CLEAR ANODIZED
ALUMINUM



GL-01 1" INSULATED GRAY GLASS

NOTE: SIGNS REQUIRE A SEPARATE BUILDING PERMIT, ANY SIGNS DEPICTED ON THE SUBJECT SITE PLANELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.

NOTE:
ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.



01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS:

LAKESIDE PARKWAY ELEVATION PLAN
FLOWER MOUND, TEXAS
DENTON COUNTY, TEXAS



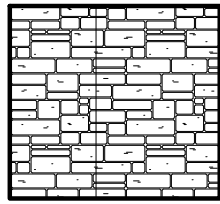
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C
14643 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972 980-8980

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

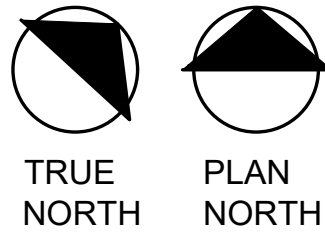
DATE: 01.08.25
DRAWN BY:
CHECKED BY:
SHEET:

ELEVATION
PLAN-BW 2

COLOR SELECTION KEY

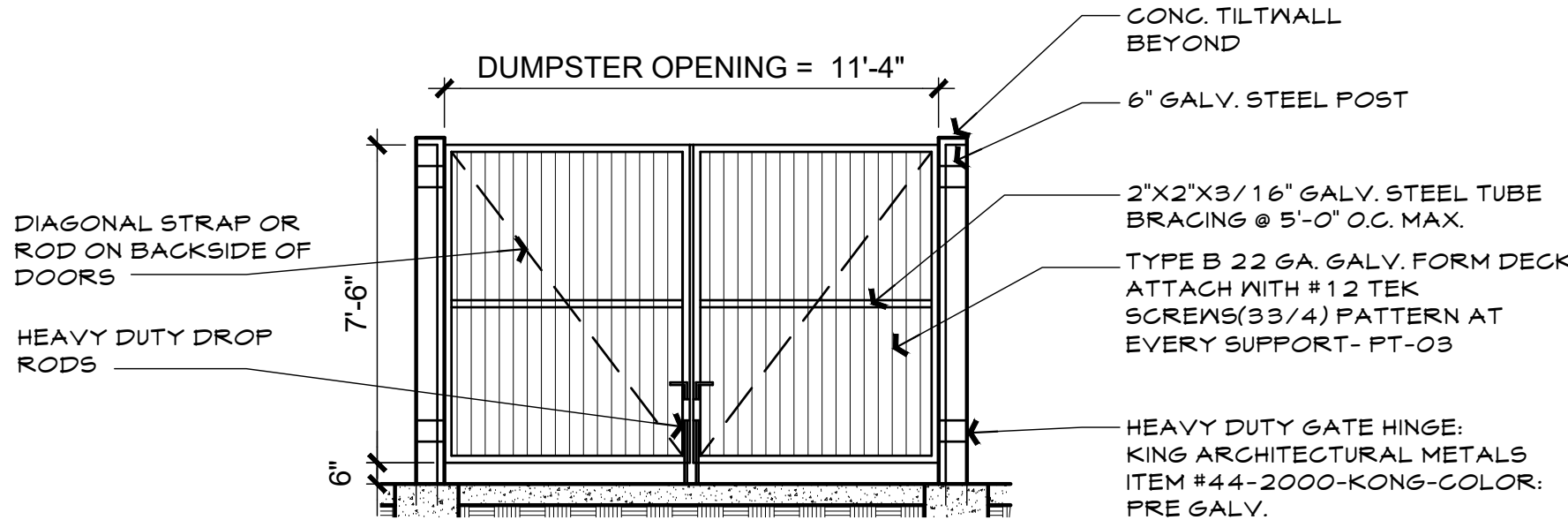
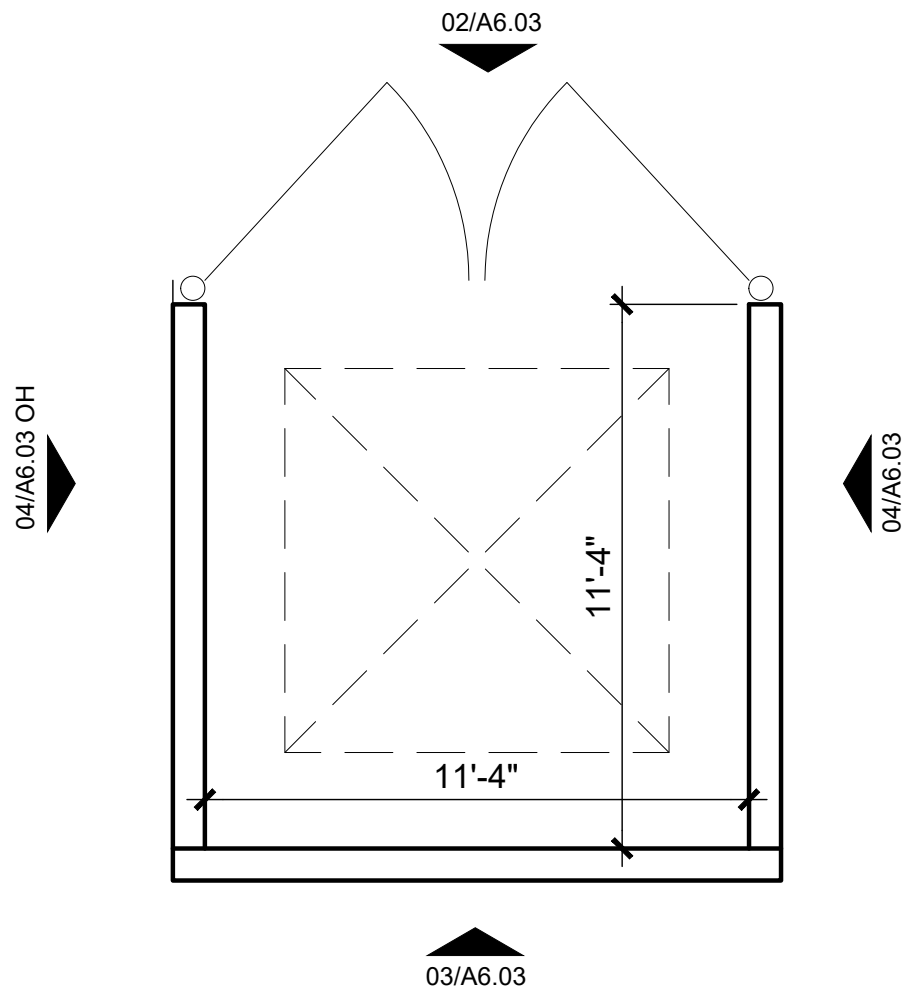
	ST-01 ELDORADO STONE AUTUMN LEAF ROUGH CUT
	PT-01 FIELD COLOR SW 7105 PAPERWHITE
	PT-02 MEDIUM ACCENT COLOR SW 7536 IRISH CREAM
	PT-03 DARK ACCENT COLOR SW 7536 TAMARIND
	AL-01 PRE-FINISHED CLEAR ANODIZED ALUMINUM
	GL-01 1" INSULATED GRAY GLASS

