

# Planning & Zoning Commission

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June 22, 2026  
Town Hall  
2121 Cross Timbers Road  
Flower Mound, TX 75028

6:30 p.m.

Comments regarding any agenda item can be sent to the Planning Department at [planning@flowermound.gov](mailto:planning@flowermound.gov) or by calling 972.874.6350 and leaving a message.

## AGENDA

### A. CALL TO ORDER

### B. INVOCATION

### C. PLEDGE OF ALLEGIANCE TO THE UNITED STATES FLAG

### D. PUBLIC COMMENT

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

To speak during public comment, fill out a comment form (PDF). Note:

- Limited to three (3) minutes, a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair
- Direct comments to the Board/Commission
- State your name and the municipality where you reside

### E. COORDINATION OF CALENDARS

1. July 13, 2026
2. July 27, 2026

### F. FUTURE AGENDA ITEM(S)

The purpose of this item is to allow the members an opportunity to bring forward items they wish to discuss at a future meeting.

### G. STAFF/DIRECTOR REPORT

1. Future Training Opportunities

## H. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of June 8, 2026 - Consider approval of the minutes from June 8, 2026.

## I. NON-DISCRETIONARY ITEM(S)

This part of the agenda consists of items that are in compliance with all applicable development standards; are not requesting waivers, exceptions, or deviations, and do not require a Public Hearing.

1. SP26-0003 - Cachet Salons - Consider a request for a Site Plan (SP26-0003 – Cachet Salons) to develop a non-residential building for a salon. The property is generally located south of Lakeside Parkway and east of Norwood Drive.

## J. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. LDR26-0001 - Time-Based Shared Parking - Public Hearing to consider an ordinance amending the Land Development Regulations (LDR26-0001 – Time-Based Shared Parking) by amending Chapter 82, "Development Standards" related to off-street parking and Chapter 98, "Zoning" related to definitions.

## K. ADJOURN

**Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.**

I do hereby certify that the notice of above meeting for the Town of Flower Mound was posted at Town Hall, Town of Flower Mound, Texas, and on the Town's website in compliance with Chapter 551, Texas Government Code on June 16, 2026, by 5:00 p.m.

**LauriAnn Cash, Staff Liaison**

The Flower Mound Town Hall and Jody Smith Hall are wheelchair accessible. Requests for accommodation or interpretive services must be made 48 hours prior to this meeting by contacting Town Hall at 972.874.6000. Additional time limits will be provided for members of the public that need to address the Town Council through a translator.

# Planning & Zoning Commission

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June 8, 2026  
Town Hall  
2121 Cross Timbers Road  
Flower Mound, TX 75028

6:30 p.m.

## DRAFT MINUTES

### **A. CALL TO ORDER**

Chair Schultz called the regular meeting to order at 6:31 p.m. with the following members present:

Gregory Schultz, Place 1, Chair  
Jason Hobbs, Place 2, Vice Chair  
Todd Bayuk, Place 3  
Ryan Geddie, Place 4  
Donald Gilmore, Place 6  
Michelle Jackson, Place 8 Alternate  
Deb Fitzpatrick, Place 9 Alternate

with the following member(s) absent:  
Scott Langley, Place 5  
Vacant, Place 7

constituting a quorum with the following members of the Town Staff participating:

Lindsey Hale, Town Attorney  
Poornima Kashyap, Planning Manager  
Bob Pegg, Town Engineer  
Chuck Russell, Principal Planner  
LauriAnn Cash, Staff Liaison

### **B. INVOCATION**

### **C. PLEDGE OF ALLEGIANCE TO THE UNITED STATES FLAG**

### **D. PUBLIC COMMENT**

The purpose of this item is to allow the public an opportunity to address the Board/Commission regarding any item on this agenda that is not a "Public Hearing." Issues regarding daily operational or administrative matters should first be dealt with by calling Town Hall at 972.874.6000 during business hours.

In accordance with the Texas Open Meetings Act, the Board/Commission is restricted from discussing or acting on items not listed on the agenda.

