

Planning & Zoning Commission



January 26, 2026
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at planning@flowermound.gov or by calling 972.874.6350 and leaving a message.

AGENDA

- A. CALL TO ORDER**
- B. INVOCATION**
- C. PLEDGE OF ALLEGIANCE TO THE UNITED STATES FLAG**
- D. PUBLIC COMMENT**

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

To speak during public comment, fill out a comment form (PDF). Note:

- Limited to three (3) minutes, a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair
- Direct comments to the Board/Commission
- State your name and the municipality where you reside

- E. COORDINATION OF CALENDARS**

1. February 9, 2026
2. February 23, 2026

- F. FUTURE AGENDA ITEM(S)**

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

- G. STAFF/DIRECTOR REPORT**

1. Upcoming SMARTGrowth meeting

- H. CONSENT ITEM(S)**

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of January 12, 2026 - Consider approval of the minutes from January 12, 2026.

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP25-0010 - Fortezza North - Consider a request for a site plan (SP25-0010 – Fortezza North) to develop one mixed-use building. The property is generally east of Sunset Boulevard and north of Village Lane.

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SP25-0021 - Marcus High School Locker Room Addition - Consider a request for a Site Plan (SP25-0021 - Marcus High School Locker Room Addition) to develop an additional locker room with a waiver to the roof pitch requirement pursuant to Section 98-1163, Exterior wall construction for nonresidential buildings, of the Code of Ordinances. The property is generally located east of Long Prairie Road and north of Dixon Lane.
2. LDR25-0003 - 2025 State Legislative Updates - Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0003 – 2025 State Legislative Updates) by amending Chapter 78, "Administration" and Chapter 98, "Zoning" related to notice and protest procedures, home occupation, land uses, noise, and outdoor storage.
3. LDR25-0004 - Parking Mitigation and Foundational Planting Update - Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0004 – Parking Mitigation and Foundational Planting Update) by amending Chapter 74, "General Provisions" and Chapter 82, "Development Standards" related to definitions, parking mitigation, off-street parking, foundational planting, and parking area landscaping.

K. ADJOURN

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

I do hereby certify that the notice of above meeting for the Town of Flower Mound was posted at Town Hall, Town of Flower Mound, Texas, and on the Town's website in compliance with Chapter 551, Texas Government Code on January 20, 2026, by 5:00 p.m.

LauriAnn Cash, Staff Liaison

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

Planning & Zoning Commission



January 12, 2026
Town Hall
2121 Cross Timbers Road
Flower Mound, TX 75028

6:30 p.m.

DRAFT MINUTES

A. CALL TO ORDER

Chair Schultz called the regular meeting to order at 6:32 p.m. with the following members present:

Gregory Schultz, Place 1, Chair
Jason Hobbs, Place 2, Vice-Chair
Todd Bayuk, Place 3
Scott Langley, Place 5
Donald Gilmore, Place 6
Clare Harris, Place 7
Michelle Jackson, Place 8 Alternate
Deb Fitzpatrick, Place 9 Alternate

with the following member(s) absent:
Ryan Geddie, Place 4

constituting a quorum with the following members of the Town Staff participating:

Rachel Raggio, Town Attorney
Poornima Kashyap, Planning Manager
Bob Pegg, Town Engineer
Claire Barnes, Senior Planner
Codie Hay, Planner
LauriAnn Cash, Executive Assistant

B. INVOCATION

C. PLEDGE OF ALLEGIANCE TO THE UNITED STATES FLAG

D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

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- Direct comments to the Board/Commission
- State your name and the municipality where you reside

Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.

Speaker name and address	Subject (as written on the form)
None	

** Indicates person did not wish to speak*

E. COORDINATION OF CALENDARS

1. January 26, 2026
2. February 9, 2026

F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

None

G. STAFF/DIRECTOR REPORT

1. Upcoming Land Development Regulations

H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of December 8, 2025 - Consider approval of the minutes from December 8, 2025.

ACTION: Commissioner Harris moved to approve H.1. as presented in the agenda caption. Vice-Chair Hobbs seconded the motion.

AYES: Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

NAYS: None

RESULT: 6 : 0

I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP25-0011 - Valley Creek Church College Pickleball Courts - Consider a request for a Site Plan (SP25-0011- Valley Creek Church College Pickleball Courts) to develop outdoor pickleball courts. The property is generally located north of Dixon Lane and west of Morriss Road.

STAFF PRESENTATION:

Codie Hay, Planner

APPLICANT PRESENTATION:

Michael Kerolos, McAdams; present for questions, no presentation

Rob Wierick, Sync Architecture & Construction; present for questions, no presentation

Brad Lanham, Valley Creek Church; present for questions, no presentation

ACTION: Commissioner Langley moved to approve I.1. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

AYES: Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

NAYS: None

RESULT: 6 : 0

2. SP25-0013 - Valley Creek Church Prayer Center - Consider a request for a Site Plan (SP25-0013 - Valley Creek Church Prayer Center) to develop a prayer center for an existing church. The property is generally located east of Long Prairie Road and south Dixon Lane.

STAFF PRESENTATION:

Codie Hay, Planner

APPLICANT PRESENTATION:

Michael Kerolos, McAdams; present for questions, no presentation

Rob Wierick, Sync Architecture & Construction; present for questions, no presentation

Brad Lanham, Valley Creek Church; present for questions, no presentation

ACTION: Commissioner Langley moved to approve I.2. as presented in the agenda caption. Commissioner Harris seconded the motion.

AYES: Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

NAYS: None

RESULT: 6 : 0

J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SSP24-0008 - Canyon Falls Village 3 - Consider a request for a Subdivision Site Plan (SSP24-0008 - Canyon Falls Village 3) to create a residential subdivision with certain exceptions, modifications, and waivers to the Code of Ordinances. The property is generally located west of Turner Falls Circle, east of Interstate 35, and south of Denton Creek Boulevard.

At 6:54 p.m., Commissioner Bayuk recused himself from the Council Chambers.

STAFF PRESENTATION:

Claire Barnes, Senior Planner

APPLICANT PRESENTATION:

Tom Dayton, Johnson Volk Consulting

Bret Pedigo, Terra Manna, LLC

Kyle Kooda, Perry Homes

ACTION: Commissioner Gilmore moved to recommend approval of J.1. as presented in the agenda caption. Commissioner Langley seconded the motion.

AYES: Gilmore, Hobbs, Langley, Harris, Jackson

NAYS: None

ABSTAIN: Bayuk

RESULT: 5 : 0

At 7:13 p.m., Commissioner Bayuk returned to the Council Chambers.

2. ZPD25-0008 - Lakeside Crossing Residence Inn - Public Hearing to consider an ordinance for rezoning (ZPD25-0008 – Lakeside Crossing Residence Inn) to amend Planned Development No. 153 (PD-153) with Campus Commercial uses for both residential and non-residential uses to allow for an extended stay hotel, and to include new concept plans and elevations for Lot 1, Block A, Lakeside Crossing, to modify development standards, including modifying standards for Lot 17X, Block B, Lakeside Crossing Town Homes, and to request certain exceptions, modifications, and waivers to the Code of Ordinances. The property is generally located south of Lakeside Parkway and between International Parkway and Northwood Drive.

Chair Schultz moved this item to the beginning of the meeting, immediately following the Public Comment section.

ACTION: Commissioner Gilmore moved to table J.2 in order for Staff to renote the items for reasons listed in the staff report. Vice-Chair Hobbs seconded the motion.
AYES: Gilmore, Hobbs, Bayuk, Langley, Jackson
NAYS: None
ABSTAIN: Harris
RESULT: 5 : 0

K. ADJOURN

Chair Schultz adjourned the meeting at 7:13 p.m.

TOWN OF FLOWER MOUND, TEXAS

GREG SCHULTZ, CHAIR

ATTEST:

LAURIANN CASH, EXECUTIVE ASSISTANT



PLANNING & ZONING COMMISSION AGENDA I.1. NON-DISCRETIONARY ITEM(S)

DATE: January 26, 2026
FROM: Claire Barnes, Senior Planner
ITEM: **Consider a request for a site plan (SP25-0010 – Fortezza North) to develop one mixed-use building. The property is generally located east of Sunset Boulevard and north of Village Lane.**

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a 4-story, 15,867 square-foot mixed-use building on Lot 3, Block C of the Lakeside Village, Phase II Addition. The site is located within the MU-TEN subzone and MZ-6 microzone of the Lakeside DFW mixed-use development and is undeveloped. On October 25, 2025, the Town Council approved an amendment to the Lakeside DFW development code to allow buildings on Lot 3, Block C and Lot 1, Block F to go up to four stories with ground floor commercial occupancy and to be served by either on-site or on-street parking.

The total ground floor coverage is approximately 5,726 square feet. The east side of Sunset Boulevard is required to have a commercial ground floor in this subzone. The ground floor consists of 3,298 square feet of commercial space and the remainder is garage space. Residential lofts are permitted above the ground story. Floors two through four will comprise one residential loft. Retail/office use has a parking requirement of one space per 250 square feet and requires 14 parking spaces for this site. All 14 spaces will be accommodated via the existing street parking. The residential loft requires two spaces. The garage will provide four parking spaces.

The elevations depict a predominately stucco, stone, and tile four-story building. The elevations comply with the Lakeside DFW architectural standards.

The landscape plan depicts the required streetscape plantings.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

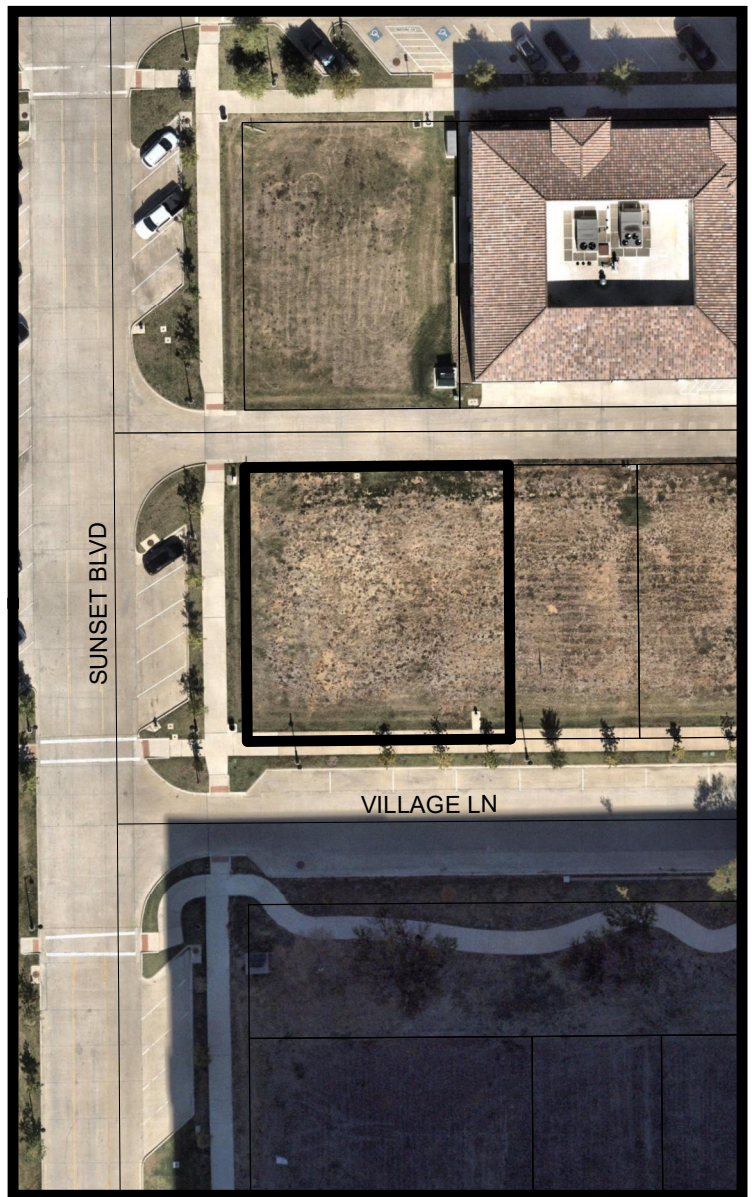
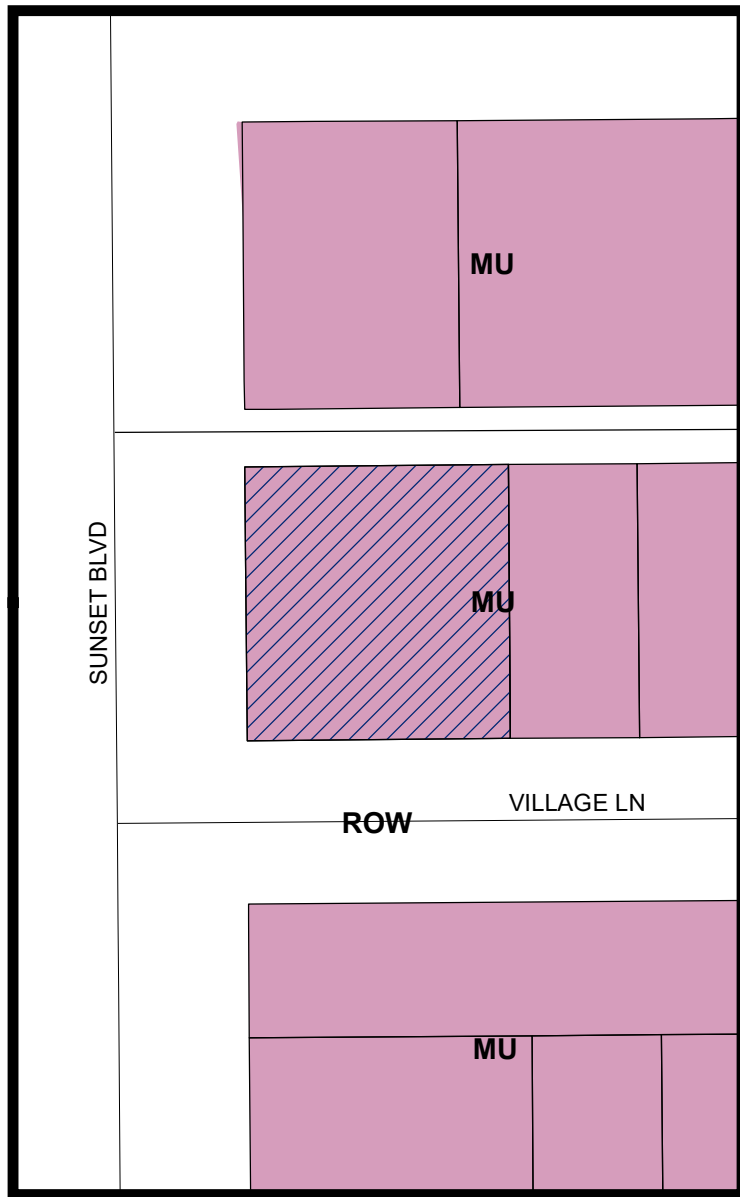
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter of Intent
3. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.


Vicinity Map

SP25-0010: Fortezza North



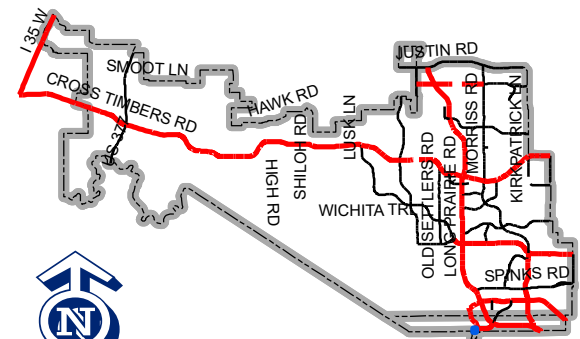
LEGEND

 Mixed Use

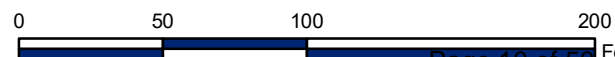
 Subject Property

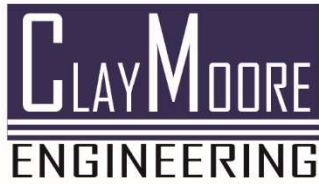
Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location





10/20/2025

Planning Services Division
Town of Flower Mound
2121 Cross Timbers Rd
Flower Mound, TX 75028

To whom it may concern:

ClayMoore Engineering is submitting this Site Plan Application on behalf of the owner. The proposed development will serve as a mixed-use space combining retail and residential components. The site is 0.201 acres of undeveloped land with no overhead electric lines. Proposed square footage is approximately 15,867 sf and the building will be constructed in one phase. Zoning is Mixed Use District (MU), which allows for a combination of commercial and residential uses in accordance with the Town's comprehensive plan.

Submitted plans, including civil design, landscape, and architectural elevations, will be provided under separate cover. Replatting and easement adjustments will be coordinated as necessary to support the development.

Please review the information provided at your earliest convenience. Should you have any questions or require additional details, do not hesitate to contact me at 817-281-0572 or Clay@ClayMooreEng.com.

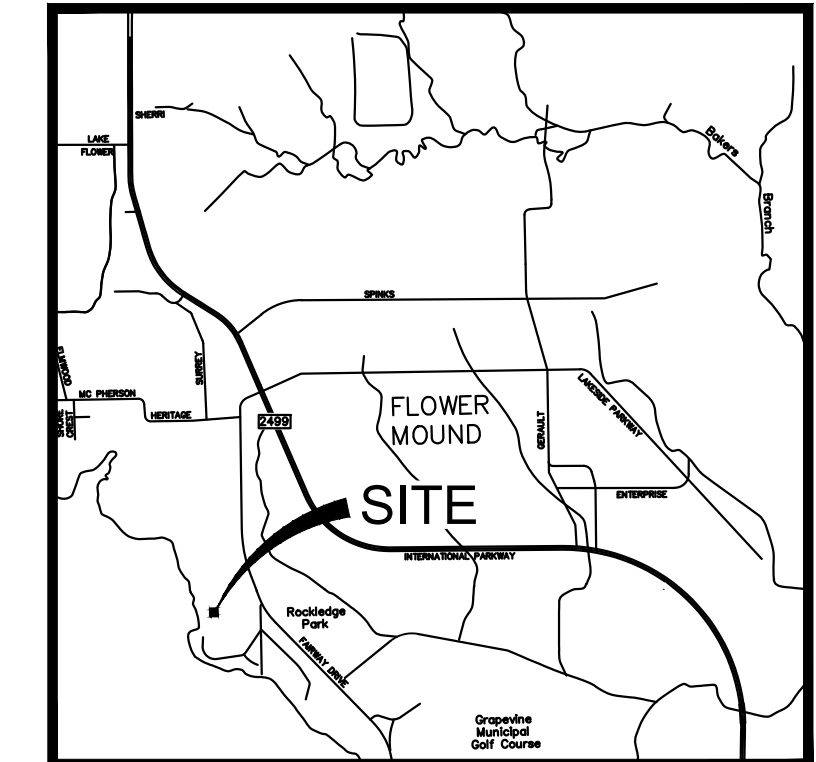
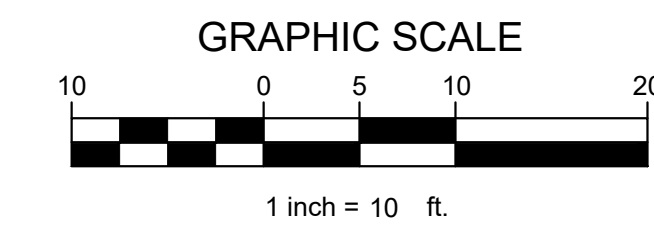
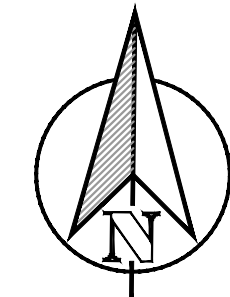
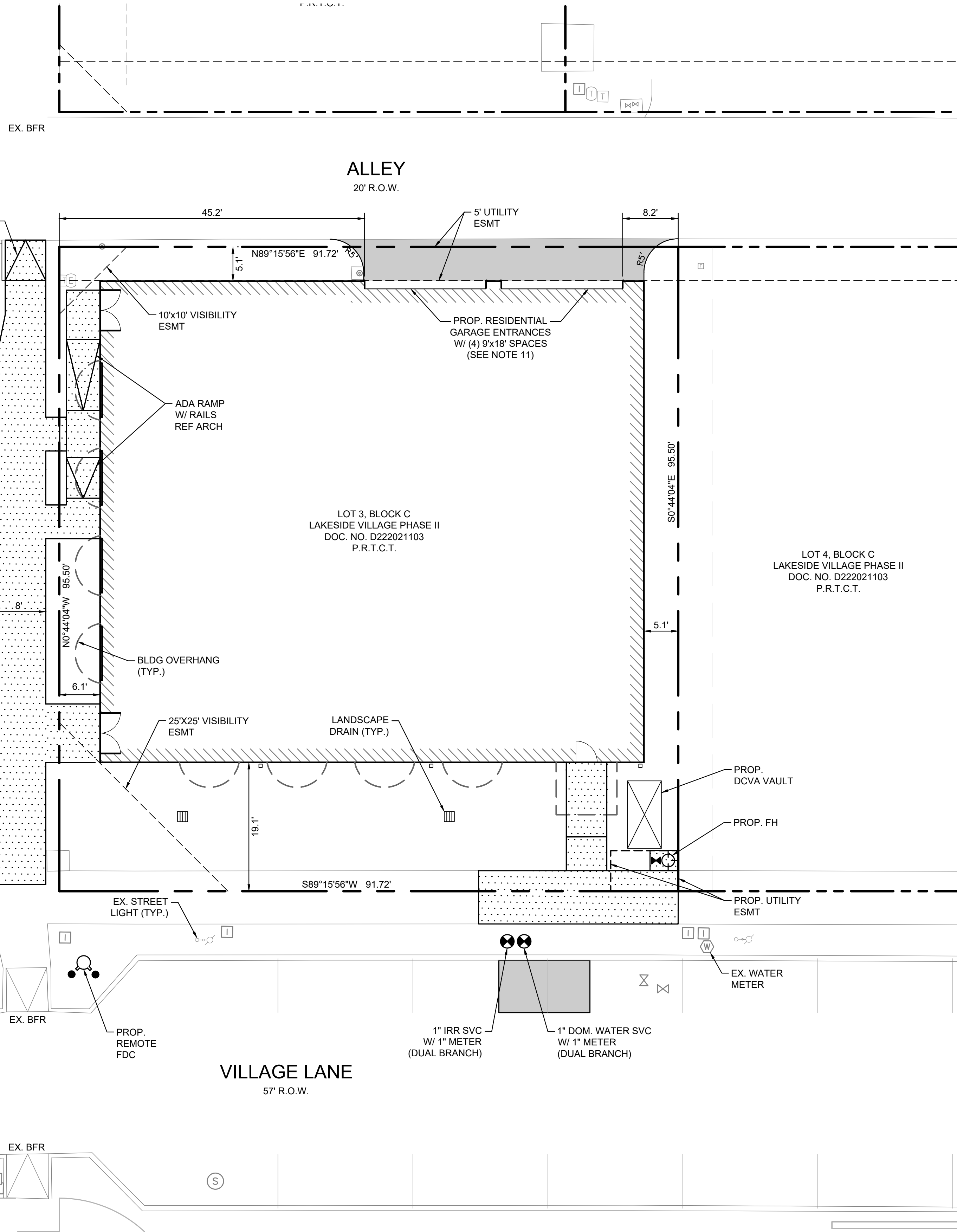
Sincerely,

A handwritten signature in black ink, appearing to read "Clay Cristy".

Clay Cristy, P.E.

Z:\PROJECTS\PROJECTS\2025-047 FORTEZZA NORTH 2370 VILLAGE PKWY FLOWER MOUND\CADD\SHEETS\C1.0 SITE PLAN.DWG CAMERON EHN 01/21/2026

SUNSET BOULEVARD
91' R.O.W.