NOTE: SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLANE/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.



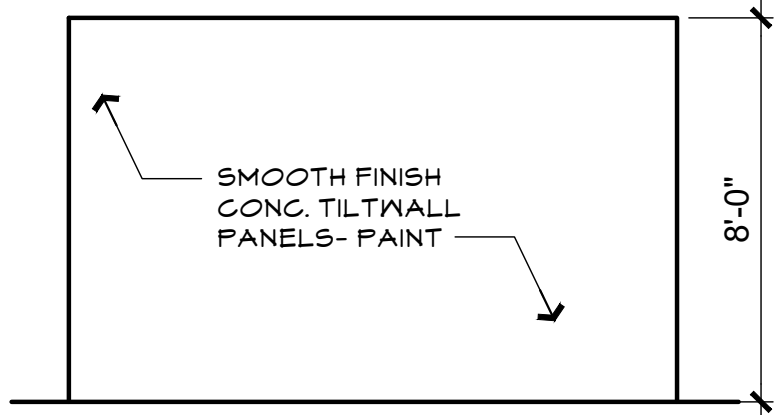
01 DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



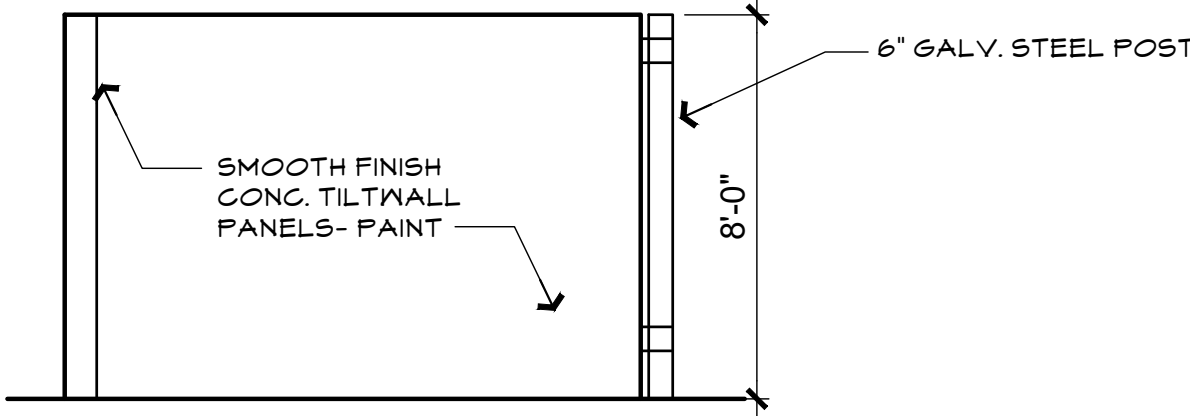
02 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