To speak during public comment, fill out a comment form (PDF). Note:

- Limited to three (3) minutes, a tone will sound at 30 seconds left and when time has expired, and times may be adjusted by the Chair
- Direct comments to the Board/Commission
- State your name and the municipality where you reside

*Names listed below do not necessarily reflect the order in which each person spoke, and all municipalities are located in Flower Mound unless otherwise indicated.*

Speaker name and municipality	Subject (as written on the form)
None	

*\* Indicates person did not wish to speak*

## E. COORDINATION OF CALENDARS

1. June 22, 2026
2. July 13, 2026

## F. STAFF/DIRECTOR REPORT

1. Planning & Zoning Priorities

## G. CONSENT ITEM(S)

This part of the agenda consists of non-controversial, or “housekeeping” items required by law. Items may be removed from Consent by any Commissioner by making such request prior to a motion and vote.

1. Minutes of May 11, 2026 - Consider approval of the minutes from May 11, 2026.

**ACTION:** Commissioner Gilmore moved to approve G.1. as presented in the agenda caption. Vice-Chair Hobbs seconded the motion.

**AYES:** Hobbs, Bayuk, Geddie, Gilmore, Jackson, Fitzpatrick

**NAYS:** None

**RESULT:** 6 : 0

## H. REGULAR ITEM(S)

This part of the agenda consists of discretionary items either relating to zoning or a requested variation from the Town's development standards. If a public hearing is required, it will be noted in the item caption on the agenda. Typically, the Planning & Zoning Commission will make a recommendation to Town Council on these types of projects.

1. ZPD26-0002 - Lowe's Outdoor Storage - Public Hearing to consider a request for rezoning (ZPD26-0002 - Lowe's Outdoor Storage) to amend Planned Development District-27 (PD-27) with Retail District-2 (R-2) uses and Commercial District-2 (C-2) uses that is subject to Specific Use Permit 281 (SUP-281) for a Home Improvement Center to amend Specific Use Permit 281 (SUP-281) to allow for outdoor sales, display and storage; both temporary and permanent. The property is generally located east of Long Prairie Road and south of Justin Road.

**STAFF PRESENTATION:**

Chuck Russell, Principal Planner

**APPLICANT PRESENTATION:**

KK Yeow, Lowe's

*Names listed below don't necessarily reflect the order in which each person spoke and all addresses are located in Flower Mound unless otherwise indicated.*

SUPPORT	OPPOSITION	QUESTIONS OR COMMENTS ONLY
None	None	None

*\* Indicates person did not wish to speak*

**ACTION:** Commissioner Bayuk moved to recommend approval of H.1. as presented in the agenda caption. Vice-Chair Hobbs seconded the motion.

**AYES:** Hobbs, Bayuk, Gilmore, Jackson

**NAYS:** Geddie, Fitzpatrick

**RESULT:** 4 : 2

**I. ADJOURN**

Chair Schults adjourned the meeting at 7:49 p.m.

**TOWN OF FLOWER MOUND, TEXAS**

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**GREGORY SCHULTZ, CHAIR**

**ATTEST:**

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**LAURIANN CASH, STAFF LIAISON**



# PLANNING & ZONING COMMISSION AGENDA I.1. NON-DISCRETIONARY ITEM(S)

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**DATE:** June 22, 2026  
**FROM:** Codie Hay, Planner  
**ITEM:** **Consider a request for a Site Plan (SP26-0003 – Cachet Salons) to develop a non-residential building for a salon. The property is generally located south of Lakeside Parkway and east of Norwood Drive.**

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## BACKGROUND:

### I. ITEM SUMMARY

This application has been reviewed by DRC and determined to be ready for consideration by the Planning and Zoning Commission. There are no outstanding issues.

This application will require final action by the Planning and Zoning Commission.

### II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop a non-residential building on Lot 3, Block A of the Lakeside Crossing Addition. The site contains approximately 0.647 acres. The property is zoned Planned Development 153 with both non-residential and residential uses. PD-153 was amended on December 16, 2024, to modify conceptual plans, elevations, and written standards for a salon to be located on Lot 3, Block A of the Lakeside Crossing Addition and to request a deviation to parking standards.

The approved concept plan depicted an approximately 13,580 square-foot, two-story salon building. The site plan proposes a one-story 7,160 square foot building, which is a reduction from the previously approved building square footage. The applicant has indicated in the letter of intent that the reason for the reduction is due to operational and leasing efficiencies and to ensure future occupancy demands.

