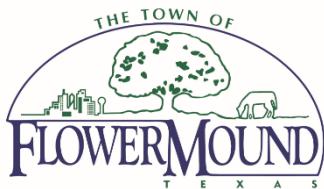


Planning & Zoning Commission



June 23, 2025
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flowermound.gov or by calling 972.874.6350 and leaving a message.

AGENDA

A. CALL TO ORDER

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

E. COORDINATION OF CALENDARS

1. July 14, 2025
2. July 28, 2025

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

G. STAFF/DIRECTOR REPORT

1. Training Opportunities

H. **CONSENT ITEM(S)**

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of June 9, 2025 - Consider approval of the minutes from June 9, 2025.
2. SSP24-0007 - Furst Ranch Regional Detention Pond and Infrastructure - Consider a request for a Subdivision Site Plan (SSP24-0007 – Furst Ranch Regional Detention Pond and Infrastructure) to approve infrastructure for a non-residential subdivision. The property is generally located north of Cross Timbers Road and east of U.S. Hwy 377.

I. **REGULAR ITEM(S)**

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SP24-0013 - Flower Mound Hindu Temple - Public Hearing to consider a request for a Site Plan (SP24-0013 - Flower Mound Hindu Temple) to create a religious assembly/institution use with an exception to Section 82-302, Compatibility buffer, of the Code of Ordinances, and with a waiver to the roof pitch requirement pursuant to Section 98-1163, Exterior wall construction for nonresidential buildings, of the Code of Ordinances. The property is generally located west of Old Settlers Road and south of Peters Colony Road.

J. **ADJOURN**

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the Notice of Meeting was posted on the bulletin board at the Town Hall for the Town of Flower Mound, Texas, in a place convenient and readily accessible to the general public at all times and said Notice was also posted on the Town's website in accordance with GC Section 551.056 on the following date and time: June 19, 2025, at 4:30 p.m., at least 72 hours prior to the scheduled time of said meeting.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



June 9, 2025
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Gilmore called the regular meeting to order at 6:35 p.m. with the following members present:

Donald Gilmore, Place 6, Chair
Gregory Schultz, Place 1
Todd Bayuk, Place 3
Scott Langley, Place 5
Scott Jostes, Place 7
Michelle Jackson, Place 8 Alternate
Clare Harris, Place 9 Alternate

with the following member(s) absent:
Jason Hobbs, Place 2, Vice-Chair
Ryan Geddie Place 4

constituting a quorum with the following members of the Town Staff participating:

Rachel Raggio, Town Attorney
Lexin Murphy, Director of Development Services
Bob Pegg, Town Engineer
Poornima Kashyap, Planning Manager
Chuck Russell, Principal Planner
Codie Freeman, Planner
LauriAnn Cash, Executive Assistant

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972- 874-6000 during business hours. To speak to the Board/Commission during public comment, please fill out a comment form, which is located in the lobby of Town Hall.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair depending on the number of speakers.
- Speakers must address their comments to the Board/Commission.
- Please state your name and address when speaking.

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

Speaker name and address	Subject (as written on the form)
None	

** Indicates person did not wish to speak*

E. COORDINATION OF CALENDARS

1. June 23, 2025
2. July 14, 2025

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

None

G. STAFF/DIRECTOR REPORT

1. Legislative Updates

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of May 12, 2025 - Consider approval of the minutes from May 12, 2025.

ACTION:	Commissioner Harris moved to approve H.1. as presented in the agenda caption. Commissioner Schultz seconded the motion.
AYES:	Schultz, Bayuk, Langley, Jostes, Jackson, Harris
NAYS:	None
RESULT:	6 : 0

I. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SUP25-0001 - ZRB Estates Accessory Dwelling Unit - Public Hearing to consider an ordinance granting a Specific Use Permit No. 496 (SUP25-0001 – ZRB Estates Accessory Dwelling Unit) to permit an accessory dwelling. The property is generally located west of Simmons Road and south of Park Bend Lane. (*On June 3, 2025, the applicant requested this item be put on hold for the time being.*)

No action needed or taken.

2. ZPD25-0001 - Flower Mound High School - Public hearing to consider an ordinance amending the zoning (ZPD25-0001 – Flower Mound High School) to amend Planned Development No. 34 with Single Family Density Medium uses to request certain modifications to Section 94-63 (3) "Parking area trees," of the Code of Ordinances requiring that each parking space be located within 100 feet of a tree. The property is generally located west of Old Settlers Road and south of Peters Colony Road.

STAFF PRESENTATION:

Codie Freeman, Planner

APPLICANT PRESENTATION:

Hannah Haber, McAdams

ACTION:	Commissioner Langley moved to recommend approval of I.2. as presented in the agenda caption. Commissioner Bayuk seconded the motion.
AYES:	Schultz, Bayuk, Langley, Jostes, Jackson, Harris
NAYS:	None
RESULT:	6 : 0

J. ADJOURN

Chair Gilmore adjourned the meeting at 6:58 p.m.

Chair Gilmore called the Work Session to order at 6:58 p.m.

K. WORK SESSION

Public Comment Guidelines for Work Sessions

- Work Sessions are not Public Hearings; the Commission cannot take action.
- Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time expires.
- Times may be adjusted by the Chair depending on the number of speakers.
- Donated time will not be recognized.
- Please state your name and address when speaking and direct comments to the Commission.

1. **MPA24-0006 & ZPD24-0006 - Eden Ranch** - A Work Session in conjunction with a future Public Hearing for a Master Plan Amendment (MPA24-0006 – Eden Ranch Thoroughfare Amendment) and rezoning (ZPD24-0006 – Eden Ranch). The property is located in the Cross Timbers Conservation Development District (CTCDD) on the north side of Cross Timbers Road, between Red Rock Lane and Shiloh Road, and south of Hawk Road.

STAFF PRESENTATION:

Chuck Russell, Principal Planner

APPLICANT PRESENTATION:

Tyler Radbourne, Eden Ranch

Julia Radbourne, Eden Ranch

Quint Redmond, Agriburbia

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

	Speaker name and address	Subject (as written on the form)
1.	Mike Gwartney; 129 Chapel Hill Drive, Double Oak	Kings Road drainage
2.	Fred Vincent; 3933 Bordeaux Circle	Eden Ranch, in support
3.	Marsha Gavitt; 6501 Meadowcrest Lane	Eden Ranch, in opposition
4.	Katy Grote; 165 Double Oaks Drive, Double Oak	Eden Ranch, in opposition
5.	* Tim Wisenart; 2300 Olympia	Eden Ranch
6.	* Natalie Knabe; 2513 Peninsula Drive	Eden Ranch, in support
7.	* Jeff Beaupain; 7038 Elmridge Drive, Dallas	Eden Ranch, in support

** Indicates person did not wish to speak*

Chair Gilmore adjourned the Work Session at 9:35 p.m.

TOWN OF FLOWER MOUND, TEXAS

DON GILMORE, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA H.2. CONSENT ITEM(S)

DATE: June 23, 2025
FROM: Poornima Kashyap, Planning Manager
ITEM: **Consider a request for a Subdivision Site Plan (SSP24-0007 – Furst Ranch Regional Detention Pond and Infrastructure) to approve infrastructure for a non-residential subdivision. The property is generally located north of Cross Timbers Road and east of U.S. Hwy 377.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to approve Phase I infrastructure for the Furst Ranch development. The subject site is zoned for Mixed Use-2 (MU-2) for Furst Ranch. On April 10, 2025, a Development Plan to establish phase lines for a portion of the northeast corner of the intersection of Cross Timbers Road and U.S. Hwy 377 was approved administratively.

A Subdivision Site Plan is required for nonresidential projects including more than one lot, or when a tree removal permit is required, and must have been approved before the submittal of a Record Plat or Replat. Requirements for an SSP application include engineering/construction plans, a tree survey, and a subdivision landscape plan that includes all landscaping that must be installed with the Development Permit.

The subdivision site plan consists of an x-lot for the purpose of a regional detention pond containing approximately 6.994 acres and approximately 10.678 acres of right-of-way dedication.

The subdivision landscape plan depicts the required landscape street buffer trees along Cross Timbers Road and required retention pond trees. There are no specimen trees being requested for removal with this application.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

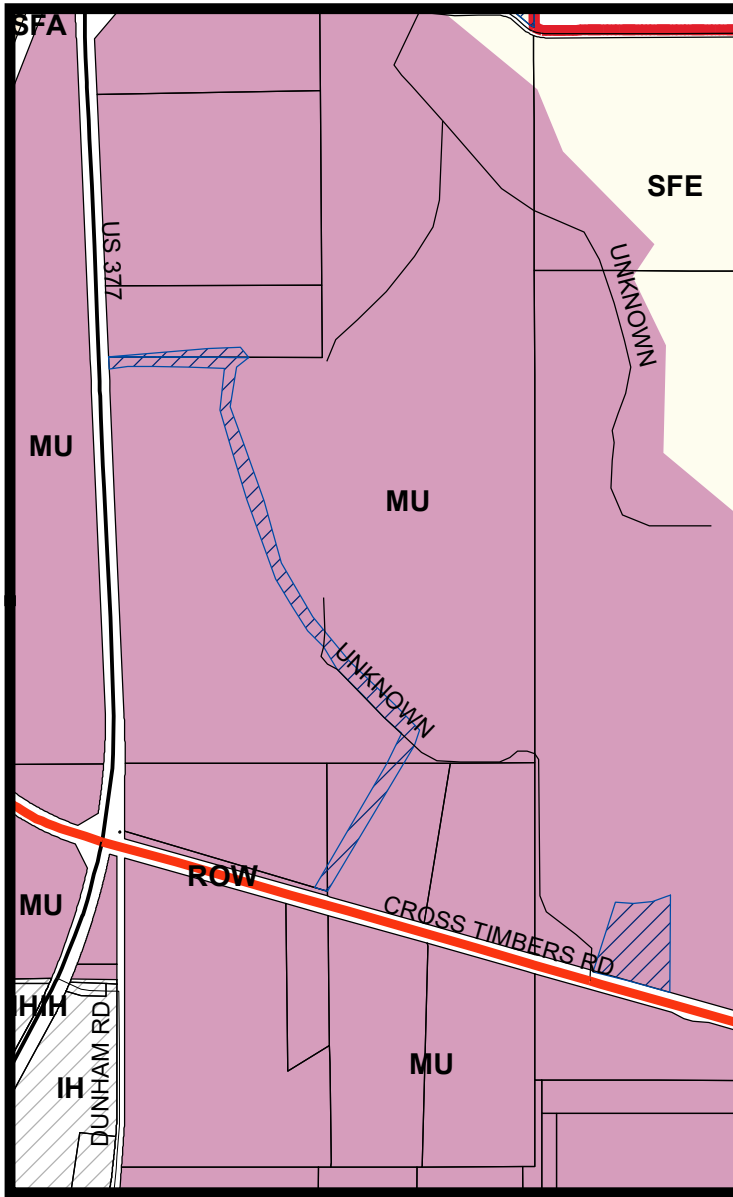
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter of Intent
3. Subdivision Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SSP24-0007: Furst Ranch Regional Detention Pond & Infrastructure

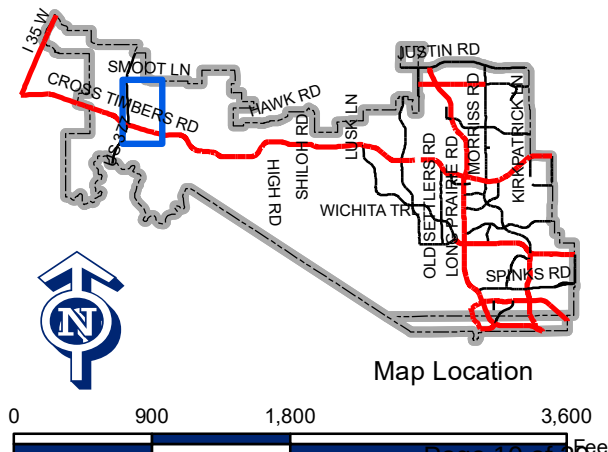


LEGEND

-  Interim Holding
-  Mixed Use
-  Single Family Estate
-  Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.





4400 State Highway 121
Suite 800
Lewisville, TX 75056
972. 436. 9712

FUR24002

June 12, 2025

Ms. Lexin Murphy, AICP
Director of Development Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028
Lexin.Murphy@flowermoundgov

RE: Furst Ranch Phase I Infrastructure – Subdivision Site Plan Application

Dear Lexin:

Please accept this letter, on behalf of our client, as an explanation of the proposed application. We are submitting, for review and approval, a subdivision site plan application for the Furst Ranch Phase 1 Infrastructure. The property is generally located at the northeast corner of FM 1171 and US 377.

This is the first of many improvements to the Furst Ranch property in western Flower Mound. This application is to show the proposed improvements and set up some preliminary information for future needs. The application covers the regional retention pond that will be utilized by future developments on the northeast tract. Details of the drainage area covered by the pond will be provided in the construction plans for the infrastructure. The application also indicates the proposed public utilities that will be extended now, or in the future, to the preliminary lots indicated by the development plan application, submitted separately and already approved (DP25-0001). The application includes two (2) street improvements; Judge Andy Eads Boulevard and Chisholm Trail, from FM 1171 to US 377. Utility extensions include the continuation of the sanitary sewer line from FM 1171, along Chisholm Trail and terminating at the northside of the proposed round-a-bout. Storm sewer extensions are proposed within the proposed rights-of-way of each street, water reuse lines from the northeast corner of the FM 1171/US 377 intersection to Chisholm Trail and up to the proposed round-a-bout and a water line from FM 1171 along Chisholm Trail to a termination point near the north end of the future grocer lot. In addition, excess dirt from the road construction and utility installation is proposed to be spread out through the future commercial-retail property included within the approved development plan.

We appreciate your consideration of this application and the variance request. Please feel free to contact me if you have any questions or comments regarding this submittal.

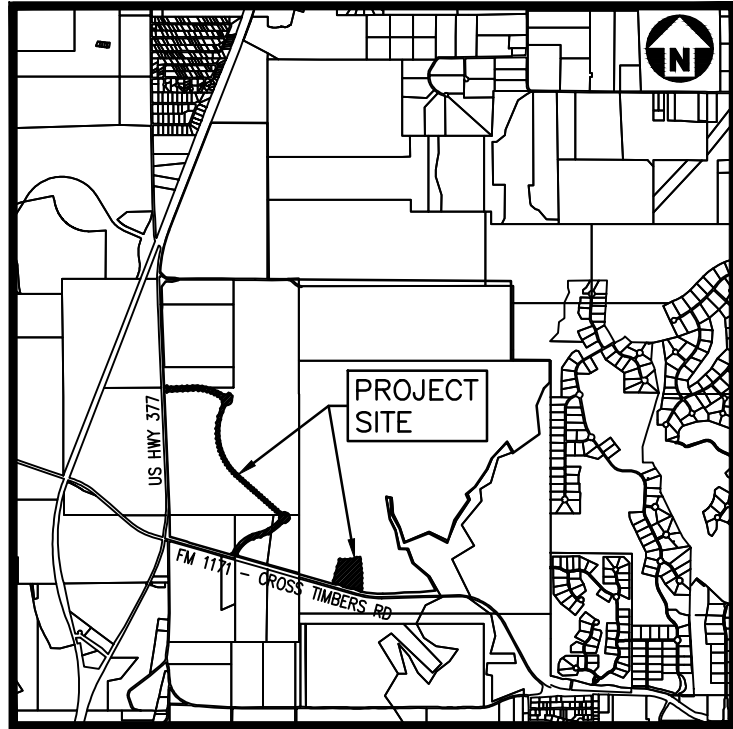
Sincerely,

McAdams

A handwritten signature in blue ink, appearing to read 'Scott Minnis', written over a blue circular stamp.

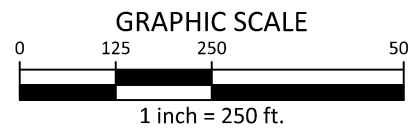
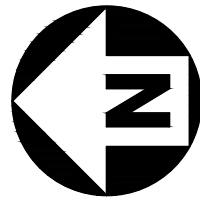
Scott Minnis | Project Manager, Engineering
Sminnis@mcadamsco.com | 972. 989. 7232

cc. Mr. Jack Furst
Mr. Robert Furst



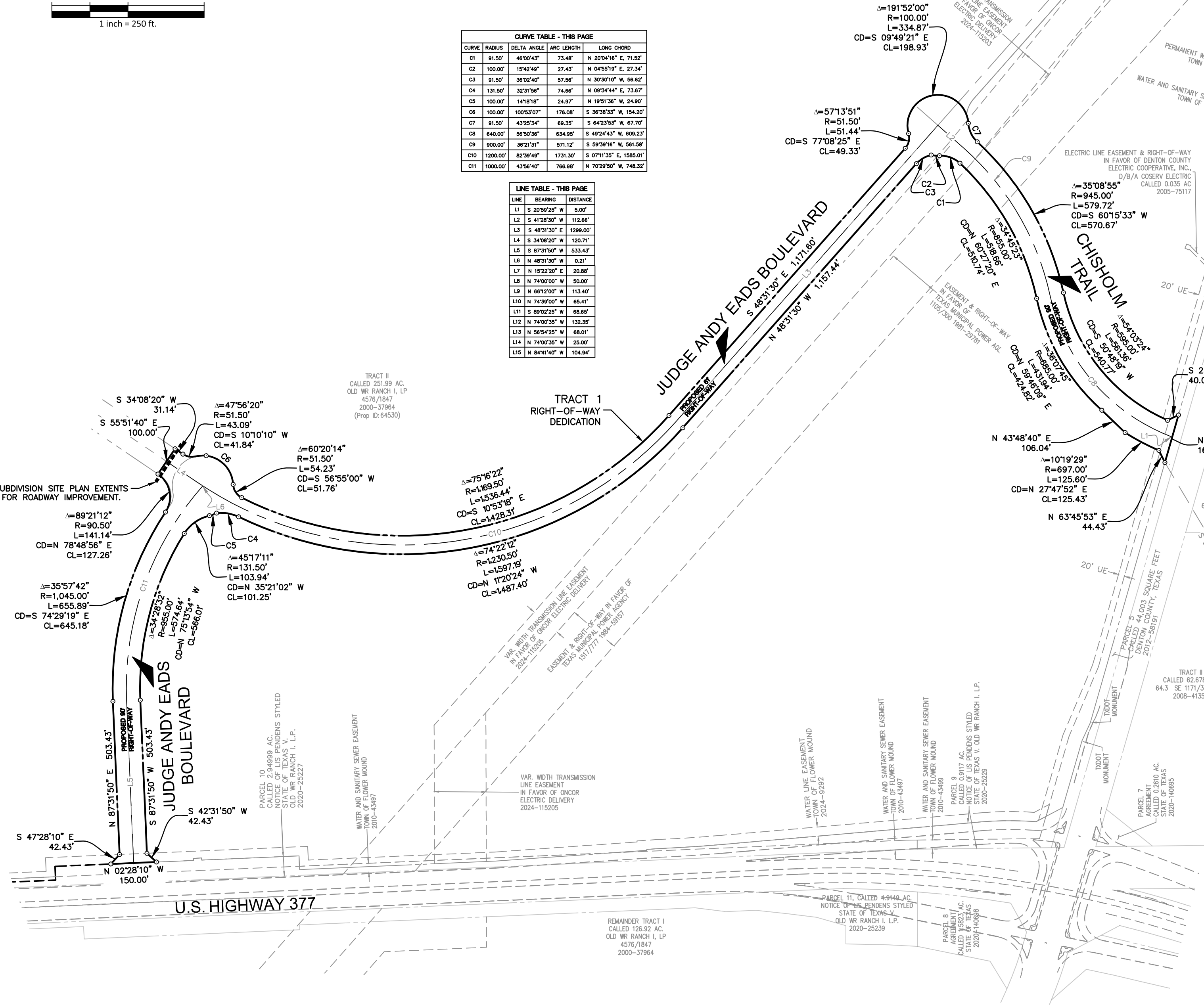
VICINITY MAP

N.T.S.