03 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



04 EAST ELEVATION

SCALE: 1/4" = 1'-0"

WEST OH



MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C
14643 DALLAS PARKWAY
SUITE 636
DALLAS TEXAS 75254
972.980.8980

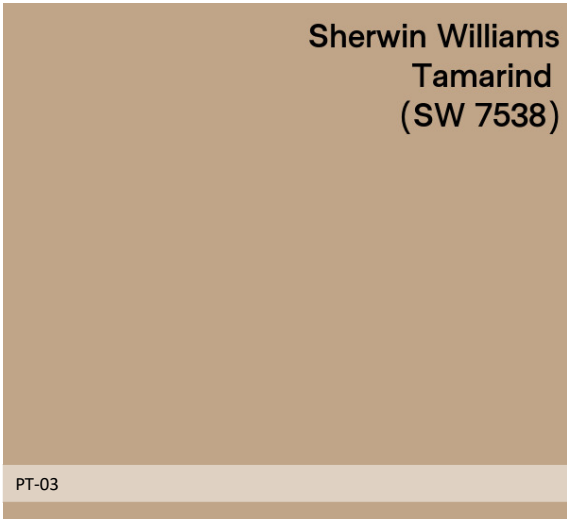
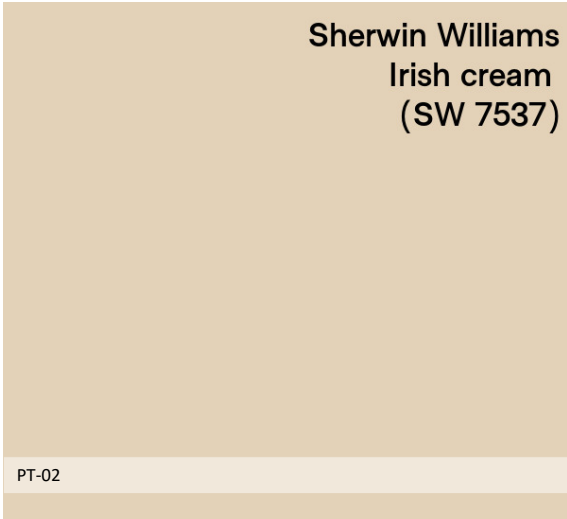
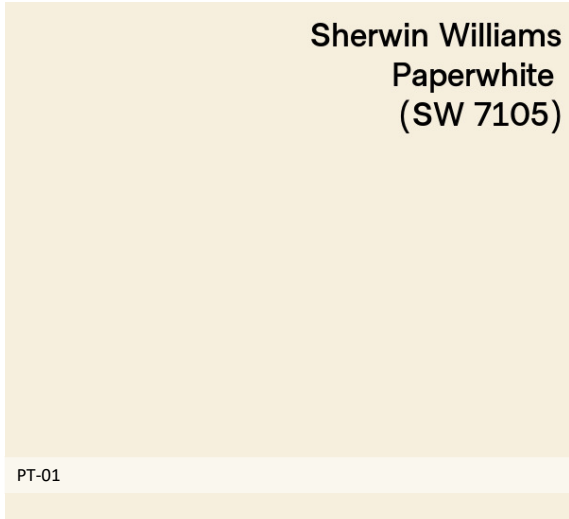
NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

DATE: 01.08.25
DRAWN BY:
CHECKED BY:
SHEET:

ELEVATION
PLAN-BW 3

LAKESIDE PARKWAY ELEVATION PLAN
FLOWER MOUND,
DENTON COUNTY, TEXAS

REVISIONS:





PLANNING & ZONING COMMISSION AGENDA J.1. REGULAR ITEM(S)

DATE: January 13, 2025
FROM: Chuck Russell, Principal Planner
ITEM: **Public Hearing to consider an ordinance granting Specific Use Permit No. 495 (SUP24-0006 – Scrivner Ranch Helistop) to permit a helistop. The property is generally located south of Cross Timbers Road and west of Belle Drive.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the application is to request approval of a Specific Use Permit (SUP 495) to permit a helistop to be constructed on the subject property. A helistop is defined in the Town Code as a landing pad for occasional and infrequent use by rotary wing aircraft not exceeding a gross weight of 6,000 pounds and not for regularly scheduled stops and subject to approval by the Town. The subject property is undeveloped, contains 7.74 acres and is located within an Agricultural (A) zoning district. A helistop is a permitted use within this zoning district subject to Town Council approval of an SUP.