LEGEND	
	PROPERTY LINE
	PROPOSED CURB & GUTTER
	FULL-DEPTH SAW CUT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED SIDEWALK
EX	EXISTING
PROP	PROPOSED
FH	FIRE HYDRANT
BFR	BARRIER FREE RAMP

- GENERAL SITE PLAN NOTES:**
- ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - OR ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLIMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
 - ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
 - ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
 - DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
 - FLAG POLES MUST COMPLY WITH THE REGULATIONS IN SECTION 86-4 - PROHIBITED SIGNS.
 - ANY LIGHTING DEPICTED ON THE SUBJECT SITE PLAN ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS AT THE TIME OF PERMIT REVIEW.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - RETAIL AND RESIDENTIAL USERS WILL UTILIZE TRASH CARTS THAT ARE TO BE STORED WITHIN THE GARAGE.

SITE DATA TABLE		
PHYSICAL ADDRESS	2370 VILLAGE LANE	
GROSS SITE AREA	0.201 AC (8,755 SF)	
NET SITE AREA	0.201 AC (8,755 SF)	
ZONING	MIXED USE (MU)	
CURRENT USE	VACANT	
LOT COVERAGE DATA		
BUILDING COVERAGE	5,726 SF (65.4%)	
IMPERVIOUS AREA	6,848 SF (78.2%)	
PERVIOUS AREA	1,907 SF (21.8%)	
BUILDING SUMMARY		
BUILDINGS	(1) 4-STORY BUILDING	
PEAK HEIGHT	53' - 6"	
MEAN HEIGHT	52' - 3"	
TOTAL SQUARE FOOTAGE	15,867 SF	
PARKING SUMMARY		
PROPOSED USE	REQUIRED	PROVIDED
OFFICE SPACE (1 SPACE/250 SF) 3,238 SF	14	14 (ON STREET)
RESIDENTIAL (2 SPACE / DWELLING UNIT) 9,195 SF	2	4 (IN GARAGE)
TOTAL PARKING	16	18
ADA SPACES	1	1

MASTER PLAN FEATURES	
LAND USE PLAN	MIXED USE
AREA PLAN	N/A
URBAN DESIGN PLAN	N/A
PARKS AND TRAILS	REGIONAL PARKS, OUTDOOR POOLS, & RECREATION/GYMNASIUM, MULTI-USE TRAILS, & ON-STREET BIKEWAYS
OPEN SPACE PLAN	APPLICABLE
THOROUGHFARE PLAN	N/A
WATER PLAN	LAKESIDE DISTRICT (8" WATER)
WASTEWATER PLAN	LAKESIDE DISTRICT (12" SANITARY)
ECONOMIC PLAN	JOB CREATION

CASE #: SP25-0010	
OWNER: SUNSET LEGACY, LP 909 LAKE CAROLYN PKWY, SUITE 150 IRVING, TX 75039 PH: 469.533.4131	
CONTACT NAME: JIMMY ARCHIE	
APPLICANT/ENGINEER: CLAYMOORE ENGINEERING, INC. 3231 HARWOOD RD BEDFORD, TX 76021 PH: 817.281.0572	
CONTACT NAME: CAMERON EHN	
SURVEYOR: EAGLE SURVEYING, LLC 222 S ELM STREET, SUITE 200 DENTON, TX 76201 PH: 940.222.3009	
CONTACT NAME: DAVID JETT	
LEGAL DESCRIPTION: LOT 3, BLOCK C LAKESIDE VILLAGE PH II	
CITY: FLOWER MOUND	STATE: TEXAS
COUNTY: TARRANT	ABSTRACT NO. 1252

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 3231 HARWOOD ROAD
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOORE.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 Engineer: CAMERON EHN
 P.E. No. 129176, Date 01/21/2026

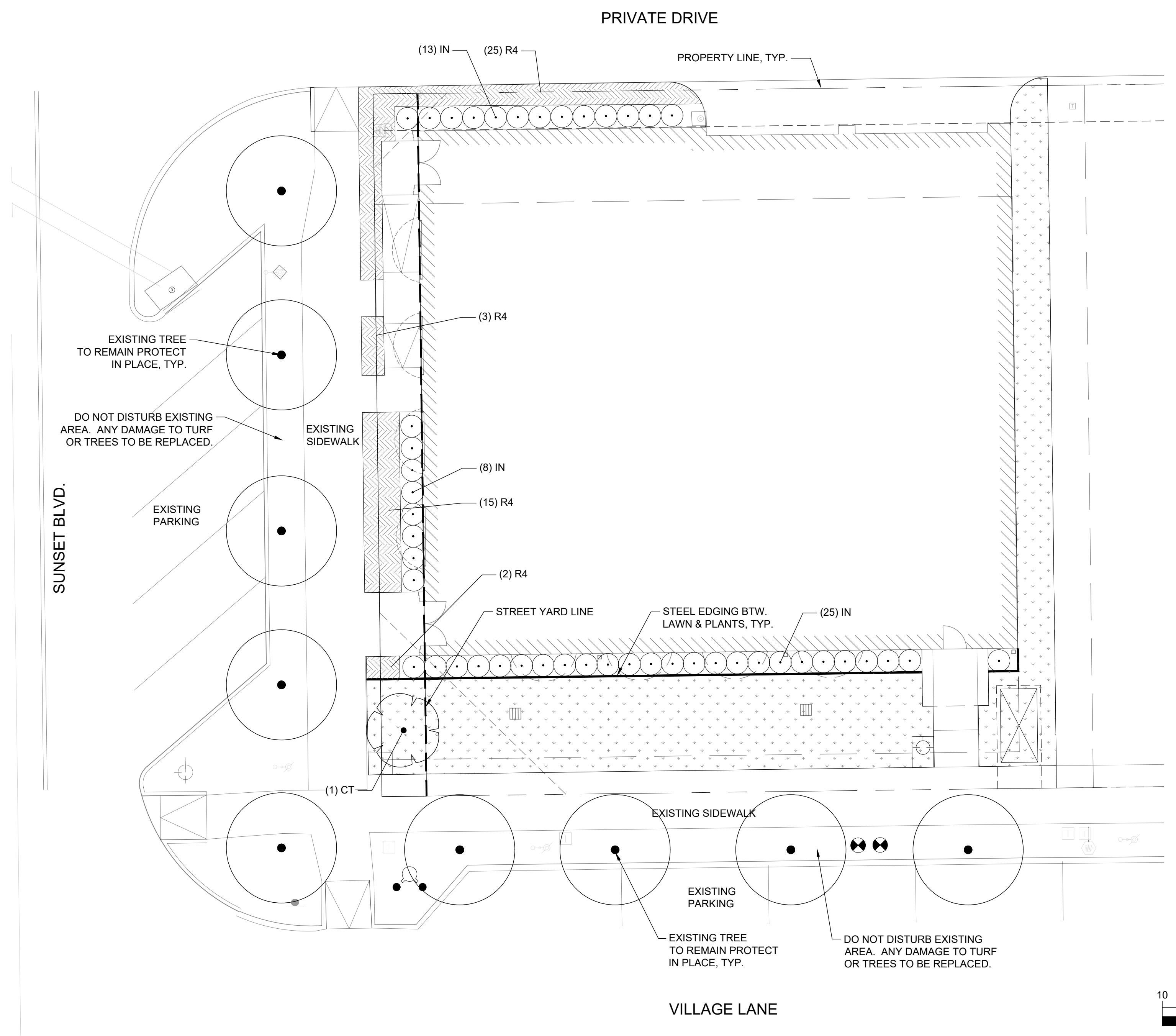
FORTEZZA NORTH
FLOWER MOUND, TEXAS

NO.	DATE	REVISION	BY

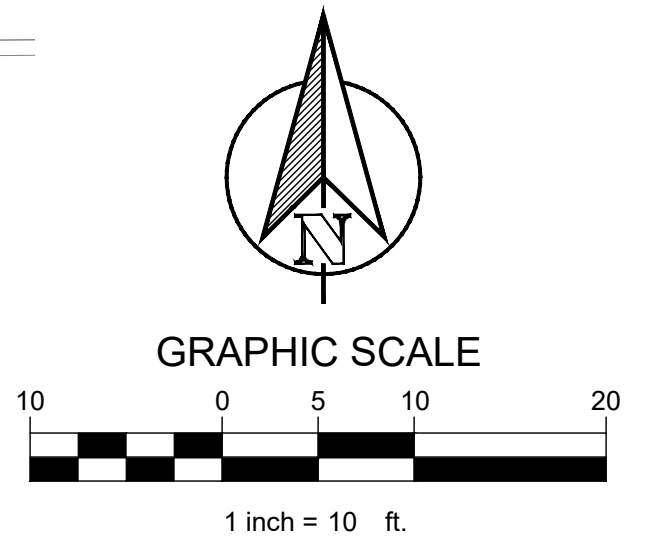
SITE PLAN

DESIGN:	CTE
DRAWN:	TJK
CHECKED:	CLC
DATE:	01/21/2026
SHEET	
C1.0	
File No.	2025-047

7/17/2025 JEFFREY_LUERSP:\SHARED\PROJECTS\2025\FORTEZZA NORTH - FLOWER MOUND TX - 2370 VILLAGE LANE\FORTEZZA NORTH - 2370 VILLAGE LANE 2026-01-21.DWG



RPZ ENCLOSURE SHALL COMPLEMENT THE COLOR OF THE MAIN BUILDING OR BE SCREENED WITH SHRUBS.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
EXISTING TREES						
	EX	Existing Tree Street Buffer Tree	---		9	
SMALL TREES						
	CT	Cercis canadensis texensis / Texas Redbud Street Yard Tree	3" Cal.	Cont. or B&B	1	
SHRUBS						
	IN	Ilex vomitoria 'Nana' / Dwarf Yaupon Min. 18" Ht.	5 gal.	Cont.	46	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
GROUND COVERS						
	R4	Rosa x 'Meidrifora' / Coral Drift® Groundcover Rose	3 gal.	Cont.	36" o.c.	45
SOD/SEED						
	TRF	Cynodon dactylon x transvaalensis 'DT-1' / TiffTuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces	sod			1,518 sf

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE NOTES, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FROM THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

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REGISTERED LANDSCAPE ARCHITECT
STEPHEN W. SALES
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STATE OF TEXAS
01/21/2026

FORTEZZA NORTH
FLOWER MOUND, TX

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PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUSTING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CRACKED LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS BEFORE PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DISEMSEM; NOT EXCEEDING 0.5 PERCENT PERMANENT AMMONIA-NITROGEN; AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
1. STAKES: 1" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS, ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.**
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS**
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGINGS, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- D. TREE PLANTING**
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES: TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES: THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER: GUY AS NEEDED
 - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - e. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

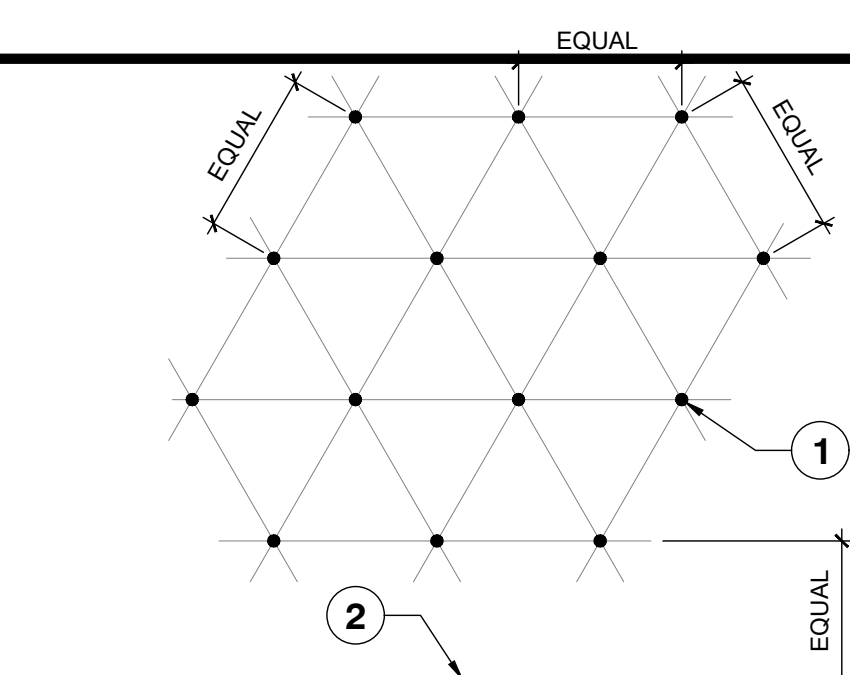
- 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).**
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING**
1. DIG THE PLANTING HOLE TO THE WIDTH AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO THE ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

- G. MULCH**
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITATE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE**
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

- J. LANDSCAPE MAINTENANCE**
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RE-STAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDAS, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

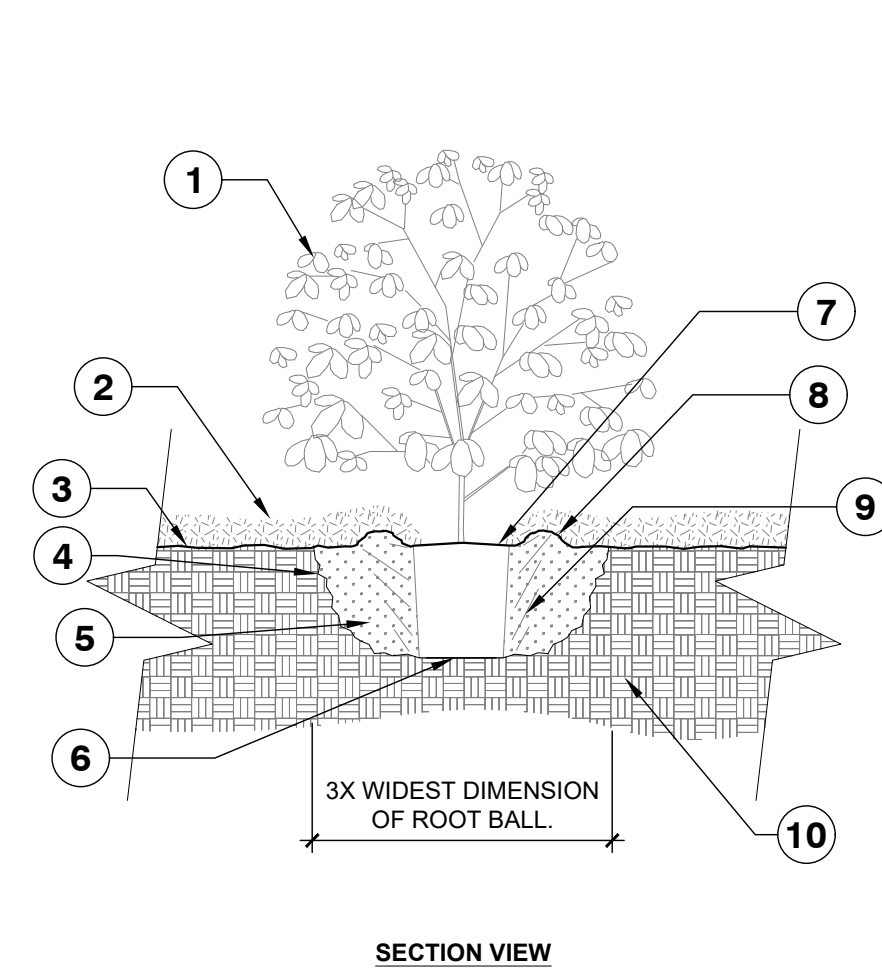
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

- 2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

A TRIANGULAR PLANT SPACING

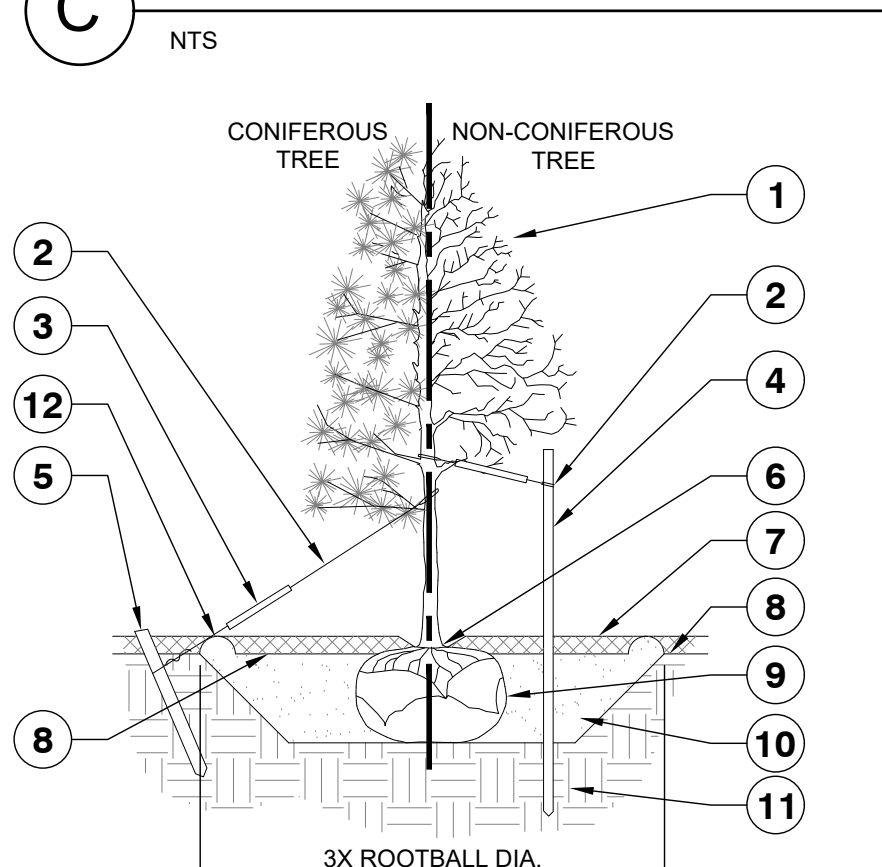
NTS 000-PL-09



NOTES:
1. SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

C SHRUB PLANTING

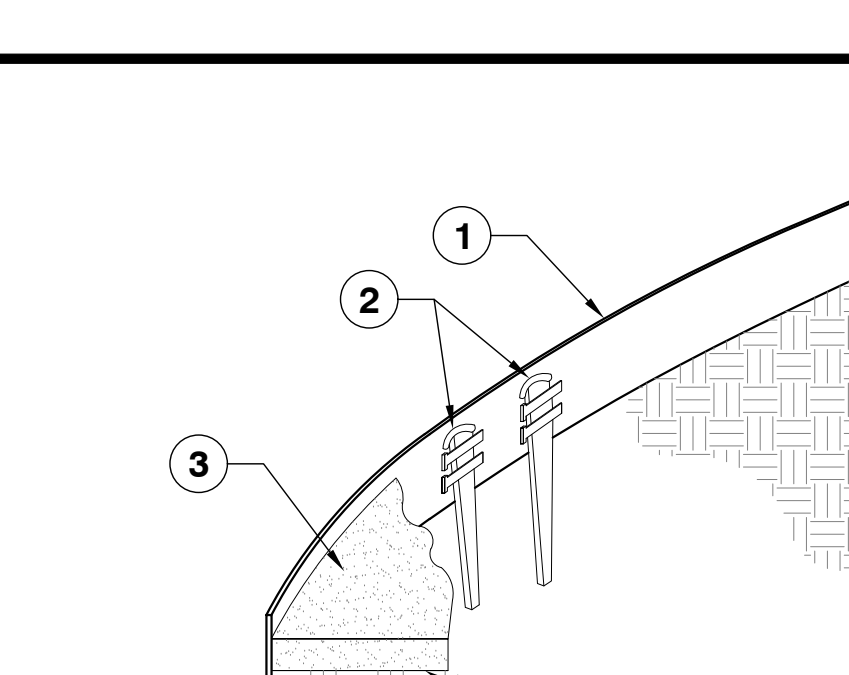
NTS 000-PL-02



- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS REQUIRE STAKES TO KEEP TREES UPRIGHT. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.
6. FOR TREES 36\"/>

E TREE PLANTING

NTS 000-PL-06



- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

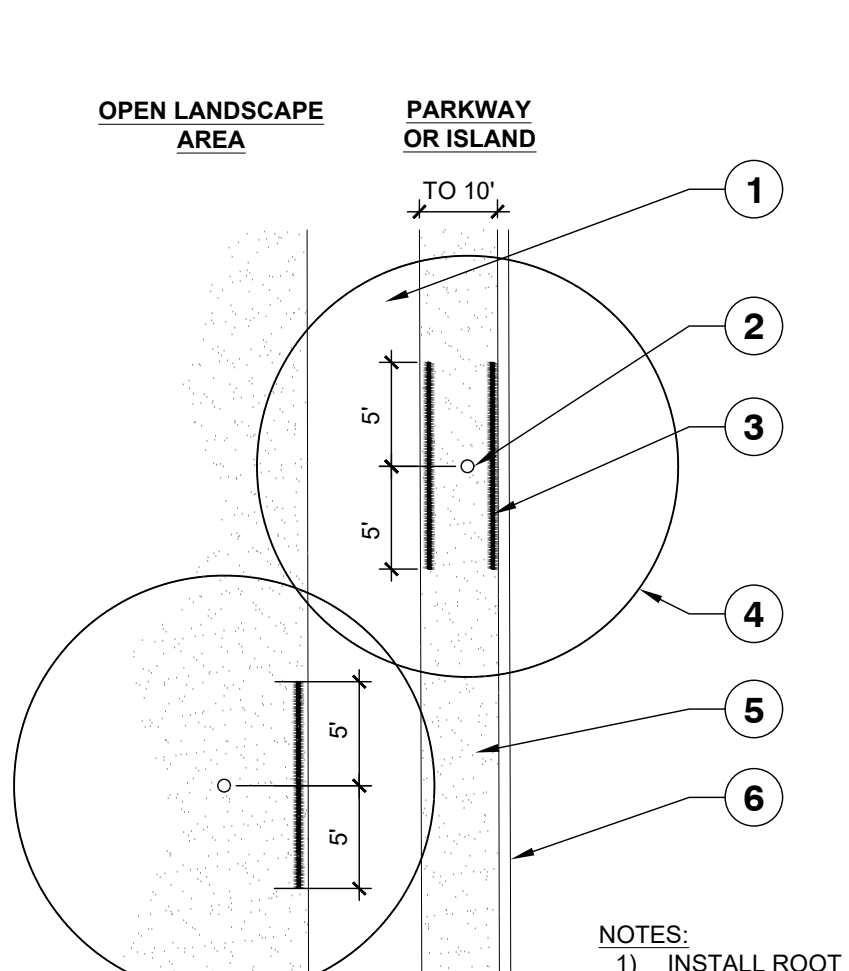
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
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15"	1.35		

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EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
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STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

B STEEL EDGING

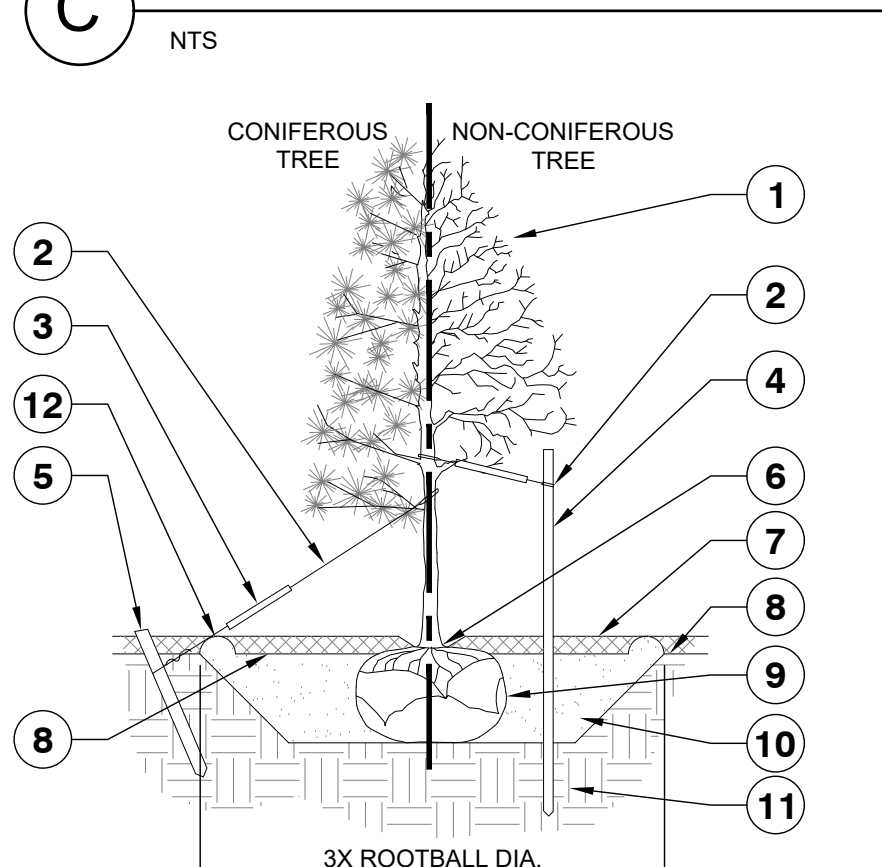
NTS 000-SU-12



- NOTES:
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

D ROOT BARRIER - PLAN VIEW

NTS 000-PL-12



- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
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6. FOR TREES 36\"/>

E TREE PLANTING

NTS 000-PL-06

TEXAS REGISTRATION #14199

GLAY MOORE ENGINEERING

3201 HARWOOD ROAD
BECKHORN, TX 75620
PHONE: 917.981.0072
WWW.GLAYMOORE.COM

REGISTERED LANDSCAPE ARCHITECT
STEPHEN W. SALES
STATE OF TEXAS
3470
01/21/2026

FORTEZZA NORTH
FLOWER MOUND, TX

NO.	DATE	REVISION	BY

LANDSCAPE DETAILS AND SPECIFICATIONS

DESIGN:	JML
DRAWN:	JML
CHECKED:	SS
DATE:	01/21/2026

LP-2

File No.