Access to the site will be from Northwood Drive as well as a mutual access easement connecting to adjacent lots. The proposed use requires parking at a ratio of 1 space per 250 square feet with the parking requirement. Based on the approved parking study, this use will require a maximum of 29 spaces. The site plan depicts 20 onsite parking spaces. The Lakeside Crossing development is subject to cross-parking, and the additional 9 parking spots will be located on adjacent lots within the development.

The landscape plan depicts the required parking area landscaping and trees that meet or exceed the Town's landscaping requirements. The applicant is aware of the requirement to install improvements depicted on the "Concept Lighting Plan" for Lot 8X prior to the issuance of a Certificate of Occupancy (CO) for the third building within the Lakeside Crossing development.

The proposed elevation utilizes a combination of primarily stucco, brick, and composite aluminum (wood) panel in colors complying with the Town's Urban Design Plan and the PD-153 development standards.

**BOARD REVIEW/CITIZEN FEEDBACK:** N/A

**ALTERNATIVES:** N/A

**FISCAL IMPACT:** N/A

**LEGAL REVIEW:** N/A

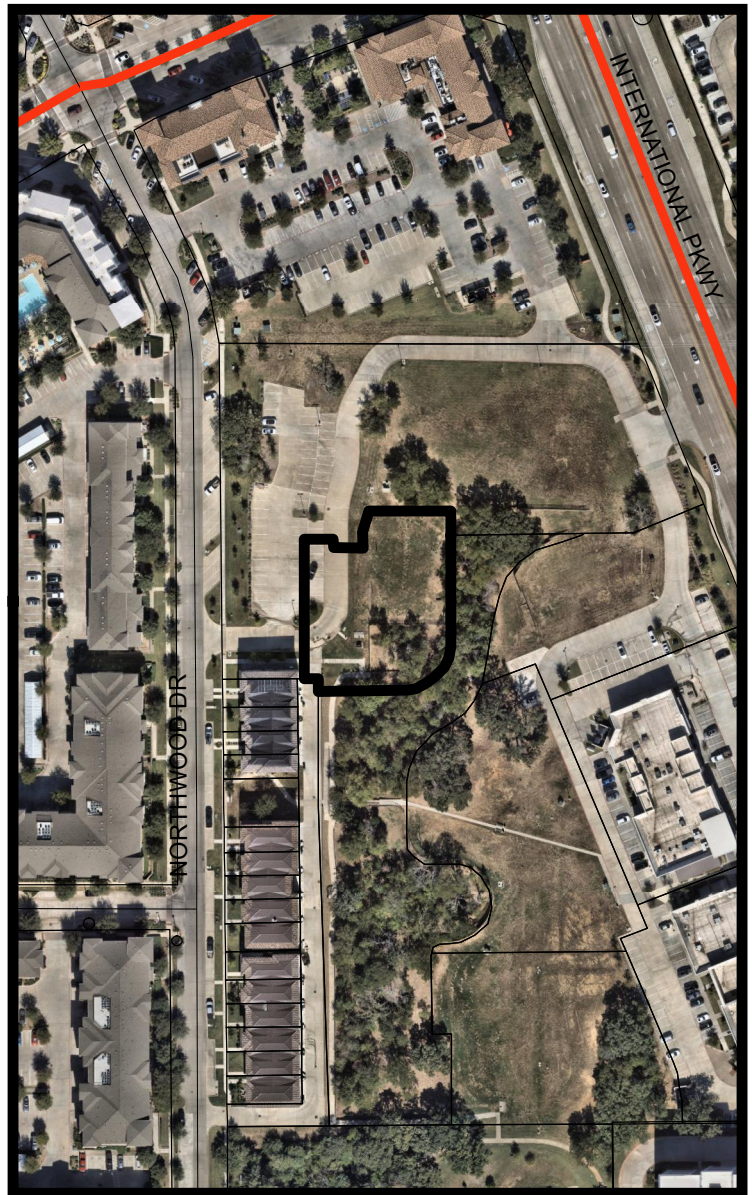
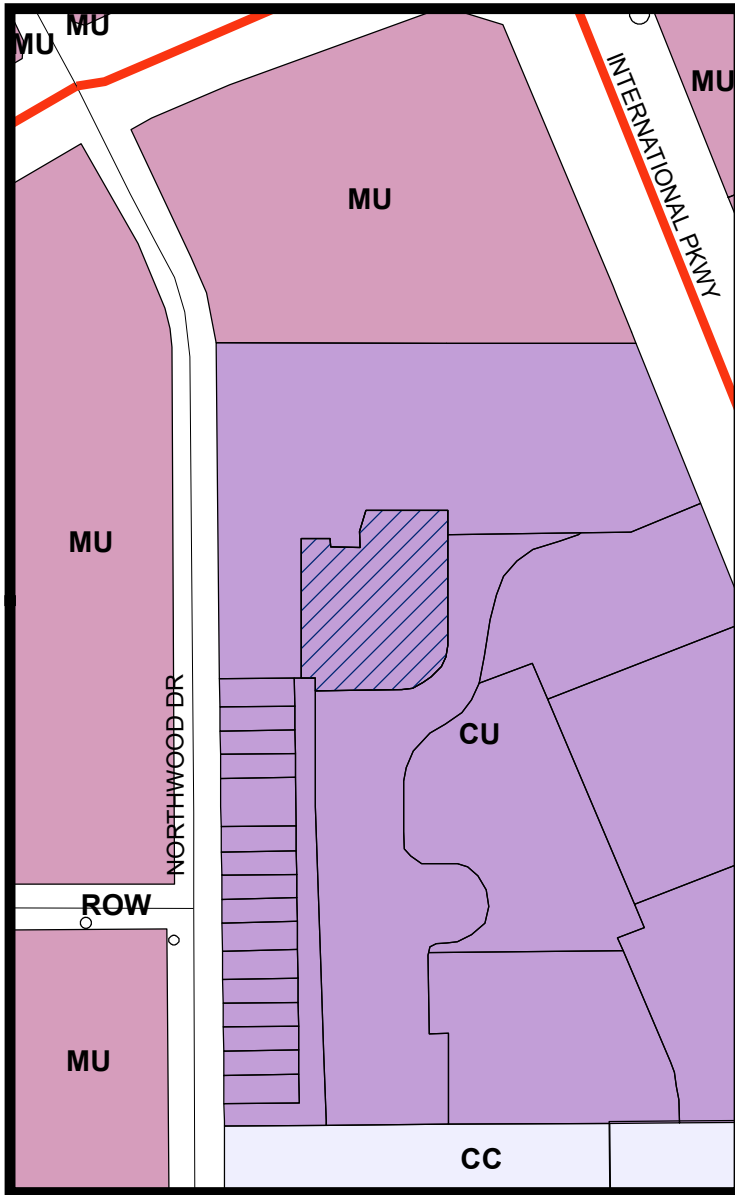
**ATTACHMENTS:**