The proposed helistop pad is 36-feet by 36-feet with a grass surface bordered by a 2-foot-wide concrete edge. The edge of the landing pad is approximately 125 feet south of Cross Timbers Road, 175 feet due west of the property line containing an open space lot within the Hillside of Flower Mound residential subdivision, and approximately 200 feet northwest of the property line of a developed single-family lot within the Hillside of Flower Mound subdivision (Lot 2, Block A).

Helicopters approaching and departing the subject property will primarily be utilizing the “Flight Zone” as depicted on the attached conceptual site plan. The applicant has indicated the helistop will be utilized twice a month on average and will be operating on the pad for between two and three minutes.

The Town Code measures sound in terms of dB(A), or A-weighted decibels, which is a measurement of how loud a sound is perceived by the human ear. Section 34-181. - Noise Standards in the Town Code states the following:

a. The following noise standards, unless otherwise specifically indicated, shall apply to all property with a designated land use district:

TABLE 34-1
LIMITING SOUND LEVELS FOR LAND USE DISTRICTS

Land Use District	Time of Day	Energy Equivalent Sound Levels (Leq)
Residential	10:00 p.m. to 7:00 a.m.	52 dB(A)
	7:00 a.m. to 10:00 p.m.	62 dB(A)
Office, retail	10:00 p.m. to 7:00 a.m.	62 dB(A)
Commercial	7:00 a.m. to 10:00 p.m.	67 dB(A)
Industrial	Anytime	70 dB(A)

b. It shall be unlawful for any person at any location in the town to create any noise, or to allow the creation of any noise on property owned, leased, occupied or otherwise controlled by such person, which causes the noise level when measured on or beyond the boundaries of the property on which the noise is produced, or measured within any other residential dwelling unit or commercial space, to exceed:

1. The noise standard in any measurement period not less than 30 minutes.
2. The noise standard, plus 15 dB(A) in any one minute average of a measurement period.
3. The noise standard, plus 20 dB(A) at any time in a measurement period.

The applicant has indicated that the type of helicopter utilizing the helistop will typically be an Airbus AS350 and at other times it will be a Bell 407 model. While it's difficult to specify exactly how much sound will be generated by the helicopter as it sits on the landing pad, staff reviewed a study that indicated the Bell 407 model at takeoff generates 97.2 db(A) 100 feet away from the pad and 80.2 db(A) 400 feet away from the pad. This helicopter generates similar measurements when landing on the pad. The applicant indicated the Airbus model generates slightly lower numbers.

Since there is a high likelihood the sound generated at the pad will exceed the Residential Land Use noise standard, plus 20 dB(A) as measured at the property line with the adjacent residential uses, the applicant will have to apply for a "permit of variance" if the subject SUP is approved by Town Council. Section 34-154. - Permits of variance in the Town Code states:

The director is authorized to grant permits for relief of any provision in this article on the basis of undue hardship in cases where:

1. The sound source will be of short duration and the activity cannot be conducted in a manner as to comply with this article.
2. Additional time is necessary for the applicant to alter or modify their activity or operation to comply with this article.
3. No reasonable alternative is available to the applicant.
4. An automatic variance will be granted without the payment of permit fees for the purpose of conducting parades or other public events, provided that any noise disturbance created by such activity will be abated when such request is made by a town official authorized to enforce this article.
5. The town manager or designated representative may prescribe any reasonable conditions or requirements deemed necessary to minimize adverse effects and may suspend any permit issued for violating any provisions prescribed in the permit of variance.

Any applicant who has been denied a permit of variance or any permittee whose permit has been suspended shall have the right to a hearing before the Town Council.

III. PROPOSED SUP CONDITIONS

Staff is recommending the following conditions be included in the SUP ordinance if the SUP is approved by Town Council:

1. Helicopters shall only touchdown on or lift-off from the area designated as the Touchdown and Lift-Off Area on the attached conceptual site plan.
2. The Touchdown and Lift-Off Area shall only be operational between the hours of 7:00 a.m. to 10:00 p.m. Monday through Sunday.

Please note that staff recommended the hours be further limited to match the Town's construction standard limitations when construction work occurs within 500 feet of a residence which are 7:00 a.m. to 7:00 p.m. Monday through Friday and 9:00 a.m. to 5:00 p.m. Saturday and Sunday. The applicant stated they would prefer expanded hours and stated, "Although it may only be a few times annually that we would land outside of your proposed times, we must consider the unknowns associated with air traffic routing and delays that couldn't be planned to request a specific permit outside your hours of operation."