NOTES:

- Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
- According to Community/Panel No. 4812100505 G, effective April 18, 2011, and No. 4812100515 G, effective April 18, 2011, of the FLOOD INSURANCE RATE MAP for Denton County, Texas & Incorporated Areas, by graphic plotting only, this property appears to be within Flood Zone "X" (areas of minimal flooding). This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.
- This flood statement shall not create liability on the part of the surveyor.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
- Notice: Selling a portion of this addition by metes and bounds is a violation of the Town subdivision ordinance and state plotting statutes and is subject to fines and withholding of utilities and building certificates.
- Coordinates shown hereon are based on the Town of Flower Mound G.I.S. Network, Monument Numbers 38 and 39.
- Upkeep and maintenance of private drainage easement is the responsibility of the property owner.
- Upkeep and maintenance shall include but not be limited to the following items:
 - Gross and ground cover shall be kept to a height required by Town ordinance.
 - The detention facility shall be kept free of debris and litter, with particular attention given to keeping the outlet structure clear at all times.
 - Accumulated sediment shall be removed from the facility as required to ensure that there is no reduction in function or detention capacity.
 - No dumping of any type is permitted within this easement area.



MASTER PLAN FEATURES	
MASTER PLAN COMPONENT	APPLICABLE DETAILS
LAND USE PLAN	MIXED USE PER FLUP
AREA PLANS	N/A
URBAN DESIGN PLAN	FURST RANCH DESIGN PLAN IN ACCORDANCE WITH THE TOWN OF FLOWER MOUND UDP
MEDIAN & ROW DESIGN GUIDELINES	COMPLETES PROPOSED FUTURE ENHANCED LANDSCAPING PENDING TOWN COUNCIL APPROVAL OF A DEVELOPMENT AGREEMENT
PARK & TRAILS	COMPREHENSIVE OPEN SPACE AND TRAIL PLAN PER ZONING
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	INCLUDES 90' URBAN MINOR ARTERIAL AND 100' INTERSTATE
WATER PLAN	12" TORM WATER LINE AND 12" TORM WATER REUSE
WASTEWATER PLAN	15" TORM SANITARY SEWER MAIN
ECONOMIC IMPACT	THIRZ AND CIP ELIGIBLE PROJECTS, DEVELOPER FUNDED PROJECTS

LEGAL DESCRIPTION

TRACT 1

BEING all that certain lot, tract, or parcel of land situated in the B. B. B. & C. Railway Co. Survey, Abstract Number 154, the P. W. Caspary Survey, Abstract Number 277, Town of Flower Mound, Denton County, Texas, being part of that certain called 20.206 acre tract of land described as Tract E in deed in favor of Old W.R. Ranch I, LP, recorded in Instrument No. 2004-4122 of the Real Property Records of Denton County, Texas, and being all of that certain called 15.97 acre tract of land described in deed in favor of 64.3 SE 1171/377, LLC, recorded in Document Number 2010-77708 of the Real Property Records of Denton County, Texas, and being all of that certain called 15.97 acre tract of land described in deed in favor of 64.3 SE 1171/377, LLC, recorded in Document Number 2010-77709 of the Real Property Records of Denton County, Texas, and being part of that certain called 251.99 acre tract of land described as Tract II in deed in favor of Old W.R. Ranch I, LP, recorded in Volume 4576, Page 1847 of the Real Property Records of Denton County, Texas, and being more particularly described as follows:

COMMENCING at the intersection of the east line of U. S. Highway 377 as evidenced by that certain called 12.32 acre tract of land described in deed in favor of the State of Texas, recorded in Volume 279, Page 240 of the Deed Records of Denton County, Texas, and the north line of F. M. 1171 as evidenced by that certain called 44,003 square feet tract of land described as Parcel 5 in deed in favor of Denton County, recorded in Document Number 2012-58191 of the Real Property Records of Denton County, Texas, being the northwest corner of said 44,003 square feet tract, being the southwest corner of that certain called 0.9117 acre tract of land described as Parcel 9 in Possession and Use Agreement to the State of Texas, recorded in Document No. 2020-140750 of the Real Property Records of Denton County, Texas, and being on the west line of said 20.206 acre tract;

THENCE S 74°00'35" E, with the north line of said 44,003 square feet tract, the south line of said Parcel 9, and the north line of F.M.1171, passing at a distance of 136.63 feet a TxDOT Monument found;

THENCE S 65°05'25" E, with the north line of said 44,003 square feet tract, and the north line of F.M.1171, a distance of 64.26 feet to a TxDOT Monument found;

THENCE S 74°00'35" E, with the north line of said 44,003 square feet tract, and the north line of F.M.1171, a distance of 889.52 feet to a 1/2" capped rebar set, stamped 'MCADAMS' being the POINT OF BEGINNING of the following tract;

THENCE N 63°45'53" E, a distance of 44.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the right, having a radius of 697.00 feet, a central angle of 101°9'29", passing the east line of said 20.206 acre tract, some being the west line of said 15.97 acre tract (2010-77709), continuing a total arc length of 125.60 feet, whose chord bears N 27°47'52" E, 125.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 43°48'40" E, a distance of 106.04 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the right, having a radius of 685.00 feet, a central angle of 36°07'45", and an arc length of 431.94 feet, whose chord bears N 59°46'09" E, 424.82 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 855.00 feet, a central angle of 34°45'23", passing the east line of said 15.97 acre tract (2010-77709), same being the west line of said 15.97 acre tract (2010-77708), continuing a total arc length of 518.66 feet, whose chord bears N 60°27'20" E, 510.74 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 91.50 feet, a central angle of 46°00'43", and an arc length of 73.48 feet, whose chord bears N 20°04'16" E, 71.52 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the right, having a radius of 100.00 feet, a central angle of 15°42'49", and an arc length of 27.43 feet, whose chord bears N 04°55'19" E, 27.34 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 91.50 feet, a central angle of 36°02'40", and an arc length of 57.56 feet, whose chord bears N 30°30'10" W, 56.62 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 48°31'30" W, passing the north line of said 15.97 acre tract (2010-77708), same being the south line of said 251.99 acre tract, continuing a total distance of 1157.44 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE Northwestly, with the arc of a curve to the right, having a radius of 1230.50 feet, a central angle of 74°22'12", and an arc length of 1597.19 feet, whose chord bears N 11°20'24" W, 1487.40 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE Northeasterly, with the arc of a curve to the left, having a radius of 131.50 feet, a central angle of 32°31'56", and an arc length of 74.66 feet, whose chord bears N 09°34'44" E, 73.67 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the right, having a radius of 100.00 feet, a central angle of 14°18'18", and an arc length of 24.97 feet, whose chord bears N 19°51'36" W, 24.90 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 51.50 feet, a central angle of 91°22'06", and an arc length of 82.13 feet, whose chord bears N 79°49'23" E, 73.70 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 955.00 feet, a central angle of 34°28'32", and an arc length of 574.64 feet, whose chord bears N 75°13'54" W, 566.01 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 87°31'50" W, a distance of 503.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 42°31'50" W, a distance of 42.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS' in the east line of US Highway 377, as evidenced by that certain called 2.94999 acre tract of land described as Parcel 10 in deed in favor of Denton County, recorded in Document Number 2020-25227 of the Real Property Records of Denton County, Texas from which a TxDOT Monument found bears S 02°28'10" E, 118.92 feet;

THENCE N 02°28'10" W, with the east line of said Parcel 10, and the east line of US Highway 377, a distance of 150.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS' from which a TxDOT Monument found bears N 02°28'10" W, 178.29 feet;

THENCE S 47°28'10" E, a distance of 42.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 87°31'50" E, a distance of 503.43 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the right, having a radius of 1045.00 feet, a central angle of 35°57'42", and an arc length of 655.89 feet, whose chord bears S 74°29'19" E, 645.18 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 90.50 feet, a central angle of 89°21'12", and an arc length of 141.14 feet, whose chord bears N 78°48'56" E, 127.26 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 55°51'40" E, a distance of 100.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 34°08'20" W, a distance of 31.14 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 51.50 feet, a central angle of 47°56'20", and an arc length of 40.01 feet, whose chord bears S 74°29'19" E, 40.01 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 55°51'40" E, a distance of 100.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 34°08'20" W, a distance of 31.14 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 51.50 feet, a central angle of 47°56'20", and an arc length of 40.01 feet, whose chord bears S 74°29'19" E, 40.01 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 1169.50 feet, a central angle of 60°20'14", and an arc length of 54.23 feet, whose chord bears S 56°55'00" W, 51.76 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 1169.50 feet, a central angle of 75°16'22", and an arc length of 1536.44 feet, whose chord bears S 10°53'18" E, 1428.31 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 51.50 feet, a central angle of 57°13'51", and an arc length of 51.44 feet, whose chord bears S 77°08'25" E, 49.33 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the right, having a radius of 100.00 feet, a central angle of 191°52'00", passing the south line of said 251.99 acre tract, same being the north line of said 15.97 acre tract (2010-77708), continuing a total arc length of 334.87 feet, whose chord bears S 09°49'21" E, 198.93 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 91.50 feet, a central angle of 43°25'34", and an arc length of 69.35 feet, whose chord bears S 64°23'53" W, 67.70 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the right, having a radius of 945.00 feet, a central angle of 35°08'55", passing the west line of said 15.97 acre tract (2010-77708), same being the east line of said 15.97 acre tract (2010-77709), continuing a total arc length of 579.72 feet, whose chord bears S 80°15'33" W, 570.87 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE southeasterly, with the arc of a curve to the left, having a radius of 595.00 feet, a central angle of 54°03'24", and an arc length of 561.36 feet, whose chord bears S 50°48'19" W, 540.77 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 25°50'16" E, a distance of 40.01 feet to a 1/2" capped rebar set, stamped 'MCADAMS' in the north line of FM 1171, as evidenced by that certain called 40,987 square feet tract of land, described by deed to Denton County, Texas, recorded in Document Number 2008-17554, Deed Records, Denton County, Texas;

THENCE N 74°00'35" W, with the north line of FM 1171, and the north line of said 40,987 square feet tract, passing the northwest corner thereof, same being the northeast corner of said 44,003 square feet tract, continuing with the north line thereof, a total distance of 162.39 feet to the POINT OF BEGINNING and containing approximately 10.678 acres of land.

TRACT 2

BEING all that certain lot, tract, or parcel of land situated in the B. B. B. & C. Railway Co. Survey, Abstract Number 187, Town of Flower Mound, Denton County, Texas, being part of that certain called 1,129.061 acre tract of land described as Tract A in deed in favor of Old W.R. Ranch I, LP, recorded in Volume 4583, Page 569 of the Real Property Records of Denton County, Texas, and being more particularly described as follows:

COMMENCING at the intersection of the east line of U. S. Highway 377 as evidenced by that certain called 12.32 acre tract of land described in deed in favor of the State of Texas, recorded in Volume 279, Page 240 of the Deed Records of Denton County, Texas, and the north line of F. M. 1171 as evidenced by that certain called 44,003 square feet tract of land described as Parcel 5 in deed in favor of Denton County, recorded in Document Number 2012-58191 of the Real Property Records of Denton County, Texas, being the northwest corner of said 44,003 square feet tract, being the southwest corner of that certain called 0.9117 acre tract of land described as Parcel 9 in Possession and Use Agreement to the State of Texas, recorded in Document No. 2020-140750 of the Real Property Records of Denton County, Texas, and being on the west line of that certain called 20.206 acre tract of land described as Tract E in deed in favor of Old W.R. Ranch I, LP, recorded in Instrument No. 2004-4122 of the Real Property Records of Denton County, Texas;

THENCE S 74°00'35" E, with the north line of said 44,003 square feet tract, the south line of said Parcel 9, and the north line of F.M.1171, passing at a distance of 136.63 feet a TxDOT Monument found at the southeast corner of said Parcel 9, continuing a total distance of 365.53 feet to a TxDOT Monument found;

THENCE S 65°05'25" E, with the north line of said 44,003 square feet tract, and the north line of F.M.1171, a distance of 64.26 feet to a TxDOT Monument found;

THENCE S 74°00'35" E, with the north line of said 44,003 square feet tract, and the north line of F.M.1171, passing the northeast corner of said 44,003 square feet tract, same being the northwest corner of a certain called 40,987 square feet tract, in deed in favor of Denton County, recorded in Document Number 2008-17554 of the Real Property Records of Denton County, Texas, being in the east line of said 20.206 acre tract, and being in the west line of that certain called 15.97 acre tract of land described in deed in favor of 64.3 SE 1171/377, LLC, recorded in Document Number 2010-77708 of the Real Property Records of Denton County, Texas, continuing with the north line of said 40,987 square feet tract, passing the northeast corner thereof, being in the east line of said 15.97 acre tract, and being in the west line of that certain called 15.97 acre tract of land described in deed in favor of 64.3 SE 1171/377, LLC, recorded in Document Number 2010-77709 of the Real Property Records of Denton County, Texas, continuing with the north line of FM 1171, passing the northwest corner of that certain called 2.6335 acre tract, described as Parcel 7, Part I, in deed in favor of Denton County, recorded in Document Number 2012-58191 of the Real Property Records of Denton County, Texas, being in the east line of said 15.97 acre tract (2010-77709), and being a west line of said 1129.061 acre tract, continuing with the north line of said 2.6335 acre tract, a total distance of 3126.30 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 84°41'40" E, with the north line of said 2.6335 acre tract, and the north line of said FM 1171, a distance of 2.93 feet to the POINT OF BEGINNING of the herein described tract of land;

THENCE N 15°22'20" E, a distance of 20.88 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 74°00'00" W, a distance of 50.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 15°22'20" E, a distance of 492.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE northeasterly, with the arc of a curve to the left, having a radius of 830.50 feet, a central angle of 21°32'55", and an arc length of 312.35 feet, whose chord bears N 86°42'40" E, 310.51 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE N 75°56'12" E, a distance of 119.41 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE S 05°26'20" E, a distance of 363.81 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

THENCE South, a distance of 345.07 feet to a 1/2" capped rebar set, stamped 'MCADAMS' in the north line of said 2.6335 acre tract, and being in the north line of FM 1171;

THENCE with the north line of said 2.6335 acre tract, and the north line of FM 1171 the following seven (7) calls:

N 66°12'00" W, a distance of 113.40 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

N 74°39'00" W, a distance of 65.41 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

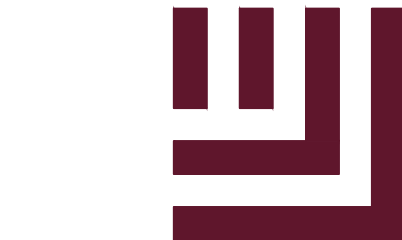
S 89°02'25" W, a distance of 68.65 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

N 74°00'35" W, a distance of 132.35 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

N 56°54'25" W, a distance of 68.01 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

N 74°00'35" W, a distance of 25.00 feet to a 1/2" capped rebar set, stamped 'MCADAMS';

N 84°41'40" W, a distance of 104.94 feet to the POINT OF BEGINNING and containing approximately 6.994 acres of land.



