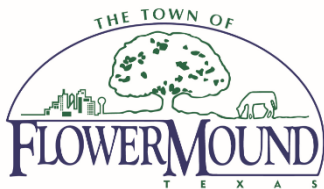


# Planning & Zoning Commission

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March 9, 2026  
Town Hall  
2121 Cross Timbers Road  
Flower Mound, TX 75028

6:30 p.m.

*(or immediately following the Capital Improvements Advisory Committee meeting)*

Comments regarding any agenda item can be sent to the Planning Department at [planning@flowermound.gov](mailto:planning@flowermound.gov) or by calling 972.874.6350 and leaving a message.

## AGENDA

### A. CALL TO ORDER

### B. INVOCATION

### C. PLEDGE OF ALLEGIANCE TO THE UNITED STATES FLAG

### D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

To speak during public comment, fill out a comment form (PDF). Note:

- Limited to three (3) minutes, a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair
- Direct comments to the Board/Commission
- State your name and the municipality where you reside

### E. COORDINATION OF CALENDARS

1. March 23, 2026 - CANCELED
2. April 13, 2026

### F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

### G. STAFF/DIRECTOR REPORT

1. Electric Vehicle (EV) Update

## H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or "housekeeping" items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of February 23, 2026 - Consider approval of the minutes from February 23, 2026.

## I. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. SUP25-0008 - JSP Banquets - Public Hearing to consider an ordinance granting Specific Use Permit No. 501 (SUP25-0008 – JSP Banquets) to permit an assembly hall use. The property is generally located west of Morriss Road and south of Littlejohn Court along Flower Mound Road.

## J. ADJOURN

## K. WORK SESSION

### Public Comment Guidelines for Work Sessions

- Work Sessions are not Public Hearings; the Commission cannot take action.
  - Speakers are limited to 3 minutes; a tone will sound at 30 seconds left and when time expires.
  - Times may be adjusted by the Chair depending on the number of speakers.
  - Donated time will not be recognized.
  - Please state your name and the municipality where you reside, and direct comments to the Commission.
1. MPA25-0008 - Cottonwood and ZPD25-0009 - Cottonwood - A Work Session in conjunction with a future Public Hearing for a Master Plan Amendment (MPA25-0008 – Cottonwood) and Zoning Planned Development (ZPD25-0009 – Cottonwood). The property is generally located north of Dixon Lane, south of Justin Road, and east of Long Prairie Road.

**Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.**

I do hereby certify that the notice of above meeting for the Town of Flower Mound was posted at Town Hall, Town of Flower Mound, Texas, and on the Town's website in compliance with Chapter 551, Texas Government Code on March 3, 2026, by 5:00 p.m.

**LauriAnn Cash, Staff Liaison**

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

# Planning & Zoning Commission

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February 23, 2026  
Town Hall  
2121 Cross Timbers Road  
Flower Mound, TX 75028

6:30 p.m.  
*(or immediately following the SMARTGrowth Commission meeting)*

## DRAFT MINUTES

### A. CALL TO ORDER

Chair Schultz called the regular meeting to order at 7:24 p.m. with the following members present:

Gregory Schultz, Place 1, Chair  
Jason Hobbs, Place 2, Vice-Chair  
Todd Bayuk, Place 3  
Scott Langley, Place 5  
Donald Gilmore, Place 6  
Clare Harris, Place 7  
Michelle Jackson, Place 8 Alternate  
Deb Fitzpatrick, Place 9 Alternate

with the following member(s) absent:  
Ryan Geddie, Place 4

constituting a quorum with the following members of the Town Staff participating:

Rachel Raggio, Town Attorney  
Poornima Kashyap, Planning Manager  
Bob Pegg, Town Engineer  
Jersain Castanon, Senior Project Engineer  
Chuck Russell, Principal Planner  
Claire Barnes, Senior Planner  
Nick Ford, Senior Planner  
LauriAnn Cash, Staff Liaison

### B. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

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- Direct comments to the Board/Commission

- State your name and the municipality where you reside

*Names listed below don't necessarily reflect the order in which each person spoke, and all municipalities are located in Flower Mound unless otherwise indicated.*

	<b>Speaker name and municipality</b>	<b>Subject (as written on the form)</b>
1.	Dennis McKaige, Flower Mound	MISC26-0001
2.	Arthur Stafford, Flower Mound	MISC26-0001
3.	Sandy Bell, Flower Mound (with time donated by Marty Watkins, Flower Mound)	MISC26-0001
4.	Oran Waldron, Flower Mound	MISC26-0001
5.	Jerry Whiteman, Flower Mound	MISC26-0001
6.	Karla Russell, Flower Mound	MISC26-0001
7.	Angelica Abrams, Flower Mound (with time donated by Keith Abrams, Flower Mound)	MISC26-0001
8.	Mark Glover, Flower Mound	MISC26-0001
9.	*Paula Soulen, Flower Mound	MISC26-0001

*\* Indicates person did not wish to speak*

### **C. COORDINATION OF CALENDARS**

1. March 9, 2026

### **D. FUTURE AGENDA ITEM(S)**

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

1. Vice-Chair Hobbs requested an update to EV (Electronic Vehicle) Chargers and Stations, and the Commission agreed.
2. Commissioner Jackson would like information on any upcoming local training, specifically during the summer, and the Commission agreed.

### **E. STAFF/DIRECTOR REPORT**

1. Upcoming Work Session

### **F. CONSENT ITEM(S)**

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of February 9, 2026 - Consider approval of the minutes from February 9, 2026.

**ACTION:** Commissioner Langley moved to approve F.1. as presented in the agenda caption. Commissioner Harris seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

#### **G. NON-DISCRETIONARY ITEM(S)**

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP25-0010 - Fortezza North - Consider a request for a site plan (SP25-0010 – Fortezza North) to develop one mixed-use building. The property is generally located east of Sunset Boulevard and north of Village Lane. (PZ tabled this item by a vote of 6 to 0 at its February 9, 2026 meeting.)

**STAFF PRESENTATION:**  
Claire Barnes, Senior Planner

**APPLICATION PRESENTATION:**  
Corey Van Trease, Van Trease Constructors; present for questions, no presentation

**ACTION:** Commissioner Jackson moved to approve G.1. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

2. SP25-0024 - Fortezza - Consider a request for a site plan (SP25-0024 – Fortezza) to develop one mixed-use building. The property is generally located east of Sunset Boulevard and south of Lakeside Village Boulevard.

**STAFF PRESENTATION:**

Claire Barnes, Senior Planner

**APPLICANT PRESENTATION:**

Corey Van Trease, Van Trease Constructors; present for questions, no presentation

**ACTION:** Commissioner Harris moved to approve G.2. as presented in the agenda caption. Commissioner Gilmore seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

**H. REGULAR ITEM(S)**

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. MISC26-0001 - Charco Storage Re-Application Waiver - Consider approval of a request (MISC26-0001 - Charco Storage Re-Application Waiver) for a waiver to the one-year waiting period required after denial of zoning amendment request by the Town Council in order to allow acceptance of new zoning amendment application for the same property, as outlined in Section 78-154, "Action by town council," of the Code of Ordinances. The property is generally located at the northwest corner of Flower Mound Road and Old Orchard Lane.

**STAFF PRESENTATION:**

Claire Barnes, Senior Planner

**APPLICANT PRESENTATION:**

O'Neal Gray, Charco Properties, LP

**ACTION:** Commissioner Bayuk moved to deny H.1. as presented in the agenda caption. Commissioner Hobbs seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

2. SSP25-0006 - Havenwood Phase 1 - Consider a request for a Subdivision Site Plan (SSP25-0006 – Havenwood, Phase 1) to develop a residential subdivision with an exception to Section 90-403, “Fully developed FEMA floodplain,” and an exception to Section 90-404, “Special flood hazard area (FEMA floodplain),” of the Code of Ordinances to allow construction-related activity within the Fully Developed and FEMA floodplain areas. The property is generally located south of Cross Timbers Road, east of Shiloh Road and west of Scenic Road.