7/17/2025 JEFFREY LUERSP\SHARED\PROJECTS\2025\FORTEZZA NORTH - FLOWER MOUND TX - 2370 VILLAGE LANE\2026-01-21.DWG

SECOND FLOOR TOTAL	4732 SF
THIRD FLOOR TOTAL	4994 SF
TOTAL	9726 SF

Fortezza North

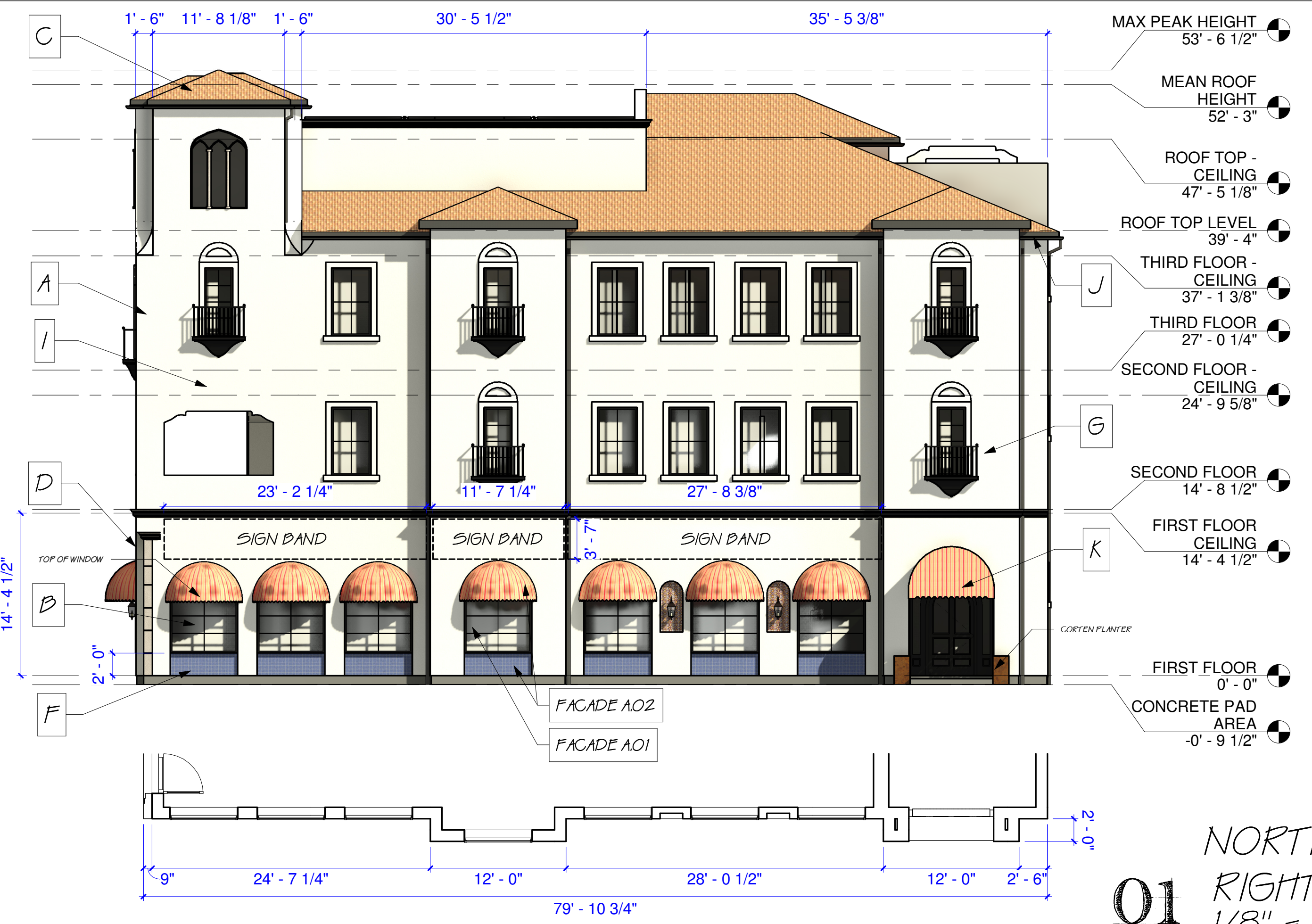
Tag & Associates, LLC expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tag & Associates, LLC. Any reproduction, distribution, or use of these plans and drawings without the prior written permission of Tag & Associates, LLC is prohibited. The user of these plans and drawings is to be held responsible for any discrepancies and/or omissions. The user of these plans and drawings is to be held responsible for any discrepancies and/or omissions. The user of these plans and drawings is to be held responsible for any discrepancies and/or omissions. The user of these plans and drawings is to be held responsible for any discrepancies and/or omissions.

2370 VILLAGE
PKWY, FLOWER
MOUND, TX 76051

FINISH
ELEVATIONS

A10.05

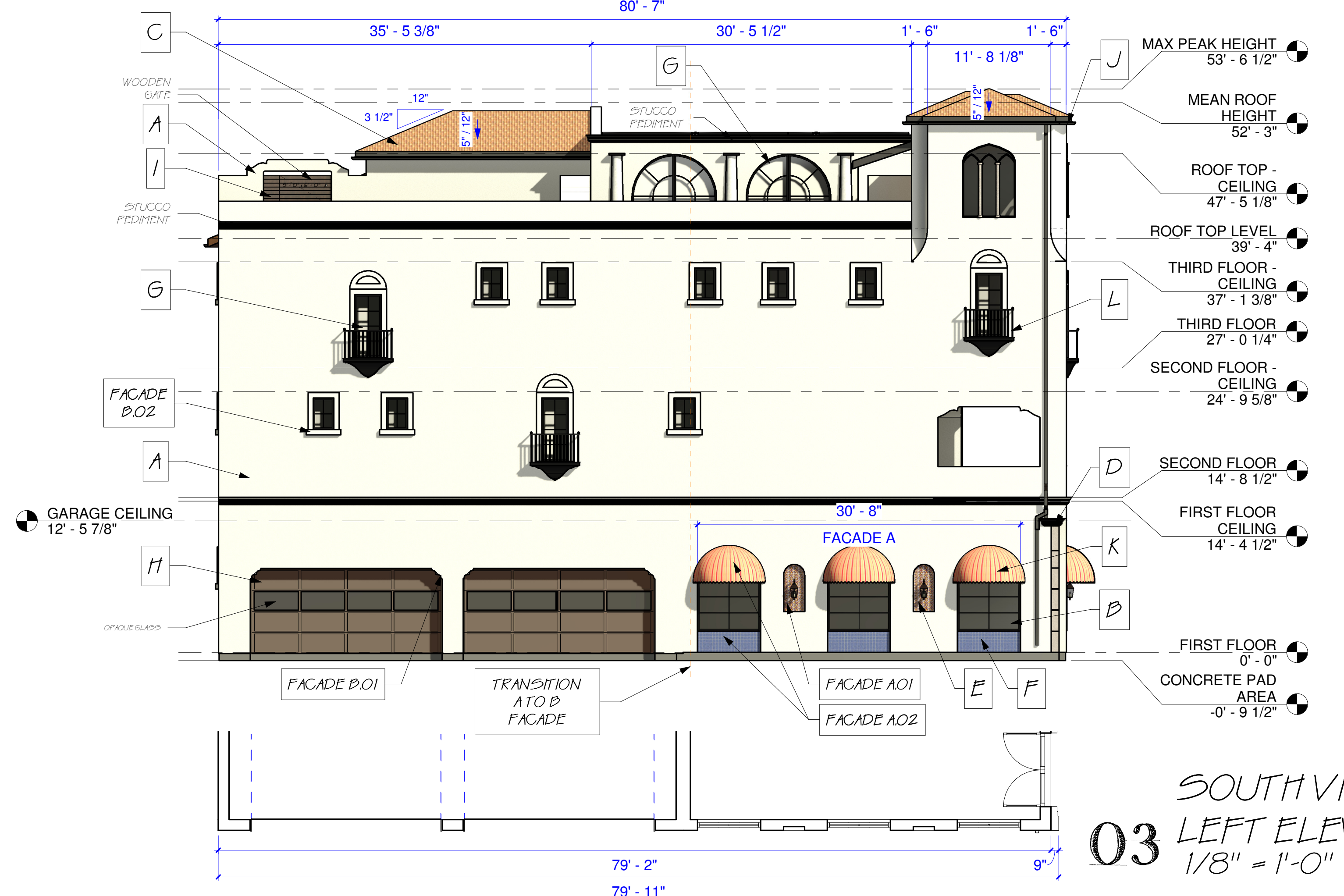
Scale 1/8" = 1'-0"



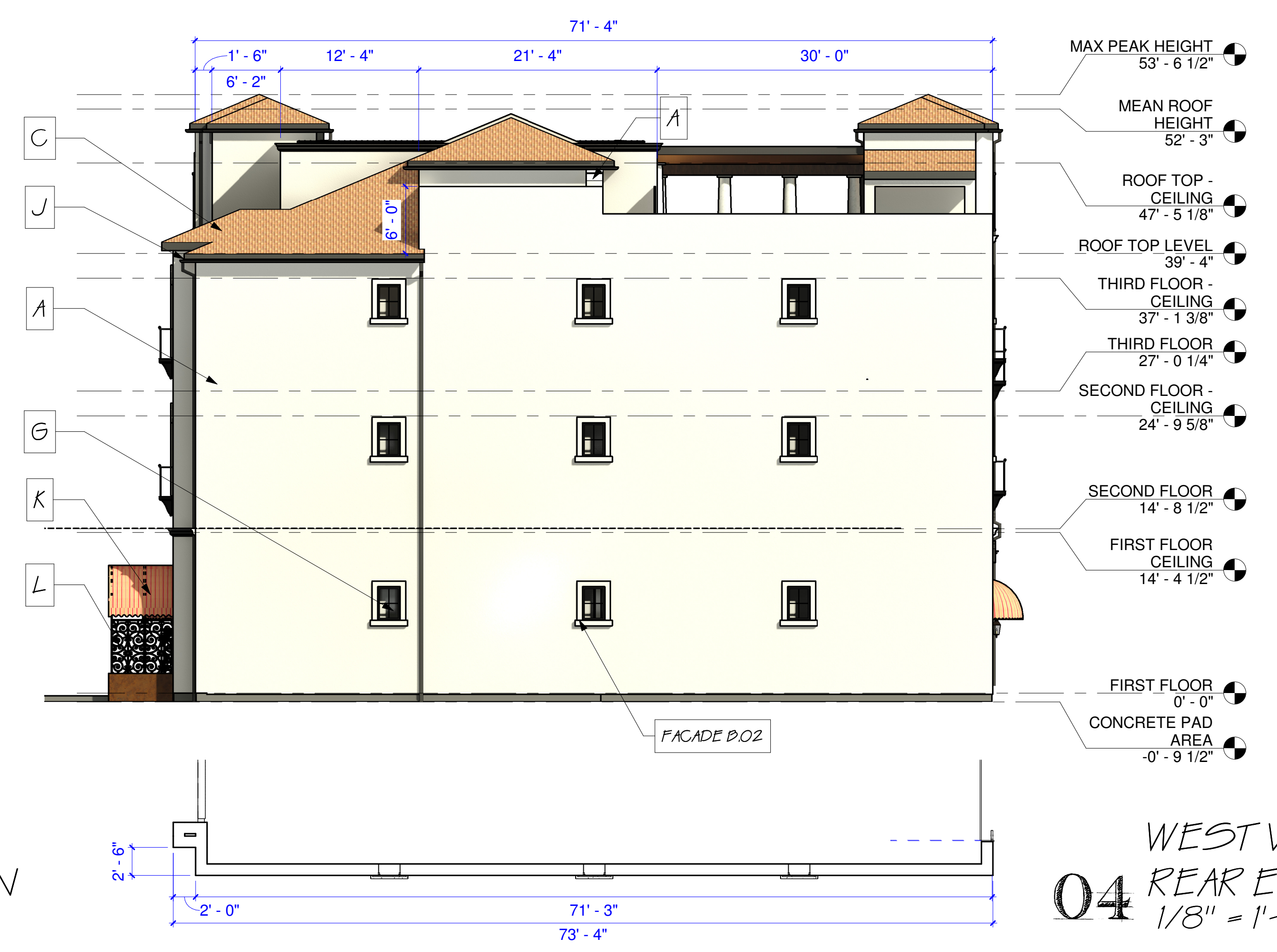
**01 NORTH VIEW -
RIGHT ELEVATION**
1/8" = 1'-0"



**02 EAST VIEW -
FRONT ELEVATION**
1/8" = 1'-0"



**03 SOUTH VIEW -
LEFT ELEVATION**
1/8" = 1'-0"



**04 WEST VIEW -
REAR ELEVATION**
1/8" = 1'-0"

EXTERIOR FINISH LEGEND *	
A	ALABASTER STUCCO
B	GLAZING
C	CONCRETE ROOF TILE
D	CAST STONE
E	DECORATIVE CERAMIC TILE A
F	DECORATIVE CERAMIC TILE B
G	WINDOW & DOOR
H	ALUMINUM GARAGE DOOR
I	WOOD
J	GUTTER / METAL FLASHING
K	AWNING
L	WROUGHT IRON

* MATERIAL TO MATCH 2910 LAKESIDE VILLAGE BLVD, FLOWER MOUND, TX 75022

	FACADE MATERIAL CALCULATIONS								WINDOW / DOOR AREA CALCULATIONS				
	NORTH	%	EAST	%	SOUTH	%	WEST	%	FIRST FLOOR	AREA BETWEEN 3' AND 9' ABOVE F.F.	EAST VIEW SUNSET PLVD.	NORTH VIEW VILLAGE LN.	
TOTAL FACADE AREA	3293	100.00%	3418	100.00%	3759	100.00%	3193	100.00%			428	479	
DOOR AND WINDOW AREA	757	22.98%	1048	30.66%	438	11.66%	54	1.70%			258	291	
FACADE AREA MINUS DOORS AND WINDOWS	2536	77.02%	2370	69.34%	3321	88.34%	3139	98.30%			PERCENTAGE (BETWEEN 60% & 75%)	60.02%	60.75%
UNRESTRICTED MATERIALS	2536	100%	2370	100%	3321	100%	3139	100%	SECOND FLOOR	AREA BETWEEN 3' AND 9' ABOVE F.F.	428	483	
STUCCO AREA	2425		2154		3258		3139			DOOR AND WINDOW AREA	237	183	
TILE	101		94		53		0			PERCENTAGE (BETWEEN 30% & 60%)	55.37%	38.71%	
CAST STONE	10		122		10		0		THIRD FLOOR	AREA BETWEEN 3' AND 9' ABOVE F.F.	428	483	
										DOOR AND WINDOW AREA	134	150	
										PERCENTAGE (BETWEEN 30% & 60%)	31.30%	31.05%	
									FOURTH FLOOR	AREA BETWEEN 3' AND 9' ABOVE F.F.	137	70	
										DOOR AND WINDOW AREA	55	27	
										PERCENTAGE (BETWEEN 30% & 60%)	40.14%	38.57%	

- NOTES:**
- IF GUTTERS AND DOWNSPOUTS ARE TO BE VISIBLE ON THE 'A' FACADE, THEY MUST BE INCORPORATED INTO THE FACADE DESIGN
 - ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE EXTERIOR OF THE BUILDING
 - FIRST FLOOR TO BE OCCUPIED AS OFFICE SPACE, THEREFORE DISPLAY WINDOWS ARE NOT REQUIRED. NO DISPLAY WINDOWS ARE INTENDED TO BE PART OF THE BUILDING.
 - RTUs ARE CONCEALED. THEY ARE NOT VISIBLE ON ANY SIDE.
 - ROOFING IS COMPLIANT WITH ROOF REQUIREMENTS ON PAGE 95 OF THE LAKESIDE DFW ORDINANCE AS AMENDED.
 - BALCONY DETAILS SHOW COMPLIANCE WITH THE BALCONY REGULATIONS ON PAGE 94 OF THE LAKESIDE DFW ORDINANCE AS AMENDED.

NORTH VIEW (VILLAGE LN.)
FLOOR 1: 60% & 75% GLAZING REQUIRED BETWEEN 3' - 9' AFF., 60.75% PROVIDED
FLOOR 2-4: 30% & 60% GLAZING REQUIRED BETWEEN 3' - 9' AFF., 34.14% PROVIDED



PLANNING & ZONING COMMISSION AGENDA J.1. REGULAR ITEM(S)

DATE: January 26, 2026
FROM: Codie Hay, Planner
ITEM: Consider a request for a Site Plan (SP25-0021 - Marcus High School Locker Room Addition) to develop an additional locker room with a waiver to the roof pitch requirement pursuant to Section 98-1163, Exterior wall construction for nonresidential buildings, of the Code of Ordinances. The property is generally located east of Long Prairie Road and north of Dixon Lane.

BACKGROUND:

I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There is an exception request to the Town's regulations, which necessitates special consideration by the Commission (see analysis below).

The exception request will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to expand a non-residential building on Lot 1, Block A of the Marcus Ninth Grade Center Addition. The subject property is currently developed with an Athletic Field Complex for Marcus High School and contains approximately 28.947 acres. The property is zoned Agricultural (A) zoning district.

The site plan proposes the addition of a 2,266 square-foot, one-story expansion to an existing building for locker rooms. The proposed use is accessory to the main existing use. As a part of the site plan expansion, the applicant is requesting an exception to roof pitch standards (see Section III below).

The main use requires 264 parking spaces calculated at the ratio of one space per five seats in stadium seating. The applicant is proposing to remove a total of three parking spaces for the expansion and converting two standard parking spaces in to accessible spaces. Overall, the site plan provides for 244 parking spaces on site which is within the Town's allowable 20 percent parking deviation.

Access to the site will be from Dixon Lane. The landscape plan depicts the necessary street buffer, street yard, and parking lot trees that comply with the Town's landscaping requirements.

The proposed elevations utilize a combination of brick which complies with the Town's Urban Design Plan and matches materials used on the existing buildin.

III. EXCEPTIONS

A. Architectural waiver to Section 98-1163, Exterior wall construction for nonresidential buildings

Roof Pitch:

Roofs and Parapets Roofs of non-residential buildings 15,000 square feet or less are to reflect hip and/or gable styles that replicate residential scale and pitch. In designing a residential scaled roof for non-residential buildings 15,000 square feet or less, the goal shall be a roof that provides for characteristic roof pitches/slopes of residential homes in the Town of Flower Mound (6/12 to 9/12 slope) and high steeply-pitched and/or expansive roof pitches/slopes shall be avoided. The Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver to this request for individual projects. Such requests should only be contemplated in the areas that are not adjacent to residences, are part of a large-scale development, and provide architectural detail to soften the appearance of large, tall vertical walls.

The proposed locker room addition is less than 15,000 square feet and requires a pitched roof building design. The pitched roof that is being provided has a 4/12 slope, which falls outside the parameters established in the Urban Design Plan, necessitating the waiver request. The applicant has indicated in the letter of intent that the proposed pitch matches the roof pitch on the existing building.

BOARD REVIEW/CITIZEN FEEDBACK: N/A

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: N/A

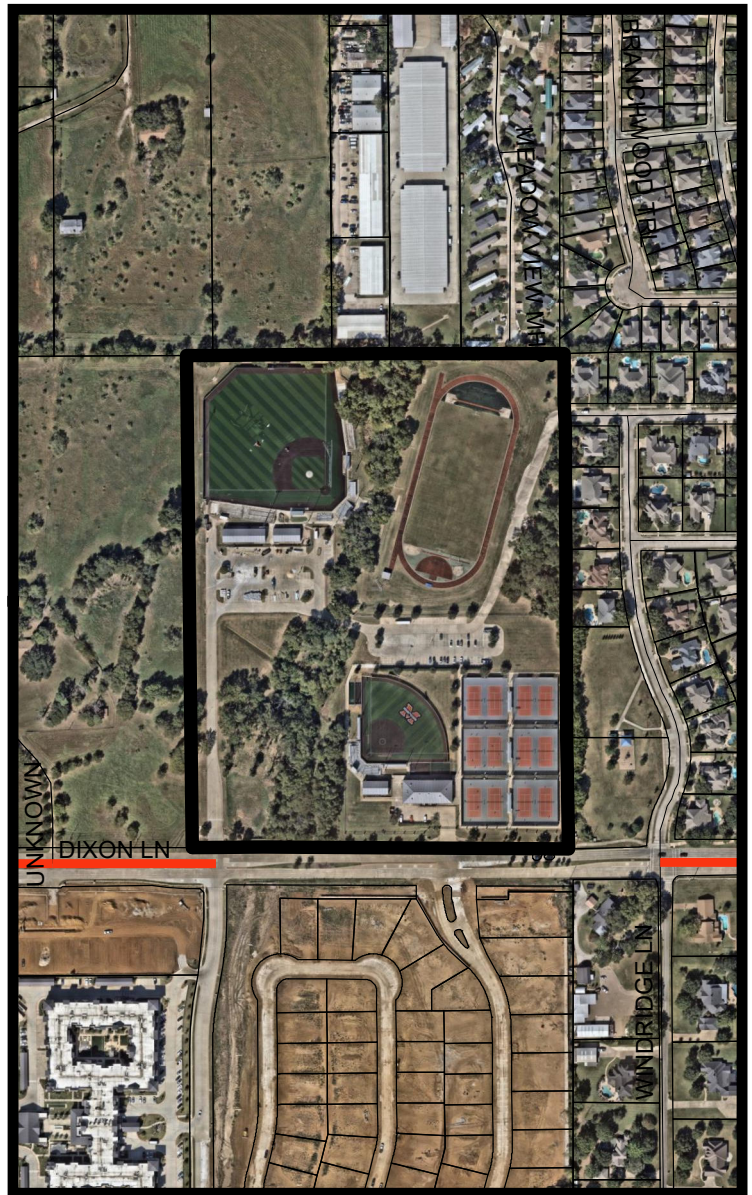
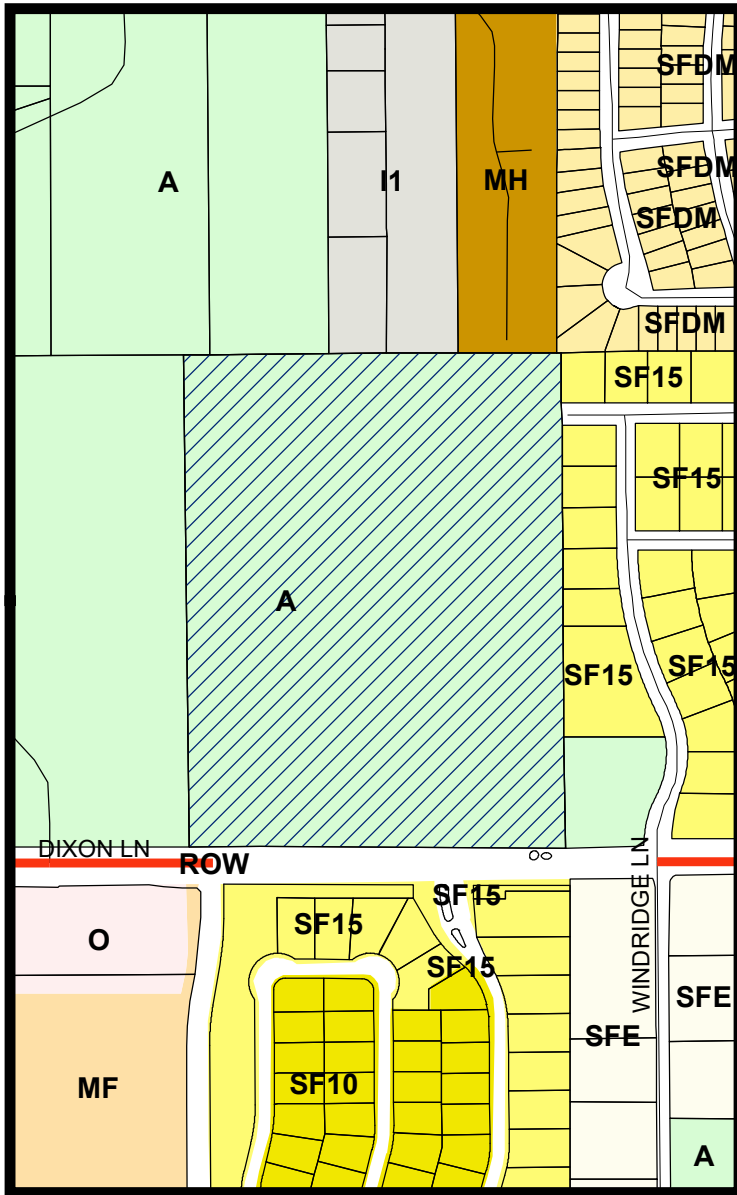
ATTACHMENTS:

1. Zoning & Aerial Map
2. Letter of Intent
3. Site Plan Package

DRAFT MOTION: Move to approve as presented in the agenda caption.