McADAMS

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CLIENT

1171 COMMERCIAL, LLC
2591 LAKESIDE PARKWAY, SUITE 100
FLOWER MOUND, TEXAS, 75022
MR. JACK FURST
PHONE: 972.982.8250

FURST RANCH PHASE I
INFRASTRUCTURE
SUBDIVISION SITE PLAN
INTERSECTION OF FM 1171 & US 377
TOWN OF FLOWER MOUND, TEXAS, 75028

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	
1	03/28/2025	3rd Submittal
2	05/08/2025	4th Submittal
3	05/23/2025	5th Submittal
4	06/12/2025	6th Submittal
5	06/18/2025	7th Submittal
6		

PLAN INFORMATION

PROJECT NO. FUR24002

FILENAME FUR24002 SSP EXHIBIT

CHECKED BY DA

DRAWN BY MM

SCALE 1" = 250'

DATE 5/7/2025

SHEET

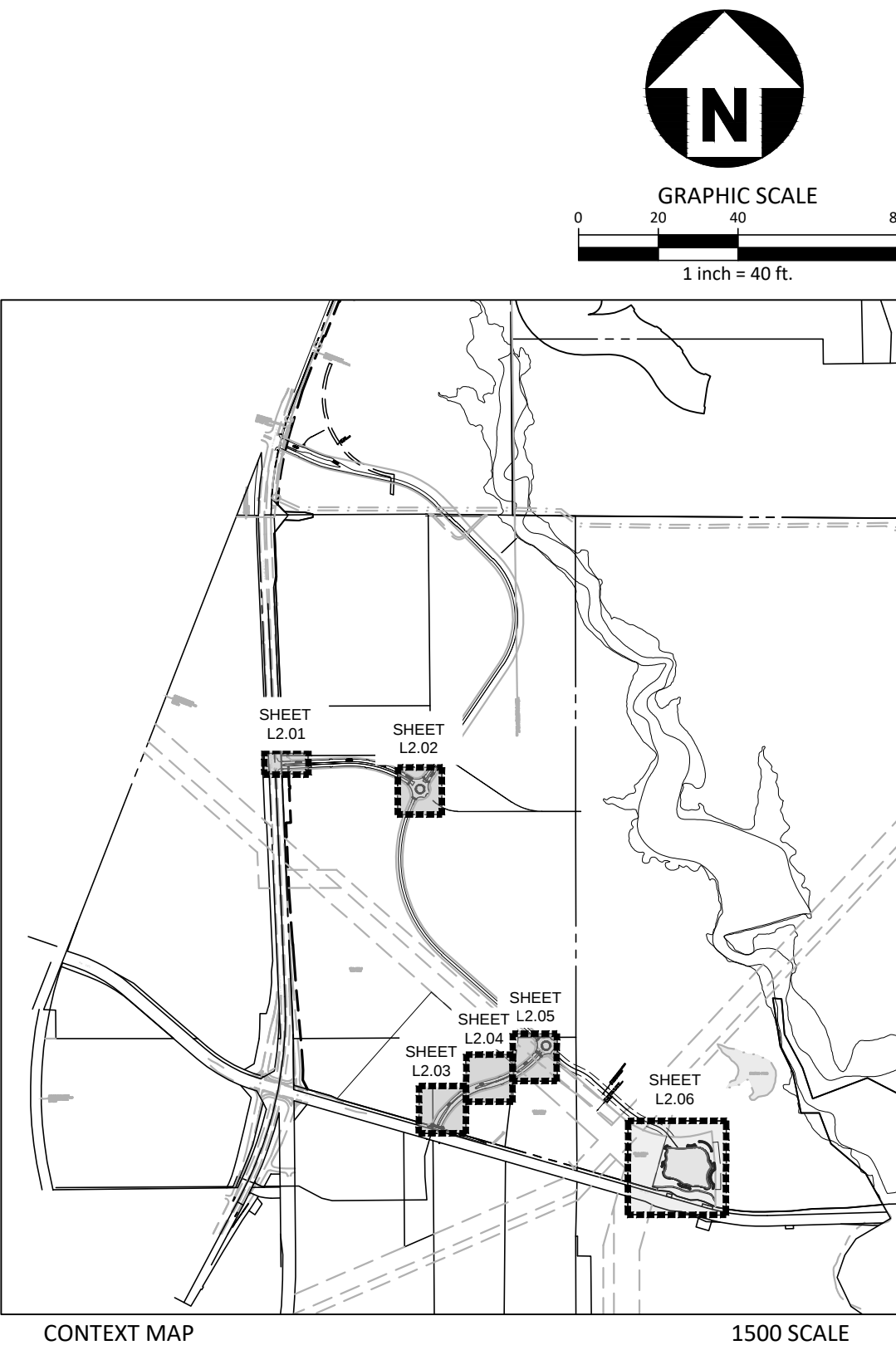
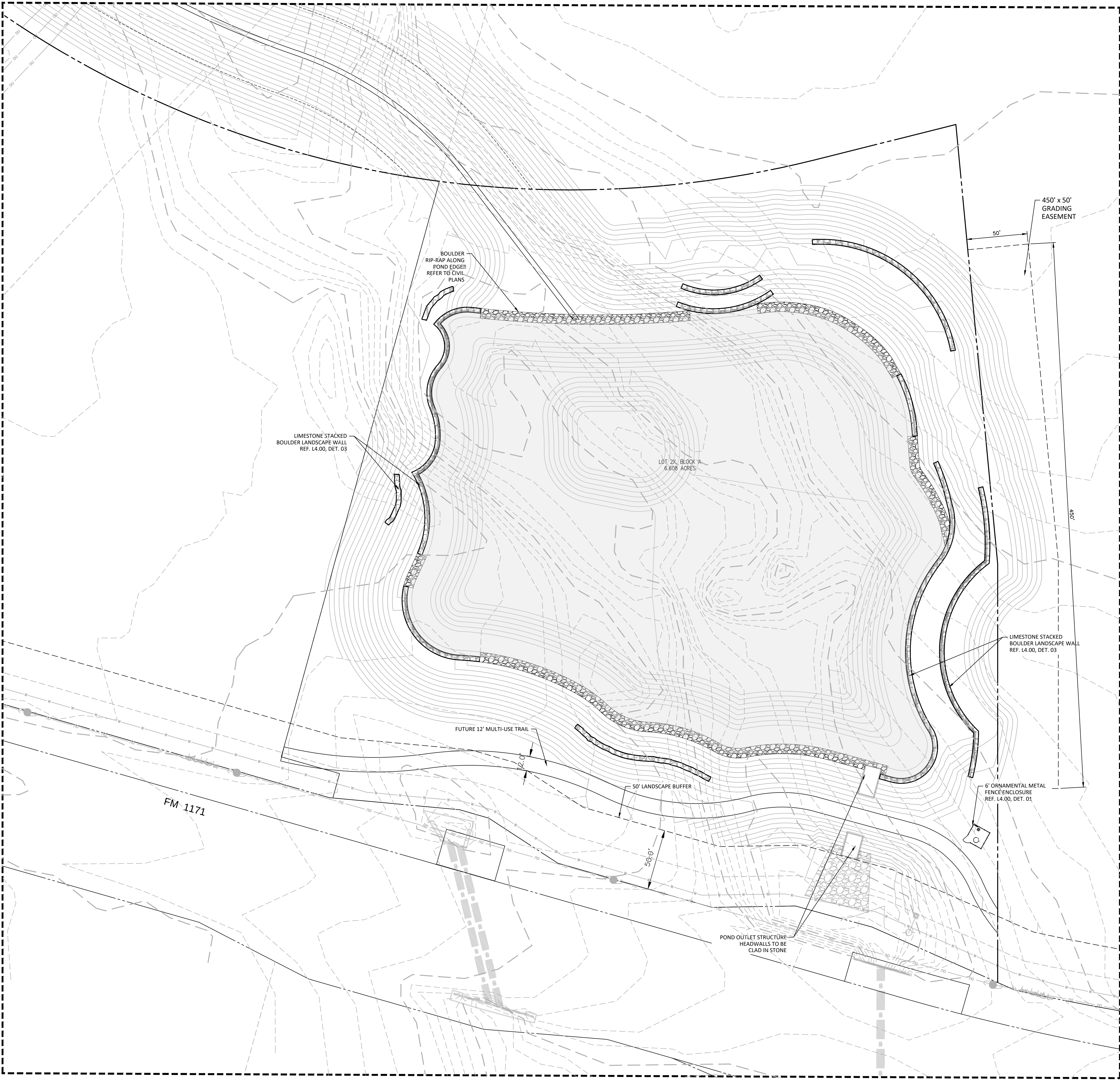
SUBDIVISION SITE PLAN

EXHIBIT

EX

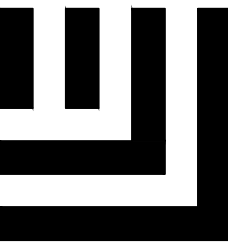
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REFERENCE	NOTES	SCHEDULE	DETAIL
ROCK			
	BOULDER LANDSCAPE WALL		
PAVING			
	MEDIAN NOSE AND APRON PAVING 8" x 8" x 200 PER CONC. TYPED DET. #3 BARS @ 18" O.C.E.W. STAMPED AND STAINED CONCRETE TYPE A BUTTERFIELD CONCRETE PATTERN: FLORENCE VILLA AVENUE HERRINGBONE BRICK COLOR: BASILIAN MATT. INTERIOR COLOR U31 WEATHERED TERRA COTTA RELEASE: SUPERIOR BRICK RED		
	CROSSWALK PAVING 8" x 8" x 200 PER CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. ON 10" LIME STAMPED AND STAINED CONCRETE TYPE B BUTTERFIELD CONCRETE PATTERN: SUPERIOR FALLS BRIDGE PATTERN - BOARD PATTERN TO BE PERPENDICULAR TO THE CROSSWALK COLOR: BASE - UN-MIX INTEGRAL COLOR U21 MOCHA BROWN, RELEASE - SGR14 WALNUT		

*CONTRACTOR SHALL PROVIDE MOCK UPS FOR ALL STAMPED AND STAINED CONCRETE AND SHALL RECEIVE LANDSCAPE ARCHITECT APPROVAL BEFORE FINAL INSTALLATION.



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FURST RANCH

FURST RANCH PHASE I INFRASTRUCTURE CONSTRUCTION PLANS

INTERSECTION OF FM 1171 & US 377

TOWN OF FLOWER MOUND



REVISIONS		
NO.	DATE	DESCRIPTION
	02/19/2025	2ND SUBMITTAL
	03/28/2025	3RD SUBMITTAL
	04/30/2025	4TH SUBMITTAL

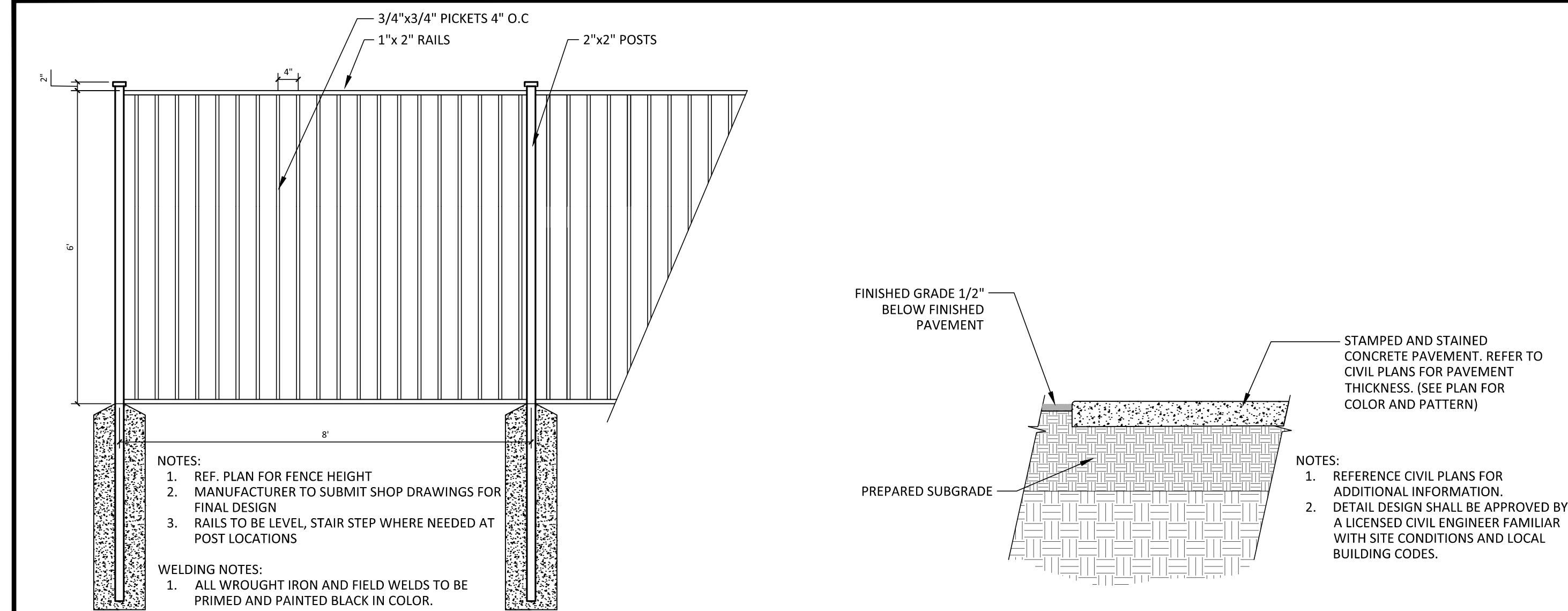
PLAN INFORMATION	
PROJECT NO.	FUR24002
FILENAME	FUR24002-HS1
CHECKED BY	JEB
DRAWN BY	RJS
SCALE	40 Scale
DATE	12/16/2024

SHEET

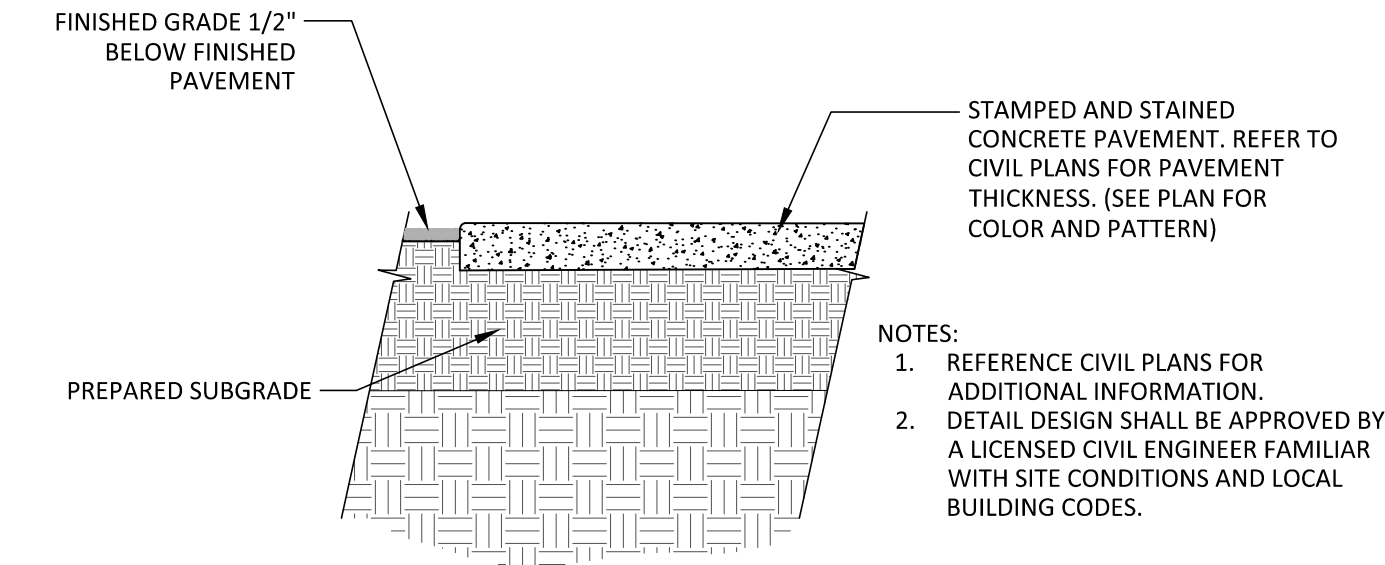
HARDSCAPE PLAN

L2.06

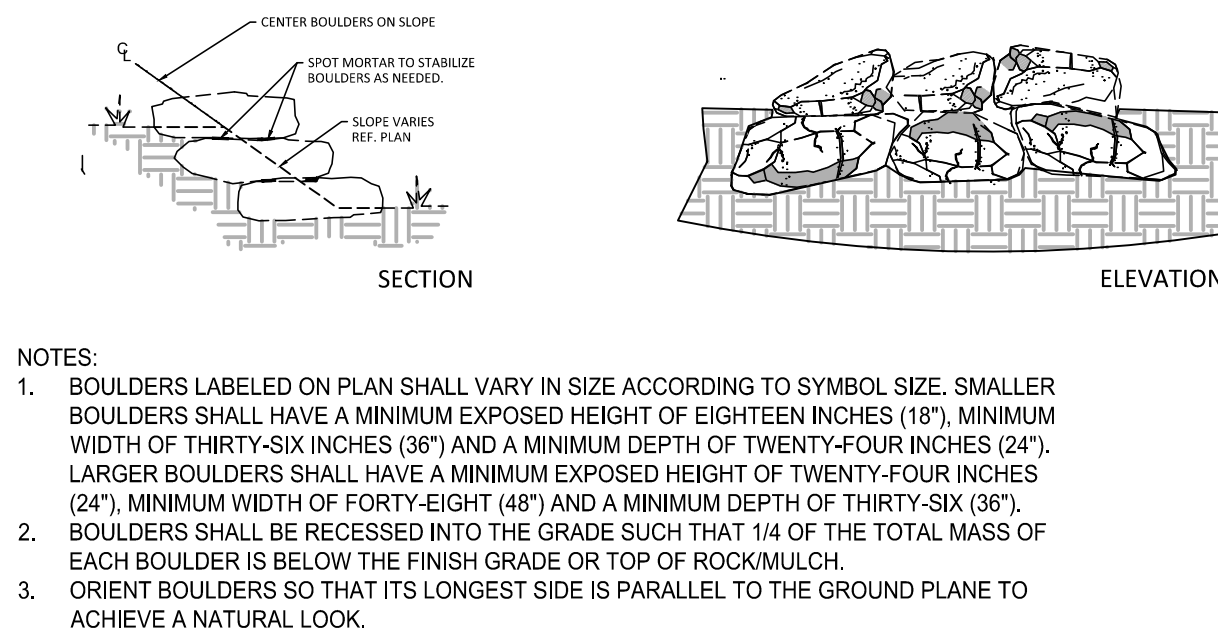
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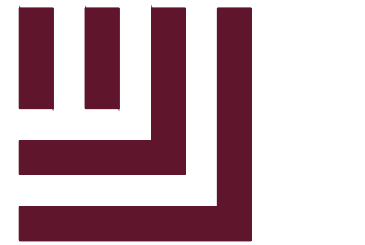
01 6' ORNAMENTAL METAL FENCE
SCALE: 1/2" = 1'-0"