**STAFF PRESENTATION:**

Chuck Russell, Principal Planner

**APPLICANT PRESENTATION:**

Mike Boswell, Toll Brothers

**ACTION:** Commissioner Gilmore moved to recommend approval of H.2. as presented in the agenda caption, and with the conditions listed in the staff report. Commissioner Bayuk seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

3. SP25-0019 - Forestwood Middle School Track Replacement - Public Hearing to consider a request for a site plan (SP25-0019 – Forestwood Middle School Track Replacement) to redevelop an outdoor athletic area, with an exception to Section 82-302, “Compatibility buffer,” of the Code of Ordinances. The property is generally located east of Morriss Road and southeast of Garden Road.

**STAFF PRESENTATION:**

Chuck Russell, Principal Planner

**APPLICANT PRESENTATION:**

Randy Fite, LISD

Josh Barton, McAdams

*Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.*

	SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY

1.	*Bailey Wallace, Flower Mound	*Debb Woollums, Flower Mound	None
2.		*Steve Woollums, Flower Mound	

\* Indicates person did not wish to speak

**ACTION:** Commissioner Jackson moved to recommend approval of H.3. as presented in the agenda caption, and for the applicant to consider relocating a portion of the track located in the south compatibility buffer. Commissioner Harris seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson

**NAYS:** None

**RESULT:** 6 : 0

*Chair Schultz called for a recess at 10:01 p.m.*

*Chair Schultz called the meeting back in order at 10:08 p.m.*

4. LDR25-0003 - 2025 State Legislative Updates - Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0003 – 2025 State Legislative Updates) by amending Chapter 34, "Environment" of Subpart A "General Ordinances" and Chapter 78, "Administration" and Chapter 98, "Zoning" of Subpart B "Land Development Regulations" related to notice and protest procedures, home occupation, land uses, and noise.

**STAFF PRESENTATION:**

Nick Ford, Senior Planner

*Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.*

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

\* Indicates person did not wish to speak

**ACTION:** Vice-Chair Hobbs moved to recommend approval of H.4. as presented in the agenda caption, with a modification to

Section 98-2, to see a less restrictive approach to the maximum number of employees, clients, or patrons based on safety, square footage, or other similar options for a home occupation.. Commissioner Harris seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson  
**NAYS:** None  
**RESULT:** 6 : 0

5. LDR25-0004 - Parking Mitigation and Foundational Planting Update - Public Hearing to consider an ordinance amending the Land Development Regulations (LDR25-0004 – Parking Mitigation and Foundational Planting Update) by amending Chapter 74, “General Provisions” and Chapter 82, "Development Standards" related to definitions, parking mitigation, off-street parking, foundational planting, and parking area landscaping.

**STAFF PRESENTATION:**

Nick Ford, Senior Planner

*Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.*

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY

*\* Indicates person did not wish to speak*

**ACTION:** Commissioner Harris moved to recommend approval of H.5. as presented in the agenda caption. Commissioner Bayuk seconded the motion.

**AYES:** Gilmore, Hobbs, Bayuk, Langley, Harris, Jackson  
**NAYS:** None  
**RESULT:** 6 : 0

**I. ADJOURN**

Chair Schultz adjourned the meeting at 11:15 p.m.

**TOWN OF FLOWER MOUND, TEXAS**

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**GREG SCHULTZ, CHAIR**

**ATTEST:**

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**LAURIANN CASH, STAFF LIAISON**



# PLANNING & ZONING COMMISSION AGENDA I.1. REGULAR ITEM(S)

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**DATE:** March 9, 2026  
**FROM:** Claire Barnes, Senior Planner  
**ITEM:** **Public Hearing to consider an ordinance granting Specific Use Permit No. 501 (SUP25-0008 – JSP Banquets) to permit an assembly hall use. The property is generally located west of Morriss Road and south of Littlejohn Court along Flower Mound Road.**

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## BACKGROUND:

### I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Town Council.

### II. APPLICATION ANALYSIS

The purpose of the application is to request approval of a Specific Use Permit (SUP 501) to permit an assembly hall to occupy 2,614 square feet within an 8,040 square-foot building located on Lot 8, Block 1 of the Morriss Commons Addition. The subject site contains approximately 1.782 acres.

The property is located within Planned Development District No. 84 (PD-84) with Retail District-2 (R-2) uses. Assembly hall use requires approval of a Specific Use Permit (SUP) in R-2 zoning. According to the applicant, the maximum number of seats proposed is 96. The applicant is proposing the facility be available for events between 9:00 a.m. and 6:00 p.m., Monday through Friday with a maximum of 66 attendees. They are also proposing the facility be open between 6:30 p.m. and 12:00 a.m., Monday through Friday, and between 9:00 a.m. and 12:00 a.m. Saturday and Sunday with a maximum of 96 attendees. The intended use is for special events such as weddings, birthdays, graduations, baby showers, anniversaries, etc.

Assembly hall use has a parking ratio of one (1) space per 3 seats. With 96 seats, the use requires 32 parking spaces. The subject lot contains 38 parking spaces. The subject building currently contains one office tenant which requires 6 spaces and an ice-cream shop that requires 18 parking spaces. If the remainder of the building (approximately 2,726 square feet) is occupied in the future by retail uses, another 12 spaces will be required. With the Town's allowable 20% deviation, the minimum parking required for the building is 54.

The applicant has provided a parking analysis demonstrating that there is adequate parking for existing tenants as well as the proposed use. Based on this analysis, in addition to the parking spaces on the subject lot, there are 13 parking spaces on the adjacent amenity lot east of the site available during the week. There are also spaces available on the adjacent developed lots, since it is a part of a multi-lot commercial development (Morriss Commons) that has cross access and cross

parking agreements. Overall, there are 319 spaces available in the Morriss Commons development, with at least 35 not currently assigned to a specific tenant, according to Town records. The uses located at 2041 Morriss and 1230 Flower Mound Road are typically open between 6:30 a.m. to 6:30 p.m during weekdays only and are closed on weekends, providing an additional 84 spaces.

All activities are to be held within the existing subject building. No exterior changes to the building are being proposed.

The ordinance for the SUP will include the following conditions for the assembly hall use:

1. The Specific Use Permit is limited to 2,614 square feet within the building located on Lot 8, Block 1 of the Morris Commons Addition.
2. The maximum attendee capacity shall be capped at 96 occupants.
3. The hours of operation shall be between 9:00 a.m. and 12:00 a.m. all seven days of the week.
4. All activities related to the subject assembly hall use must remain indoors.

**BOARD REVIEW/CITIZEN FEEDBACK:** The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200ft of the subject property for all zoning application requests. SUP25-0008 had a total of 32 Property Owner Notifications mailed. At the time this report was written, staff had not received any correspondence regarding this item.

**ALTERNATIVES:** N/A

**FISCAL IMPACT:** N/A

**LEGAL REVIEW:** Rachel Raggio, of Taylor, Olson, Adkins, Sralla, & Elam L.L.P., will review the ordinance as to form and legality.