Vicinity Map

SP25-0021: Marcus High School Locker Room Addition



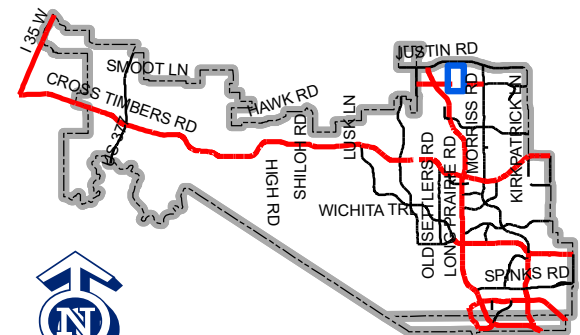
LEGEND

- Agriculture
- Industrial 1
- Mobile Home
- Multi-Family
- Office
- Single Family 10
- Single Family 15
- Single Family Density Medium
- Single Family Estate

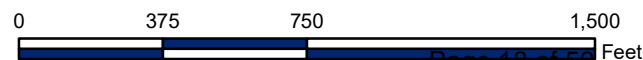
Subject Property

Visit www.fmdevmap.com to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location





4400 State Highway 121
Suite 800
Lewisville, TX 75056
972. 436. 9712

VLK25003

January 19, 2026

Ms. Lexin Murphy, AICP
Director of Development Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028
Lexin.Murphy@flowermound.gov

RE: Marcus High School Locker Rooms – Site Plan Application – Letter of Intent

Dear Lexin,

Please accept this letter, on behalf of our client, as an explanation of the proposed application. We are submitting, for review and approval, a Site Plan (SP) application for the Marcus High School Baseball and Softball Locker Room Facility, and institutional athletic complex located at 2800 Dixon Lanes, Flower Mound, Denton County, Texas.

As part of the 2023 LISD Bond package, multiple campuses across the district will undergo refreshes including the expansion of the current concessions and locker room facility serving the baseball and softball programs for Marcus High Scholl. The proposed development includes a roughly 2,270 square foot expansion to the existing concessions & locker room building equipped with restrooms and showers, relocated ADA accessible stalls, and new sidewalk pavement and access.

The locker room expansion requires the removal of two (2) existing ADA parking stalls and one (1) standard parking stall for a loading zone. These ADA stalls have been relocated within close proximity while maintaining an accessible route to both the locker rooms and existing concessions buildings. This reduction in parking spaces is within the 20% allowable reduction of required parking on site as tabulated on the Site Plan sheet that accompanies this Site Plan submittal. The final total site parking spots is 244 spaces. In addition to this, 1 parking lot tree is being removed and replaced with a new tree meeting the town's requirements.

Lastly, we are requesting an exception for a roof pitch waiver. The proposed addition matches the existing concession building's pitch.

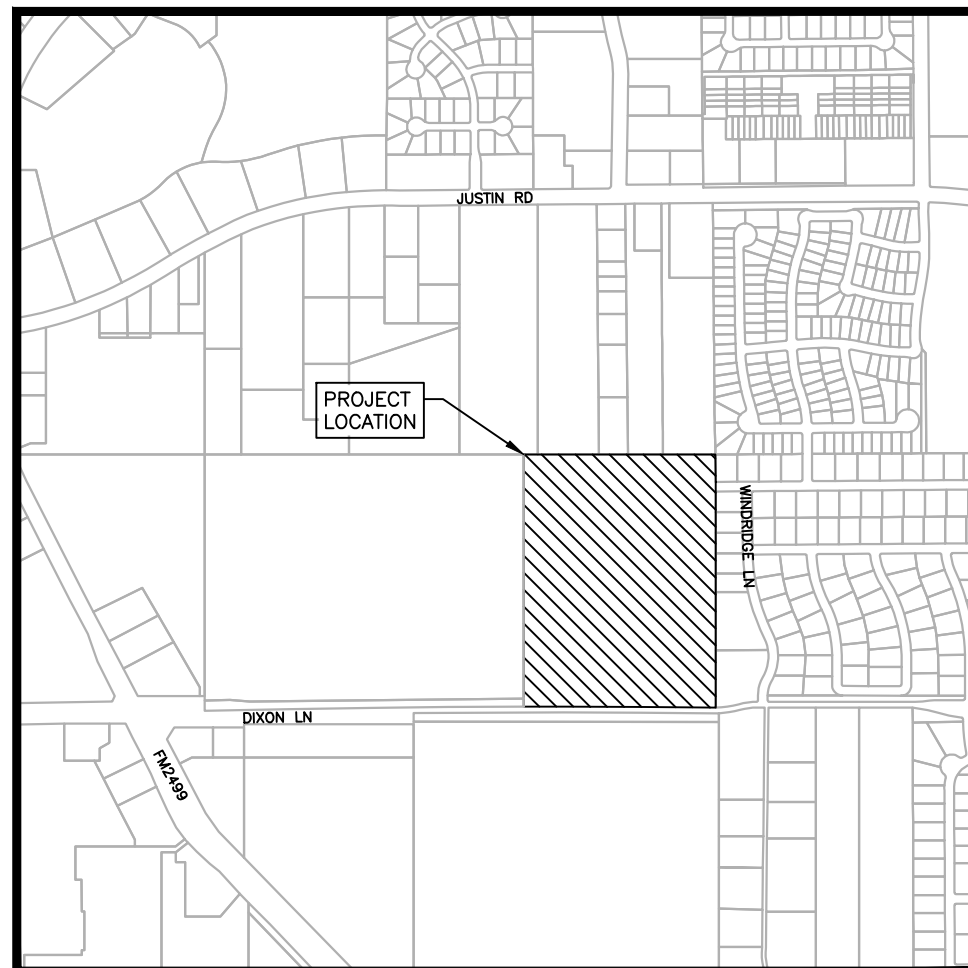
Please feel free to contact me if you have any questions or comments regarding this submittal.

Sincerely,

A handwritten signature in cursive script that reads 'Nick Welch'.

Nick Welch
Project Manager, Civil / Site Design
welch@mcadamsco.com | 980.221.2356

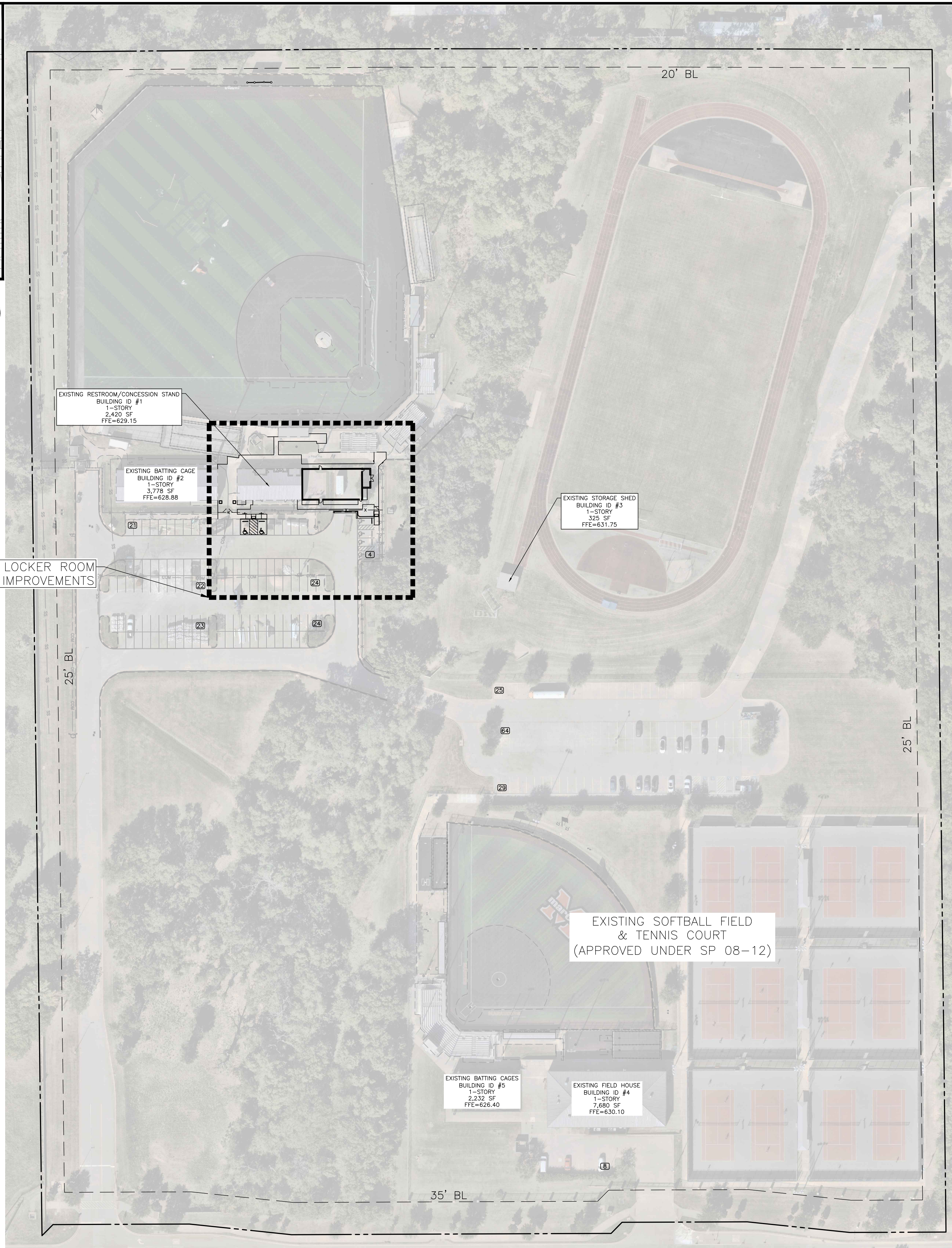




VICINITY MAP
1" = 1000'



PROPOSED LOCKER ROOM
ADDITION AND IMPROVEMENTS



EXISTING RESTROOM/CONCESSION STAND
BUILDING ID #1
1-STORY
2,420 SF
FFE=629.15

EXISTING BATTING CAGE
BUILDING ID #2
1-STORY
3,778 SF
FFE=628.88

EXISTING STORAGE SHED
BUILDING ID #3
1-STORY
325 SF
FFE=631.75

EXISTING SOFTBALL FIELD
& TENNIS COURT
(APPROVED UNDER SP 08-12)

EXISTING BATTING CAGES
BUILDING ID #5
1-STORY
2,232 SF
FFE=626.40

EXISTING FIELD HOUSE
BUILDING ID #4
1-STORY
7,680 SF
FFE=630.10

BENCHMARKS:

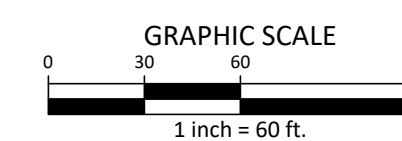
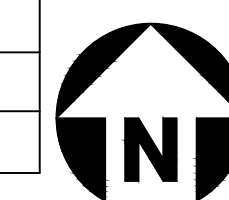
TBM1 - 600 SET
NORTHING: 7075757.55 EASTING: 2405615.89 ELEVATION: 628.50
TBM2 - 600 SET
NORTHING: 7075438.73 EASTING: 2406029.86 ELEVATION: 623.38
*COORDINATES SHOWN HEREIN ARE OF SURFACE VALUE. APPLY A SCALE FACTOR OF 0.99985097884 FOR GRID VALUES.

GENERAL NOTES:

- ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
- OR ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
- ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
- ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
- DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
- DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
- SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
- FLAG POLES MUST COMPLY WITH THE REGULATIONS IN SECTION 86-4. - PROHIBITED SIGNS.
- ANY LIGHTING DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS AT THE TIME OF PERMIT REVIEW.
- NO LUMINAIRE SHALL BE LOCATED WITHIN THE COMPATIBILITY BUFFER AREA.

FEMA FIRM PANEL 48121C0530G, ZONE X - AREA OF MINIMAL FLOOD HAZARD

SITE DATA TABLE	
PHYSICAL ADDRESS	2800 DIXON LANE
GROSS SITE AREA	28.947 ACRES/1,260,931 SQ FT
NET SITE AREA	28.947 ACRES/1,260,931 SQ FT
ZONING	A - AGRICULTURAL
CURRENT USE	ATHLETIC FIELD COMPLEX
LOT COVERAGE DATA	
BUILDING COVERAGE	18,701 SQ FT 1.48%
IMPERVIOUS AREA	309,597 SQ FT 24.55%
PERVIOUS AREA	951,334 SQ FT 75.45%
PARKING SUMMARY	
REQUIRED PARKING BASEBALL STADIUM-720 SEATS, SOFTBALL STADIUM-600 SEATS 1 SPACE PER 5 SEATS	264 SPACES
REQUIRED PARKING (20% REDUCTION)	212 SPACES
EXISTING PARKING (TOTAL)	247 SPACES
EXISTING ACCESSIBLE SPACES	12 SPACES
REMOVED STANDARD SPACES	1 SPACE
REMOVED (& REPLACED) ACCESSIBLE SPACES	2 SPACES
PROVIDED PARKING (TOTAL)	244
PROVIDED ACCESSIBLE SPACES	12 SPACES
BUILDING DATA	
BUILDING ID #1: EXISTING RESTROOM/CONCESSION STAND	2,420 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	15'-11 7/8"
MEAN HEIGHT	9'-4"
BUILDING ID #2: EXISTING BATTING CAGE	3,778 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	20'-4"
MEAN HEIGHT	17'-2"
BUILDING ID #3: EXISTING STORAGE SHED	325 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	9'-4"
MEAN HEIGHT	9'-2"
BUILDING ID #4: EXISTING FIELD HOUSE	7,680 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	26'-0 3/4"
MEAN HEIGHT	20'-10 3/4"
BUILDING ID #5: EXISTING BATTING CAGES	2,232 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	21'-0 3/8"
MEAN HEIGHT	20'-10 3/4"
PROPOSED BUILDING SQUARE FOOTAGE	2,266 SQ FT
# OF STORIES	1 STORY
PEAK HEIGHT	15'-11 7/8"
MEAN HEIGHT	9'-4"
MASTER PLAN FEATURES	
LAND USE PLAN	LOW DENSITY
AREA PLAN	N/A
URBAN DESIGN PLAN	PROPOSED STRUCTURE WILL BE IN COMPLIANCE WITH THE URBAN DESIGN STANDARDS
MEDIAN & ROW GUIDELINES	N/A
PARKS AND TRAILS	N/A
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	DIXON LANE - URBAN MINOR ARTERIAL
WATER PLAN	LONG PRAIRIE DISTRICT-12" ON DIXON LANE
WASTEWATER PLAN	LONG PRAIRIE SERVICE AREA-12" ON LONG PRAIRIE ROAD
ECONOMIC IMPACT	N/A



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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LEWISVILLE, TX 75067
469-713-5200
RANDY FITE



**MARCUS HS LOCKER
ROOM ADDITION
SITE PLAN
2800 DIXON LANE
FLOWER MOUND, TEXAS 75028**

REVISIONS

NO.	DATE	DESCRIPTION
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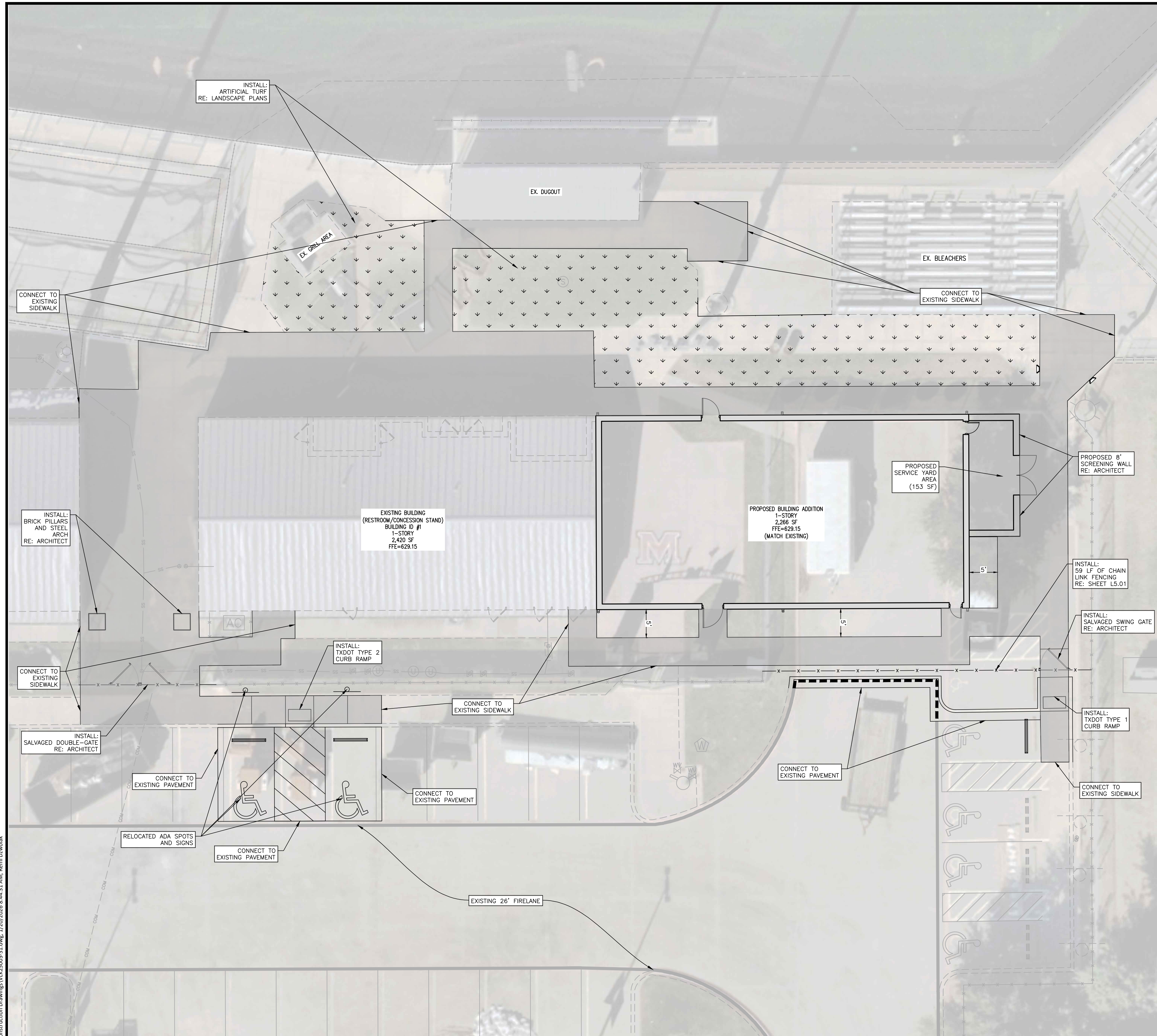
PLAN INFORMATION

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FILENAME VLK25003-S1
CHECKED BY JB
DRAWN BY RD
SCALE 1" = 60'
DATE 01/19/2026

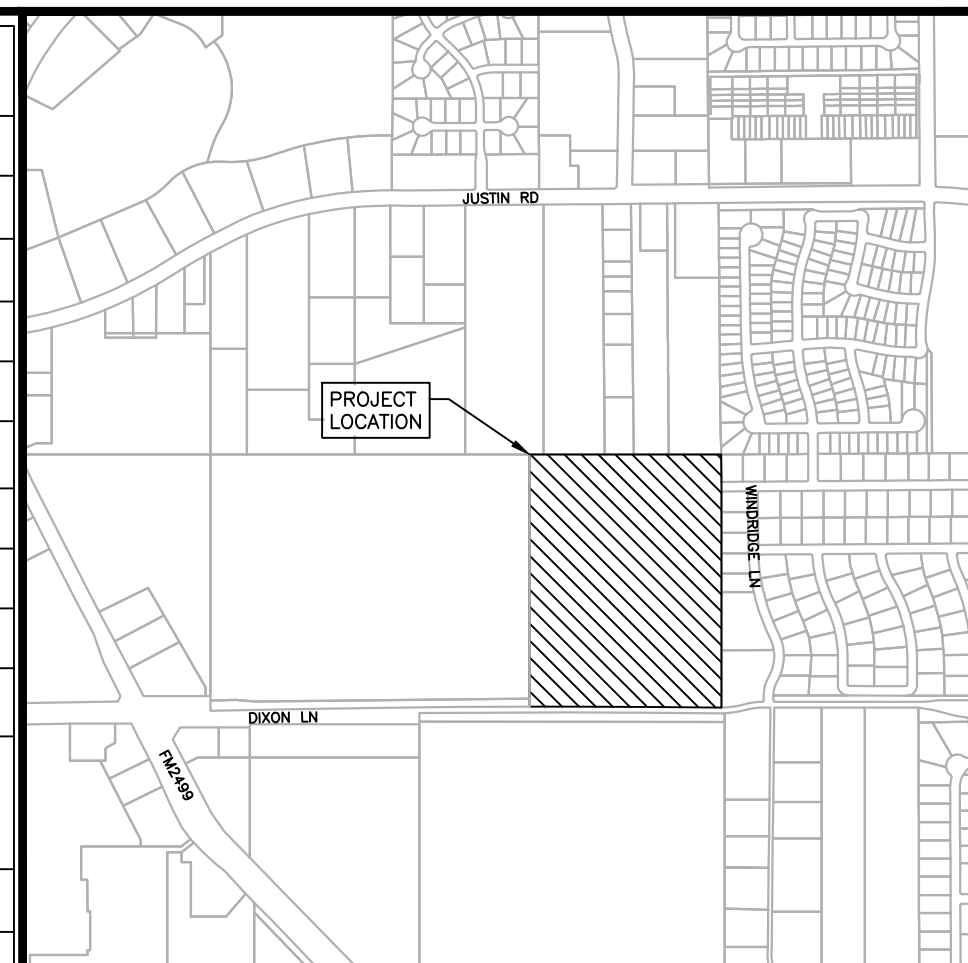
SHEET

OVERALL SITE PLAN

C2.00



SITE DATA TABLE	
PHYSICAL ADDRESS	2800 DIXON LANE
GROSS SITE AREA	28.947 ACRES/1,260,931 SQ FT
NET SITE AREA	28.947 ACRES/1,260,931 SQ FT
ZONING	A - AGRICULTURAL
CURRENT USE	ATHLETIC FIELD COMPLEX
LOT COVERAGE DATA	
BUILDING COVERAGE	18,701 SQ FT 1.48%
IMPERVIOUS AREA	309,597 SQ FT 24.55%
PERVIOUS AREA	951,334 SQ FT 75.45%
PARKING SUMMARY	
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URBAN DESIGN PLAN	PROPOSED STRUCTURE WILL BE IN COMPLIANCE WITH THE URBAN DESIGN STANDARDS
MEDIAN & ROW GUIDELINES	N/A
PARKS AND TRAILS	N/A
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	DIXON LANE - URBAN MINOR ARTERIAL
WATER PLAN	LONG PRAIRIE DISTRICT-12" ON DIXON LANE
WASTEWATER PLAN	LONG PRAIRIE SERVICE AREA-12" ON LONG PRAIRIE ROAD
ECONOMIC IMPACT	N/A