02 STAMPED AND STAINED CONCRETE
SCALE: N.T.S.



03 LIMESTONE STACKED BOULDER LANDSCAPE WALL
SCALE: 1/4" = 1'-0"



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MR. JACK FURST
PHONE: 972.982.8250



FURST RANCH

FURST RANCH PHASE I
INFRASTRUCTURE
CONSTRUCTION PLANS
INTERSECTION OF FM 1171 & US 377
TOWN OF FLOWER MOUND, TEXAS, 75028



REVISIONS

NO.	DATE	DESCRIPTION
	02/19/2025	2ND SUBMITTAL
	03/28/2025	3RD SUBMITTAL
	04/30/2025	4TH SUBMITTAL

PLAN INFORMATION

PROJECT NO.	FUR24002
FILENAME	FUR24002-HD1
CHECKED BY	JEB
DRAWN BY	RJS
SCALE	AS SHOWN
DATE	12/16/2024

SHEET

HARDSCAPE DETAILS

L4.00



phone 972. 436. 9712
fax 972. 436. 9715
TBPE: F-19762 TBPELS: F-10194440

CLIENT

FURST·RANCH

**FURST RANCH PHASE I
INFRASTRUCTURE
CONSTRUCTION PLANS
INTERSECTION OF FM 1171 & US 377
TOWN OF FLOWER MOUND, TEXAS, 75028**



NO.	DATE	DESCRIPTION
	02/19/2025	2ND SUBMITTAL
	03/28/2025	3RD SUBMITTAL
	04/30/2025	4TH SUBMITTAL

PROJECT NO.	FUR24002
FILENAME	FUR24002-LS
CHECKED BY	JEB
DRAWN BY	RJS
SCALE	40 Scale
DATE	12/16/2024

POND LANDSCAPE PLAN

L5.10



SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
<u>LARGE TREE</u>						
	PIEL	17	PINUS ELLIOTTII SLASH PINE	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER
	QUMU	22	QUERCUS MUEHLENBERGII CHINKAPIN OAK	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONGER CENTRAL LEADER
	QUTE	20	QUERCUS TEXANA TEXAS RED OAK	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER
	QUVI	17	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER
	TADI	27	TAXODIUM DISTICHUM BALD CYPRESS	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER
	ULCR	11	ULMUS CRASSIFOLIA CEDAR ELM	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER
	ULPA	10	ULMUS PARVIFOLIA LACEBARK ELM	3" MIN	12'-14'	FULL AND MATCHED SIZE WITH STRONG CENTRAL LEADER

UNDERSTORY TREE

	CECA	9	CERCIS CANADENSIS TEXENSIS TEXAS REDBUD	30 GAL	6' MIN	MULTI-STEM. 1" CAL. PER STEM. MIN. 3 STEMS. NO CLUMP FORM
	ILVO	8	ILEX VOMITORIA YAUPON HOLLY	30 GAL	5' MIN	MULTI-STEM. 1" CAL. PER STEM MIN 3 STEMS. NO CLUMP FORM.

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>REMARKS</u>
<u>SHRUBS</u>							
	LEFR	13	LEUCOPHYLLUM FRUTESCENS TEXAS SAGE	7 GAL	24" - 36"	18" - 24"	

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>REMARKS</u>
<u>GROUND COVERS</u>						
	CYDA	304,647 SF	CYNODON DACTYLON BERMUDAGRASS	SEED		

NOTE: CONTRACTOR IS TO RE-VEGETATE ALL AREAS DISTURBED BY GRADING ACTIVITIES. THE MEANS AND METHODS OF THE RE-VEGETATION IS TO BE DETERMINED BY THE CONTRACTOR AND COORDINATES WITH THE LANDSCAPE ARCHITECT PRIOR TO PERFORMING THE WORK.

BIODIVERSITY TABLE

Common Name	Quantities	Species	%	Genus	%
Sash Pine	17	elliottii	12%	Pinus	12%
Chinkapin Oak	22	muhlenbergii	16%	Quercus	42%
Texas Red Oak	20	texana	14%		
Southern Live Oak	17	virginiana	12%		
Bald Cypress	27	distichum	19%	Taxodium	19%
Cedar Elm	11	crassifolia	8%	Ulmus	15%
Lacebark Elm	10	parvifolia	7%		
Texas Redbud	9	canadensis	6%		
Yaupon Holly	8	vomitoria	6%	Ilex	6%
	141		100%		100%

LANDSCAPE NOTES:

Town of Flower Mound

1. Plant material shall be measured and sized according to the latest edition of the Texas Nursery and Landscape Association (TNLA) grades and standards.
 2. All plant beds shall be top-dressed with a minimum of 3 inches of hardwood or other mulch.
 3. Trees shall be planted at least 4 feet from utility line, curb, walk, fire connection, and outside all utility easements.
 4. Trees overhanging walks and parking shall have a minimum clear trunk height of 7 ft.
 5. A visibility triangle must be provided at all intersections. Shrubs are not to exceed 30 inches in height. Trees shall have a minimum clear trunk height of 9 feet.
 6. The owner, tenant, and/or their agents, if any, shall be jointly and severally shall be responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
 7. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days unless otherwise approved in writing by the Town of Flower Mound.
 8. Before construction, landscape contractor and general contractor shall verify and locate all existing utilities in areas of excavation.
 9. Please refer to all landscape and irrigation specifications.
 10. All landscape beds and turf areas to be separated with edging.
 11. All landscape beds to be 6" below finished floor.
 12. All hydromulch or sod areas to be brought to +/- 1/4" by site grading contractor. Landscape contractor to bring all areas to final grade and remove all clod, rocks or debris >1" in diameter.
 13. All landscape to be 100% irrigated. All Irrigation within Drip lines of existing trees to be hand dug, and line to be installed in a radial fashion toward the trunk.
 14. Please note that the permeable areas under the drip line of specimen and protected trees should be left at natural grade. No cutting or filling are to occur in these areas.
- A r r d d r r r r d 7 r r r r T F r M d M d
- methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.

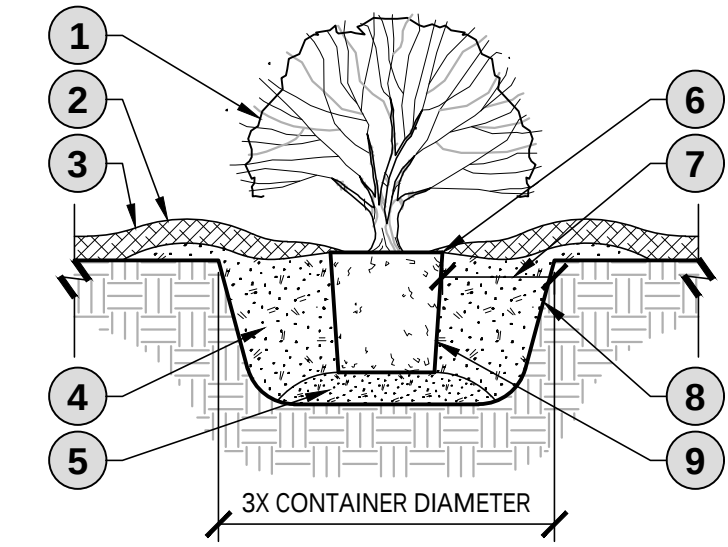
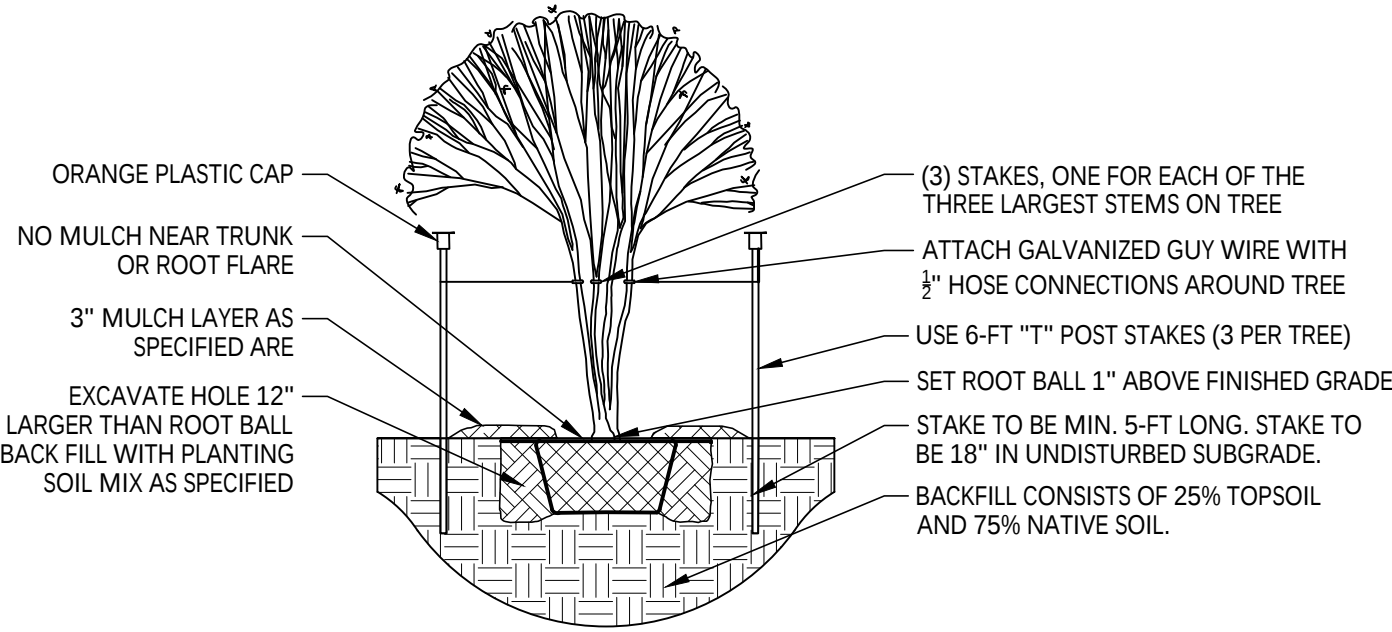
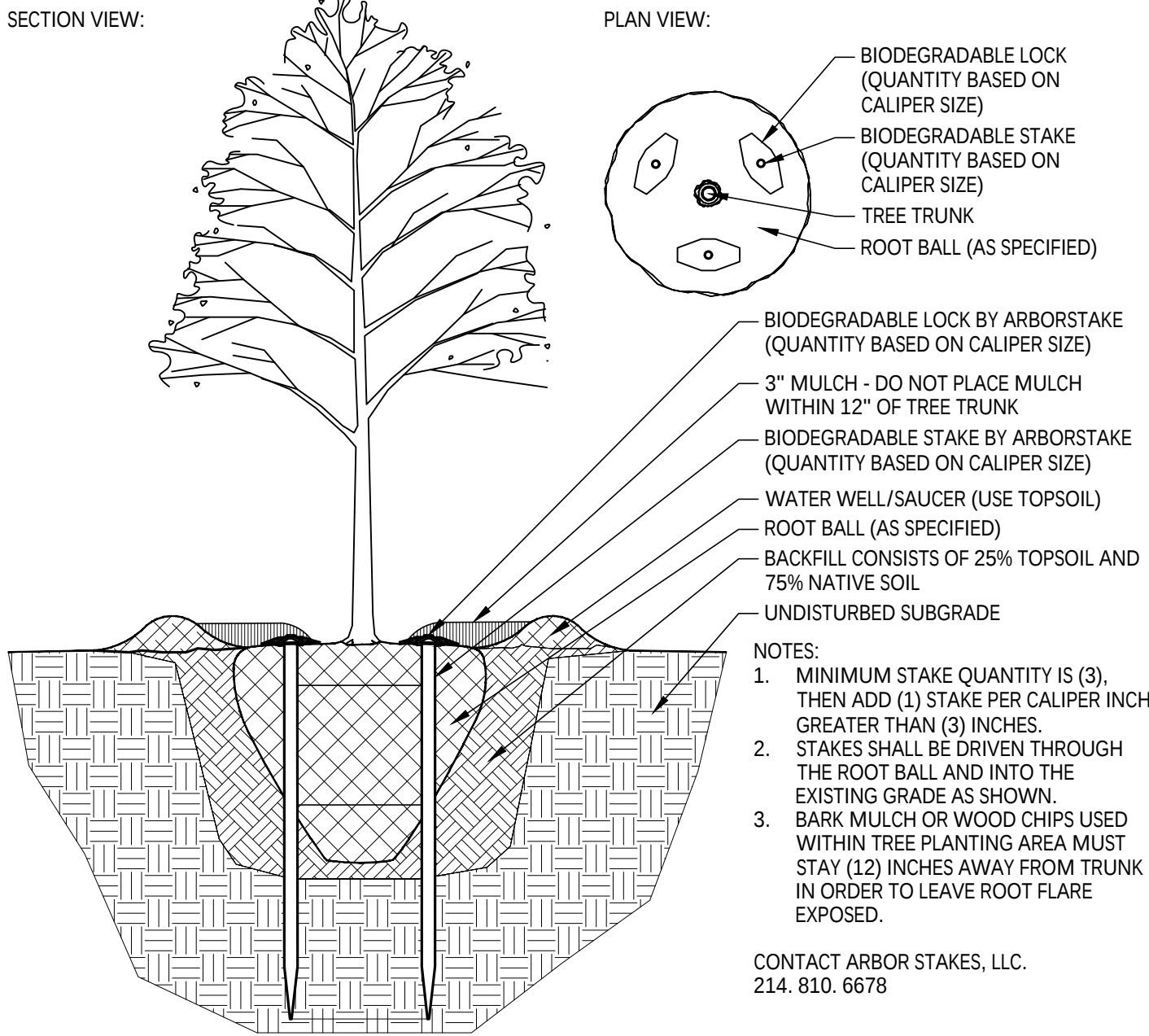
methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.

FOR BIDDING PURPOSES ONLY - NOT RELEASED FOR CONSTRUCTION

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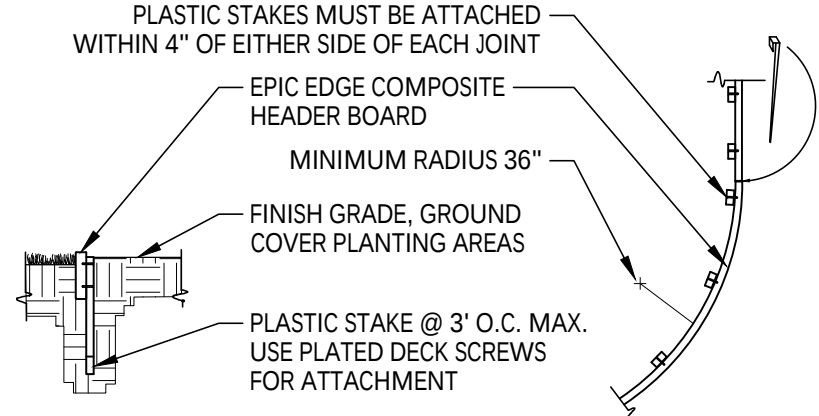
**LANDSCAPE REQUIREMENT COMPLIANCE
TOWN OF FLOWER MOUND
FURST RANCH PHASE 1 INFRASTRUCTURE**

DETENTION AND RETENTION LANDSCAPING REQUIREMENTS			
STANDARD (RENTENTION POND)	TOTAL AREA	REQUIRED	PROVIDED
For retention of detention surface area greater than 35,000 square feet, 49 trees must be provided for the 35,000 square feet, plus one additional tree for each 1,400 square feet of remaining retention or detention surface area, or fraction thereof.	160,970 s.f.	139 trees (3" cal.)	139 trees (3" cal.)
STREET BUFFER LANDSCAPE REQUIREMENTS			
STANDARD	REQUIRED		PROVIDED
Along FM 1171 and US 377 within the MU-T : MR Major Roadway Transition character zone, the area of the lot adjacent to the street right-of-way line and extending into the lot for a minimum of 50 feet shall be landscaped, except for necessary driveways, trails, sidewalks, signage, street lighting, utilities, and other similar improvements, subject to receiving permission from each easement holder if required by the terms of the easement.	-		Yes
Street trees shall have an average spacing of 30 feet on-center, and shall be installed in phases as lots are developed with buildings adjacent to the street. Street trees shall be a minimum of three-inch caliper. Trees may be planted in groves or clusters, and may be linear or curvilinear in nature.	660 LF /30 = 22 trees (3" cal.)		22 trees (3" cal.)



- NOTES:
1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS; PEST AND DISEASE FREE; GROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
 2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
 3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
 4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

- 1 PRUNE PROPORTIONALLY TO COMPENSATE FOR REDUCTION OF ROOTS AND TO PROMOTE NATURAL GROWTH CHARACTER.
- 2 FORM 2" DEEP SAUCER
- 3 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TRUNK/STEM
- 4 PLANTING SOIL MIX BACKFILL TO BE COMPACTED BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPED
- 5 PLANTING SOIL MIX TO BE TAMPED TO AVOID SETTLING
- 6 TOP OF ROOTBALL SHALL BE 1" HIGHER THAN ADJACENT FINISHED GRADE
- 7 6" MIN. GAP BETWEEN ROOT BALL AND UNDISTURBED SOIL. WHERE THERE IS HEAVY CLAY SOIL, THE HOLE SHOULD BE 3 TIMES THE CONTAINER DIAMETER.
- 8 SUBSOIL BROKEN WITH PICK ON SIDES AND BOTTOM OF HOLE
- 9 FOR CONTAINERS, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER. IF USING BALED AND BURLAP; CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS.