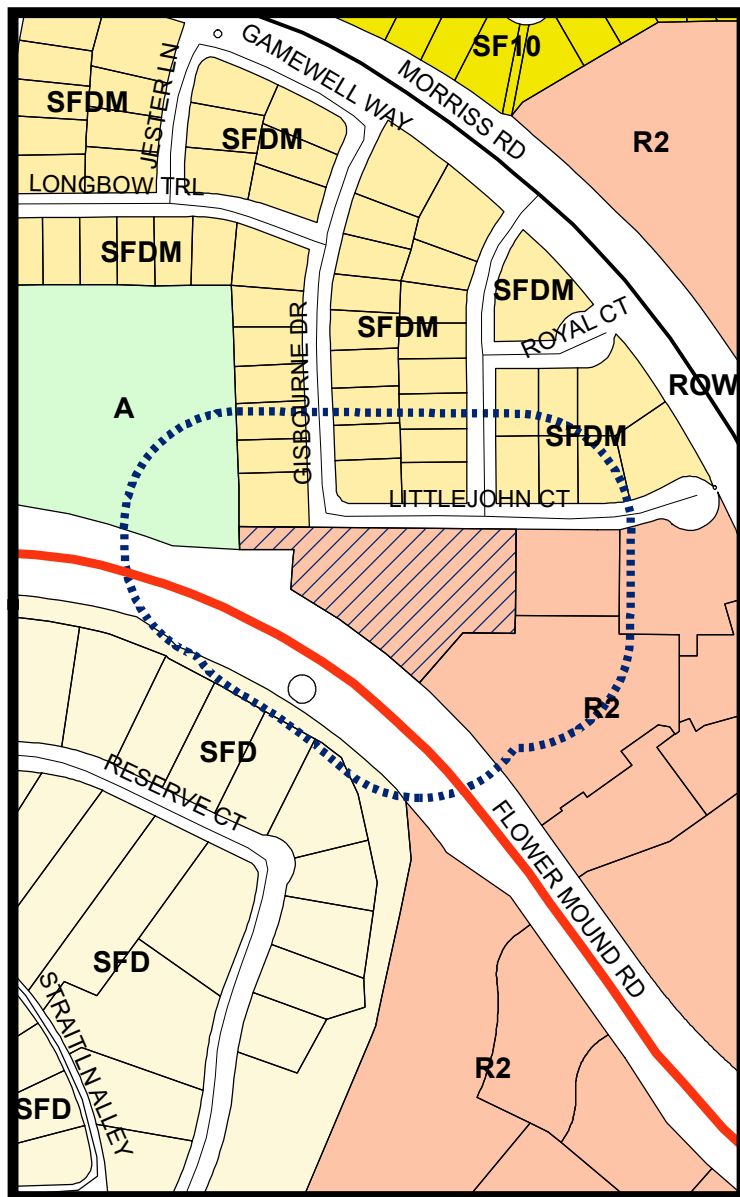
**ATTACHMENTS:**

1. Zoning & Aerial Map
2. Letter of Intent
3. Specific Use Permit Package

**DRAFT MOTION:** Move to approve as presented in the agenda caption.

# Vicinity Map

SUP25-0008: JSP Banquets



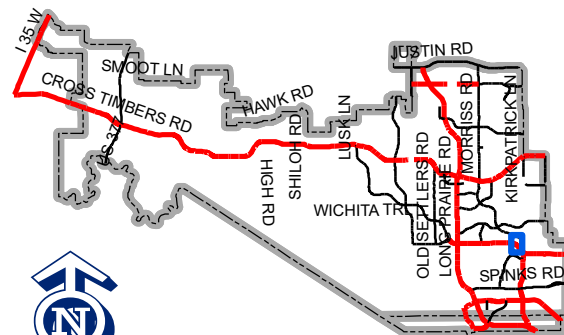
## LEGEND

- Agriculture
- Retail 2
- Single Family 10
- Single Family Density Medium
- Single Family Detached

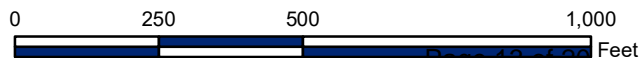
- Subject Property
- 200 ft Notification Buffer around Property

Visit [www.fmdevmap.com](http://www.fmdevmap.com) to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location



## JSP PAVILION LLC

4433 Punjab Way # 301, Frisco, TX 75033 | (469) 536-8695 | Sri@Chaluvadi.net

12/26/2025

To Whom So Ever It May Concern:


Re: Request for SUP, 1260 Flower Mound Rd, Flower Mound, TX 75028

I am seeking a Specific Use Permit to use Suites 500 (1,294 SF) and 600 (1,320 SF) as an event venue for small to medium events. Total space for proposed event venue is 2,614 SF. Subject suites are a part of 6-unit condominium building on 1260 Flower Mound Rd. The property is 1.782 acres. The event venue will be used to host events such as weddings, birthdays, graduation, baby showers, anniversaries, etc. We will adhere to the maximum occupancy stipulated for the venue per zoning regulations of the town of Flower Mound. We will comply with all rules, regulations, and codes that apply to such facilities in the Town of Flower Mound.

In response to your review comments, I confirm as below:

- Suite 400 is 1,294 SF; suite 600 is 1,320 SF
- Property acreage is 1.782 acres
- No external changes will be made to the site
- There will not be any activities outside of the building.
- Revised parking calculations including shared parking is provided herewith.
- I will accept and abide by the occupancy and operating hour limits to be specified in SUP conditions.

Sincerely,



Srinivas Chaluvadi  
Manager

**ADDITIONAL INFORMATION IN SUPPORT OF SUP APPLICATION**

**Hours of operation:**

Monday to Sunday: 9:00AM to 12:00AM (on days when events are scheduled)

**Maximum Occupancy:**

Day time events on weekdays (9:00 AM to 6:00 PM) – 66 guests

Evening events on weekdays (6:30 PM to 12:00 AM) – 96 guests

Weekend events (9:00 AM to 12:00 AM) – 96 guests

**No lease required:**

The suite is owner occupied.

**Tax certificate:**

Not required. Proposed business is not taxable

**Parking Calculations**

Parking Calculations and Availability				
Suite	Size, SF	Tenant Business	Parking	Spaces Used (rounded up)
100	1350	Take away ice cream shop	Retail	18
200	1335	Vacant	Retail	6
300	1335	Vacant	Retail	6
400	1350	Tax Office	Office	5
Riser room	56			
				35
	Spaces used up with 20% deviation			28
	Total parking		38	
	Parking spaces used		28	
	Spaces available for proposed event venue		10	
	Parking spaces in Amenity Plaza		13	