VICINITY MAP
1" = 1000'

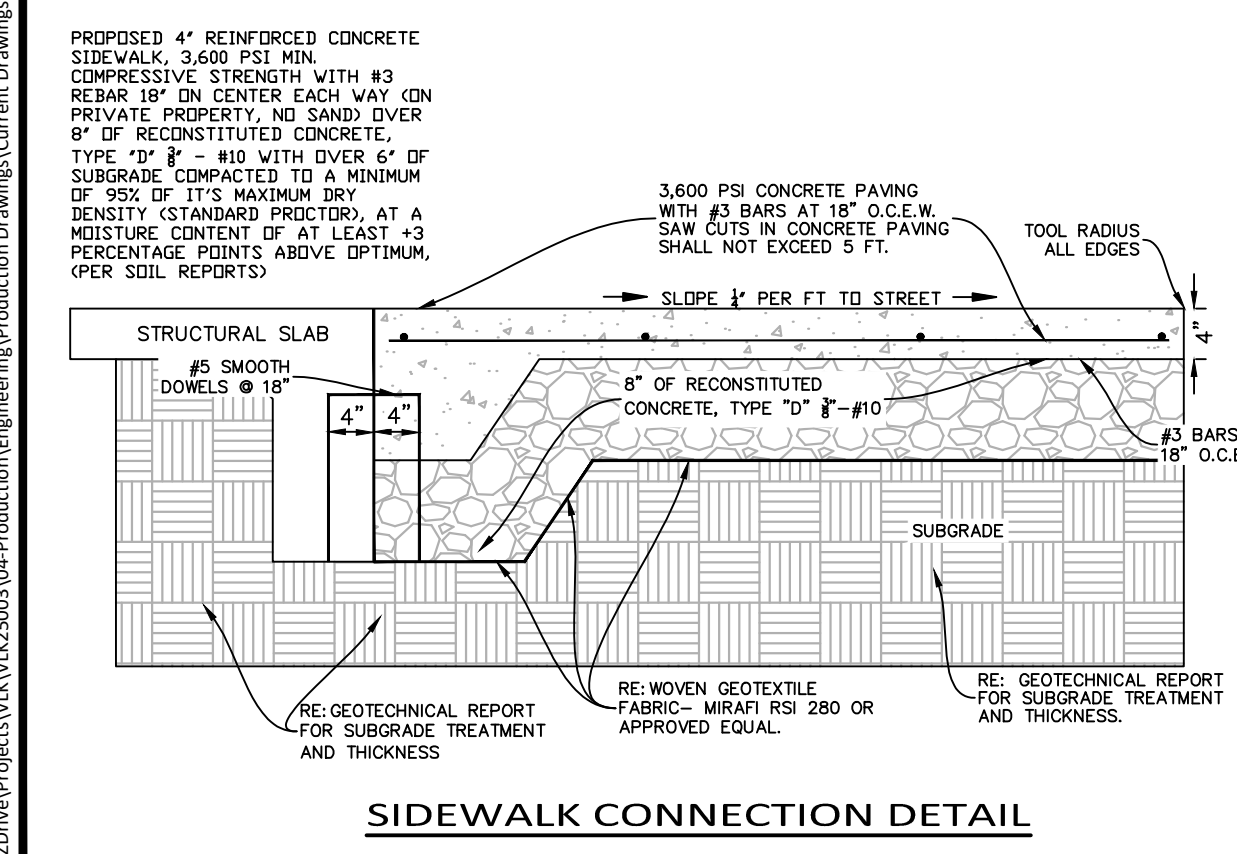
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RANDY FITE

MARCUS HS LOCKER ROOM ADDITION
ROOM ADDITION SITE PLAN
2800 DIXON LANE
FLOWER MOUND, TEXAS 75028

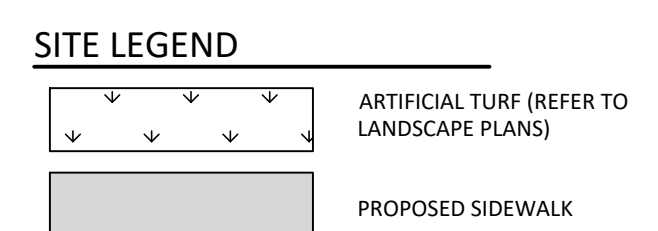


BENCHMARKS:

TBM1 - 600 SET	NORTHING: 707575.55	EASTING: 2405615.89	ELEVATION: 628.50
TBM2 - 600 SET	NORTHING: 7075438.73	EASTING: 2406029.86	ELEVATION: 623.38

*COORDINATES SHOWN HEREON ARE OF SURFACE VALUE. APPLY A SCALE FACTOR OF 0.99985097884 FOR GRID VALUES.

- GENERAL NOTES:**
- ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - OR ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
 - ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
 - ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
 - DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
 - SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
 - FLAG POLES MUST COMPLY WITH THE REGULATIONS IN SECTION 86-4. - PROHIBITED SIGNS.
 - ANY LIGHTING DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS AT THE TIME OF PERMIT REVIEW.
 - NO LUMINAIRE SHALL BE LOCATED WITHIN THE COMPATIBILITY BUFFER AREA.
- FEMA FIRM PANEL 48121C0530G; ZONE X - AREA OF MINIMAL FLOOD HAZARD



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO. VLK25003
FILENAME VLK25003-S1
CHECKED BY JB
DRAWN BY RD
SCALE 1" = 10'
DATE 01/19/2026

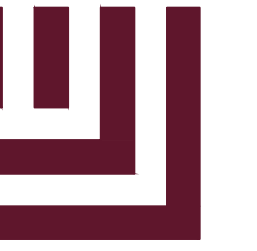
SHEET

SITE PLAN

C2.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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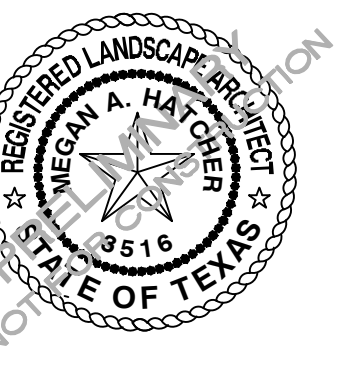
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RANDY FITE



MARCUS HS LOCKER ROOM ADDITION SITE PLAN 2800 DIXON LANE FLOWER MOUND, TEXAS 75028



PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL / COMMON NAME CAL HEIGHT

TREES

LO 1 QUERCUS VIRGINIANA SOUTHERN LIVE OAK 3" MIN 12'-14'

SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT HEIGHT

ILVN 15 ILEX VOMITORIA 'NANA' DWARF YALPON HOLLY 3 GAL 12" - 15"

SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT SPACING

SOD 1,796 SF TIF 419 BERMUDA GRASS TIF 419

REFERENCE NOTES SCHEDULE

SYMBOL CODE DESCRIPTION QTY DETAIL

PAVING P-101 ARTIFICIAL TURF 2,067 SF 03/L5.01

NOTE:

- 1. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RE-ESTABLISHED WITH SOD.
- 2. ALL REQUIRED PARKING LOT TREES REMOVED TO BE REPLACED.

LANDSCAPING REQUIREMENTS			
REQUIREMENT	NUMBER OF PARKING SPOTS	REQUIRED	PROVIDED
1 PARKING TREE PER 20 PARKING SPOTS	244 EXISTING PARKING SPOTS	244/20 = 12.2	YES
FOUNDATION PLANTING	N/A	YES	YES

ALL PARKING SPOTS LOCATED WITHIN 50' OF A TREE

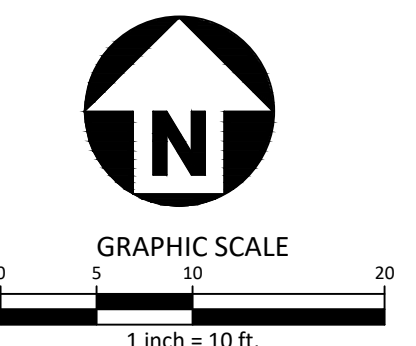
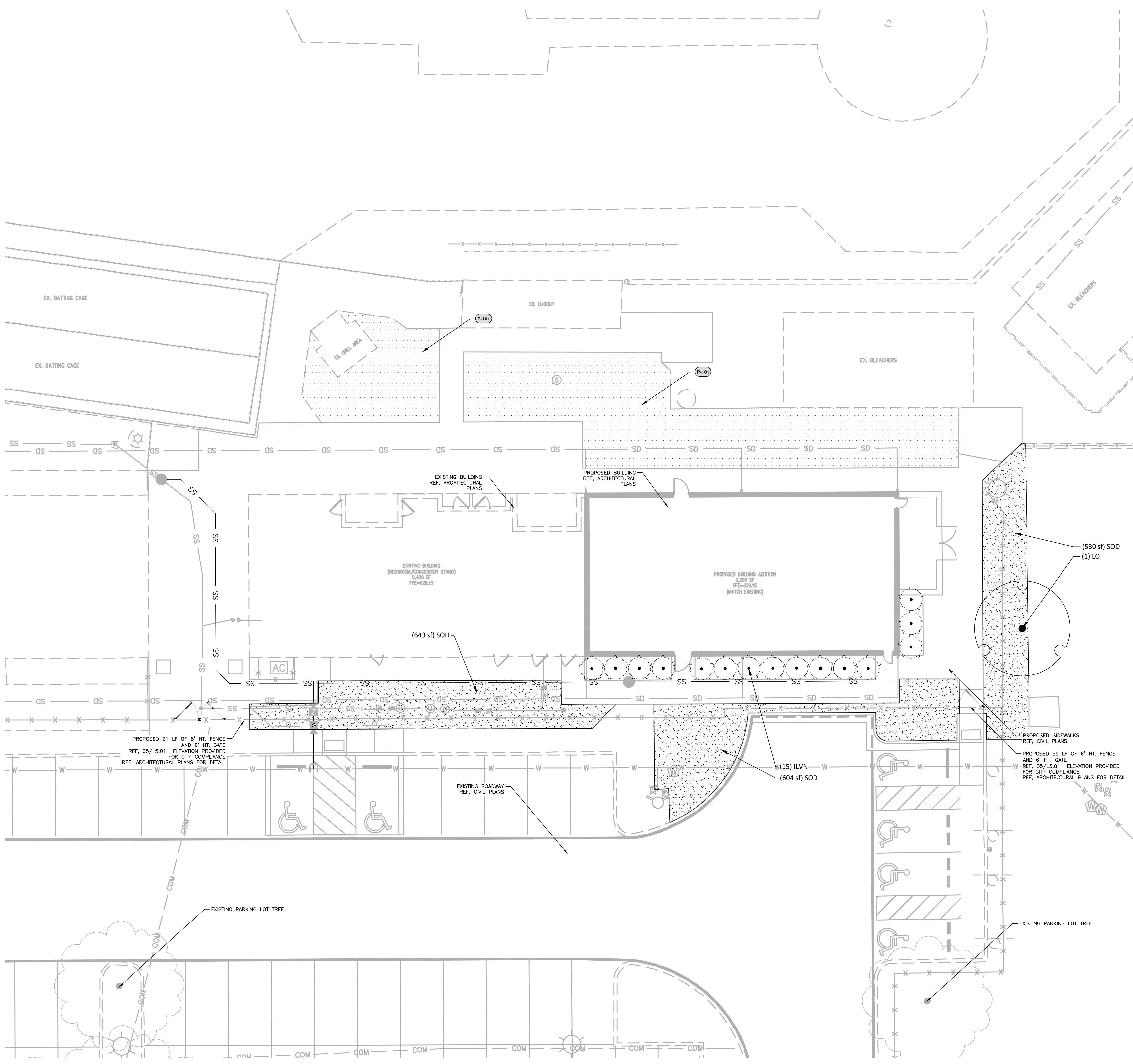
OVERALL SITE LANDSCAPE TABULATIONS:

- 1. NO IMPROVEMENTS FROM THE PROPOSED IMPROVEMENTS WILL IMPACT THE SITE REQUIREMENTS SET BY THE TOWN OF FLOWER MOUND.
- 2. ALL IMPROVEMENTS WILL LEAVE ALL COMPLIANT LANDSCAPE IN PLACE, KEEPING THE OVERALL SITE IN COMPLIANCE.
- 3. THE TABULATIONS SHEETS, SEEN BELOW, COVERS THE OVERALL SITE AND DOES NOT REPRESENT THE REQUIREMENTS FOR THIS RENOVATION PROJECT.

Landscape Tabulation Chart

Standard	Total Street Yard [SF]	Required	Provided
Street Yard Landscaping:			
Standard	Total Street Yard [SF]	Required	Provided
Min. 20% of street yard	24,575 SF	4,915 SF	4,915 SF or 20%
Street Yard Trees:			
Standard	Total Street Yard [SF]	Required	Provided
10,000 to 100,000 SF = 1 per 2,500 SF plus 10 trees	24,575 SF	20 trees	20 trees
Street Buffer Landscaping:			
Street Name	Required Buffer Width	Provided	
Dixon Road	25 feet	25 feet	
Street Buffer Trees:			
Standard	Street Frontage [LF]	Required	Provided
1 per 30 LF	Dixon Road = 981 LF	33 trees	33 trees
Parking Area Landscaping:			
Standard	# of Parking Spaces	Required	Provided
45 SF per 12 spaces	244 parking spots	915 SF	1200 SF
Parking Area Trees:			
Standard	# of Parking Spaces	Required	Provided
1 per 20 parking spaces	244 parking spots	12.2 trees	19 trees

All parking spaces are located within 100 feet of a tree.



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REVISIONS

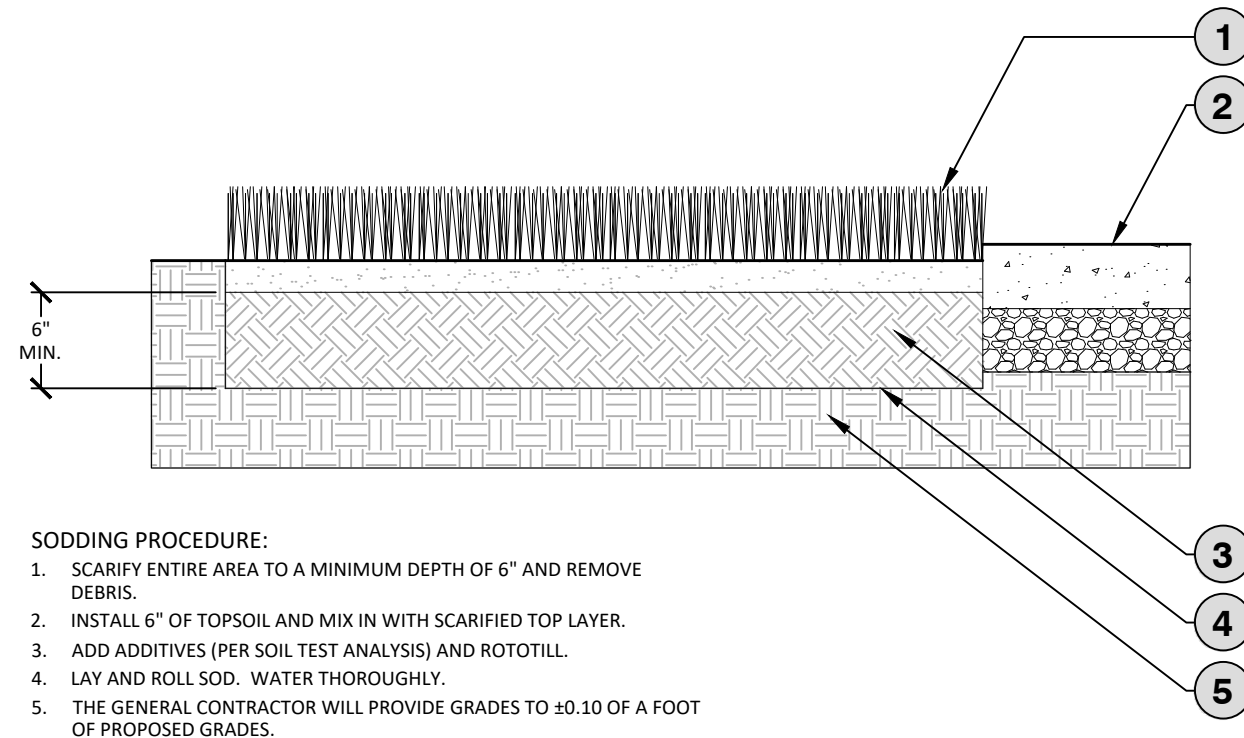
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PLAN INFORMATION

PROJECT NO. VLK25003
FILENAME VLK25003-LS1
CHECKED BY MAH
DRAWN BY MAH, MND
SCALE 1" = 10'
DATE 01/19/2026

SHEET LANDSCAPE PLAN

L5.00

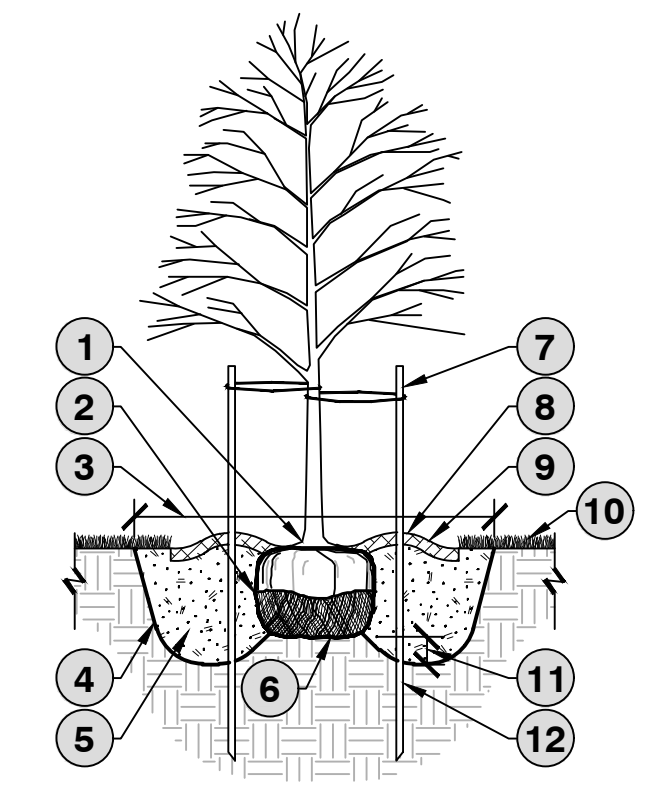


SODDING PROCEDURE:

1. SCARIFY ENTIRE AREA TO A MINIMUM DEPTH OF 6" AND REMOVE DEBRIS.
2. INSTALL 6" OF TOPSOIL AND MIX IN WITH SCARIFIED TOP LAYER.
3. ADD ADDITIVES (PER SOIL TEST ANALYSIS) AND ROTOTILL.
4. LAY AND ROLL SOD - WATER THOROUGHLY.
5. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO 10.10 OF A FOOT OF PROPOSED GRADES.

- 1 SOD - PROVIDE CLEAN, SMOOTH, CONTINUOUS EDGE BETWEEN SOD AND MULCHED AREAS
- 2 ADJACENT SURFACE (SEE SITE PLANS)
- 3 PREPARED SUBGRADE
- 4 BREAK THROUGH AND REMOVE ALL "HARPAN" AND DEBRIS TO ALLOW FOR PERCOLATION AND POSITIVE DRAINAGE
- 5 UNDISTURBED SUBGRADE

01 SOD INSTALLATION
SCALE: 1" = 1'-0"

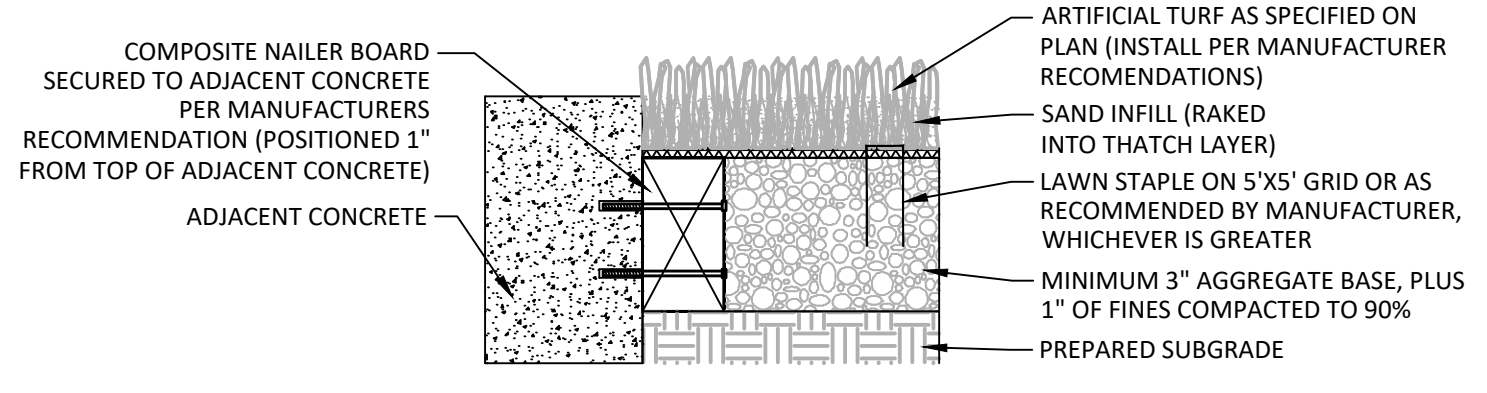


NOTES:

1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

- 1 TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE 2" ABOVE FINISHED GRADE AFTER SETTLING
- 2 CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- 3 WIDTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2 TIMES THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS
- 4 DIG WIDE PLANTING HOLE WITH TAPERED SIDES.
- 5 TO STABILIZE, COMPACT THE PLANTING SOIL MIX BACKFILL AROUND ROOT BALL; COMPACT SOIL BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPING.
- 6 SET ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLING.
- 7 IF STAKING IS NECESSARY, USE TWO OPPOSING STAKES WITH SEPARATE FLEXIBLE TIES. REMOVE STAKING AT END OF FIRST GROWING SEASON.
- 8 4" RAISED RING OF SOIL TO DIRECT WATER INTO ROOT BALL - ESPECIALLY IMPORTANT IF TOP OF ROOT BALL IS RAISED ABOVE GRADE
- 9 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 12" OF TREE TRUNK.
- 10 FINAL GRADE
- 11 5"-7" DEEPER THAN ROOT BALL FOR LOWERED PLANTING HOLE AS NEEDED WITH POOR DRAINAGE
- 12 EXTEND STAKES INTO 24" OF UNDISTURBED SOIL.