SECTION VIEW:			PLAN VIEW:	
HDR. SIZE	ACTUAL DIMENSIONS	MIN. RADIUS POSSIBLE	NOTE: 1. USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING.	
1X6	5 1/8" X 3/8" X 20'	36"		

EPIC EDGE CHART
COLOR OPTIONS: MENDOCINO REDWOOD, PACIFICA GREY, SEDONA SAND, AND CARAMEL BROWN
MANUFACTURED BY: EPIC PLASTICS, 104 E. TURER RD., LODI, CA 95240
URL ADDRESS: WWW.EPICPLASTICS.COM

01 BELOW-GROUND TREE STAKING

SCALE: 1/4" = 1'-0"

02 ORNAMENTAL TREE PLANTING

SCALE: 1/4" = 1'-0"

03 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

04 EPIC EDGE COMPOSITE HEADER BOARD

SCALE: 1/4" = 1'-0"

CLIENT

1171 COMMERCIAL, LLC
2591 LAKESIDE PARKWAY, SUITE 100
FLOWER MOUND, TEXAS, 75022
MR. JACK FURST
PHONE: 972.982.8250



FURST RANCH

FURST RANCH PHASE I
INFRASTRUCTURE
CONSTRUCTION PLANS
INTERSECTION OF FM 1171 & US 377
TOWN OF FLOWER MOUND, TEXAS, 75028



REVISIONS

NO.	DATE	DESCRIPTION
	02/19/2025	2ND SUBMITTAL
	03/28/2025	3RD SUBMITTAL
	04/30/2025	4TH SUBMITTAL

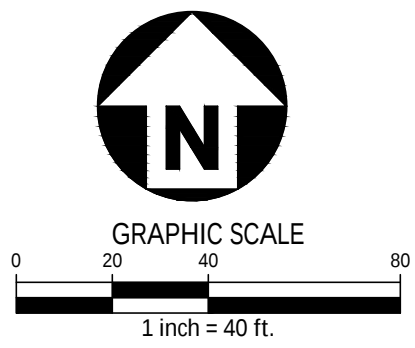
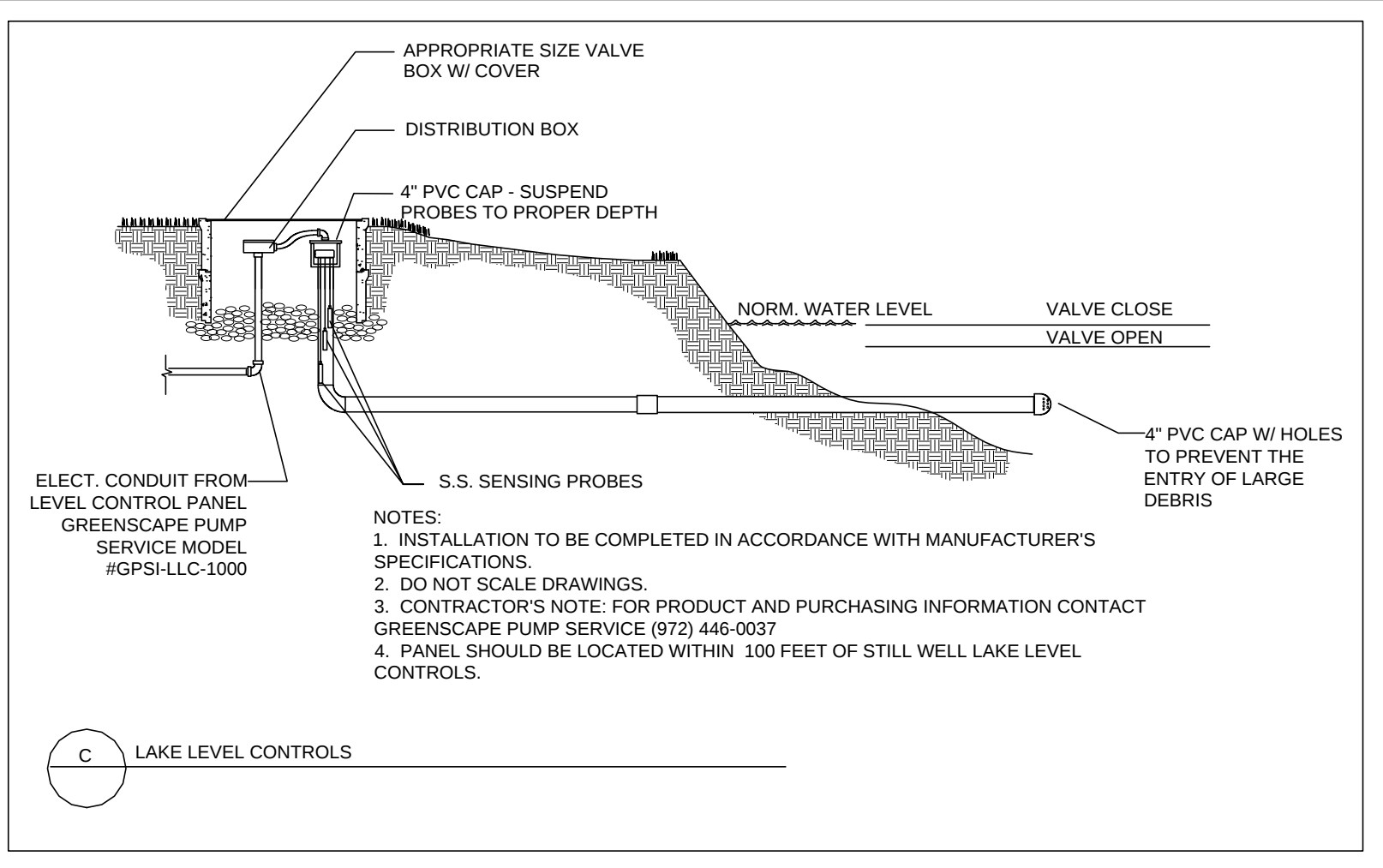
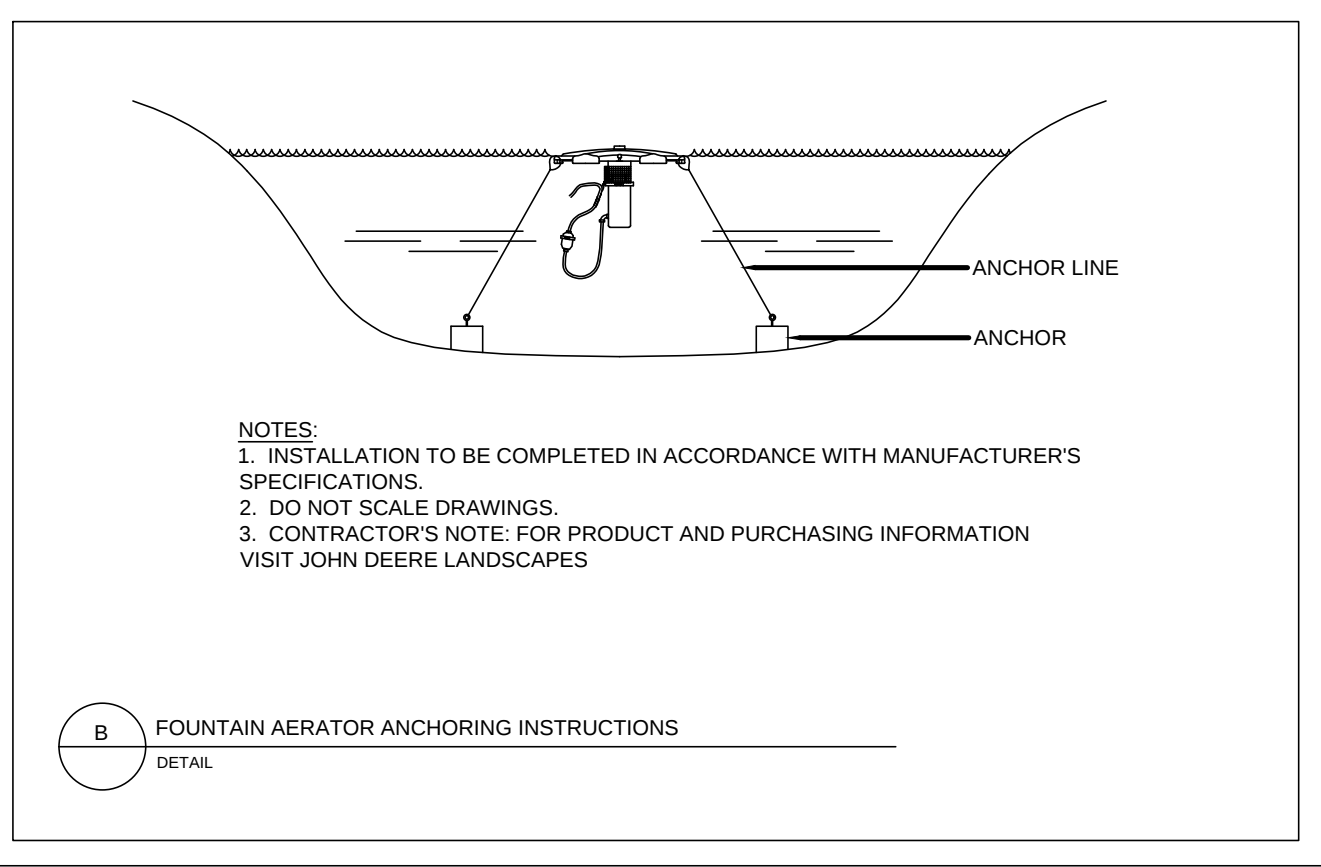
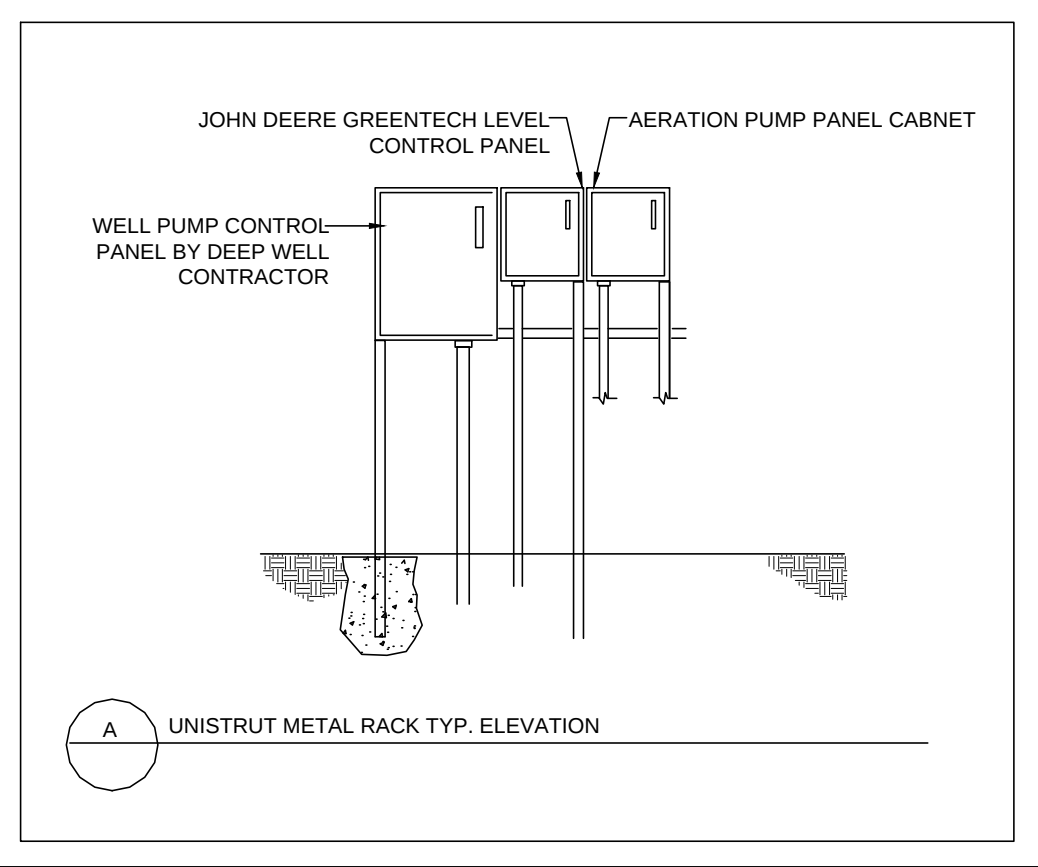
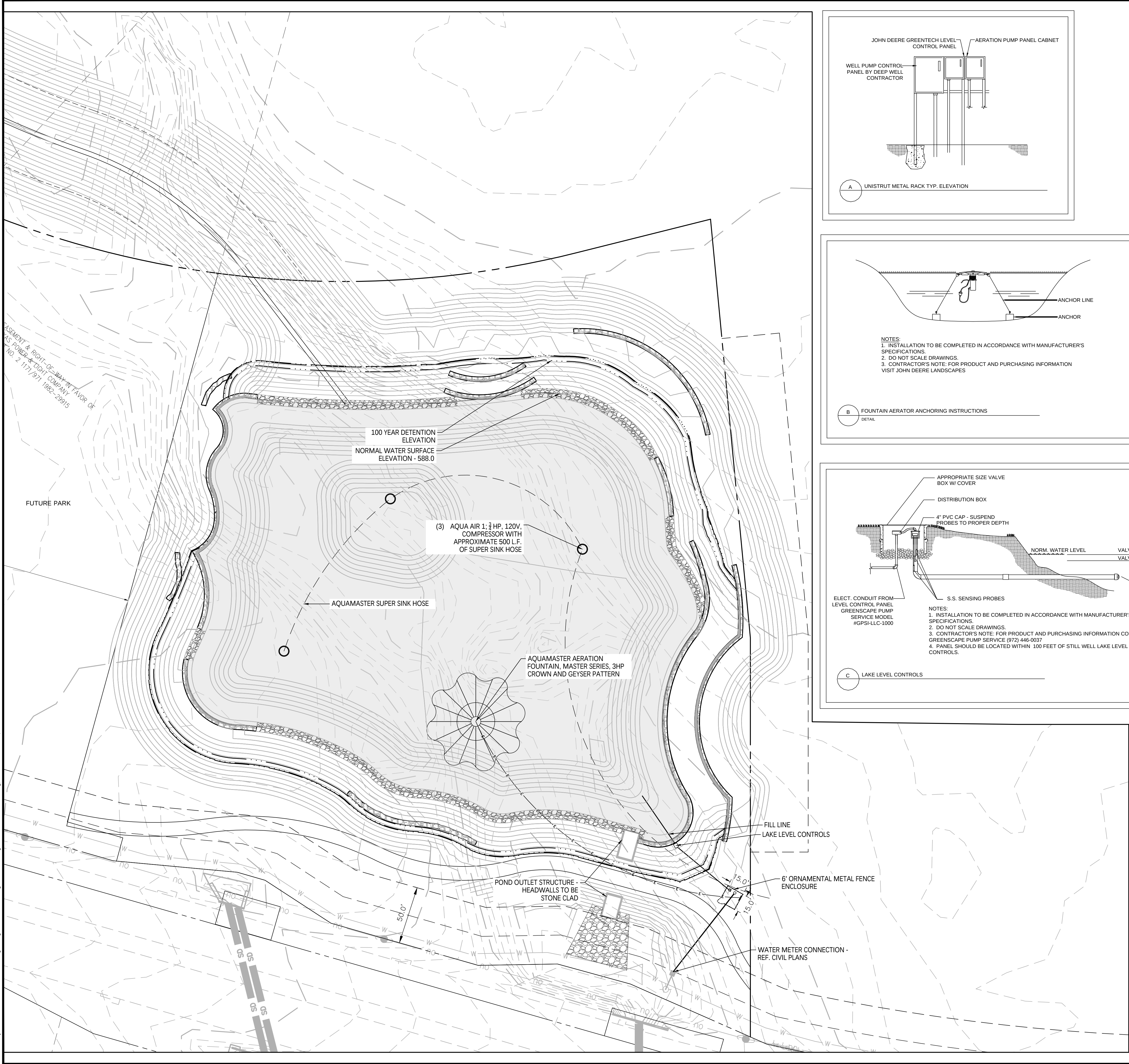
PLAN INFORMATION

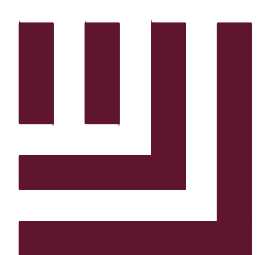
PROJECT NO.	FUR24002
FILENAME	FUR24002-LD1
CHECKED BY	JEB
DRAWN BY	RJS
SCALE	AS SHOWN
DATE	12/16/2024

SHEET

LANDSCAPE DETAILS

L5.11





McAdams
The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712
fax 972. 436. 9715
TBPE: F-19762 TBPELS: F-10194440

www.mcadamsco.com

CLIENT
1171 COMMERCIAL, LLC
2591 LAKESIDE PARKWAY, SUITE 100
FLOWER MOUND, TEXAS, 75022
MR. JACK FURST
PHONE: 972.982.8250


FURST RANCH

**FURST RANCH PHASE I
INFRASTRUCTURE
CONSTRUCTION PLANS**
INTERSECTION OF FM 1171 & US 377
TOWN OF FLOWER MOUND, TEXAS, 75028



REVISIONS		
NO.	DATE	DESCRIPTION
	02/19/2025	2ND SUBMITTAL
	03/28/2025	3RD SUBMITTAL
	04/30/2025	4TH SUBMITTAL

PLAN INFORMATION	
PROJECT NO.	FUR24002
FILENAME	FUR24002-PND1
CHECKED BY	JEB
DRAWN BY	RJS
SCALE	40 Scale
DATE	12/16/2024

SHEET
LANDSCAPE POND PLAN

L8.00



PLANNING & ZONING COMMISSION AGENDA I.1. REGULAR ITEM(S)

DATE: June 23, 2025
FROM: Claire Barnes, Senior Planner
ITEM: **Public Hearing to consider a request for a Site Plan (SP24-0013 - Flower Mound Hindu Temple) to create a religious assembly/institution use with an exception to Section 82-302, Compatibility buffer, of the Code of Ordinances, and with a waiver to the roof pitch requirement pursuant to Section 98-1163, Exterior wall construction for nonresidential buildings, of the Code of Ordinances. The property is generally located west of Old Settlers Road and south of Peters Colony Road.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are exception requests to the Town's regulations, which necessitate special consideration by the Commission (see Analysis below).