3. Helistop lighting shall be limited to nine flush green pad boundary lights designed for visual approach. These lights shall be low voltage solar driven LED lights activated by the pilot when needed.
4. There shall be no overnight storage of helicopters on the helistop.
5. There shall be no storage of fuel or equipment related to the helistop.
6. Upon approval of the subject SUP, the property owner shall make an application for a permit of variance in accordance with Section 34-154 of the Town Code, as amended.

BOARD REVIEW/CITIZEN FEEDBACK:

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200ft of the subject property for all zoning application requests. SUP24-0006 had a total of 23 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: Alicia Kreh, of Taylor, Olson, Adkins, Sralla, & Elam L.L.P., will review the ordinance as to form and legality.

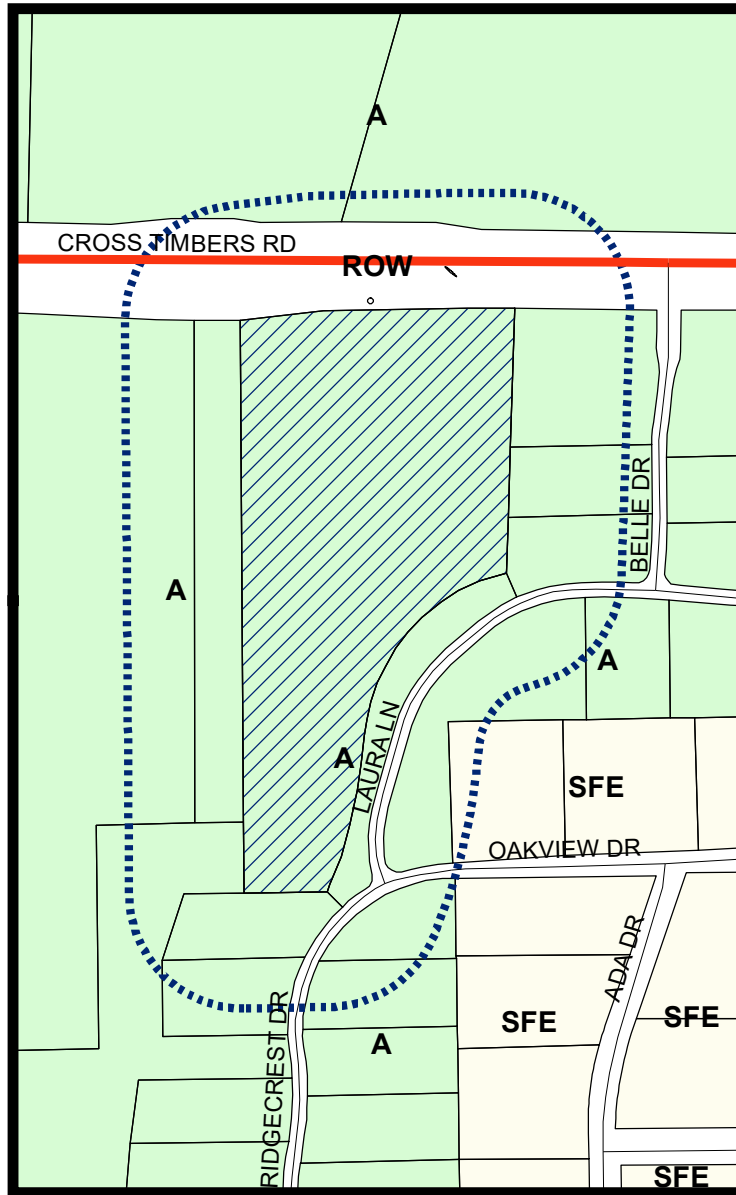
ATTACHMENTS:

1. Zoning & Aerial Map
2. Specific Use Permit Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SUP24-0006: Scrivner Ranch Helistop



LEGEND

Agriculture

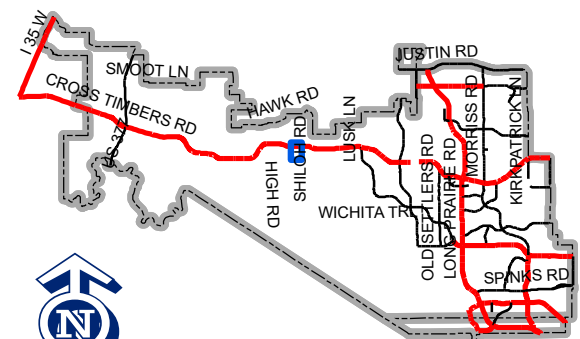
Single Family Estate

Subject Property

200 ft Notification Buffer around Property

Visit www.fmdevmap.com to learn more about this project.