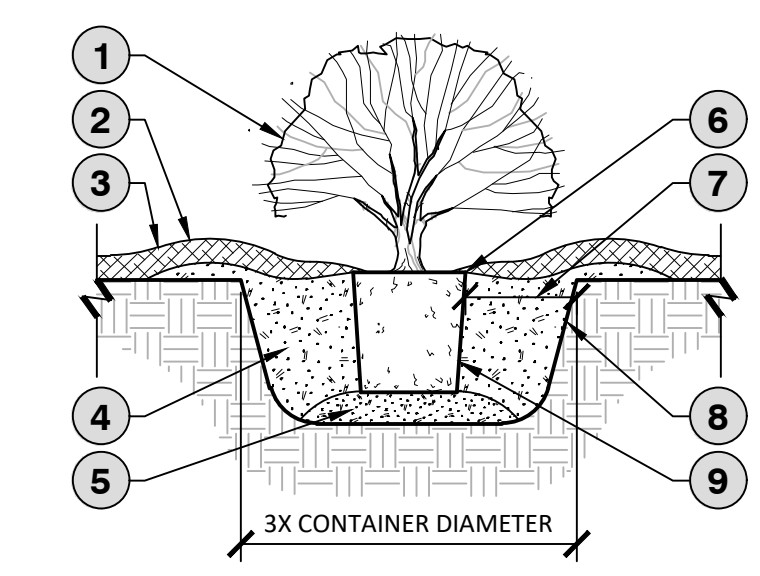
02 TREE PLANTING
SCALE: 1/4" = 1'-0"



NOTES:

1. 100% POLYETHYLENE GRASS FIBER AND SECONDARY THATCH FIBER.
2. ADA COMPLIANT SYNTHETIC GRASS ACCESSIBLE SURFACE.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURERS SPECIFICATIONS.

03 ARTIFICIAL TURF WITH NAILER BOARD
SCALE: 3/4" = 1'-0"

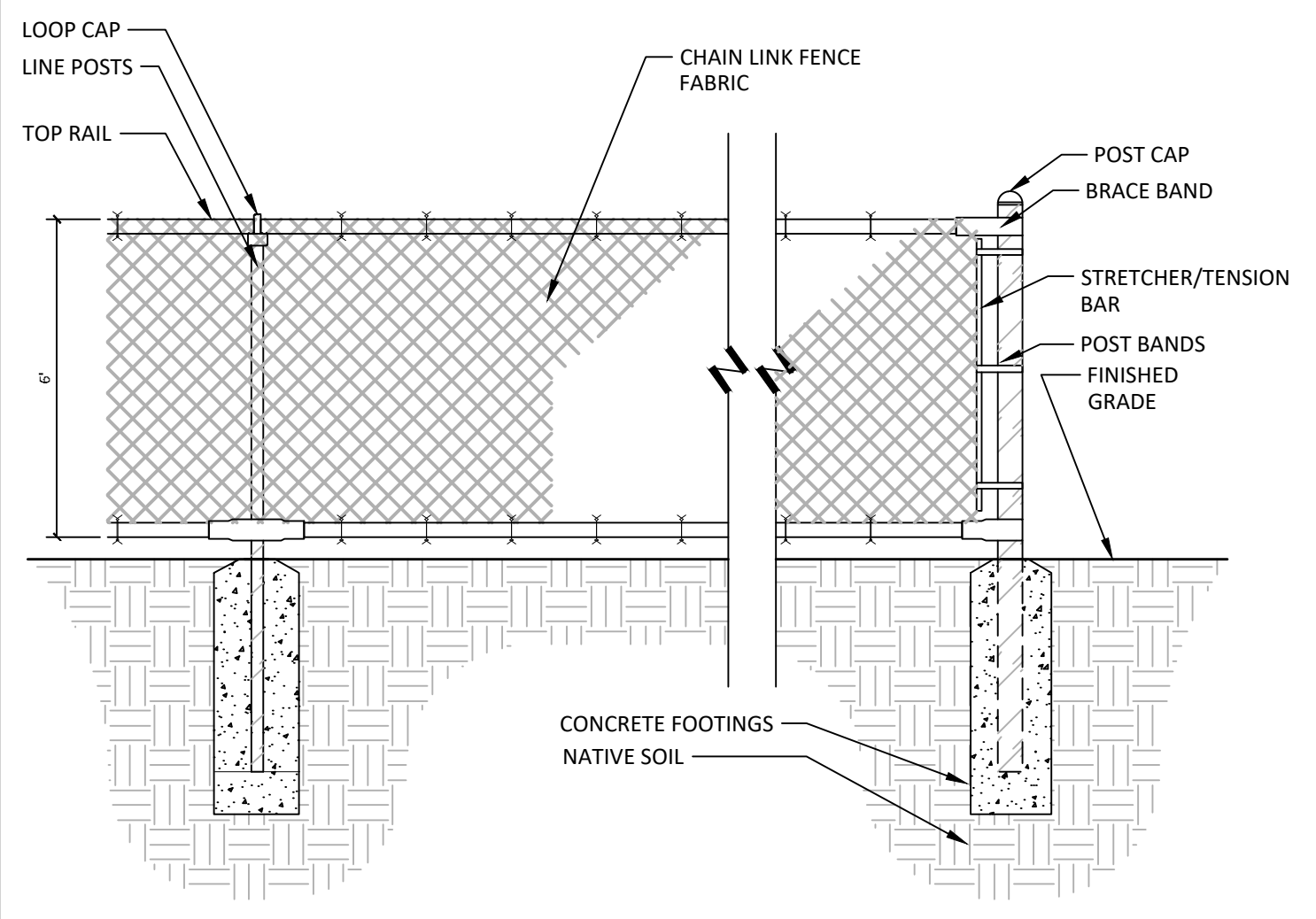


NOTES:

1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS; PEST AND DISEASE FREE; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

- 1 PRUNE PROPORTIONALLY TO COMPENSATE FOR REDUCTION OF ROOTS AND TO PROMOTE NATURAL GROWTH CHARACTER.
- 2 FORM 2" DEEP SAUCER
- 3 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TRUNK/STEM
- 4 PLANTING SOIL MIX BACKFILL TO BE COMPACTED BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPED
- 5 PLANTING SOIL MIX TO BE TAMPED TO AVOID SETTLING
- 6 TOP OF ROOTBALL SHALL BE 1" HIGHER THAN ADJACENT FINISHED GRADE
- 7 6" MIN. GAP BETWEEN ROOT BALL AND UNDISTURBED SOIL. WHERE THERE IS HEAVY CLAY SOIL, THE HOLE SHOULD BE 3 TIMES THE CONTAINER DIAMETER.
- 8 SUBSOIL BROKEN WITH PICK ON SIDES AND BOTTOM OF HOLE
- 9 FOR CONTAINERS, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER. IF USING BALED AND BURLAP; CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS.

04 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



NOTES:

1. THIS ELEVATION IS FOR CITY CODE COMPLIANCE ONLY. REFERENCE ARCHITECTURE DRAWINGS FOR ALL FENCE AND GATE RELATED DETAILS.

05 6' CHAIN LINK FENCE
SCALE: 1/2" = 1'-0"



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LEWISVILLE, TX 75067
469-713-5200
RANDY FITE



MARCUS HS LOCKER ROOM ADDITION
SITE PLAN
2800 DIXON LANE
FLOWER MOUND, TEXAS 75028



REVISIONS

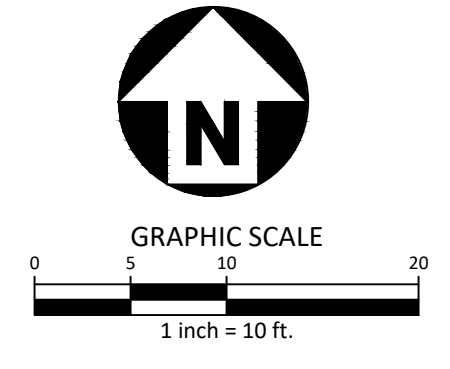
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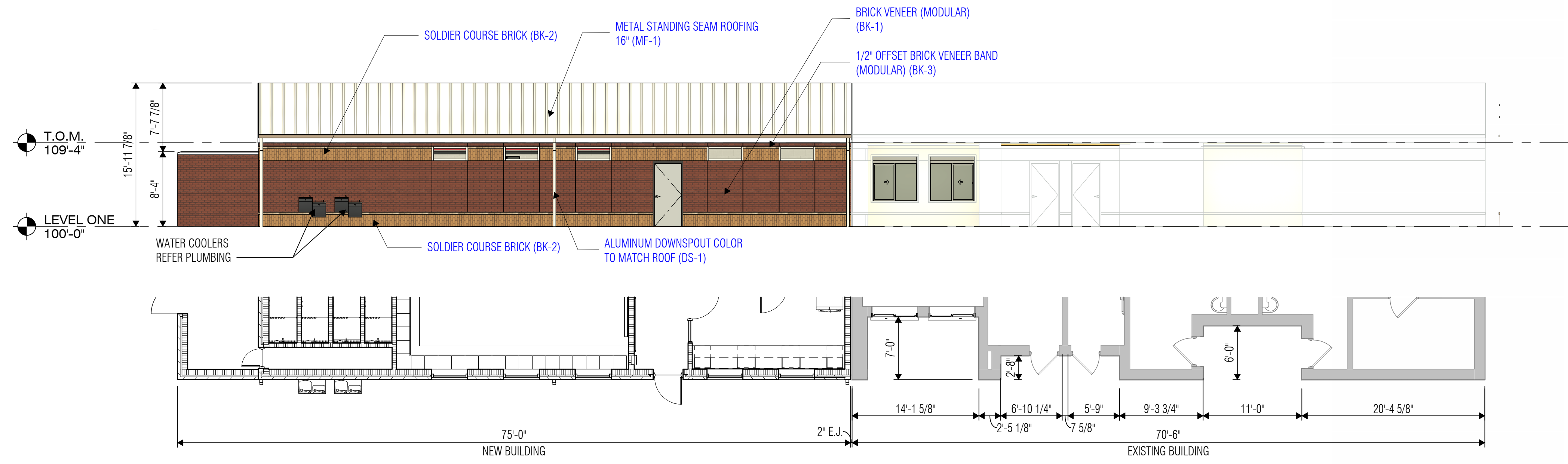
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FILENAME VLK25003-L51
CHECKED BY MAH
DRAWN BY MAH, MND
SCALE AS NOTED
DATE 01/19/2026

SHEET LANDSCAPE DETAILS

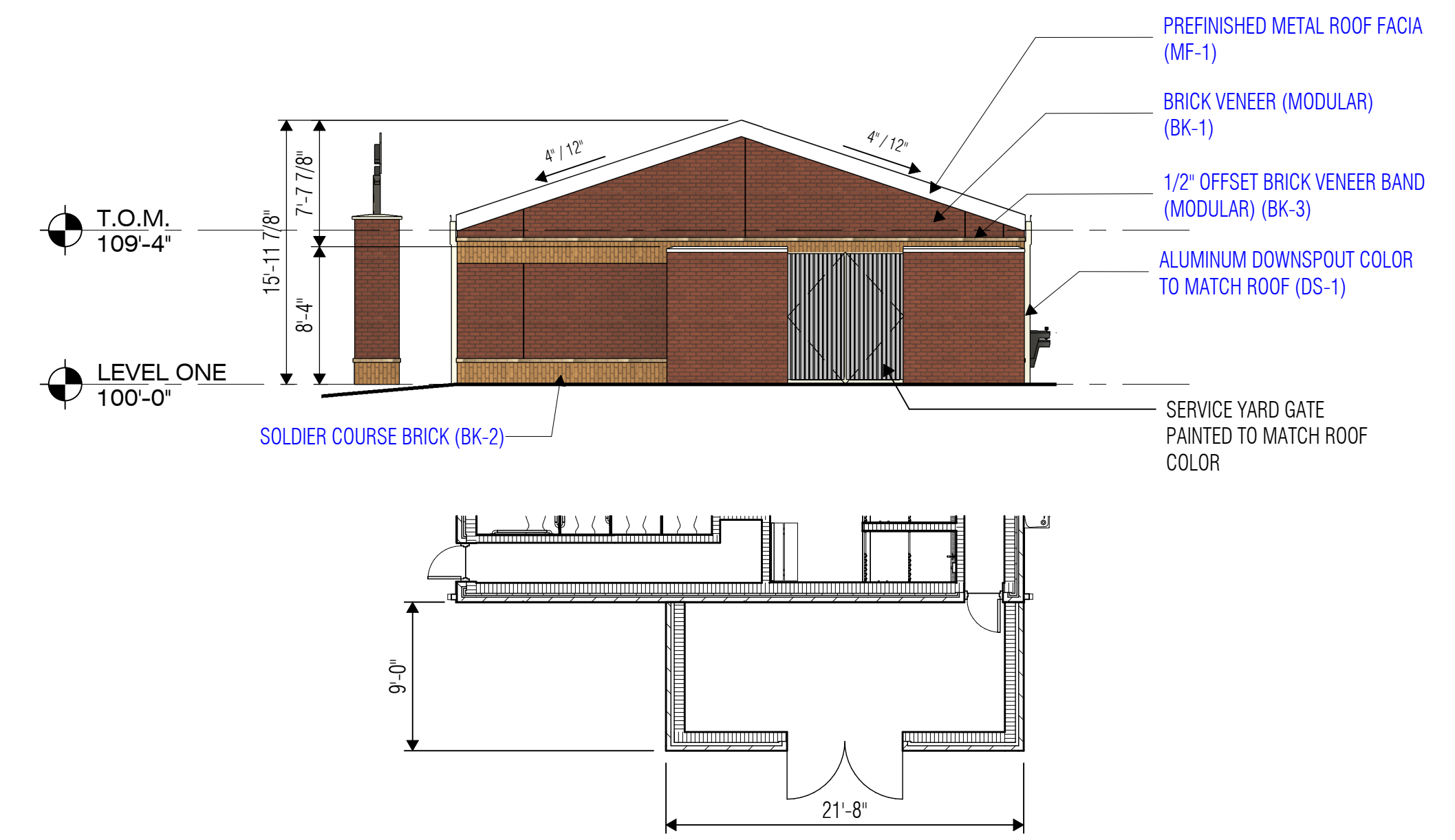
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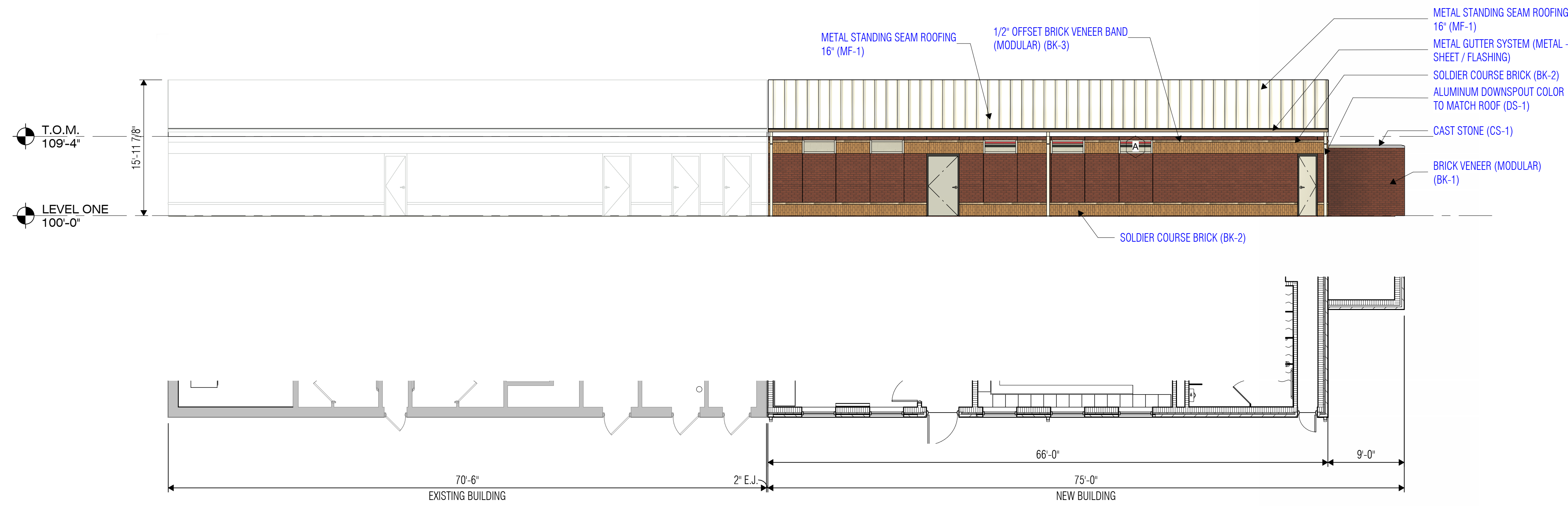
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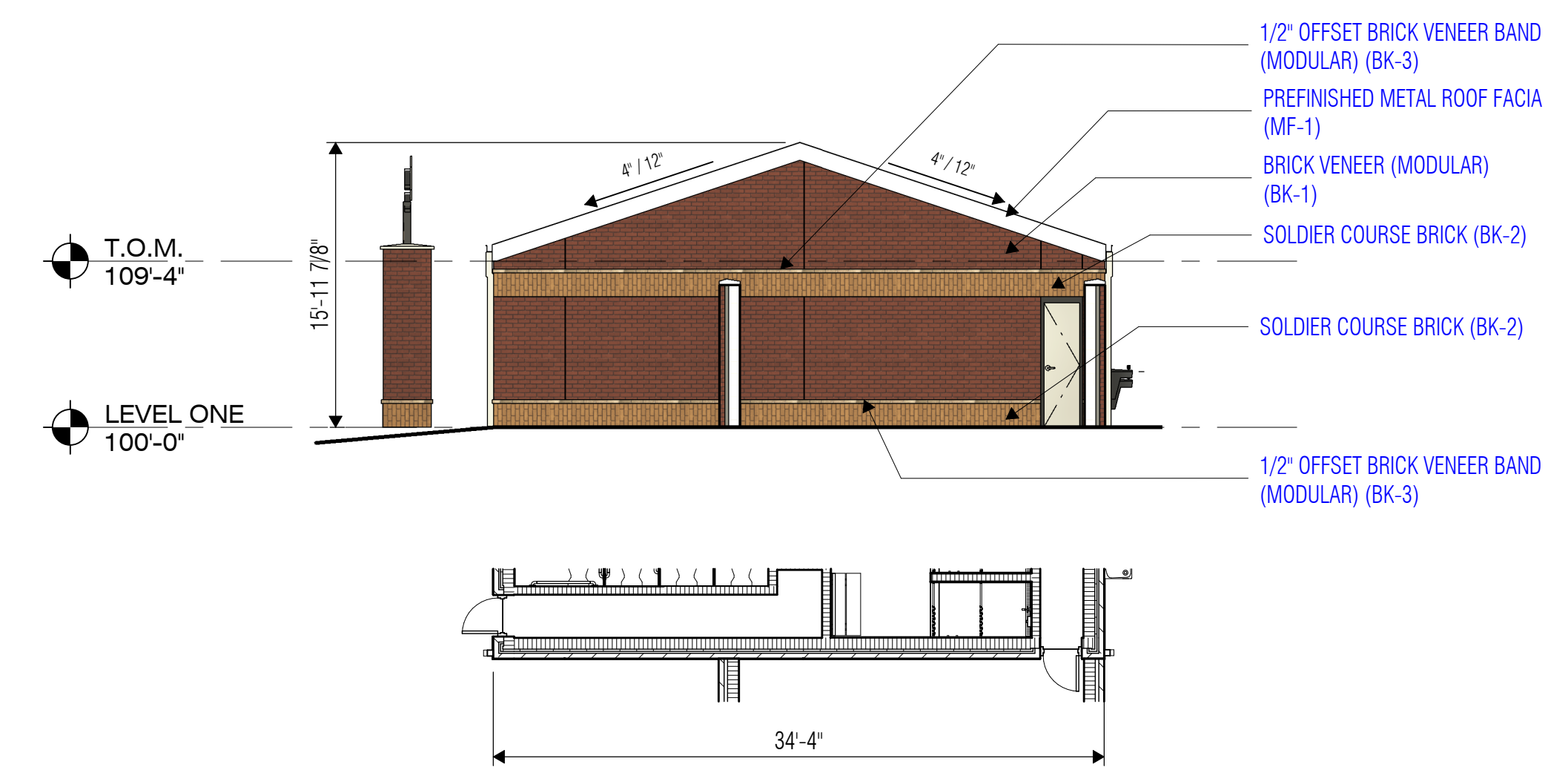
1 NORTH - EXTERIOR ELEVATION AND VERTICAL FOOTPRINT
SCALE: 1/8" = 1'-0"



2 EAST - EXTERIOR SERVICE YARD ELEVATION AND VERTICAL FOOTPRINT
SCALE: 1/8" = 1'-0"



3 SOUTH - EXTERIOR ELEVATION AND VERTICAL FOOTPRINT
SCALE: 1/8" = 1'-0"



4 EAST - EXTERIOR ELEVATION AND VERTICAL FOOTPRINT
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

MARK	DESCRIPTION	MANUFACTURER	SERIES/STYLE	COLOR
BK-1	BRICK	ACME	MODULAR	AMARETTO
BK-2	BRICK	ACME	MODULAR	CHARCOAL GRAY
BK-3	BRICK	ACME	MODULAR	WEATHERWOOD GRAY
CS-1	CAST STONE CAP	DALLAS CAST STONE	DOUBLE-SIDED SLOPE	WHITE LIMESTONE
DS-1	DOWN SPOUT	ALUMINUM DOWNSPOUT	MATCH EXISTING	MATCH WEATHERED ZINC
MF-1	METAL STANDING SEAM ROOFING	PETERSON ALUMINUM CORP.	SNAP-CLAD 12"-16" SEAM SPACING	KYNAR 500, WEATHERED ZINC

NOTE:
ALL EXTERIOR FINISHES TO MATCH EXISTING BUILDING

MATERIAL CALCULATION TABLE

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	616 S.F.	616 S.F.	430.12 S.F.	N/A
2. FACADE S.F. (EXCLUSIVE OF DOORS AND WINDOWS)	560.44 S.F.	539.96 S.F.	413.01 S.F.	N/A
3. DOORS AND WINDOWS S.F.	55.56 S.F.	76.04 S.F.	17.11 S.F.	N/A
4. PRIMARY MASONRY TOTALS (MIN. 80%)	560.44 S.F. 100%	539.96 S.F. 100%	413.01 S.F. 100%	N/A
- BRICK S.F.	560.44 S.F. 100%	539.96 S.F. 100%	413.01 S.F. 100%	N/A
5. SECONDARY MASONRY TOTALS (MAX. 20%)	N/A	N/A	N/A	N/A

NOTE:
ALL EXTERIOR FINISHES TO MATCH EXISTING BUILDING



LEWISVILLE ISD
Marcus HS Locker Room Addition
FLOWER MOUND, TEXAS



01/19/2026 EX3.01



PLANNING & ZONING COMMISSION AGENDA J.2. REGULAR ITEM(S)

DATE: January 26, 2026
FROM: Nick Ford, Senior Planner
ITEM: **Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0003 – 2025 State Legislative Updates) by amending Chapter 78, “Administration” and Chapter 98, “Zoning” related to notice and protest procedures, home occupation, land uses and noise.**

BACKGROUND:

I. ITEM SUMMARY

This Town-initiated item proposes to amend the Town’s Land Development Regulations to incorporate regulations adopted during the 2025 Texas legislative session. The focus of this amendment includes updating language related to notice and protest procedures for zoning changes, home occupations, and noise.

The proposed amendment includes changes to notice and protest procedures where the state created a definition for a comprehensive zoning change and amended voting procedures for certain types of residential developments that are protested. New notice procedures include posting notice of public hearings on the website and placement of signage on or near properties to be zoned.

The second amendment includes changes to the home occupation section of the code in regard to no-impact home-based businesses. This is a new definition the state created. Based on the bill that was passed, businesses which generally do not create a nuisance on residential properties may be considered “no-impact” under certain circumstances and parameters the state defines.