The exception requests will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain a site plan approval to develop an approximately 9,145 square-foot, single-story religious facility to be located on Lot 1R, Block A of the New Covenant Baptist Church Addition. The subject property contains approximately 2.188 acres. The access drive portion of the site is zoned Planned Development-18 (PD-18) with detached-medium density uses. The building and associated parking will be located on the Agricultural portion, which permits religious assembly/institution uses by right. Access to the property is provided from Old Settlers Road.

On February 17, 2011, a site plan (SP08-10) was approved for a one-story, 5,460 church building, with two future phases shown for building expansion, located on this same property. On September 23, 2013, a new site plan (SP13-0006) was approved for a one-story, 6,500 square foot church building on this same property. Neither project was constructed, and the subject property remains undeveloped.

The parking for this use is calculated at a ratio of one space for every three seats in the main sanctuary. The applicant is estimating 261 seats in the main sanctuary. Therefore, the proposed use would require 87 parking spaces. The site plan depicts 87 on-site parking spaces.

The landscape plan depicts the required number of parking lot trees that are in conformance with the Town's landscaping requirements. Due to residential adjacency, the site is subject to compatibility buffer requirements along the access drive and along the eastern property line. The landscape plan depicts necessary buffer landscaping along the eastern property line. The applicant is requesting an

exception to the compatibility buffer requirement along the access drive (see Section III below).

The applicant is proposing a two-phase façade design. Both phases are included in the site plan package. The proposed elevation utilizes a combination of primarily brick and stucco in colors complying with the Town's Urban Design Plan. While both brick and stucco are listed as primary building materials, the proposed building exceeds the suggested limit of 80 percent stucco on all facades. The applicant is requesting a waiver to the Town's roof pitch requirement as described further below in this report. Both phases of the proposed conceptual elevations are in compliance with the other components of the Urban Design Plan.

III. EXCEPTIONS:

1. Compatibility Buffer

Section 82-302 of the Town Code requires that religious institutions provide a 25-foot landscaped buffer if adjacent to or separated only by an alley from developed residential property or vacant land zoned or designated on the comprehensive master plan for residential use. The compatibility buffer consists of three-inch caliper trees planted at the ratio of one tree per 500 square feet. Religious institutions are exempt from the masonry wall requirement along the property line.

The access to the property from Old Settlers Road is approximately 28 feet wide. The applicant is requesting an exception to the compatibility buffer requirement for the access drive as shown on the proposed site plan package. The south side of the access drive abuts residential houses. This is the only available point of access for the site, and the applicant is requesting the exception in order to install the required 26-foot fire lane.

2. Architectural waiver to Section 98-1163, Exterior wall construction for nonresidential buildings, for roof pitch

Roofs and pitch - Roofs of nonresidential buildings 15,000 square feet or less must reflect hip and/or gable styles with a slope between 6:12 and 9:12, unless Town Council approves a waiver to the requirement, upon recommendation from the planning and zoning commission. Such requests are most appropriate in areas that are not adjacent to residences, are part of large-scale development, and provide architectural detail to soften the appearance of large, tall, vertical walls. .

The proposed building is approximately 9,145 square feet. The applicant's letter of intent explains the reason for this request is to provide a flat roof with both phases. However, Phase 2 will incorporate additional design elements on the roof.

BOARD REVIEW/CITIZEN FEEDBACK:

I. BOARDS AND COMMISSIONS

Environmental Conservation Commission:

On April 1, 2025, the [Environmental Conservation Commission](#) (ECC) reviewed and recommended approval to remove three (3) specimen trees on the site.

II. CORRESPONDENCE:

The Town Code requires written notification sent to the adjacent property owners and adjacent homeowners' association. SP24-0013 had a total of nine (9) Property Owner Notifications mailed. At the time this report was written, the Town had received three (3) items of correspondence in opposition and no items in support.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

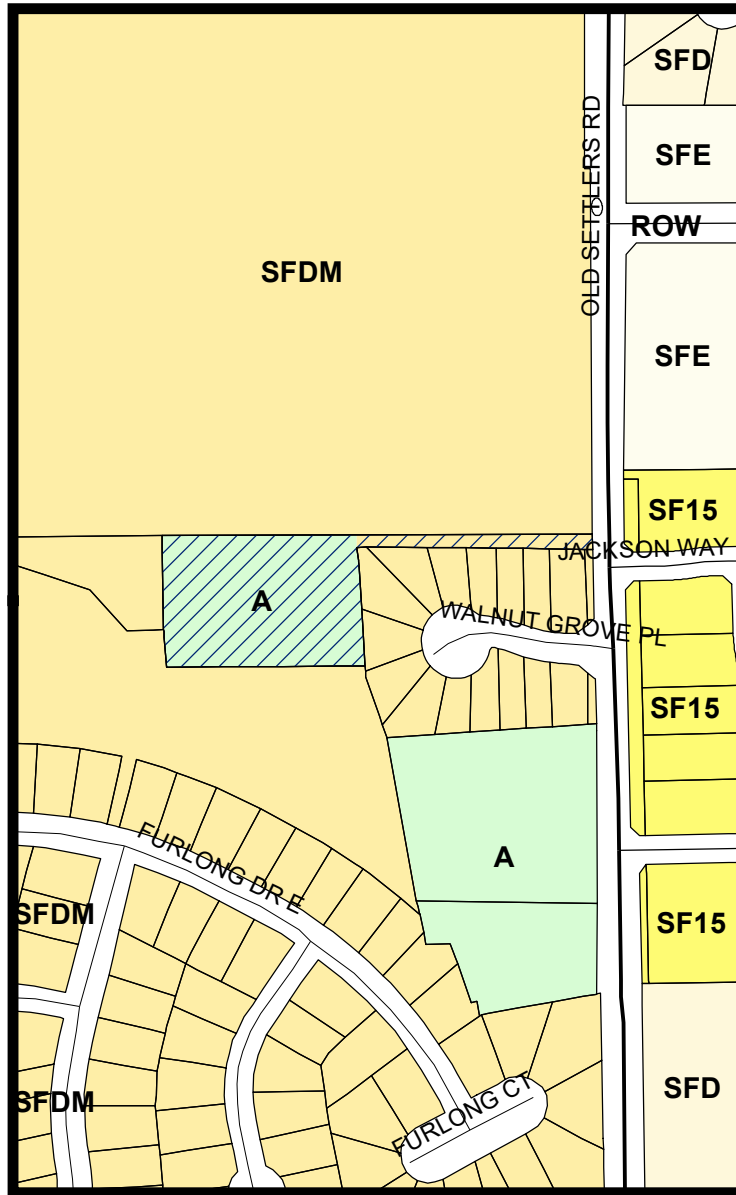
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter Of Intent
3. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SP24-0013: Flower Mound Hindu Temple



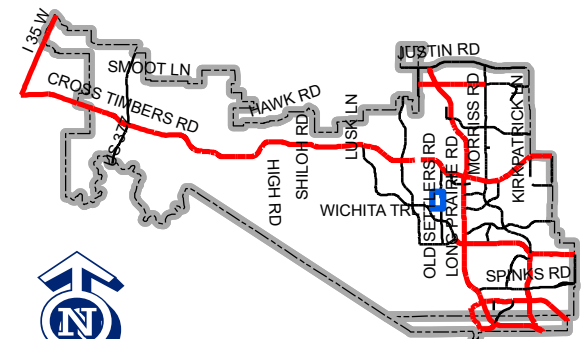
LEGEND

- Agriculture
- Single Family 15
- Single Family Density Medium
- Single Family Detached
- Single Family Estate

Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location

0 250 500 1,000 Feet



June 18, 2025

Ms. Poornima Kashyap, Planning Manager
Planning Department
Town of Flower Mound
2121 Cross Timbers Rd
Flower Mound, Texas 75028

Re: *Flower Mound Hindu Temple*
3131 Old Settlers Rd

Dear Ms. Kashyap,

Ridinger Associates, is pleased to inform you and the Town, of our client's intention apply for a Site Plan and any necessary exception requests for a new Hindu Temple at 3131 Old Settlers Rd. The property is 2.20 acres and platted as Lot 1, Block A of the New Covenant Baptist Church Addition on the west side of Old Settlers Rd, south of Flower Mound High School.

The property is currently undeveloped and is zoned Agricultural with a future Land Use of low-density residential, which allows for religious use as we are proposing.

The current plan is for a one-story 9,145 square foot building with a flat roof with a parapet height of 24 feet and in the future religious tower elements 35'. The plan is for the architectural elements and elevations to be done in two phases. The first phase is the building with design elements in place to allow for ease of construction of phase 2 which includes the remaining Temple architectural features including the towers. Temple features refer to the adding of construction elements such as the complex, decorative Indian and Hindu visual and architectural aesthetic to the exterior of the structure. These elements are not structural themselves in the sense of the building's required structural stability, but rather purely aesthetic.

With this submittal, we are requesting a meritorious design exception to the sloped roof requirement. While the building is less than 15,000 square feet, it is to be used as a religious building intended to have a look that matches buildings with similar uses. The building is also not be easily visible from any Town of Flower Mound road and the proposed elevations are appropriate for the location and religious use.

With this submittal, we are also requesting an exception to the 25 foot landscape buffer along the south side of the proposed drive aisle accessing the site. The reason for this request is the property is only 28 feet wide where the fire lane and drive aisle need to go to access the site. We cannot meet the 25 foot landscape buffer requirement, fire lane requirements, and still have access to Old Settlers Road.

We appreciate your consideration of our project and look forward to your favorable approval. Please call if you have any questions or comments.

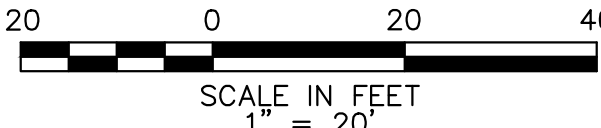
Thank You,

Ridinger Associates, Inc.
Firm No. 1969

Mr. Jason R. Kilpatrick, P.E.

15' Public Access Easement
CC#2001-16968 per
Doc. No. 2010-8 P.R.D.C.T.

Lot 1AR2, Block A
Flower Mound High School Addition
Doc. No. 2013-145
P.R.D.C.T.



1. ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
2. ALL ROOF BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
3. ALL ROOF MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
4. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING AND DUMPSTER SCREENING WALL REQUIRE A SEPARATE BUILDING PERMIT.
5. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
6. FLAG POLES MUST COMPLY WITH THE REGULATIONS IN SECTION 86-4 – PROHIBITED SIGNS
7. ANY LIGHTING DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS PART OF REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS AT TIME OF PERMIT REVIEW. NO LIGHTING SHALL BE LOCATED WITHIN THE COMPATIBILITY BUFFER AREA.
8. ALL ON-SITE FENCING TO BE REMOVED AT TIME OF CONSTRUCTION.

	PAVING 6" DEPTH 3000 PSI CONCRETE PAVEMENT ON 6" SCARIFIED AND COMPACTED SUBGRADE OR PER GEOTECHNICAL REPORT IF THE REPORT REQUIRES MORE.
	FIRELANE PAVING 8" 3,600 PSI CONCRETE ON 6" UNTREATED SUBGRADE STABILIZATION SUBJECTED TO 95% PROCTOR OR PER GEOTECHNICAL REPORT IF THE REPORT REQUIRES MORE.
	SIDEWALK CONSTRUCT ACCORDING TO STANDARD PAVING DETAIL SHEET.
	EXISTING PAVEMENT

PHYSICAL ADDRESS	3131 OLD SETTLERS ROAD	
GROSS SITE AREA	2.188 acres / 95,336.78 s.f.	
NET SITE AREA	2.188 acres / 95,336.78 s.f.	
ZONING		
CURRENT ZONING	AGRICULTURAL	
CURRENT USE	RELIGIOUS	
LOT COVERAGE DATA		
BUILDING COVERAGE	9.59% / 9,145 s.f.	
IMPERVIOUS AREA	66.23% / 63,137 s.f.	
PERVIOUS AREA	33.77% / 32,199 s.f.	
PARKING SUMMARY	REQUIRED	PROVIDED
SURFACE PARKING		
SANCTUARY (1 SP/3 CHAIRS)	87	87
261 CHAIRS MAIN SANCTUARY		
HANDICAP PARKING	4	4
TOTAL PARKING	87	87
BUILDING DATA		
BUILDING	1 STORY	
PEAK HEIGHT-BUILDING	24 ft.	
PEAK HEIGHT-TOWER OF RELIGIOUS ELEMENTS	35'	
TOTAL SQUARE FOOTAGE	9,145 s.f.	



**Ridinger
Associates, Inc.**
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

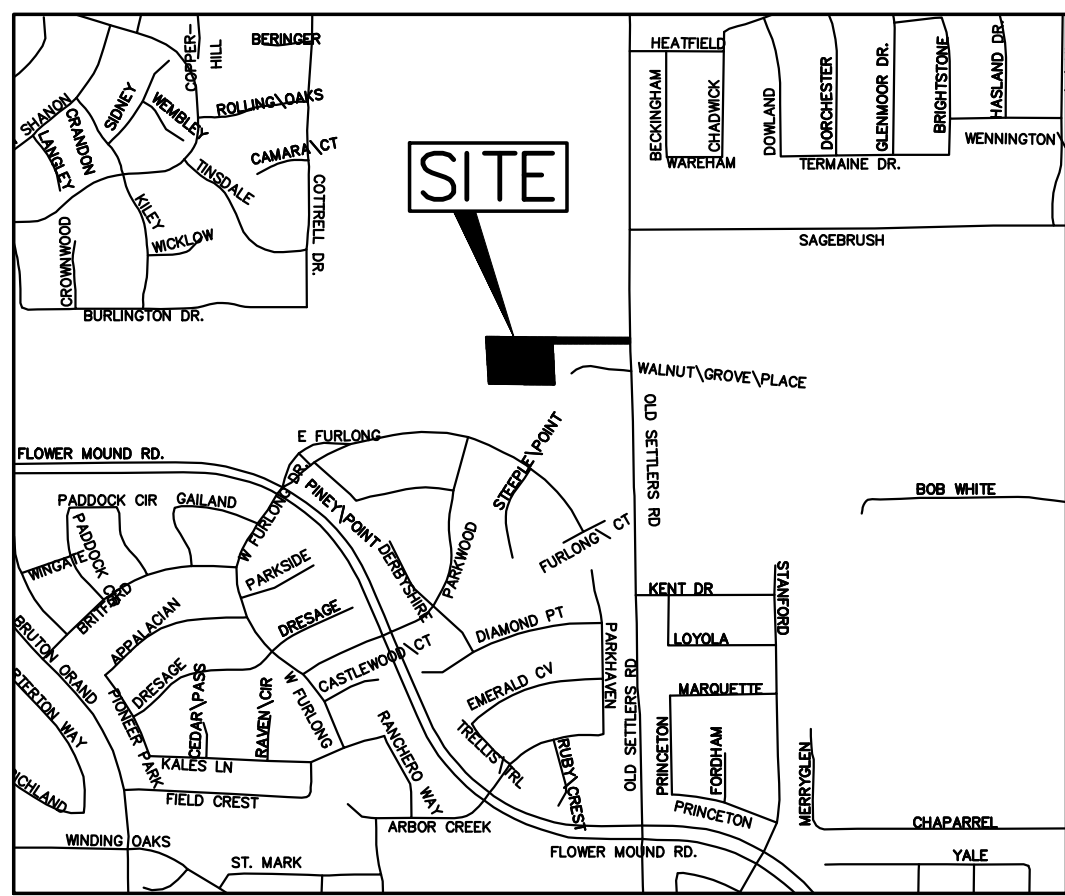


FM HINDU TEMPLE
FLOWER MOUND, TEXAS

SITE PLAN

Scale: 1"=20'
Designed by:
Drawn by:
Checked by:
Date: JUNE 1
Project No. 2

SHEET
OF 1

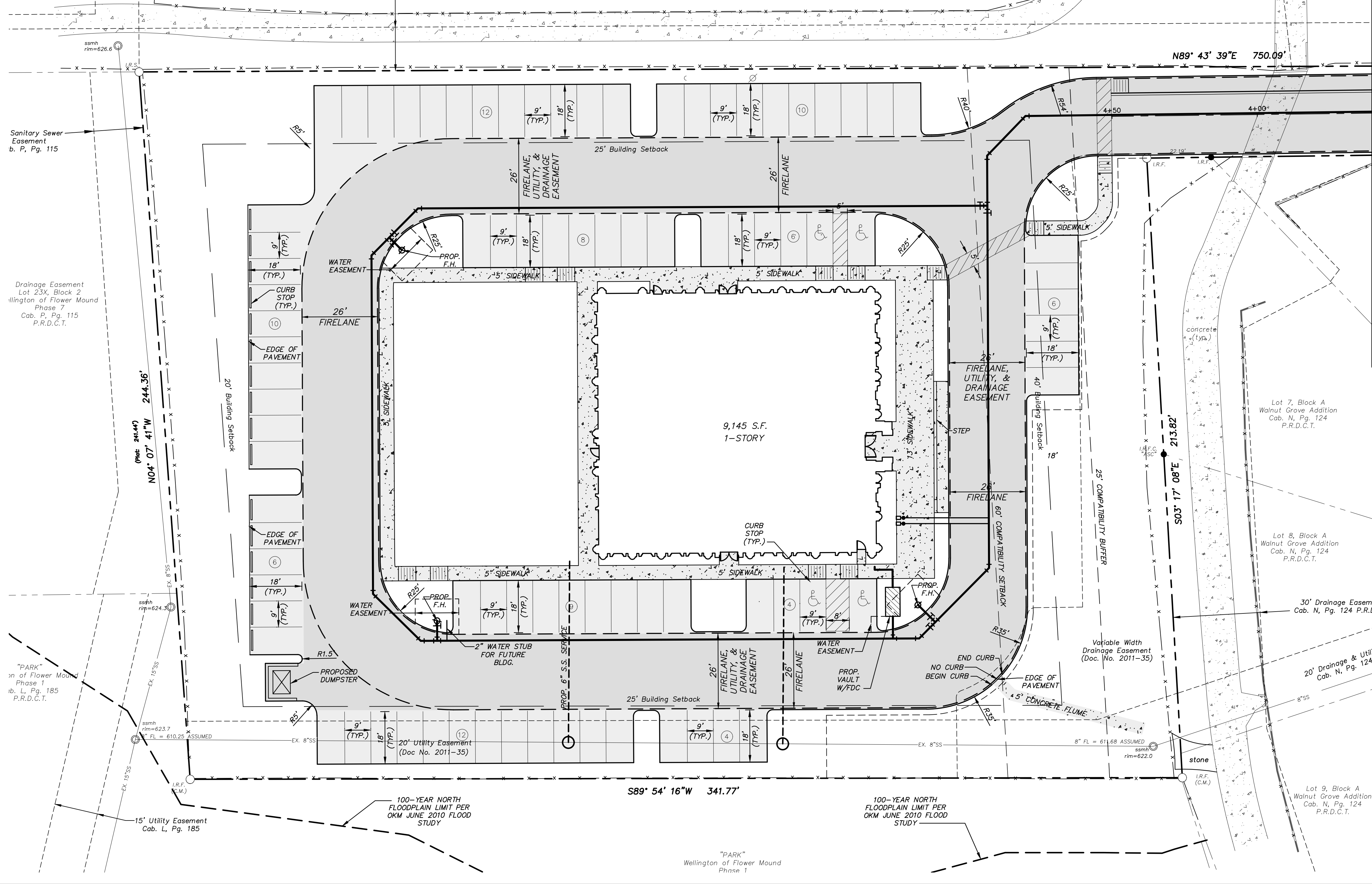


VICINITY MAP

SCALE: 1"=2000'