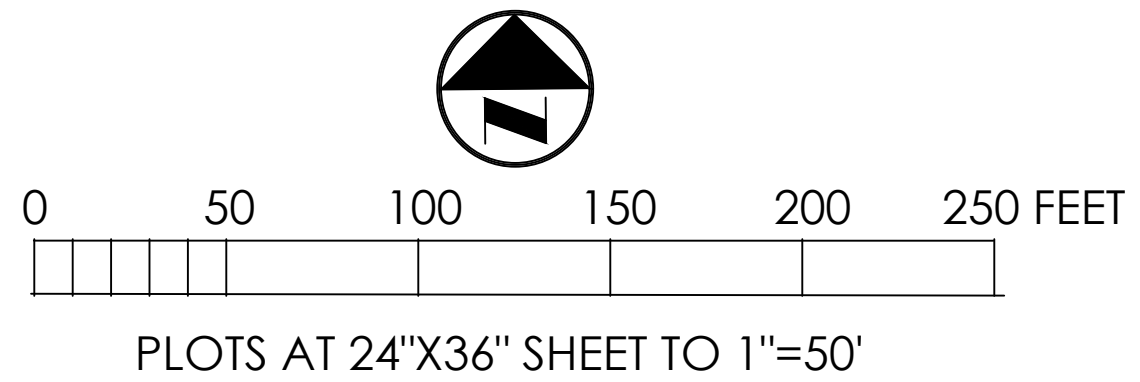
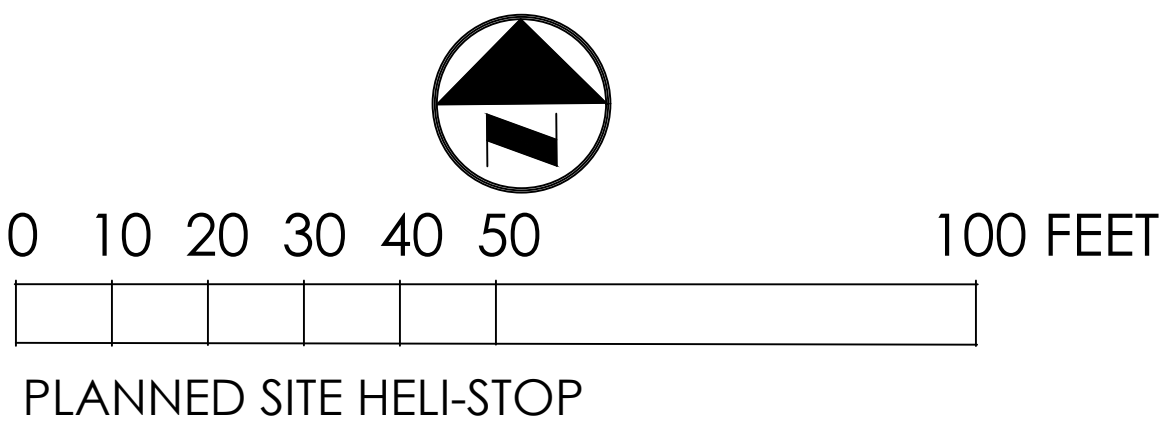
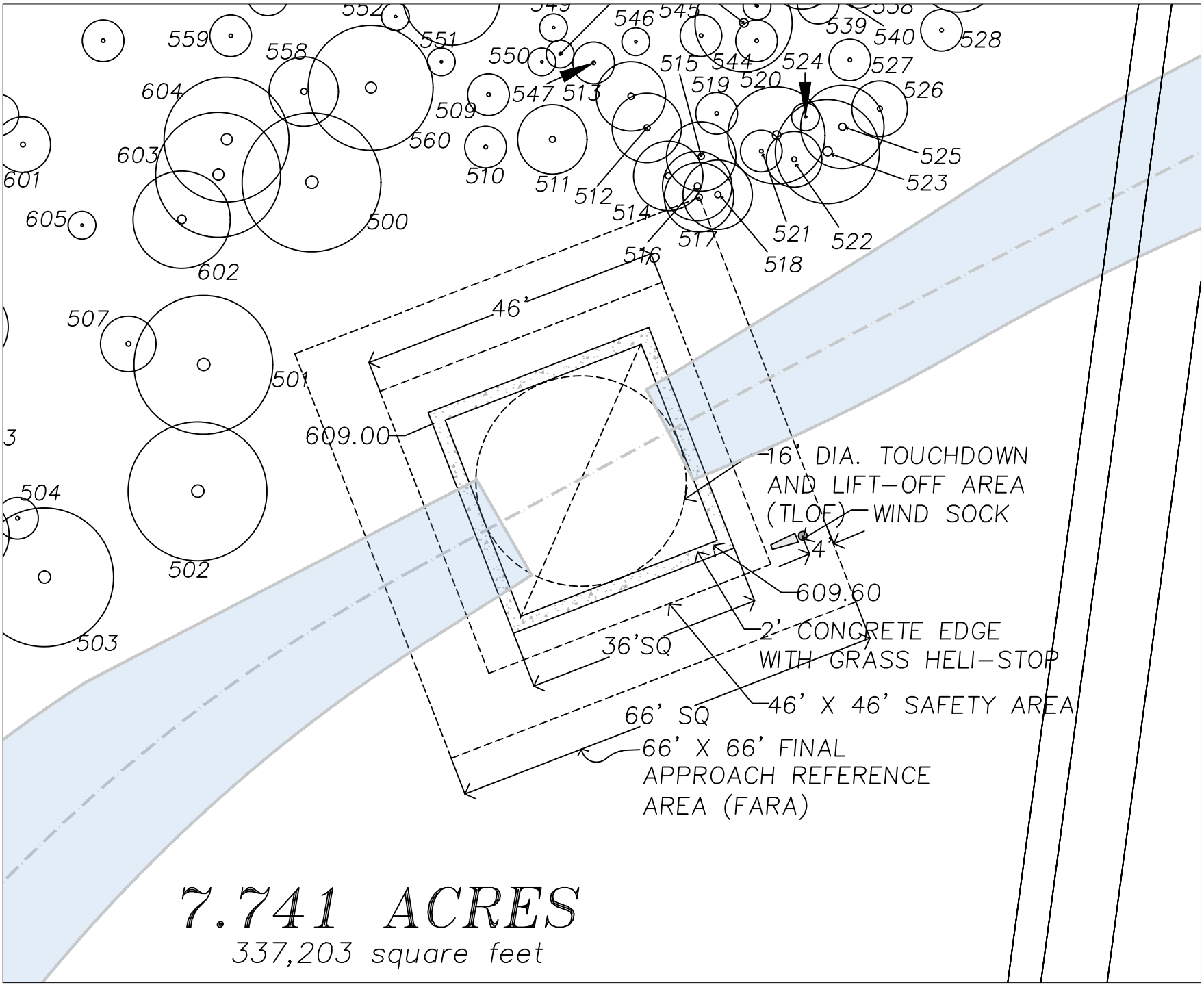
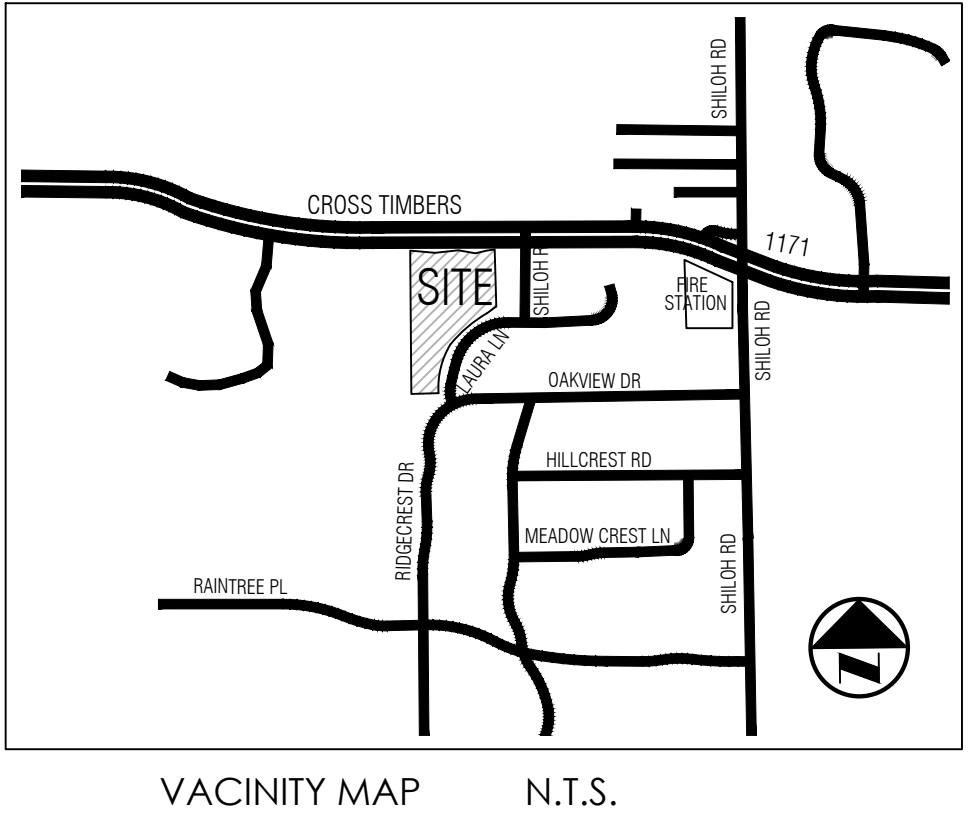
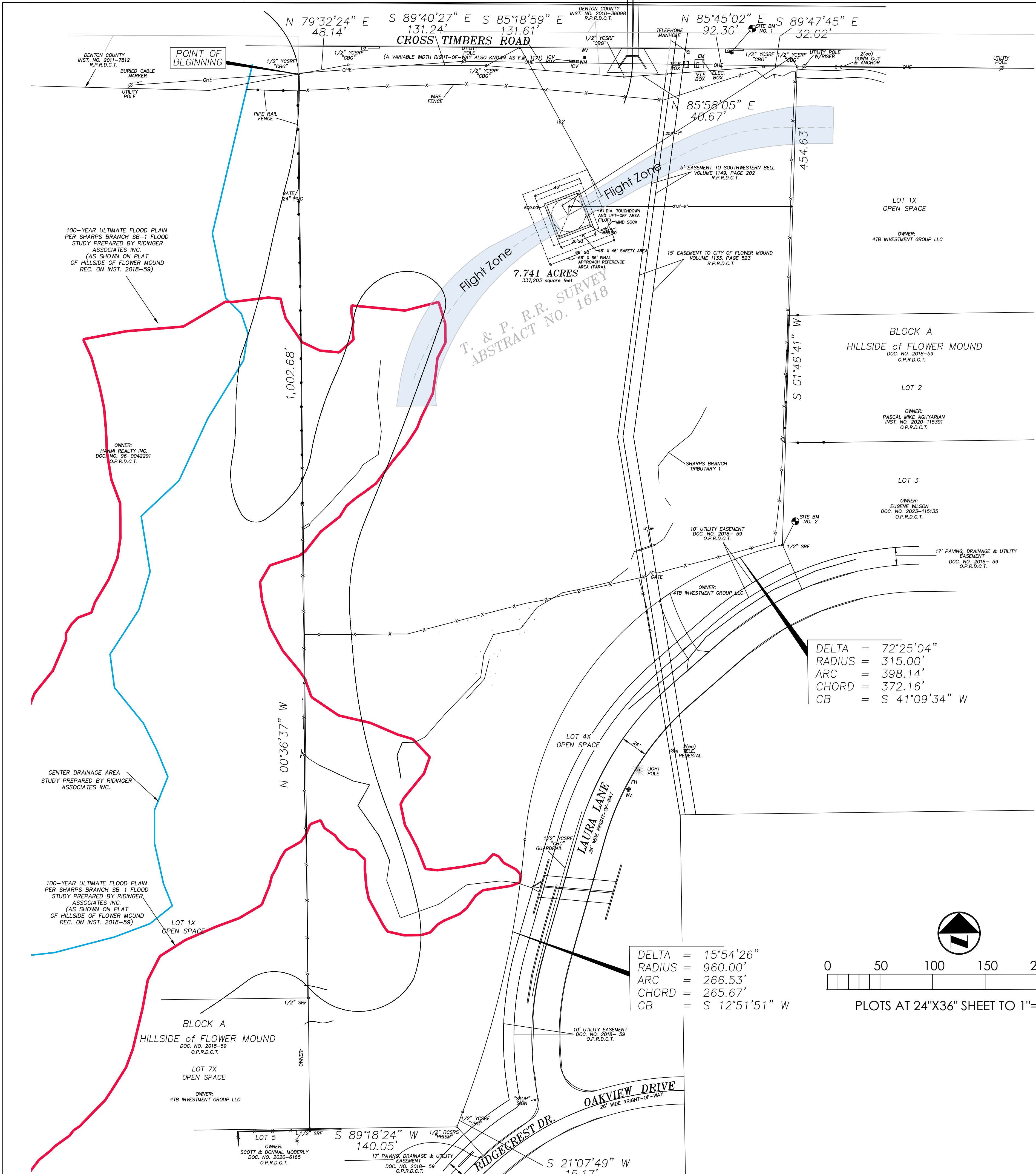
Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location

0 250 500 1,000 Feet

Conceptual Site Plan



T. H. Pritchett / Associates LANDSCAPE ARCHITECTS / SITE PLANNERS 1218 Camino Lago - Irving, Texas 75039 214.697.2580 tom@landdesignplan.com	
PLANNED SITE HELI-STOP PLAN	
SCRIVNER RANCH 6949 CROSS TIMBERS, FM 1117 BLOCK X, LOT 1 FLOWER MOUND, TEXAS	
SCALE: 1"=50'	DRAWING NO.
DATE: NOVEMBER 26, 2024 REVISED 12/10/2024	HELI-1