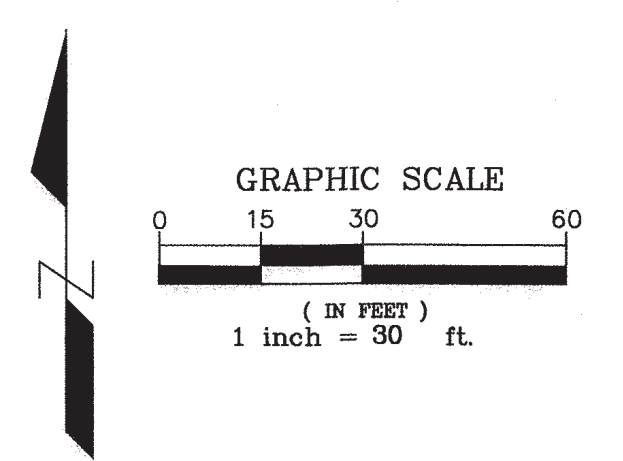
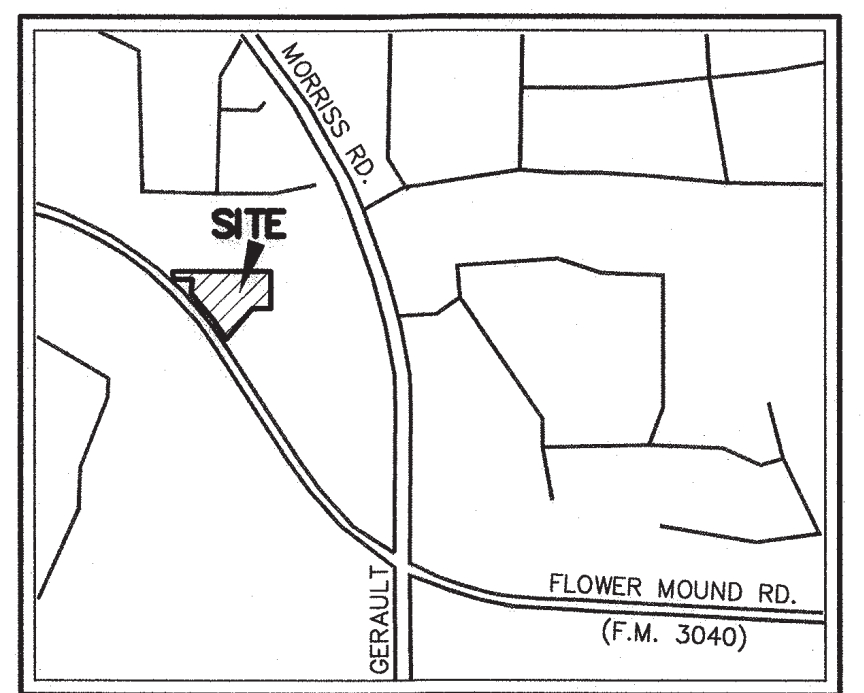
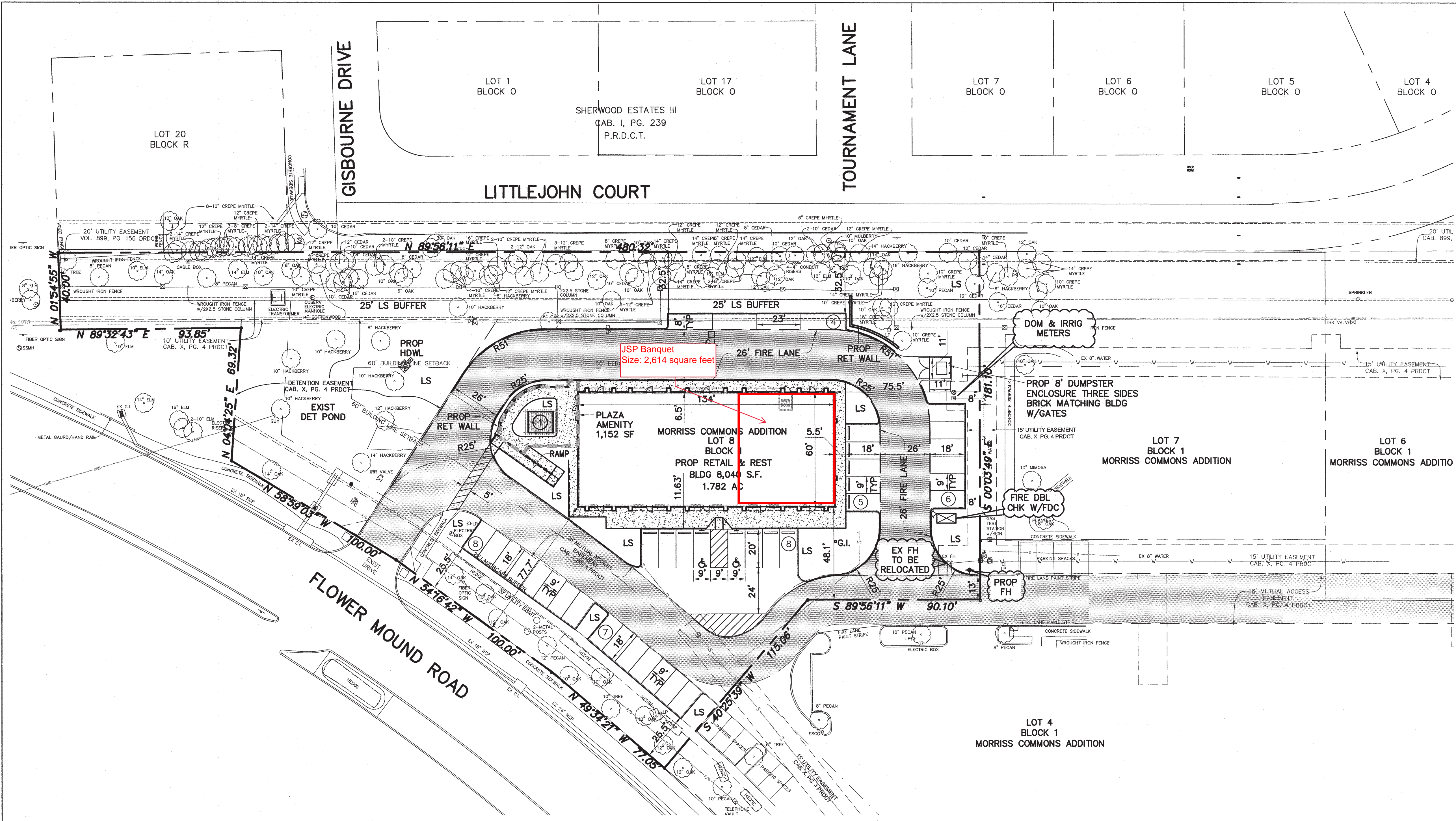
Per above 35 spaces are used up. Per approved site plan, we were allowed a 20% deviation which results in 10 spots are available for the proposed event venue. One spot is reserved for management. At a parking ratio of 3 guests per parking space, remaining 9 spots will allow 27 guests. Amenity Plaza to the East of subject property has 13 parking spaces that are not assigned to any building in the sub-division and are not occupied at any time of the week. The 0.62-acre lot (Lot 7, Morriss Commons Addition, Block 1) housing the amenity plaza is owned by Perfect Realty Partners LLC (my company). The 13 parking spaces built on this lot are not assigned for any use. These spots will allow 39 guests.

Parking spaces available for the subject property plus unassigned parking spaces to the West of the property can accommodate 66 guests. – this is the maximum capacity (66) that we will agree to restrict to for the weekday events.

The entire sub-division “Morris Commons” enjoys cross-access and shared parking. Tax office (suite 400 in the subject property), Kids-R-Kids across the subject property, and medical/professional office on 2041 Morris Rd (to the east of the subject property) will all be closed for business in the evenings. Below is the parking availability with other buildings based on shared parking agreement.

Tenant	Hours of Operating	Parking spaces available
KidsRKids (1230 Flower Mound Road) – 2.34 acres	Mon- Fri 6:30 AM to 6:30 PM closed on weekends	50
Medical office (2041 Morriss) – 0.91 acres	Mon – Fri 7:00 AM to 5:00 PM closed on weekends	34
Total shared parking spaces available		84

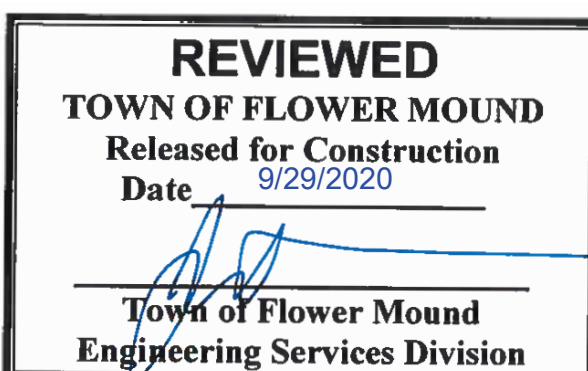
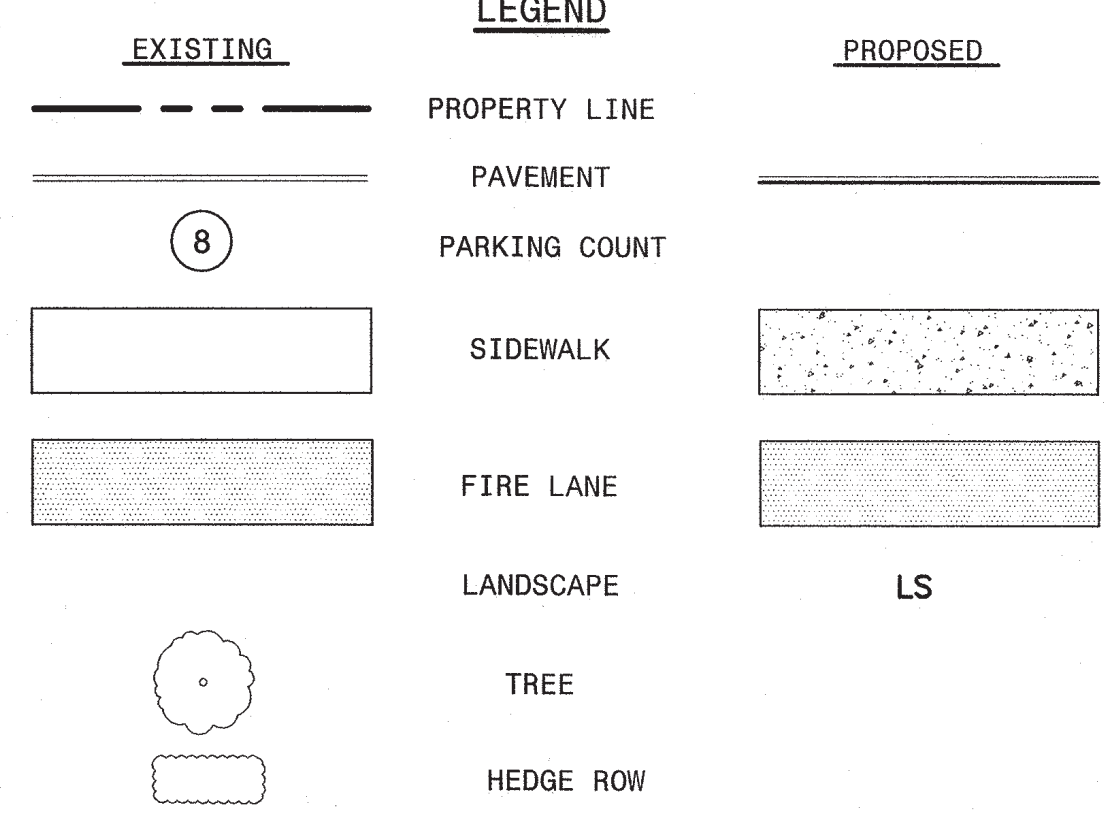
84 shared parking spaces available will allow 252 guests, significantly more than the maximum weekend capacity for the proposed banquet hall.