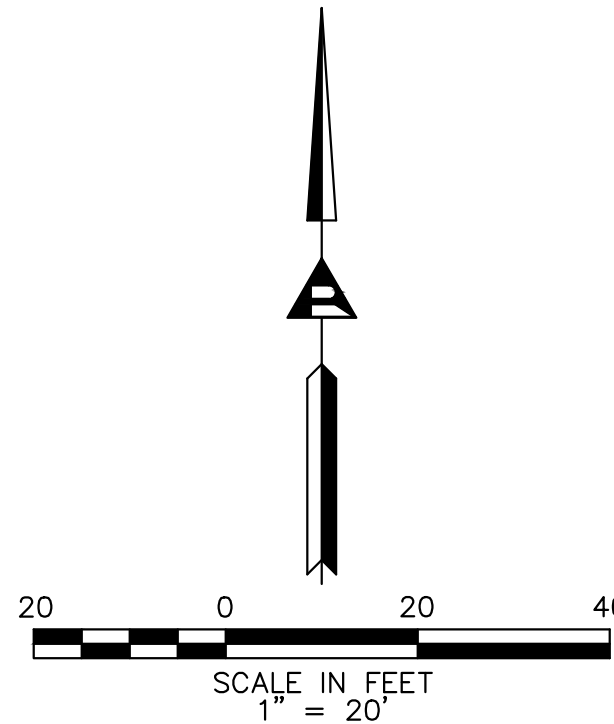
15' Public Access Easement
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Doc. No. 2010-8 P.R.D.C.T.

Lot 1AR2, Block A
Flower Mound High School Addition
Doc. No. 2013-145
P.R.D.C.T.



MATCH LINE PAV STA 3+50

MATCH LINE PAV STA 3+50



MASTER PLAN FEATURES	
Land Use Plan	Existing/Low Density Residential
Specific Plans	None
Urban Design Plan	Complies with the exception of roof pitch
Parks and Trails	N/A
Open Space Plan	N/A
Thoroughfare Plan	Old Settlers Road - Urban Minor Arterial Undivided
Water Plan	Existing 8" WM, W. Side of Old Settlers Road
Wastewater Plan	Connect to existing Walnut Grove 8" main

- NOTES:
- ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
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PAVING LEGEND

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	FIRELANE PAVING 8" 3,600 PSI CONCRETE ON 6" UNTREATED SUBGRADE STABILIZATION COMPACTED TO 95% PROCTOR OR PER GEOTECHNICAL REPORT IF THE REPORT REQUIRES MORE.
	SIDEWALK CONSTRUCT ACCORDING TO STANDARD PAVING DETAIL SHEET.
	EXISTING PAVEMENT

SITE DATA TABLE

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	REQUIRED	PROVIDED
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261 CHAIRS MAIN SANCTUARY		
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Fax No. (972) 353-8001

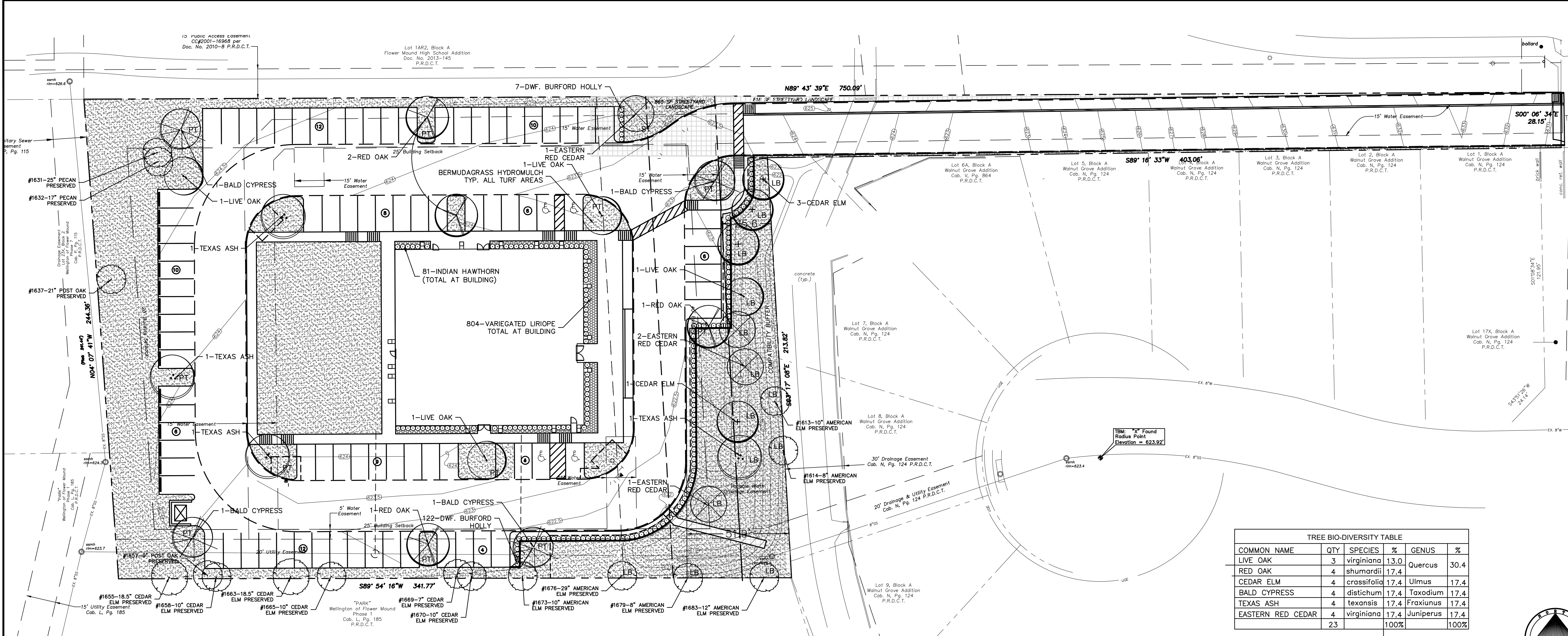


FM HINDU TEMPLE
FLOWER MOUND, TEXAS

SITE PLAN

Scale: 1"=20'	Designed by: JRK
	Drawn by: MAB
	Checked by: JRK
	Date: JUNE 19, 2025
	Project No. 211-001

SHEET
1 OF 1



GENERAL LANDSCAPE NOTES

1. All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
2. All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
3. Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
4. All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
5. All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
6. Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
7. All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
8. All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
9. All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.

10. All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
11. All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
12. All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
13. Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

1. All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
2. Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
3. Areas of open space which contain preserved trees need not be irrigated if the City Arborist determines irrigation would be harmful to the preserved trees.

MAINTENANCE NOTE:

THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND IRRIGATION. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON THE THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. ALL IRRIGATION HEADS WHICH ARE BROKEN AND FLOW WATER SHALL BE REPLACED OR REPAIRED IMMEDIATELY TO PREVENT THE WASTE OF WATER.

STREET YARD LANDSCAPING			
STANDARD	TOTAL STREET YARD N/A	REQUIRED	PROVIDED
MIN. 20% OF STREETYARD	N/A	N/A	N/A
STREET YARD TREES			
STANDARD	TOTAL STREET YARD N/A	REQUIRED	PROVIDED
10,000 TO 100,000 SF = 1 PER 2,500 SF PLUS 10 TREES	N/A	N/A	N/A
STREET BUFFER LANDSCAPING			
STANDARD	REQUIRED BUFFER WIDTH	PROVIDED	VEHICULAR ACCESS ONLY
OLD SETTLERS' ROAD = 1 PER 2,500 SF PLUS 10 TREES	25' FT.	0 FT.	
STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LINEAR FEET)	REQUIRED	PROVIDED
1 PER 30 L.F.	OLD SETTLERS' ROAD = 30.0 L.F.	1 TREE	1 TREE
COMPATIBILITY BUFFER			
STANDARD	PROPERTY FRONTAGE (213.82 LINEAR FEET)	REQUIRED	PROVIDED
RELIGIOUS INSTITUTION 25' BUFFER	5,345 SF / 500 = 11 TREES	11 TREES	8 NEW TREES 3 EXIST. TREES
PARKING AREA LANDSCAPING			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
45 S.F. PER 12 SPACES	87/12 X 45 = 326 SF	326 S.F.	6971 S.F.
PARKING AREA TREES			
STANDARD	NO. OF PARKING SPACES	REQUIRED	PROVIDED
1 PER 20 PARKING SPACES	87	5 TREES	13 TREES
ALL PARKING SPACES ARE LOCATED WITHIN 50 FT. OF A TREE.			

PLANT LIST AND LEGEND

- 3-LIVE OAK / Quercus virginiana / 3" cal. / 8' Ht. / 6' sp. / Container Grown
- 4-RED OAK / Quercus shumardii / 3" cal. / 8' Ht. / 6' sp. / Container Grown
- 4-CEDAR ELM / Ulmus crassifolia / 3" cal. / 8' Ht. / 6' sp. / Container Grown
- 4-BALD CYPRESS / Taxodium distichum / 3" cal. / 8' Ht. / 6' sp. / Container Grown
- 4-TEXAS ASH / Fraxinus texensis / 3" cal. / 8' Ht. / 6' sp. / Container Grown
- 4-EASTERN RED CEDAR / Juniperus virginiana / 8' Ht. / 6' sp. / Container Grown
- DENOTES EXISING TREE TO BE PRESERVED
- 129-DWARF BURFORD HOLLY / Ilex cornuta burfordii / 5 Gal. Container / 30" o.c. / Parking Screen
- 81-INDIAN HAWTHORN / Rhaphiolepis indica 'Ballerina' / 5 Gal. Container / 30" o.c. / Parking Screen
- 804-VARIEGATED LIRIOPE / Liriope muscari 'variegata' / 4" pots / 10" o.c.
- BERMUDGRASS / Cynodon dactylon / Hydromulch

BENCH MARK
ELEVATIONS SHOWN HEREON ARE BASED ON THE
FLOWER MOUND G.I.S. NETWORK, MONUMENT NUMBERS 8
& 16.

TBM: "X" FOUND FOR THE CENTERLINE RADIUS POINT OF
WALNUT GROVE PLACE.
ELEV: 623.92

20 10 0 20 40
SCALE: 1" = 20' - 0"

ST. CLAIR DESIGN GROUP, INC

Landscape Architecture

P. O. Box 12519
Dallas, Texas 75225
T. 214-454-9934

DATE SEALED: 6-13-25

DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: SDCG
DATE: AUGUST 2, 2024

F.M.HINDU TEMPLE
FLOWER MOUND,
TEXAS
Lot 1, Block A
2.188 Acres out of the
H. Murphy Survey, Abst. No. 322
Town of Flower Mound,
Denton County, Texas

Ridinger
Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds
Lewisville, Texas

Lane, Suite 101
Tel. No. (972) 353-8000
Fax No. (972) 353-8011

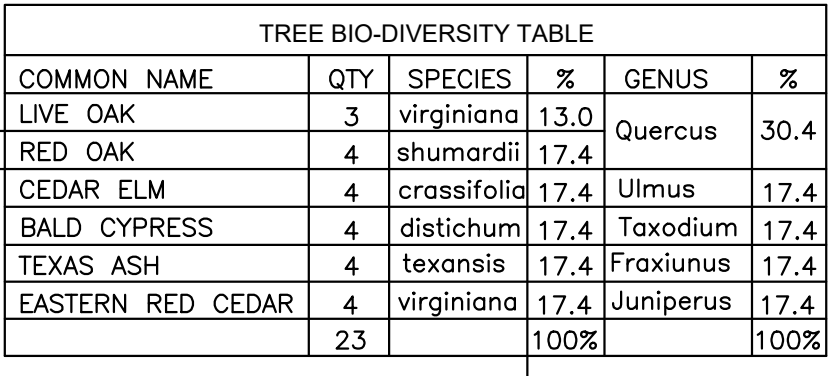
F.M.HINDU TEMPLE
FLOWER MOUND, TEXAS

LANDSCAPE PLAN

Scale: 1"=20'0"
Designed by: JBS
Drawn by: JBS
Checked by: SDCG
Date: AUGUST 2, 2024
Project No. 211--001

SHEET
LP-1

REVISED SITE PLAN	
No.5	4/16/25
PER CITY COMMENTS	
No.4	4/4/25
TREE COUNT	
No.3	2/21/25
COMPATIBILITY BUFFER	
No.8	6/13/25
REVISED SITE PLAN	
No.2	2/14/25
PER CITY COMMENTS	
No.1	11/12/24
PER CITY COMMENTS	

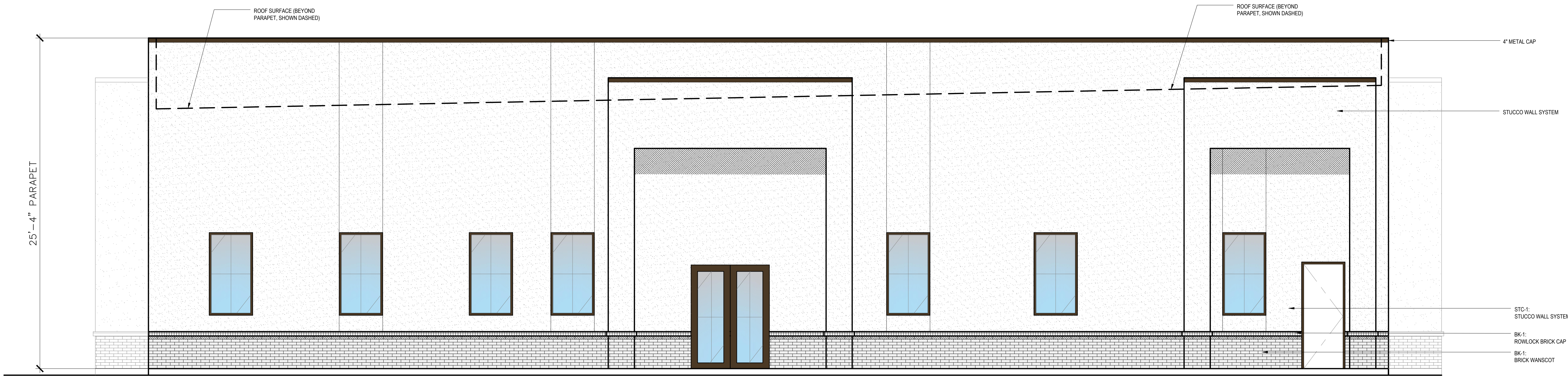


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CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2501

Exterior
Elevations
Phase 1

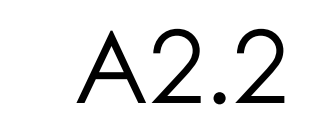
A2.1

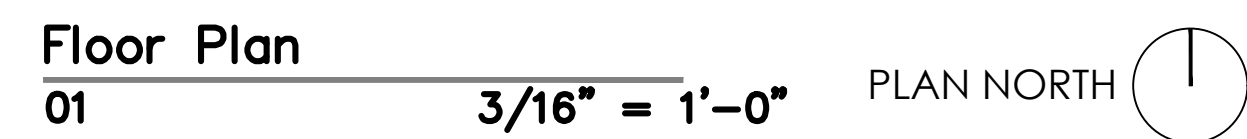


SOUTH (SIDE) ELEVATION
1/4" = 1'-0"

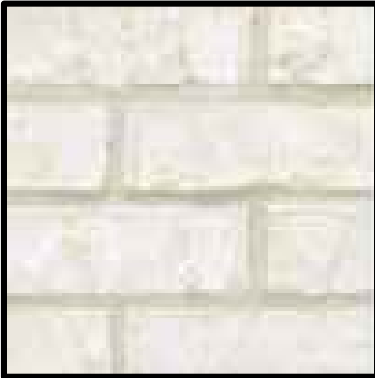
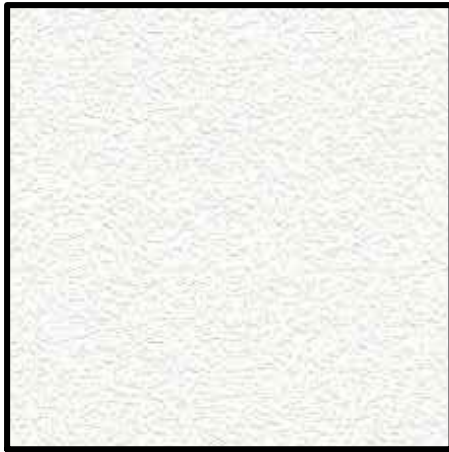
NOTE: ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/
TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE
BUILDING.