Next, the state passed regulations regarding noise levels at food establishments and food trucks. Noise is regulated in Chapter 98 “Zoning”, but it is also regulated within Chapter 34 “Environment” of Subpart A of the code. With this new legislation, noise regulations found in Chapter 98 shall be removed and cross-referenced to Chapter 34 in Subpart A as the controlling regulation.

II. BACKGROUND

During the 2025 Texas legislative session, HB 24 was adopted regarding new notice and protest procedures for zoning changes. The most notable changes in this bill include:

- Creation of a new definition for a “*comprehensive zoning change*”.
- Notice of zoning hearings require publication on the town's website at least 16 days before the council's public hearing.
- Adoption of a new zoning code or zoning that applies town-wide only requires notice to a newspaper and the website but does not require mailed notices.

- The current statutory provision that requires a three-fourths vote of the municipal council to overrule a recommendation of denial by the municipality's Planning & Zoning Commission has been repealed.
- The current 20% protest by property owners within 200 feet of a zoning change to trigger a ¾ vote of the municipal council no longer applies to certain zoning changes that have the effect of allowing more residential development. Those zoning changes require a 60% protest to trigger a majority vote of all members of the municipal council.
- Municipalities are required to post a notice sign on the property subject to a change at least 10 days prior to the Planning & Zoning Commission hearing (**note: the Town already requires this upon submittal of an application**).

Next, HB 2464 was adopted regarding "No Impact Home Based Businesses." A no-impact home-based business is defined as a business operating on a residential property that provides lawful goods or services and does not exceed the municipality's occupancy limits or generate on-street parking or traffic. In addition, its activities are not visible from the street, and it does not create substantial noise. Municipalities are prohibited from adopting regulations that prohibit the operation of a home-based business, require licenses or permits, require a zoning change, or require installation of a fire sprinkler for certain structures. Municipalities may still enforce short-term rental regulations. Staff is also doing some additional cleanup of regulated uses based on Master Plan designations that are not specifically related to home based businesses.

Lastly, HB 2844 & SB 1008 adopted regulations regarding Food Establishments and Food Trucks and the allowed noise levels, permits, licenses, inspections, and fees. As it pertains to the proposed land development regulations, noise levels for restaurants and food trucks may now operate their businesses up to 75 decibels.

III. APPLICATION ANALYSIS

Updates are proposed in Chapter 78 — "Administration" and Chapter 98 — "Zoning."

Section 78-153. Review by planning and zoning commission.

- Update to include comprehensive zoning map amendments in the notification process. These notifications are only required in special circumstances, such as a joint meeting with the Planning and Zoning Commission and Town Council or when a proposed regulation will cause a property to become a nonconforming use in which a special mailed written notice must be sent to affected property owners.

Section 78-154. Action by town council.

- Update to include notice hearings to be published on the town's website and 16 days from the date of publication.
- Update to include the new definition of a comprehensive zoning amendment, which includes a proposal that would allow more residential than previously expected in one or more zoning districts, adoption of a new code or map applicable town-wide, or adoption of an overlay district that would allow more residential.
- Update computation of land area in regards to protest percentages.
- Update to include the new protest procedures for certain zoning changes increasing residential density.
- Update protest submittal requirements from "must" to "should."

- Update the conditions of denial and time limitations for certain approved applications.

Section 98-2. Definitions.

- Update the definition of a "*home occupation*" to include an occupancy rate.
- Include a new definition for a "*home occupation, no-impact.*"

Section 98-422. Permitted uses.

- Add home occupation to the permitted uses list for the "Single-Family Attached" district.

Section 98-452. Permitted uses.

- Add home occupation to the permitted uses list for the "Duplex" district.

Section 98-482. Permitted uses.

- Add home occupation to the permitted uses list for the "Multifamily" district.

Section 98-512. Permitted uses.

- Add home occupation to the permitted uses list for the "Mobile Home" district.

Section 98-752. Permitted uses.

- Remove "*day care home,*" "*dwelling, single family detached,*" "*garage sale,*" "*home occupation,*" and "*model home/early release home*" from the permitted uses for "Water Recreation" district.

Section 98-755. Minimum and maximum dimensions.

- Update lot requirements and dimensional standards for the "Water Recreation" district.

Section 98-901. Schedule of uses.

- Update the land use table for home occupations in the "Mixed Use" district.

Section 98-952. Use classification.

- Update the land use table related to the above amendments for permitted uses.

Section 98-984. Home occupation.

- Update to include legal residential uses that contain a home occupation.
- Remove floor area requirements and outdoor instructional class occupancy limit (*see new definition*)
- Update to include home occupations to be operated by the owner or tenant of the dwelling.
- Remove the maximum number of patrons on the premise at one time of four (*see new definition*)
- Remove the maximum employee count (*see new definition*)
- Update to include home occupations shall not be visible from a street or neighboring properties.
- Update to include no generation of on-street parking or increase in traffic.
- Update to include uses which are and are not compatible with residential use of the property.

Section 98-1052. Noise.

- Remove this section in its entirety. Cross-reference to Article III, Chapter 34 of Subpart A as the controlling noise regulation.

BOARD REVIEW/CITIZEN FEEDBACK: The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle) for all land development regulation updates. At the time this report was written, staff had not received any correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: Rachel Raggio, of Taylor, Olson, Adkins, Sralla, & Elam L.L.P., will review the ordinance as to form and legality.

ATTACHMENTS:

1. DRAFT Redline Ordinance

DRAFT MOTION: Move to approve as presented in the agenda caption.

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Chapter 78 – ADMINISTRATION

ARTICLE IV. AMENDMENTS

DIVISION 1. GENERALLY

Sec. 78-153. Review by planning and zoning commission.

- (d) *Notification requirements for text amendment or comprehensive zoning map amendment.* When any such amendment relates to a change of a regulation or to the text of subpart B of this Code not affecting specific property or when a comprehensive zoning map amendment is initiated by the Town, notice of the public hearing of the planning and zoning commission shall be given by publication in a newspaper of general circulation in the town, ~~and notify~~ Notice to affected property owners and businesses owners ~~as defined by state law~~ only required in special circumstances as defined by state law. Such notices shall state the time and place of such hearing and the nature of the subject to be considered, which time shall not be earlier than 11 days from the date of publication.

Sec. 78-154. Action by town council.

- (b) *Notice of hearing.* Notice of such hearing shall be given by publication in a newspaper of general circulation in the town and published on the town's website stating the time and place of such hearing, which time shall not be earlier than ~~15-16~~ days from the date of publication.
- (c) *Vote by town council.* A proposed master plan amendment shall not become effective except by a three-fourths vote of the town council qualified to vote. Further, if a proposed zoning map or text amendment has been denied by the planning and zoning commission, such amendment or change shall not become effective except by a three-fourths vote of the town council qualified to vote.
- (d) *Changes in zoning classifications.* When any such amendment or change relates to a change in the zoning classification of property or a change to the boundary of a zoning district, the following provisions shall apply:
- (1) Comprehensive zoning amendment. Changes proposed by the town that meet one or more of the following standards are not subject to the protest procedures as described in this subsection. A proposed comprehensive zoning change includes:
- a. A town proposal that would allow more residential development than the previous regulation and would apply uniformly to each parcel in one or more zoning districts; or
- b. The adoption of a new zoning code or zoning map that would apply to the entire town; or
- c. The adoption of a zoning overlay district that would have the effect of allowing more residential development than would be allowed without the overlay and that includes an area along a major roadway, highway, or transit corridor.
- (2) Amendment over protest ~~Protest procedures.~~ The rules governing an amendment over protest, except for comprehensive zoning amendments described in subsection (d)(1), are contained in V.T.C.A., Chapter 211 of the Local Government Code ~~ch. 211~~ and are hereby adopted and restated as follows.
- a. Owner or Owners. For purposes of this section, the terms "owner" and "owners" shall mean and refer to those persons or entities owning such land as indicated by the most recently approved municipal tax roll as owning such land.

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- b. Computation of Land Area. In computing the percentage of land area subject to a proposed amendment under this section, the area of land to the centerline of abutting streets and alleys shall be included. In addition, the total land area shall be calculated as the aggregate of all tracts of land subject to the amendment.
- c. Zoning for residential density-increases. If a proposed amendment, supplement, or change in a zoning regulation or district boundary increases residential density beyond the existing zoning and does not allow additional commercial or industrial uses unless the additional use is limited to the first floor of any residential development and does not exceed 35 percent of the overall development land area, then the following shall apply:
- i. A written protest may be submitted that contains the signatures of the owner(s) of at least 60 percent of the area of the lots or land (whether platted or otherwise) immediately adjoining the area covered by the proposed change and extending 200 feet from that area.
 - ii. Upon receipt of a written protest meeting subsection (d)(2)c.i., the proposed amendment, supplement, or change in zoning shall become effective only upon the favorable vote of the majority of all the members of the town council.
- a.d. All other changes to a zoning regulation or district boundary. For all other Upon receipt of a written protest, a proposed amendments, supplements, or zoning changes, not addressed in subsection (d)(2)c above, a proposed change shall become effective only upon the favorable vote of three-fourths of all members of the town council when such protest meets one or more of the following enumerated conditions:
- i. When such protest contains the signatures of the owner(s) or the owners of 20 percent or more of the total area of the land (whether platted or otherwise) included within the boundaries of the proposed change; or
 - ii. When such protest contains the signatures of the owner(s) or owners of 20 percent or more of the total area of land (whether platted or otherwise) outside of immediately adjoining the boundaries of the proposed change and within extending 200 feet of any point of the land proposed to be changed from those boundaries.
- b. —
- For purposes of this section the terms "owner" and "owners" shall mean and refer to those persons or entities indicated by the most recently approved municipal tax roll as owning such land.
- i. — In computing the percentage of land area under subsection (d)(1)a., land to the centerline of abutting streets and alleys shall be included.
- (3) Protest submittal requirements. When a person wishes to protest a zoning change the following procedures should be followed:
- a. b. — All protests ~~must~~ should be submitted to the town secretary in writing. Such written protest(s) should be in the form of a petition containing the zoning case number, the name of the protesting property owner, the address(es) or property description(s) of the property for which the property owner is asserting a protest, the reasons for the property owner's protest such as the zoning classifications or uses to which the property owner is opposed, and the verified signature of the protesting property owner(s) or a verification by the person submitting the petition confirming the authenticity of the signatures contained thereon.
 - b. c. — The protest ~~must~~ should be filed with the town secretary before 5:00 p.m. of the fourth working day immediately preceding the date advertised for the town council public hearing in the statutory notice published in the official newspaper of the town. For example, a written protest must be

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received by 5:00 p.m., on the Tuesday prior to a regularly scheduled Monday council meeting. A protest sent through the mail ~~must~~ should be received by the town secretary before the deadline.

c. ~~d.~~—A person may by written request withdraw their signature from the protest at any time prior to the close of the public hearing only. If the withdrawal of an owner's signature from a protest reduces the percentage of land area ownership protesting the zoning change to less than ~~20 percent~~ the required percentage of ~~the total area of land~~ land areas set forth in this section, then a ~~three-fourths~~ simple majority vote for approval of the zoning change shall ~~suffice~~ not be required, unless otherwise required by this section.

d. ~~e.~~—The plain wording of the protest(s) shall determine ~~whether a three-fourths vote~~ the voting procedures ~~is~~ required for approval ~~per of the proposed zoning change, or for approval of a less intensive zoning classification deemed appropriate by the Town Council, in accordance with this section of the advertised zoning district applied for by the applicant or any less intensive zoning classification that the town council decides to grant.~~

(4) ~~(2)~~—*Conditions of denial.* A waiting period of one year, between the date an application for amendment to the comprehensive master plan or a requested change in zoning is denied by the town council and a new application for such a change or amendment is accepted, is hereby established. For purposes of this article, "denied by the town council" shall mean that a motion by the town council to deny the requested zoning change passed by a majority of the quorum present and voting, or that a motion by the town council to approve the requested zoning change failed for lack of having the necessary votes, or that a motion by the town council to approve or deny the requested zoning change resulted in a tie vote. The one-year waiting period shall be applicable to all requested amendments and changes for the same or a more intensive land use categories, or zoning districts, on all or any portion of the property previously considered for amendment or change in land use or zoning; provided, however, that such one-year waiting period shall not be applicable to any proposed amendment or change instituted by the town council or planning and zoning commission, or to a request for an amendment or change that is denied by the town council without prejudice. A property owner may apply for a waiver of the one-year waiting period as follows:

a. The applicant shall submit a request in writing to the town office of community development within ten days of the denial by the town council. Upon the filing of a request within the required time period, the office of community development shall inform the applicant in writing of the date on which the planning and zoning commission shall consider the request and advise the applicant of his rights to appear before the planning and zoning commission.

b. The planning and zoning commission may waive the one-year waiting period upon a finding that the circumstances surrounding the property have changed sufficiently to warrant the acceptance of a new application for a comprehensive master plan or zoning amendment or change prior to the end of the one-year waiting period. A majority of the planning and zoning commission quorum present and voting shall be required to grant any such request. If the request is granted, compliance with the procedures contained in subpart B of this Code and other applicable rules and regulations of the town shall be required.

c. The applicant may appeal a denial under this article by the planning and zoning commission to the town council by filing a request in writing with the town office of community development within ten days of the denial by the planning and zoning commission.

d. The decision of the town council regarding the request for a waiver shall be final.

(2) If a record plat is not recorded within five years of the effective date of the ordinance granting a planned development district, and following the review and recommendation of the planning and zoning commission, ~~or~~ may, after public notice and hearing as required by subpart B

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of this Code, may rezone the property to its prior zoning classification or the A, Agricultural zoning district. IH interim holding district.

Chapter 98 – ZONING

ARTICLE I. IN GENERAL

Sec. 98-2. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Home occupation means a business, profession, occupation or trade conducted within a dwelling unit or elsewhere on a lot primarily used for dwelling purposes for compensation or gain by ~~a resident~~ the owner or tenant of the dwelling unit, including a home occupation, no-impact. In conducting operations, a home occupation shall not at any time exceed the occupancy rate of one person per bedroom plus one additional person on the premises at one time, including employees, clients, or patrons.

Home occupation, no-impact means a home occupation that meets the criteria of a no-impact home-based business as defined in Section 229.902 of the Texas Local Government Code.

ARTICLE III. DISTRICT REGULATIONS

DIVISION 8. SF-A SINGLE-FAMILY ATTACHED DISTRICT

Sec. 98-422. Permitted uses.

Home occupation, subject to section 98-984

DIVISION 9. 2F DUPLEX DISTRICT

Sec. 98-452. Permitted uses.

Home occupation, subject to section 98-984

DIVISION 10. MF MULTIFAMILY DISTRICT

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Sec. 98-482. Permitted uses.

Home occupation, subject to section 98-984

DIVISION 11. MH MOBILE HOME

Sec. 98-512. Permitted uses.

Home occupation, subject to section 98-984

DIVISION 19. WR WATER RECREATION DISTRICT

Sec. 98-752. Permitted uses.

Day care home

Dwelling, single-family detached

Garage sale, subject to section 98-982

Home occupation, subject to section 98-984

Model home/early release home, subject to section 98-1000

Sec. 98-755. Minimum and maximum dimensions.

- (a) *Minimum lot area* ~~per dwelling~~. There shall be no minimum lot area requirement per dwelling unit in the WR water recreation district ~~shall be 7,500 square feet per dwelling unit, subject to section 98-1023~~.
- (b) *Minimum lot width*. There shall be no minimum lot width for residential uses in the requirement in WR water recreation district ~~shall be 65 feet, subject to section 98-1024~~.
- (c) *Minimum floor area* ~~per unit~~. There shall be no minimum floor area per dwelling unit requirement in the WR water recreation district ~~shall be 1,450 square feet, subject to section 98-1025~~.
- (d) *Minimum front yard*. There shall be no minimum front yard for residential uses requirement in the WR water recreation district ~~shall be 30 feet, with no requirement for nonresidential uses, subject to section 98-1026~~.
- (e) *Minimum side yard*. There shall be minimum side yard for residential uses requirement in the WR water recreation district ~~shall be eight feet, with no minimum requirement for nonresidential uses, subject to section 98-1027~~.

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- (f) *Minimum rear yard.* The minimum rear yard in the WR water recreation district shall be ~~ten feet for residential uses and~~ 15 feet for all nonresidential uses, subject to section 98-1028.

DIVISION 25. MU MIXED USE DISTRICT

Sec. 98-901. Schedule of uses.

Table 1 Land Use Category	Use Status				
	MU-C	N	MU-T		
			NG	en	MR
Home occupations, <u>subject to section 98-984</u>	<u>NAA</u>	A	A	<u>NAA</u>	<u>NAA</u>

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ARTICLE IV. SUPPLEMENTARY DISTRICT REGULATIONS

DIVISION 2. USES

Subdivision II. Regulations

Sec. 98-952. Use classification.

SCHEDULE OF USE REGULATIONS

Use Type/Section	98-271	98-301	98-431	98-331	98-361	98-391	98-421	98-451	98-481	98-511	98-541	98-571	98-601	98-631	98-661	98-841	98-871	98-691	98-721	98-751	98-781	98-811	98-890	
	A	SFE	SF-5	SF30	SF15	SF10	SFA	2F	MF	MH	O	R1	R2	C1	C2	CC	CI	I1	I2	WR	REC	PD	CBD	
Dwelling, single-family detached	P	P	P	P	P	P														P		P	*	
Day care home	P	P	P	P	P	P	P	P	P	P											P		P	*
Garage sale (98-982)	P	P	P	P	P	P	P	P	P	P											P		P	*
Home occupation (98-984)	P	P	P	P	P	P	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>											P		P	*
Model home/early release home (98-1000)	P	P	P	P	P	P	P	P													P		P	*

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Subdivision III. Special Use Conditions

Sec. 98-984. Home occupation.

A home occupation shall be permitted as an accessory use ~~to a dwelling unit~~, subject to compliance with the following conditions:

- (1) A home occupation shall be permitted only when it is an accessory use to a ~~detached single family dwelling~~. legally established residential use.
- (2) A home occupation shall not involve any external structural alteration of the main building.
- (3) ~~A home occupation shall be conducted wholly within the main building, and not in any accessory building. The total floor area to be used for a home occupation shall not exceed 20 percent of the total floor area of the main building, including garages. Notwithstanding the above, instructional classes may be held outside of the main building, providing a maximum of six students may be allowed in each session and other stipulations of this section are met. A home occupation shall be operated by the owner or tenant of the primary dwelling.~~
- ~~(4)~~ Only one employee other than occupants of the residence may be employed in the home occupation. A person who receives a wage, salary or percentage of the profits directly related to the home occupation shall be considered an employee for the purposes of this section, provided that this definition shall not include the coordination or supervision of employees who do not regularly visit the dwelling for purposes related to the business.
- ~~(5)~~(4) No outdoor storage of materials, goods, supplies, vehicles or equipment shall be allowed, in order to ensure compatibility with residential uses. Outdoor storage shall be subject to section 98-1058 of this code.
- ~~(6)~~(5) A person who engages in a home occupation shall not place an advertisement, sign or display on or off the premises.
- ~~(7)~~ A home occupation shall not involve more than four patrons on the premises at one time.
- ~~(8)~~(6) ~~Any outdoor activities associated with a home occupation shall be screened from the neighboring property by a solid fence of at least six feet in height. A home occupation shall operate in a manner in which none of its activities are visible from a street or neighboring properties.~~
- ~~(9)~~(7) A home occupation may include the sale of lawful products or provision of lawful services on the premises, provided that compliance is maintained with all other conditions specified in this section code, in addition to other applicable federal, state, and local laws.
- ~~(10)~~(8) A home occupation shall not generate on-street parking or a substantial increase in traffic and it shall produce no offensive noise, vibration, smoke, electrical interference, dim odors or heat in excess of those normally found in residential areas. No toxic, explosive, flammable, combustible, corrosive, radioactive, or other hazardous materials shall be used or stored on the site for business purposes.
- (9) A home occupation shall be compatible with the residential use of the property where the business is located. Uses that are not compatible with residential uses include the physical or medical treatment of persons or animals, beauty shops, dance studios, carpenter shops, electrical shops, massage establishments, plumber shops, heating and air conditioning shops, radio shops, auto repairing or painting, furniture repairing, sign painting or other similar activities and uses, as well as any home-based business that sells alcohol or illegal drugs, is a structured sober living home, or is a sexually oriented business as defined by the Texas Local Government Code.

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DIVISION 4. PERFORMANCE STANDARDS

Sec. 98-1052. Noise.

Noise shall be subject to the regulations found in Article III, Chapter 34 of Subpart A – General Ordinances of the code of ordinances.

- (a) *Generally.* At no point on the bounding property line of any use in any district shall the sound pressure level of any use, operation or plant exceed the standards specified in this division. For the purposes of this division, the bounding property line shall be interpreted as being at the far side of any street, alley, stream or other permanently dedicated open space from the noise source when such open space exists between the property line of the noise source and adjacent property. When no such open space exists, the common line between two parcels of property shall be interpreted as the bounding property line.
- (b) *Standards.* The maximum permissible octave band decibel limits at the bounding property line in any district shall be as shown in the following tables. Sound level may be measured in frequency bands as shown by Table A or by Table B as follows:

Table A Preferred Frequencies		Table B Octave Band Frequencies	
Center Frequency (cycles per second)	Maximum Permitted Sound Pressure Levels (decibels)	Octave Band (cycles per second)	Maximum Permitted Sound Pressure Level (decibels)
31.5	76	20—75	75
63.0	74	75—150	70
125.0	68	150—300	64
250.0	63	300—600	59
500.0	57	600—1,200	53
1,000.0	52	1,200—2,400	47
2,000.0	45	2,400—4,800	40
4,000.0	38	4,800—10,000	34
8,000.0	32		

- (c) *Modifications to standards.* The following corrections shall be made to the table of preferred frequencies (Table A) or octave band decibel limits (Table B) in determining compliance with the noise level standards in any district:

Type of Operation or Character of Noise	Correction in Decibels
Noise source operates less than:	
— 20 percent of any one hour period	Plus 5
— 5 percent of any one hour period	Plus 10
— 1 percent of any one hour period	Plus 15
Noise of impulsive character (hammering, etc.)	Minus 5

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Noise of periodic character (hum, screech, etc.)	Minus 5
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~~(d) *Noise measurement.* For the purpose of measuring the intensity and frequency of sound, the sound level meter, the octave band analyzer and the impact noises analyzer shall be employed. The flat network and fast meter response of the sound level meter shall be used. Sounds of short duration that cannot be accurately measured with the sound level meter shall be measured with the impact analyzer.~~

~~(1) Octave band analyzer calibrated in the Preferred Frequencies (American Standards Association S1-6-1960, Preferred Frequencies for Acoustical Measurement) shall be used with Table A.~~

~~(2) Octave band analyzers calibrated with pre-1960 octave bands (American Standards Association Z-24-1953, Octave Filter Set) shall be used with Table B.~~

~~(e) *Exemptions.* The following uses and activities shall be exempt from the noise level regulations specified in this section:~~

~~(1) Noises not directly under the control of the property user.~~

~~(2) Noises emanating from construction and maintenance activities between the hours of 7:00 a.m. and 7:00 p.m. (daylight hours).~~

~~(3) Noises of safety signals, warning devices and emergency pressure relief valves.~~

~~(4) Transient noise of moving sources such as automobiles, trucks, airplanes and railroads.~~

Secs. 98-1059—98-1080. - Reserved.



PLANNING & ZONING COMMISSION AGENDA J.3. REGULAR ITEM(S)

DATE: January 26, 2026
FROM: Nick Ford, Senior Planner
ITEM: **Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0004 – Parking Mitigation and Foundational Planting Update) by amending Chapter 74, “General Provisions” and Chapter 82, “Development Standards” related to definitions, parking mitigation, off-street parking, foundational planting, and parking area landscaping.**

BACKGROUND:

I. ITEM SUMMARY

This Town-initiated item proposes to amend the Town’s Land Development Regulations by updating language related to definitions, parking mitigation, off-street parking, parking area design, foundational planting, and parking area landscaping.