SITE DATA TABLE	
Physical Address	MORRISS ROAD
Gross Site Area	1.782 Acreage & 77,637 S.F.
Net Site Area	1.782 Acreage & 77,637 S.F.
Zoning	Retail - 2(R-2) within PD-84
Current use	Vacant/Detention Pond
Lot Coverage Data:	
Building Coverage	10.4% / 8,040 S.F.
Impervious Area	51.1% / 39,648 S.F.
Pervious Area	48.9% / 37,989 S.F.
Parking Summary	Required Provided
Surface Parking	
Retail 1/250 (6690 SF)	27 22
Rest 1/75 (1350 SF)	18 16
Total Parking	45 38 (20% DEVIATION)
Building Data	
Building	1-Story
Peak Height	28'-10"
Mean Height	20'-10"
Total Square Footage	8,040 S.F.

MASTER PLAN FEATURES	
LAND USE PLAN	RETAIL / SPA 9
URBAN DESIGN PLAN	LONG PRAIRIE DISTRICT
PARKS AND TRAILS	PURPLE CONEFLOWER TRAIL - 8'
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	FLOWER MOUND ROAD - MAJOR ARTERIAL (VAR WIDTH ROW)
WATER PLAN	8" LOOP - EAST P.L.
WASTEWATER PLAN	LONG PRAIRIE DISTRICT - 8" AT SEC
ECONOMIC IMPACT	SALES TAX

- NOTES**
1. SURVEY PREPARED BY NEEL - SCHAFER INC., DATED MARCH 2020
  2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB, FACE OF BUILDING, UNLESS OTHERWISE NOTED.
  3. ALL RADII NOT LISTED ARE 2' FACE OF CURB.
  4. SEE CIVIL PLANS FOR SITE DESIGN.
  5. SEE LANDSCAPE PLANS FOR SITE LANDSCAPING.
  6. ACCORDING TO FEMA FIRM 48121C0545, DATED 4/02/1997 THE PROPERTY IS IN ZONE X.
- CITY NOTES:**
1. ALL RETAINING/DETAINING WALLS, TURN DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING. OR ALL RETAINING/DETAINING WALLS, TURN DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
  2. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
  3. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
  4. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
  5. DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.
  6. SIGNS REQUIRE A SEPARATE BUILDING PERMIT.
  7. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.
  8. RETAINING WALLS 4.0' IN HEIGHT OR GREATER, INCLUDING FOOTINGS, WILL REQUIRE A SEPARATE BUILDING PERMIT THROUGH THE BUILDING DEPARTMENT.



**OWNER**  
BARCLAY TEXAS HOLDINGS  
2390 CAMELBACK RD.  
SUITE 200  
PHOENIX, AZ 85016

**DEVELOPER**  
3040 PAVILION  
4433 PUNJAB WAY  
SUITE 301  
FRISCO, TEXAS 75033  
CONTACT: SRI CHALUVADI  
972-252-1261 TELE  
972-271-1383 FAX

**ENGINEER/APPLICANT**  
VASQUEZ ENGINEERING, LLC  
JUAN J. VASQUEZ, P.E.  
1919 S. SHILOH ROAD  
SUITE 440, LB 44  
GARLAND, TEXAS 75042  
972-278-2948 TELE  
972-271-1383 FAX

TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.

**SITE PLAN**  
**3040 PAVILION**  
**LOT 8, BLOCK 1**  
**MORRISS COMMONS ADDITION**  
1.782 ACRES  
CITY OF FLOWER MOUND,  
DENTON COUNTY, TEXAS  
SEPTEMBER 03, 2020

APP.	
DATE	
NO.	

**VASQUEZ ENGINEERING L.L.C.**  
1919 S. SHILOH RD  
Suite 440, LB44  
Garland, Texas 75042  
Ph: 972-278-2948  
TX Registration # F-12266

**DEVELOPER:**  
3040 PAVILION WAY  
4433 PUNJAB WAY  
SUITE 301  
FRISCO, TEXAS 75033

**SITE PLAN**  
3040 PAVILION  
LOT 8, BLOCK 1  
MORRISS COMMONS ADDITION  
FLOWER MOUND, TX

Scale: 1" = 30'  
Designed by: JUV  
Drawn by: JUV  
Checked by: JUV  
883-13 CORP-SITE PLAN.dwg  
09/03/2020

SHEET  
**SP1**



Participating Consultants:

Project Name:

CONCEPTUAL ELEVATION FOR OFFICE CONDO AT 3040 PAVILION LOT 8, BLOCK-1 MORRIS COMMONS ADDITION FLOWER MOUND, TX

OWNER/DEVELOPER:

G.C: PERFECT GENERAL CONTRACTORS

4433 PUNJAB WAY, SUITE #301 FRISCO, TX 75033  
SRINIVAS (SRI) CHALUVADI, C: (469) 362-5285  
O: (469) 252 1261  
EMAIL: sri@chaluvadi.net

Drawing Title:

EXTERIOR ELEVATIONS

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Information:

No.	Date:	Description
1	6-24-2021	OWNER'S MODIFICATION

Project No.: 20040406 Date: 04-04-20

Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

Sheet No.

**SHEET A-1**

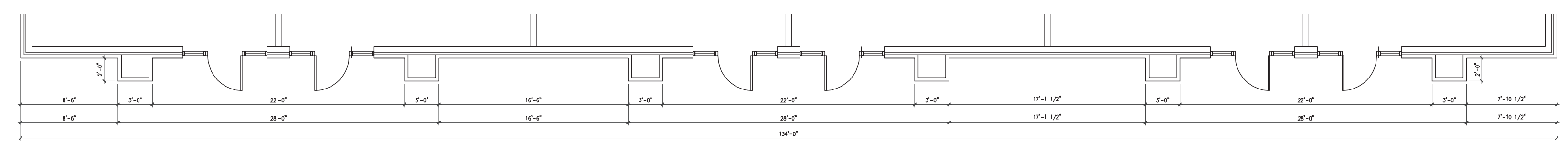
**EXTERIOR MATERIALS AND COLOR SCHEDULE**

- 1 BRICK VENEER – ACME BRICK, KING SIZE, GARNET, W/NATURAL GRAY MORTAR
- 2 BRICK SOLDIER COURSE – ACME BRICK, KING SIZE, GARNET, W/NATURAL GRAY MORTAR
- 3 STONE VENEER – AUSTIN STONE, CREAM COLOR W/KHAKI MORTAR
- 4 6" CAST STONE BAND – AHI SUPPLY, INC. AUSTIN BUFF W/BUFF MORTAR
- 5 6" EIFS BAND – COLOR TO BE DETERMINED
- 6 PAINTED CEMENT BOARD FASCIA, – OFF WHITE
- 7 ALUMINUM ENTRY DOOR
- 8 ALUMINUM WINDOW SYSTEM – ALENCO W/LOW E CLEAR GLASS OR APPROVED EQUAL
- 9 ALUMINUM STORE FRONT SYSTEM
- 10 PREFINISHED DECORATIVE WALL SCONE
- 11 INSULATED METAL DOOR – PAINTED, DARK GRAY
- 12 CAST STONE LINTEL/BAND – AHI SUPPLY, INC. AUSTIN BUFF W/BUFF MORTAR
- 13 PREFINISHED METAL GUTTER – TAN COLOR
- 14 ASPHALT ROOF SHINGLE – OWENS CORNING OAKRIDGE 40 DRIFTWOOD
- 15 EIFS CORNICE – CREAM COLOR
- 16 PREFINISHED METAL DOWNSPOUT