NOTE: REFER TO SHEET A2.3 FOR EXTERIOR FINISH
SCHEDULE' AND 'ELEVATION MATERIAL CALCULATION CHART'.

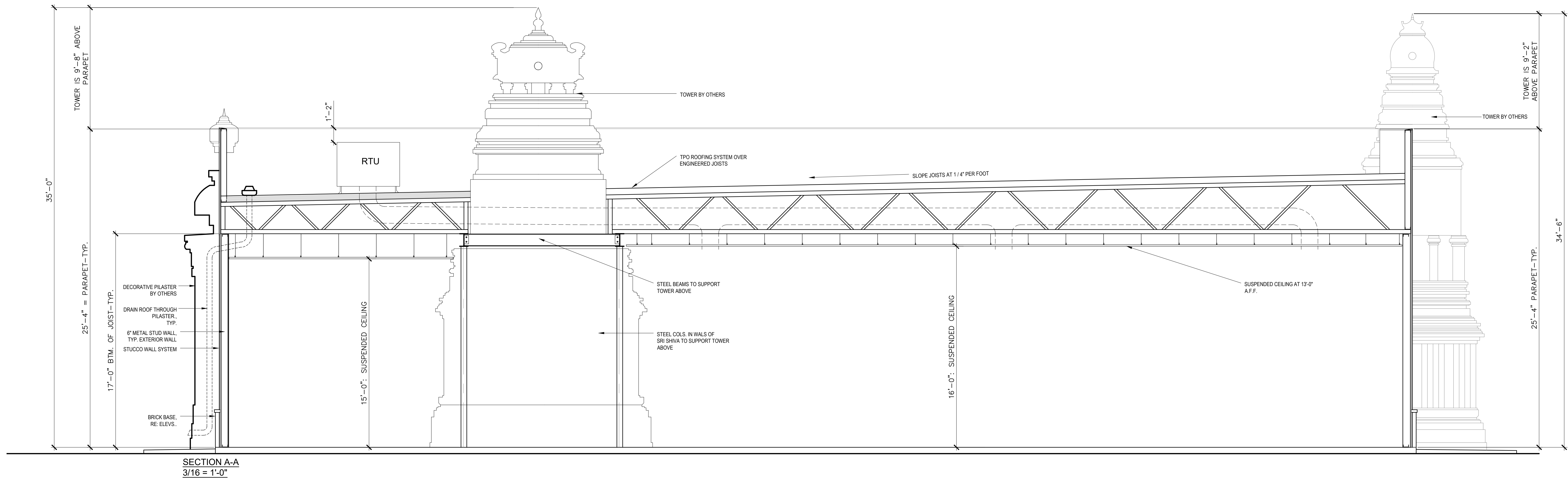




	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	2,279 S.F.	2,279 S.F.	2,135 S.F.	2,151 S.F.
2. TOTAL FACADE S.F.(MINUS DOORS AND WINDOWS	2,117 S.F.	2,081 S.F.	1,968 S.F.	2,103 S.F.
3. DOORS AND WINDOWS S.F.	162 S.F.	198 S.F.	167 S.F.	48 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%) ** RE: TEXAS BILL 2439 POSTED ON THIS SHEET**				
BRICK	215 S.F. AND 10.1% OF 2	215 S.F. AND 10.3% OF 2	195 S.F. AND 9.9% OF 2	207 S.F. AND 9.8% OF 2
STUCCO	1,873 S.F. AND 88.5% OF 2	1,838 S.F. AND 88.3% OF 2	1,755 S.F. AND 89.2% OF 2	1,868 S.F. AND 88.9% OF 2
BRICK CAP	29 S.F. AND 1.4% OF 2	28 S.F. AND 1.4% OF 2	18 S.F. AND 0.9% OF 2	28 S.F. AND 1.3% OF 2
5. SECONDARY MASONRY TOTALS (20% MAX)				
EIFS	-----	-----	-----	-----
-----	-----	-----	-----	-----
-----	-----	-----	-----	-----

EXTERIOR FINISH SCHEDULE			
	STC-1: MAIN WALL STUCCO, COLOR: WHITE TEXTURE: ROUGH		BK-1: METRO: KING-BRICK COLOR: ALPINE STYLE: HERITAGE
	STC-2: ACCENT STUCCO, COLOR: WHITE TEXTURE: SMOOTH		

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OR REGULATORY
APPROVAL



SECTION A-A
3/16 = 1'-0"



SOUTH (SIDE) ELEVATION
1/4" = 1'-0"

NOTE: ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/
TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE
BUILDING.

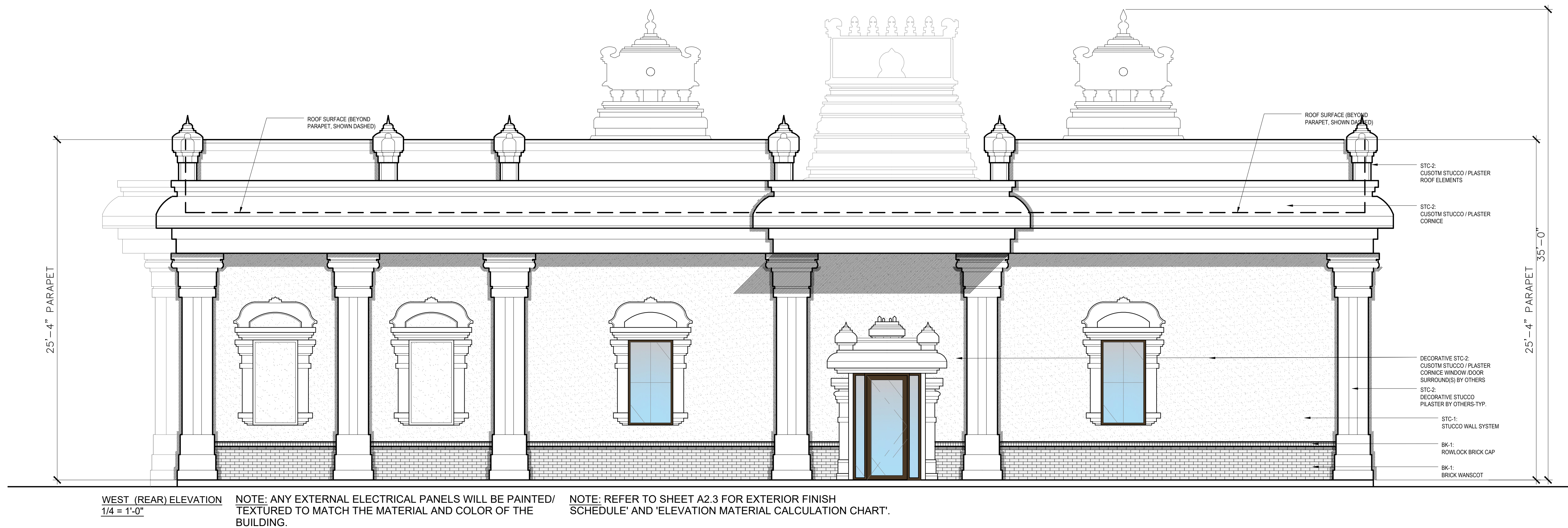
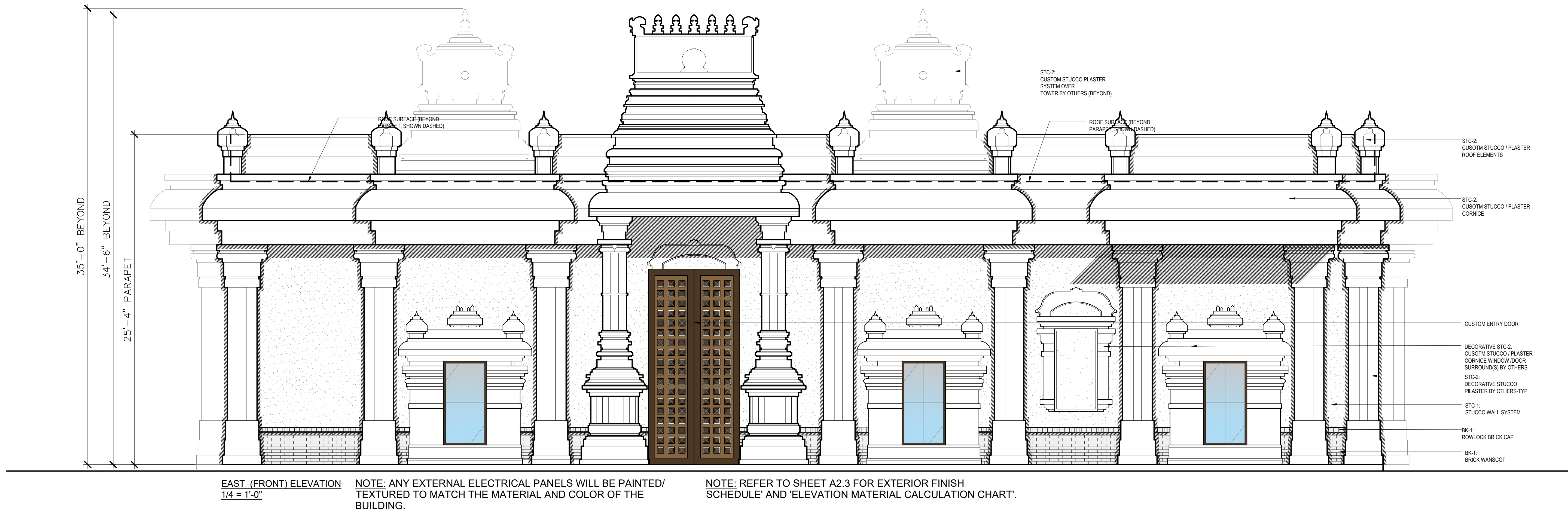
NOTE: REFER TO SHEET A2.3 FOR EXTERIOR FINISH
SCHEDULE' AND 'ELEVATION MATERIAL CALCULATION CHART'.



NORTH (SIDE) ELEVATION
1/4" = 1'-0"

NOTE: ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/
TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE
BUILDING.

NOTE: REFER TO SHEET A2.3 FOR EXTERIOR FINISH
SCHEDULE' AND 'ELEVATION MATERIAL CALCULATION CHART'.

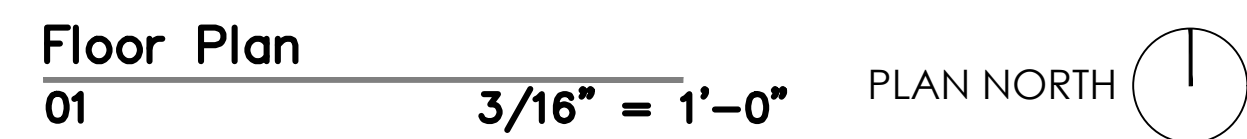


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APPROVAL

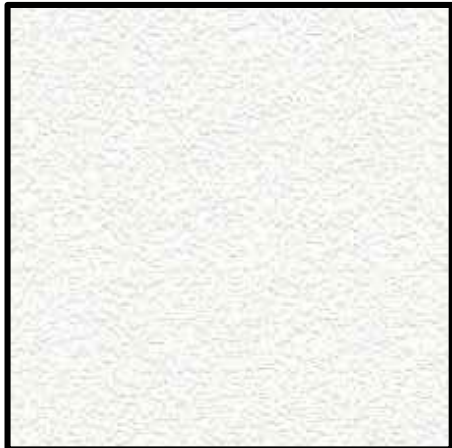
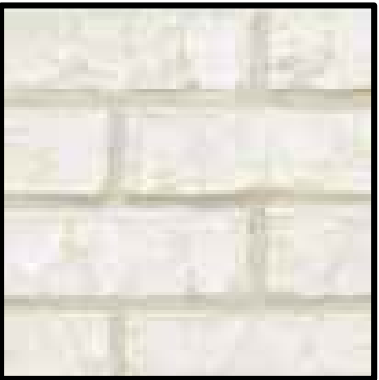
Project #: 2501

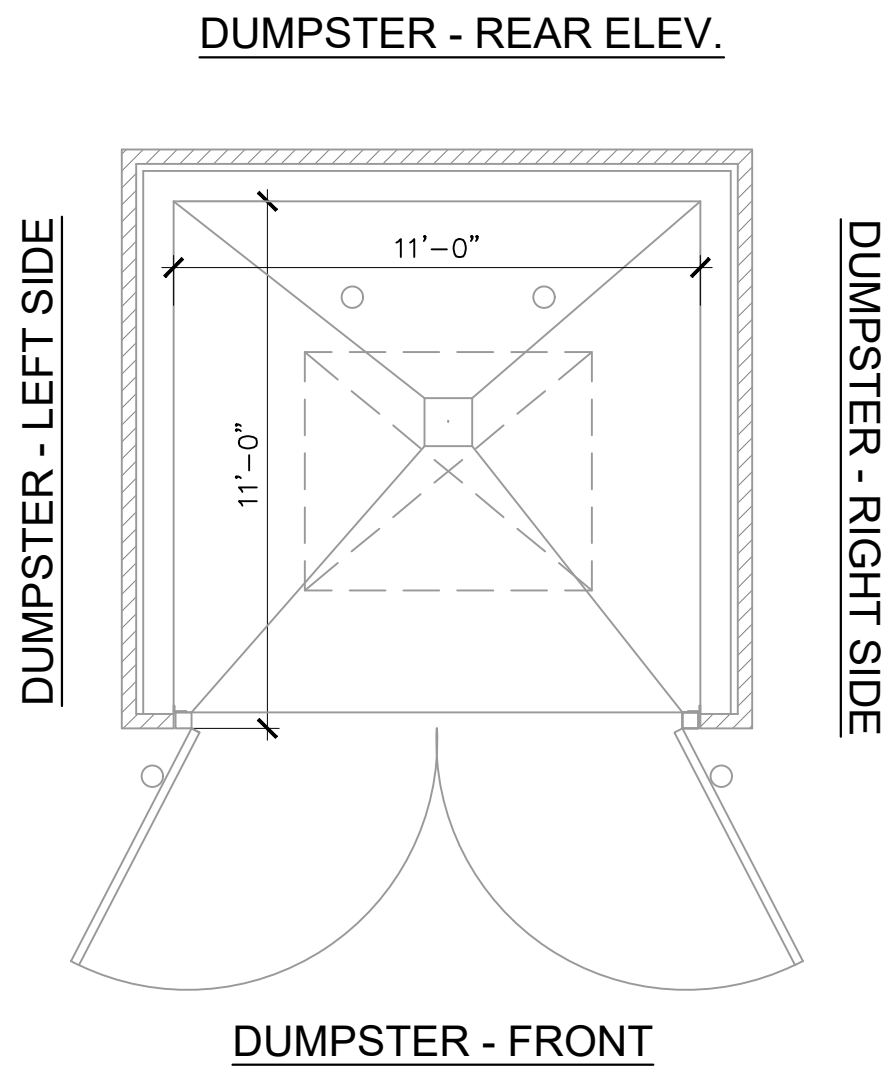
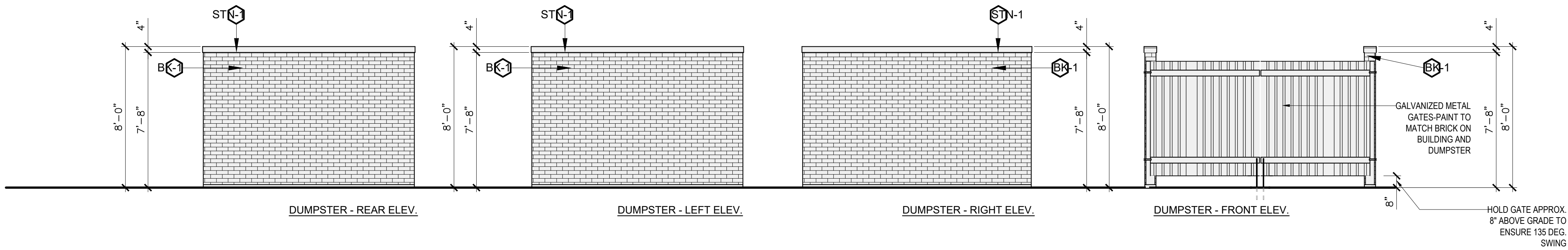
Exterior
Elevations
Phase 2

A2.2



		NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	2,407 S.F.	2,389 S.F.	2,295 S.F.	2,318 S.F.
2.	TOTAL FACADE S.F.(MINUS DOORS AND WINDOWS	2,245 S.F.	2,191 S.F.	2,128 S.F.	2,270 S.F.
3.	DOORS AND WINDOWS S.F.	162 S.F.	198 S.F.	167 S.F.	48 S.F.
4.	PRIMARY MASONRY TOTALS (MIN. 80%) ** RE: TEXAS BILL 2439 POSTED ON THIS SHEET**				
	BRICK	146 S.F. AND 6.5% OF 2	145 S.F. AND 6.6% OF 2	81 S.F. AND 3.8% OF 2	159 S.F. AND 7.0% OF 2
	STUCCO	2,079 S.F. AND 92.6% OF 2	2,028 S.F. AND 92.6% OF 2	2,038 S.F. AND 95.8% OF 2	2,089 S.F. AND 92.0% OF 2
	BRICK CAP	20 S.F. AND 0.9% OF 2	18 S.F. AND 0.8% OF 2	9 S.F. AND 0.4% OF 2	22 S.F. AND 1.0% OF 2
5.	SECONDARY MASONRY TOTALS (20% MAX)				
	EIFS	----	----	----	----
	----	----	----	----	----
	----	----	----	----	----

EXTERIOR FINISH SCHEDULE	
	STC-1: MAIN WALL STUCCO, COLOR: WHITE TEXTURE: ROUGH
	STC-2: ACCENT STUCCO, COLOR: WHITE TEXTURE: SMOOTH
	BK-1: METRO: KING-BRICK COLOR: ALPINE STYLE: HERITAGE



DUMPSTER ENCLOSURE DETAILS:
1/4" = 1'-0"

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CONSTRUCTION
OR REGULATORY
APPROVAL

Project #: 2501
Dumpster
Details &
Bldg.
Materials
Phase 2

A2.3