The proposed amendment includes changes to the parking mitigation code to expand upon stormwater treatment infrastructure options such as bioswales or rain gardens and permeable or porous pavement options to reduce stormwater runoff, increase water quality, and reduce the heat island effect. As proposed, a developer must choose between increased bioretention or porous and permeable pavement as the first requirement when a development requests excess parking above twenty percent of the required parking. In addition, a developer must also choose from a list of landscaping options which are also intended to help reduce the effects of excess parking, stormwater runoff, and heat island effects, such as increased trees, enhanced screening, enhanced plantings, or enhanced landscape area islands. Additional amendments to the parking and landscaping code are proposed to help complement the mitigation updates, such as parking area design, parking area landscaping, and pavement standards.

The foundational planting amendments include adding new uses (such as medical office and retail) that must contain foundational planting, clarifying locations and types of plantings, amending the required depth, and allowing for exceptions in certain conditions. This amendment is intended to help clarify where foundational planting is required, provide for more options for plantings, and amend requirements which were found to be too rigorous for small nonresidential developments in which this section applies.

II. APPLICATION ANALYSIS

Updates are proposed in Chapter 74 — "General Provisions" and Chapter 82 — "Development Standards."

Section 74-3. Definitions.

- Update to include definitions for:

1. Bioswale
2. Native plant
3. Parking space
4. Permeable or porous surfaces
5. Rain garden
6. Turf grass

Section 82-73. Computing parking and loading requirements.

- Update to deviation of required spaces to help clarify when to provide a parking study and further clarify when parking mitigation is required.
- Update seating capacity to be based upon the International Building Code (IBC) instead of the uniform building code.
- Update to parking mitigation options, which, as proposed, includes two separate lists developers must choose at least one option from. The "primary mitigation options" have been replaced with Stormwater Treatment Infrastructure, which includes an option between increased bioretention or usage of permeable or porous pavement. The "secondary mitigation options" list has been replaced with "landscaping mitigation options", which includes options for increased trees, enhanced screening, enhanced plantings, and enhanced landscape area islands. This update also includes an illustration of what the proposed mitigation options may look like in a conceptual site plan view. All options are designed to give flexibility to sites, whether it is a greenfield site or redevelopment of an existing site.

Section 82-74. Off-street parking requirements.

- Update and clarify the off-street parking requirements for "college or university" and "day care center."

Section 82-78. Parking area design.

- Update to include the usage of wheel stops, bollards, or slotted curbs near stormwater treatment areas instead of full curbing. As currently written, the code does not allow for curbless options in parking lots.
- Update to include surface parking lots to engage natural topography or water features to avoid straight lines and encourage curvilinear parking configurations, where applicable.
- Update to include large surface parking lots to be separated up into smaller lots not to exceed 250 spaces through landscaping, which is also considered a large development in the parking code. Parking lots must be separated through landscaped areas at least 15 feet wide, which is the same as the street buffer requirement for nonresidential sites. This requirement will help encourage the use of landscaping to split continuous impervious areas and further reduce heat island impacts and enhance parking lot areas with larger landscaped areas. In addition, this area may count towards the landscaping required in the section.

Section 82-80. Paving standards.

- Update to include alternative pavements such as porous asphalt or concrete or permeable interlocking paver systems to be used in parking lots. Updates include usage, maintenance, installation, submittal, and approval requirements.

Section 82-240. Foundational plantings.

- Update to include:
 - Add new uses such as medical office and retail.
 - Amendment to clarify the locations of foundational plantings and provide new illustrations showing required locations.
 - Clarify the depth required and where to measure the depth from with a new illustration and also to amend the minimum depth to 3 feet.
 - Addition of shrubs, ornamental grasses, and natural prairie vegetation or pollinator areas as an option to be used in foundational plantings.
 - Provide an exception process for foundational planting where some site constraints may exist.

Section 82-243. Parking area landscaping.

- Update to include parking area design and parking lot spacing. New illustrations show how large lot development may be spaced out with the use of 15 feet of continuous landscape area islands for each block of 250 parking spaces.

BOARD REVIEW/CITIZEN FEEDBACK: The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle) for all land development regulation updates. At the time this report was written, staff had not received any correspondence regarding this item.

ALTERNATIVES: N/A

FISCAL IMPACT: N/A

LEGAL REVIEW: Rachel Raggio, of Taylor, Olson, Adkins, Sralla, & Elam L.L.P., will review the ordinance as to form and legality.

ATTACHMENTS:

1. DRAFT Redline Ordinance

DRAFT MOTION: Move to approve as presented in the agenda caption.

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Chapter 74 – GENERAL PROVISIONS

Sec. 74-3. Definitions.

Bioswale means a sloping channel planted with wet tolerant species of plants or ornamental grasses. They transport, store, and allow infiltration of water, and can be designed as a landscape feature. Bioswales are planted with a variety of plant species that can withstand occasional water inundation for short periods of time.

Native plant means a plant or plants indigenous to Texas.

Parking space means a space within a public or private parking area which is for the temporary parking or storage of one motor or vehicle.

Permeable or Porous surfaces means surfaces such as porous concrete or asphalt, interlocking paver systems, and permeable pavement systems that allow water to infiltrate into subsurface soil.

Rain garden means a small shallow depression planted with a variety of native or ornamental plants that can treat small amount of runoff to improve water quality. Raingardens are generally small collections of flood-tolerant plants planted on a low site area that naturally collects rainfall.

Turf grass means grass commonly used in regularly-cut lawns or play areas, including, but not limited to Bermuda grass, fescue, St. Augustine, zoysia, and ryegrass blends.

Chapter 82 – DEVELOPMENT STANDARDS

ARTICLE III. - OFF-STREET PARKING AND LOADING

Sec. 82-73. Computing parking and loading requirements.

The number of parking spaces required for a specific development proposal shall be based on the requirements listed in section 82-74, Off-street parking requirements, and the following provisions:

(1) Deviation of required spaces. The amount of parking may be reduced or increased by 20 percent of the required parking for all uses.

(a) Deviations fFor all uses, excluding "religious assembly/institution or rectory," in excess dDeviations exceeding of 20 percent, whether reducing or increasing the required parking, must be accompanied by a parking study and approvedal by the town council; , -except as provided below for "religious assembly/instruction or rectory" uses.

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- i. ~~For “religious assembly/institution or rectory” uses, D~~deviations for “religious assembly/institution or rectory” increasing required spaces in excess of any reduction in required parking exceeding 20 percent must be accompanied by a parking study and approval by the town council; and
 - ii. Any increase in required parking exceeding 30 percent must be accompanied by a parking study and approved by the town council; and
- (1)(b) Any approved parking deviations for all uses in excess of exceeding 20 percent above of the required parking must be mitigated. Mitigation may be achieved by the use of permeable or pervious paving, increased landscaping, increased stormwater treatment infrastructure, or other method(s) to reduce the impact of the increased parking as described in section 82-73(11).

- (7) *Seating capacity.* Where parking ratios are specified in terms of the number of seats, this shall be interpreted to mean maximum seating capacity as determined using the standards of the most recently adopted uniform International Building Code (IBC).

- (11) *Mitigation.* The purpose of mitigation is to reduce adverse effects caused by the excessive use of concrete, which includes but is not limited to: heat island effect, increased water runoff, and surface pollution. In addition to complying with sections 82-243, 82-271, and 94-63, mitigation must be achieved by incorporating at least one of the methods from list (a) and at least one landscape mitigation option from list (b).

- a. ~~Primary mitigation Stormwater Treatment Infrastructure option.~~ At least one of the following options must be used.
 - i. ~~Increased tree planting requirement. In addition to section 94-63, provide one tree for every ten parking spaces that exceed the maximum allowable deviation.~~
 - ii. Increased stormwater treatment bioretention. A stormwater Bioswales or raingardens or curb inlet treatment system may be used to mitigate the effects of increased stormwater runoff and surface pollutants, as approved by the town manager or their designee. Bioswales or raingardens shall be provided at a minimum of 90 square feet per 12 parking spaces that exceed the maximum allowable deviation for required parking spaces. Plant materials installed shall be of a native variety that tolerates long periods of inundation and potential periods of drought. A maintenance plan and all planting materials and locations of plantings shall must be approved by the town manager.
 - iii. Alternative paving Permeable or porous pavement. Alternative Permeable or porous paving may be approved by the town manager or their designee. The alternative paving must improve performance measures such as reducing the heat island effect and demonstrate durability over time, reducing pollutants, or reducing runoff, and must demonstrate durability over time. Porous or permeable paving shall be utilized for a minimum of 30 percent of the parking spaces that exceed the maximum allowable deviation. Alternative paving is further subject to the regulations in accordance with section 82-80.
- b. Secondary Landscaping mitigation options. In the event a primary mitigation option is not possible due to site restrictions, the following option must be used In addition to the above, at least one of the following options must be used.

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- i. Increased tree planting requirement. In addition to section 94-63, provide one tree for every ten parking spaces that exceed the maximum allowable deviation. The additional trees must all be a minimum of three-inch caliper, at the time of planting.
- ii. Increased Enhanced screening/landscaping. All parking area screening required for the site must include at least two rows of vegetation including, but not limited to shrubs, ornamental trees, native ornamental grasses, and ground cover. Screening rows must contain variations in height and incorporate a curvilinear planting pattern with a minimum six-foot planting depth from the back of the parking lot curb.
- iii. Enhanced plantings. A variation of wildflower and pollinator friendly mixes or native prairie grasses must be provided at a minimum of 90 square feet per 12 parking spaces that exceed the maximum allowable deviation for required parking spaces. Trees planted in this area may use trees from section 94-68(5). A maintenance plan and all planting materials and locations of plantings shall require approval by the town manager.
- iv. Enhanced landscape islands. For parking spaces that exceed the maximum allowable deviation, contiguous landscape islands of at least nine feet wide must be installed between two parking rows for the full length of the parking row. In addition, landscaped areas per section 94-63(5) must be installed at both ends of every parking row and at least every ten parking spaces along the row. Landscape areas and islands should include canopy and ornamental trees per section 94-63 and aesthetically designed perimeter shrubs, natural grasses, and ground cover to soften and screen parking lots.

PARKING MITIGATION OPTIONS EXAMPLES

STORMWATER TREATMENT MITIGATION OPTIONS --- CHOOSE AT LEAST ONE ---	
A <i>Increased bioretention</i>	Bioswales or rain gardens provided at 90 square feet per 12 additional parking spaces beyond the maximum required.
B <i>Permeable or porous pavement.</i>	Permeable or porous pavement are at least 30% of the additional parking spaces beyond the maximum required.

LANDSCAPING MITIGATION OPTIONS --- CHOOSE AT LEAST ONE ---	
1 <i>Increased Tree Planting</i>	One tree for every ten parking spaces beyond the maximum required. Trees must be at least three-inch caliper.
2 <i>Enhanced Screening</i>	All parking areas must have at least two rows of screening vegetation. Screening must vary in height and incorporate a curvilinear planting pattern with six-foot planting depth.
3 <i>Enhanced Plantings</i>	Wildflower and pollinator friendly mixes or native prairie grasses provided at 90 square feet per 12 additional parking spaces beyond the maximum.
4 <i>Enhanced Landscape Islands</i>	Continuous landscape islands at least 9 feet wide between parking rows. All parking rows surrounded by a landscape area and at least every 10 spaces surrounded by a landscaped area. Islands should include canopy and ornamental trees as well as shrubs, natural grasses, and ground cover.

ILLUSTRATIONS ARE NOT TO SCALE

Sec. 82-74. Off-street parking requirements.

The following are the off-street parking requirements:

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SCHEDULE OF OFF-STREET PARKING REQUIREMENTS

Use Type	Parking
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College or university	A-1 space per classroom/instruction area plus 1 space per 3 students accommodated
Day care center	1 space per 4 persons accommodated <u>including pupils and employees</u>

Sec. 82-78. Parking area design.

- (8) Curbs must be provided to prevent any vehicle using a parking area from encroaching on any public street, required landscaping area, sidewalk, trail, or adjacent property, unless otherwise approved by the town manager or their designee. Where parking aisles or driveways are adjacent to stormwater treatment areas, wheel stops, bollards, or slotted curbs may be provided as necessary to prevent vehicle encroachment and allow stormwater runoff to infiltrate landscape islands, rain gardens, bioswales, or perimeter parking lot landscaping.

- (11) Where surface parking engages natural water or land features, the parking geometries should avoid straight lines and introduce curvilinear parking edges that are associated with the natural landscape they engage.
- (12) Large surface parking lots shall be visually and functionally segmented into several smaller lots of no more than 250 spaces each through the use of landscaping in accordance with section 82-243.

Sec. 82-80. Paving standards.

- (1) All parking areas, loading spaces, and driveways, regardless of size or length, constructed after December 31, 1974, or unless otherwise granted within this article, must be free of weeds and surfaced with concrete, asphalt, ~~or brick,~~ or other accepted pavement, as approved by the town manager or their designee.
- (2) Alternative pavements such as porous asphalt or concrete or permeable interlocking paver systems may be incorporated into nonresidential uses subject to review and approval by the town manager, provided all the following conditions are met:
- (1) Porous or permeable pavement is limited to parking spaces only, is capable of being striped, and meets standard weight requirements for parked vehicles in accordance with generally accepted engineering standards; and
 - (2) Porous or permeable pavement is not permitted within fire lanes, loading or service areas, parking aisles, or driveways; and
 - (3) Porous or permeable pavement may not be used adjacent to industrial uses and may not be used in large vehicle parking spaces; and
 - (4) A geotechnical report and engineered design detail must be provided, and the design must include a geofabric underlayment and an underdrain system; and

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(5) All porous or permeable pavement systems must be maintained in accordance with the manufacturer's specifications and maintenance plan to ensure continued performance.

Secs. 82-84—82-110. Reserved.

ARTICLE V. – LANDSCAPING AND SCREENING

Sec. 82-240. Foundational planting.

(a) Uses. This section shall only be required for the following use types from section 98-952:

- (1) Educational, institutional, civic uses;
- (2) Bank or savings and loan;
- (3) Restaurant, fast food;
- (4) Restaurant, general; and/or
- (5) Office, medical and dental;
- (6) Office, general business and professional; and/or
- (5)(7) Retail Uses.

(b) Location. All new Nonresidential buildings of 15,000 square feet or less must install foundational planting areas along the following areas:

- (1) The front façade of a building, the primary entrance façade, and any façade that contains a public accessible building entry point; and
 - (2) Any façade which faces a street, driveway, parking aisle, or open space; and
 - (3) Foundational plantings should be located in a manner that does side foundation lines where not impeded by building entrances, loading areas, or and service areas, parking spaces, or sidewalks. Foundation planting areas may also be required at the rear of the building if visible from streets, other buildings, or open spaces; and
 - (4) Facades facing a screening wall or other screening devices, such as a compatibility buffer, or adjacent to loading docks or service areas may be exempt from foundational planting requirements. However, all mechanical equipment located in foundational planting areas must be screened in accordance with section 82-272.
- 1-(5) An exception to the location of foundational planting may be approved by the town council if the equivalent square footage of landscape is provided on site and remains within close proximity to the building.

(c) Depth. The minimum width bed depth for foundational planting areas is five-three feet. The depth shall be measured from the façade three feet out horizontally from the building at grade level. The depth may exceed three feet where site conditions allow.

(b)(d) Plantings. Foundational planting areas must include a combination of ground shrubs, ornamental grasses, and ground covers, shrubs and, may also include and ornamental natural prairie vegetation or pollinator friendly plantings.trees.

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(e) Installation. Foundational plant material ~~may be~~ must be installed at grade., ~~in raised planters, or in decorative plant containers.~~ Plantings must be arranged in natural groupings or layered rows, where achievable. All foundational planting must be irrigated.

1-(f) Illustrations.

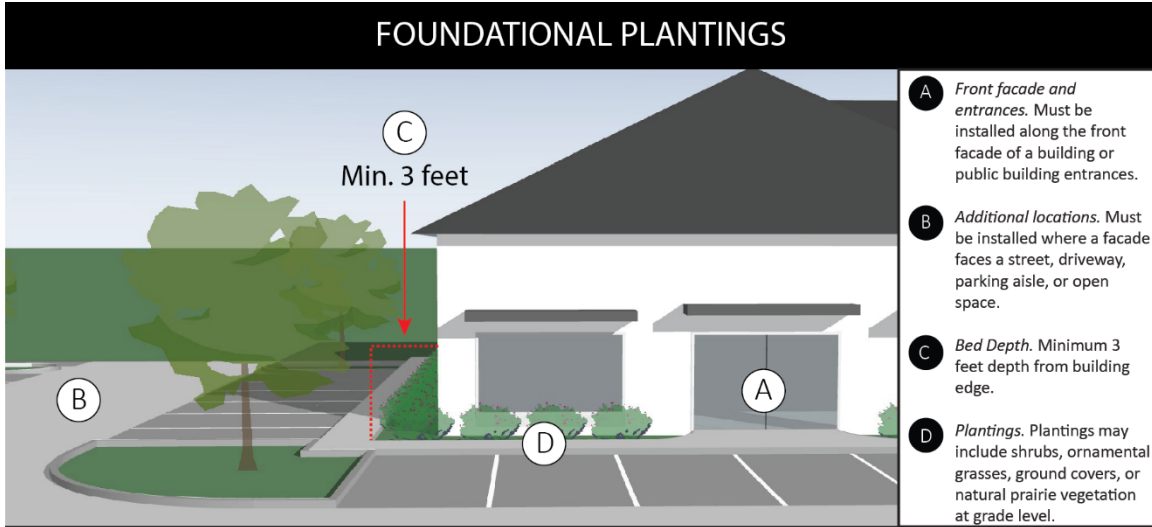


Illustration purposes only

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Illustrations Are Not to Scale - For Visual Purposes Only

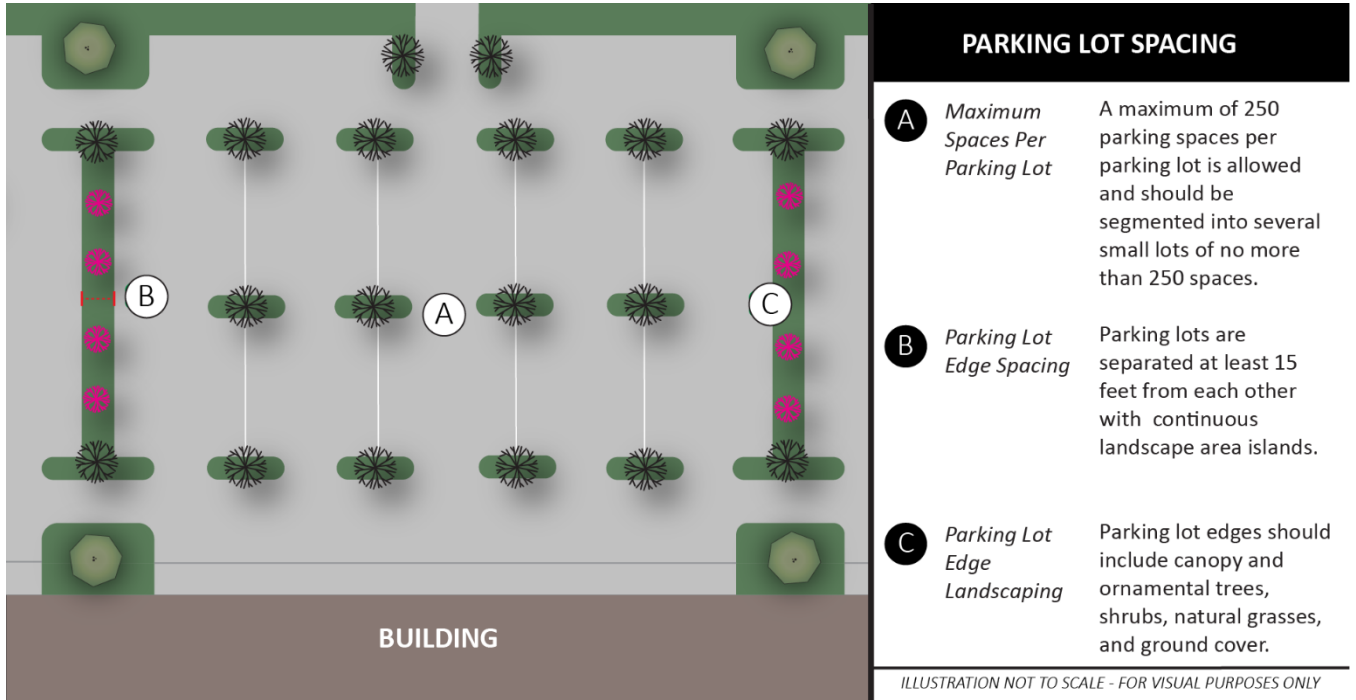
Sec. 82-243. Parking area landscaping.

- a. *Generally.* Landscaped areas shall be provided within off-street parking areas at a minimum ratio of 90 square feet per 12 parking spaces.
- b. *Scenic roadway.* Landscaped areas shall be provided within off-street parking areas at a minimum ratio of 170 square feet per 12 parking spaces.
- c. *Religious assembly/institution or rectory and/or schools.* Landscaped areas shall be provided within off-street parking areas at a minimum ratio of 45 square feet per 12 parking spaces.
- d. Landscaped areas within parking lots shall count toward satisfying section 82-242 related to street buffer landscaping.

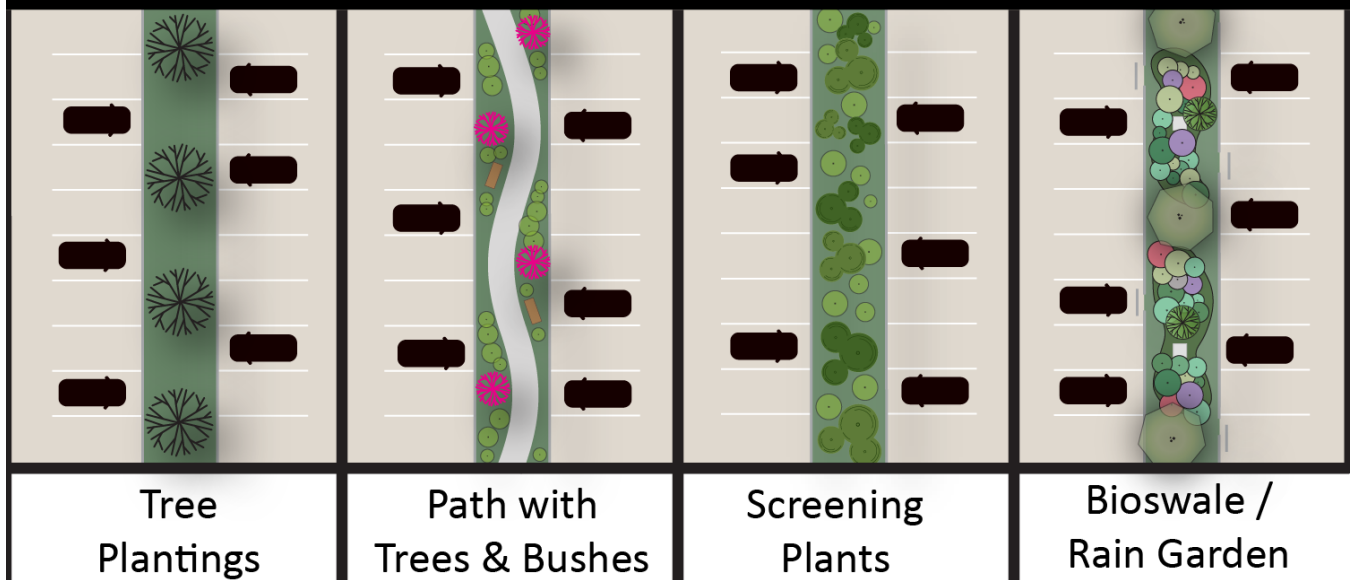
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e. Trees. Parking areas must comply with section 94-63.

e.f. Parking Lot Spacing. A maximum of 250 parking spaces is permitted per parking lot. Each parking lot should be separated by at least 15 feet from one another using continuous landscape area islands. Parking lot edges should include canopy and ornamental trees per section 94-63 and aesthetically designed perimeter shrubs, natural grasses, and ground cover to soften and screen parking lots.



PARKING LOT SPACING LANDSCAPING EXAMPLES



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f.g. Parking mitigation requirement. Developments approved for excess parking must comply with section 82-73(11).