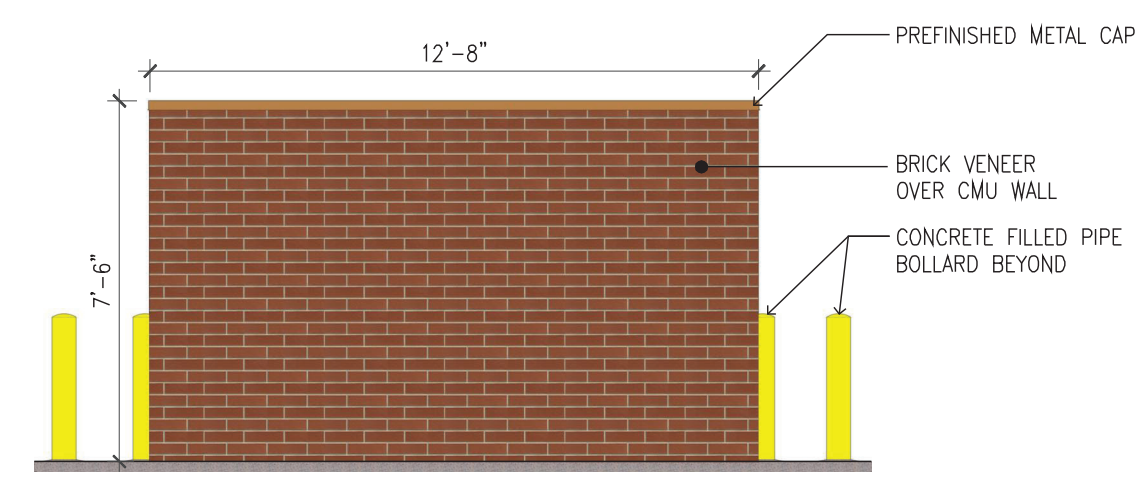
The Following Plat/Graphic Case Number ASP21-0055 Was Administratively Approved On Date 07/26/2021



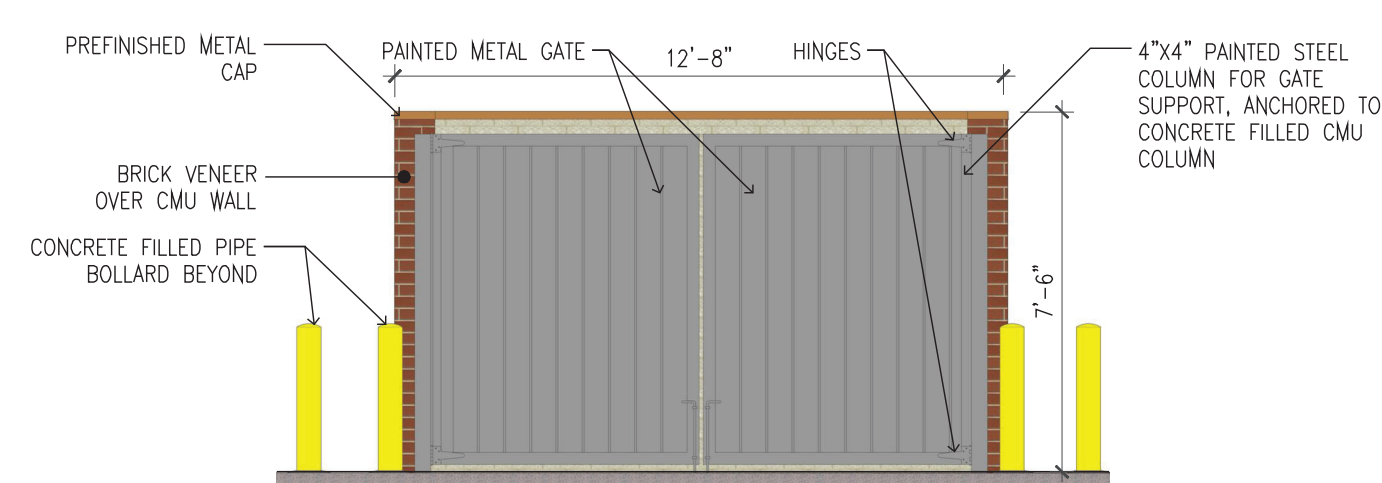
**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



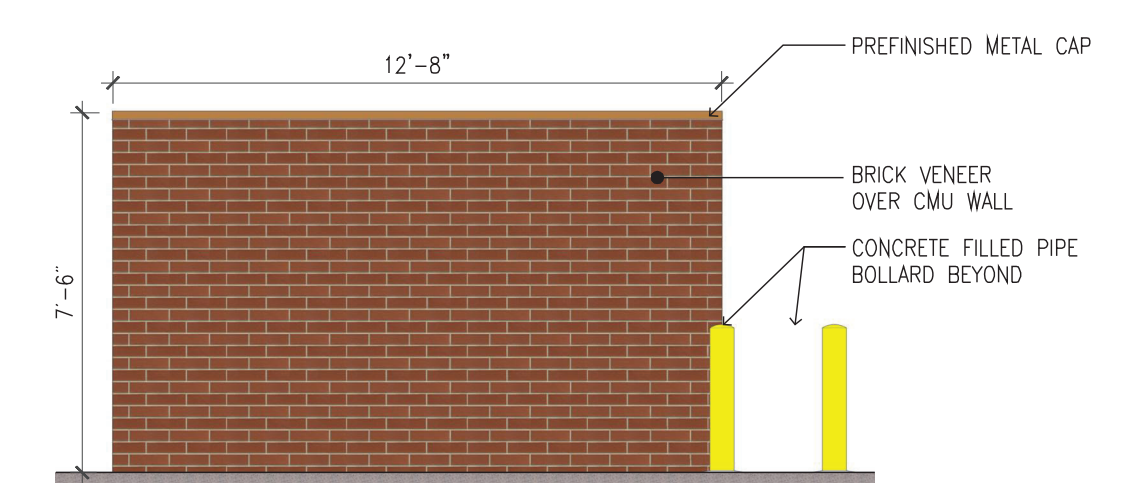
**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



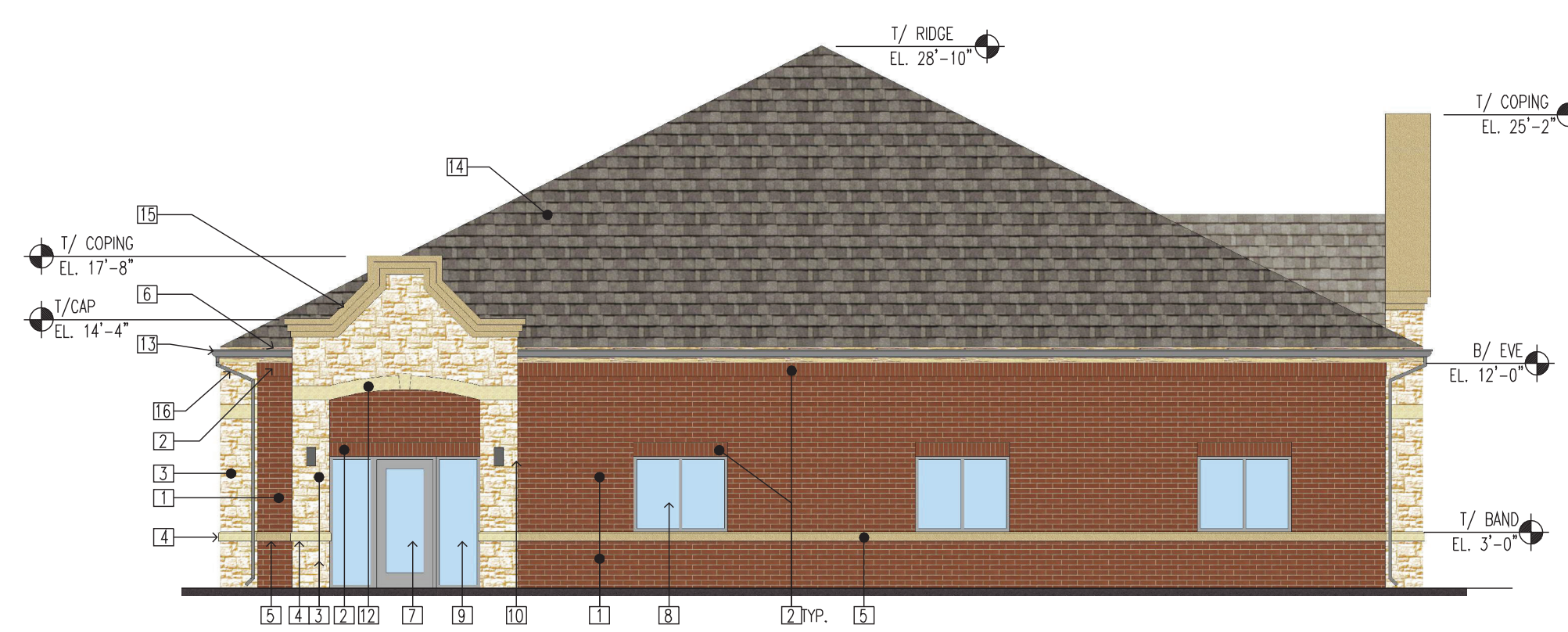
**7 TRASH ENCLOSURE FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 TRASH ENCLOSURE FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



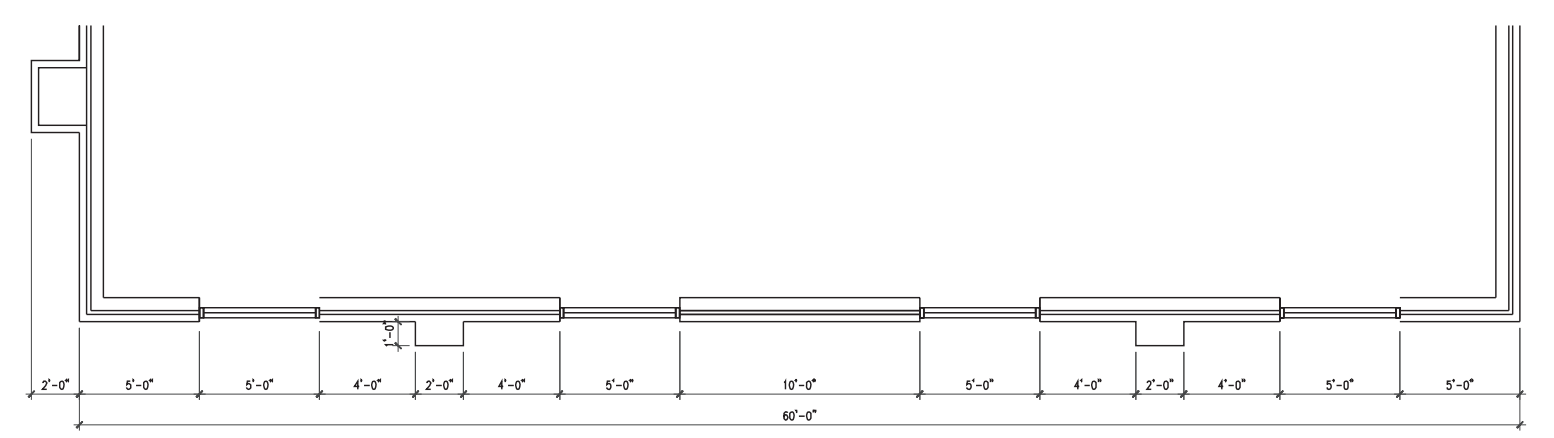
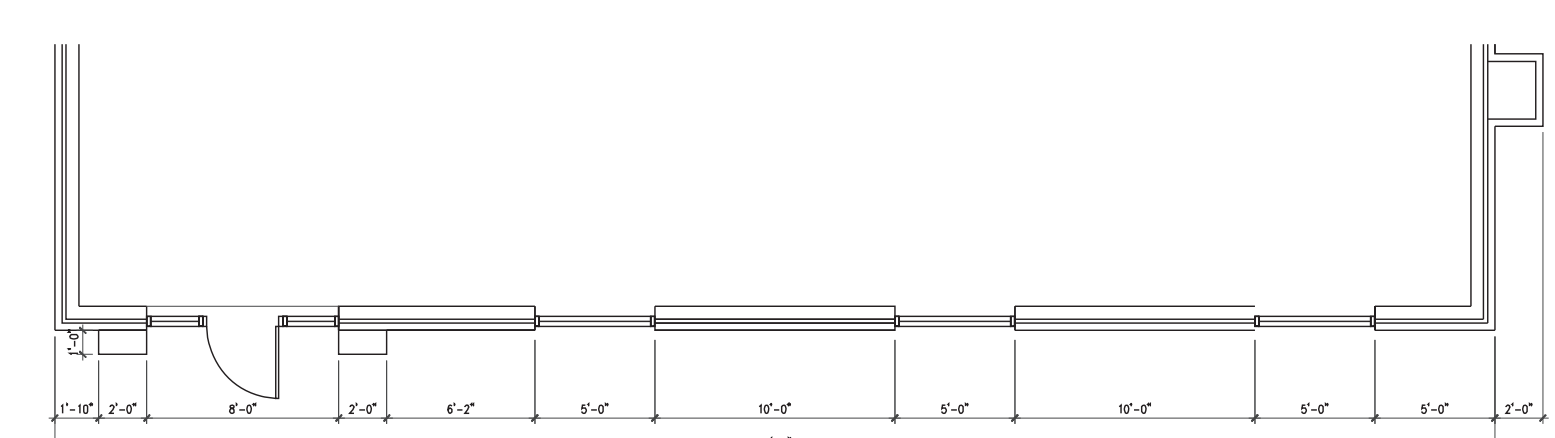
**5 TRASH ENCLOSURE SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

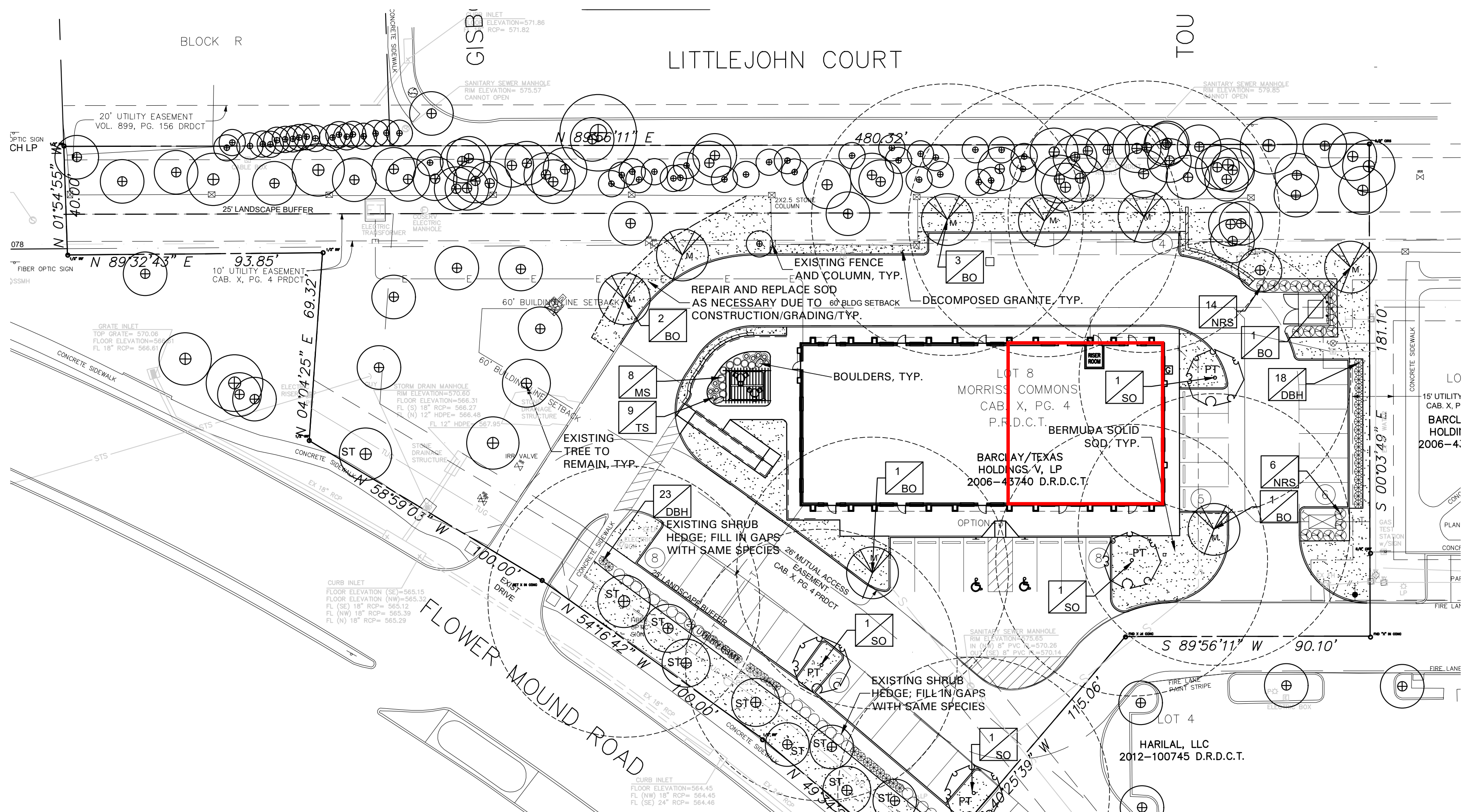


**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1632 S.F.	2287 S.F.	787 S.F.	818 S.F.
2. FACADE S.F. (exclusive of doors & windows)	1471 S.F.	1891 S.F.	707 S.F.	695 S.F.
3. DOORS & WINDOWS S.F.	161 S.F.	396 S.F.	80 S.F.	123 S.F.
4. PRIMARY MASONRY TOTALS (min 80%)	1421 S.F. & 97% OF 2	1713 S.F. & 90% OF 2	662 S.F. & 94% OF 2	641 S.F. & 92% OF 2
+ BRICK	1263 S.F. & 85% OF 2	783 S.F. & 42% OF 2	584 S.F. & 80% OF 2	509 S.F. & 73% OF 2
+ STONE	158 S.F. & 12% OF 2	930 S.F. & 48% OF 2	98 S.F. & 14% OF 2	132 S.F. & 19% OF 2
5. EIFS, SECONDARY MASONRY TOTALS (max 20%)	50 S.F. & 3% OF 2	197 S.F. & 10% OF 2	43 S.F. & 6% OF 2	53 S.F. & 8% OF 2

EXTERIOR ELEVATION AT  
3040 PAVILION  
LOT 8, BLOCK 1  
MORRIS COMMONS ADDITION  
CITY OF FLOWER MOUND,  
DENTON COUNTY, TEXAS



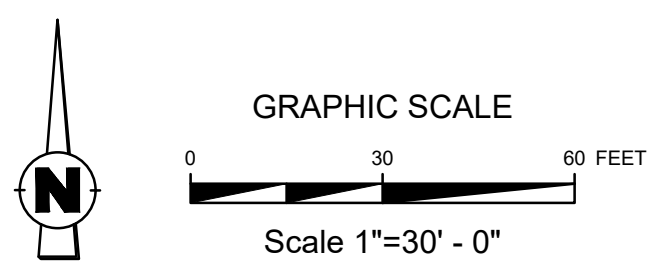
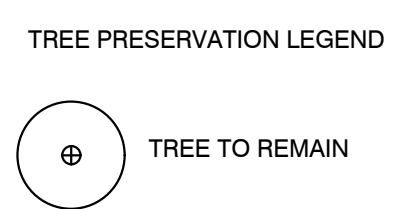
- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
  - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
  - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR
  - ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION
  - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION
  - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE
  - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY
- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN
  - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH
  - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS
  - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY
  - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS. SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDA GRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH:**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION
  - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LAW REQUIREMENTS
  - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONVEY OR EQUAL"
  - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE TERRO-TACK ONE, AS MANUFACTURED BY GROVERS, INC OR APPROVED EQUAL
  - HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS PER 1000 S.F.
  - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY
  - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION
  - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT
  - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION
  - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
  - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES
  - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES
  - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS
  - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE
  - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS
  - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING
  - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS
  - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLAN
  - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS
  - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. FINE STRAW MULCH IS PROHIBITED
  - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFLEX 1405 WEED BARRIER OR APPROVED EQUAL
  - CONTRACTOR TO PROVIDE UNIT PRICINGS OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS
- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR
- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE
  - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE
  - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS
  - DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH

LANDSCAPE TABULATIONS			
Streetyard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Minimum 20% of street yard	31827	6,365 s.f.	14,434 s.f.
Street Buffer Landscaping			
Standard	Street Frontage	Required	Provided
Minimum Landscape Buffer	Flower Mound Road	25'	25'
Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
90 s.f. per 12 parking spaces	38	285 s.f.	2,847 s.f.
SCREENING			
Parking Areas			
Standard	Street Frontage	Required	Provided
3' ht. parking screen	Flower Mound Road	YES	YES
Outdoor Storage Areas			
Standard	Street Frontage	Required	Provided
6' ht. screening device from street view	Flower Mound Road	YES	YES
Loading and Service Bays			
Standard	Street Frontage	Required	Provided
6' ht. screening device from street view	NA	NA	NA
PLANTING STANDARDS			
Street Yard Trees			
Standard	Total Street Yard (square feet)	Required	Provided
10,000 - 110,000 s.f. = 1 tree per 2,500 s.f. +10 trees	31,827 s.f.	23 trees, 3" cal.	4 proposed trees, 3" cal. 19 existing trees
Trees required to satisfy other provisions of this division and lying within the street yard may be used to satisfy the requirements of this section.			
Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 tree, 3" cal., per 30 l.f.	Flower Mound Road - 276 L.F.	9 trees, 3" cal.	10 existing trees
Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 tree, 3" cal., per 10 Parking Spaces	38	4 trees, 3" cal.	4 trees, 3" cal., 1 existing tree
All parking spaces are located within 50 ft. of a tree.			

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>SHADE TREES</b>					
8	BO	Bur Oak (Mitigation)	<i>Quercus macrocarpa</i>	3" cal.	12' ht., 5' spread
4	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
<b>SHRUBS</b>					
41	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
8	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
20	NRS	Nellie R. Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
9	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
<b>GROUNDCOVER/VINES/GRASS</b>					
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



OWNER: BARCLAY TEXAS HOLDINGS, 2390 CAMELBACK RD., SUITE 200, PHOENIX, AZ 85016

DEVELOPER: 3040 PAVILION, 4433 PUNJAB WAY, SUITE 301, FRISCO, TEXAS 75033

ENGINEER/APPLICANT: VASQUEZ ENGINEERING, LLC, JUAN J. VASQUEZ, P.E., 1919 S. SHILOH ROAD, SUITE 440, LB 44, GARLAND, TEXAS 75042

TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.

LANDSCAPE PLAN  
3040 PAVILION  
LOT 8, BLOCK 1  
MORRIS COMMONS ADDITION  
1.782 ACRES  
CITY OF FLOWER MOUND,  
DENTON COUNTY, TEXAS  
JUNE 10, 2020

Scale: 1" = 30'

Designed by: JULY  
Drawn by: JULY  
Checked by: JULY  
605-15-0581-STE PLANNING  
06/10/2020

LANDSCAPE PLAN  
3040 PAVILION  
LOT 8, BLOCK 1  
MORRIS COMMONS ADDITION  
FLOWER MOUND, TX

DEVELOPER:  
3040 PAVILION  
4433 PUNJAB WAY  
SUITE 301  
FRISCO, TEXAS 75033

APP. NO. DATE

VASQUEZ ENGINEERING L.L.C.  
1919 S. SHILOH RD  
Suite 440, LB44  
Garland, Texas 75042  
Ph: 972-278-2948  
TX Registration # F-12266

RESERVED LANDSCAPE ARCHITECT  
W. RICHARDSON  
2754  
STATE OF TEXAS  
06/10/2020

SHEET  
L1.2



# PLANNING & ZONING COMMISSION AGENDA K.1. WORK SESSION

---

**DATE:** March 9, 2026  
**FROM:** Chuck Russell, Principal Planner  
**ITEM:** **A Work Session in conjunction with a future Public Hearing for a Master Plan Amendment (MPA25-0008 – Cottonwood) and Zoning Planned Development (ZPD25-0009 – Cottonwood). The property is generally located north of Dixon Lane, south of Justin Road, and east of Long Prairie Road.**

---

## **BACKGROUND:**

### **I. ITEM SUMMARY**

The work session has been postponed until a later date.

**BOARD REVIEW/CITIZEN FEEDBACK:** N/A

**ALTERNATIVES:** N/A

**FISCAL IMPACT:** N/A

**LEGAL REVIEW:** N/A

### **ATTACHMENTS:**

None

**DRAFT MOTION:** No action is required on this item.