1. Zoning & Aerial Map
2. Site Plan Package

**DRAFT MOTION:** Move to approve as presented in the agenda caption.

# Vicinity Map

SP26-0003: Cachet Salons



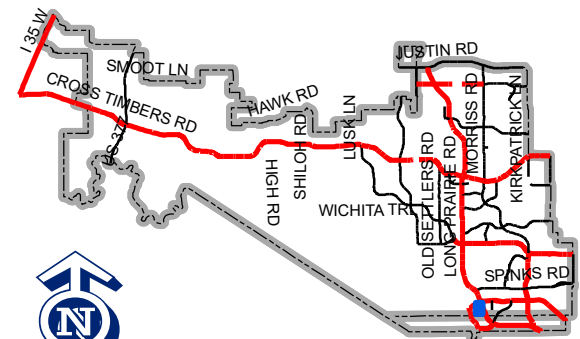
### LEGEND

- Campus Commercial
- \*Combined Uses-See Ordinance
- Mixed Use

- Subject Property

Visit [www.fmdevmap.com](http://www.fmdevmap.com) to learn more about this project.

Visit <https://www.flowermound.gov/notifyme> to sign up for text message and/or email alerts for future projects.



Map Location





# Letter of Intent

**Project Name: Cachet Salons + Spa at Lakeside Crossing**

**Date: 06.16.2026**

**Project No: SP26-0003**

To whom it may concern,

This letter shall provide clarification of intent for Site Plan application SP26-0003. The project location is Lot 3, Block A, Lakeside Crossing, 0.647 gross acres.

Modifications from ZPD concept plan include:

- A one-story building instead of the previously approved two-story building. The project size was reduced to a single story for operational and leasing efficiencies and to ensure future occupancy demands.
- A reduction in the overall building height (in effect from the 2<sup>nd</sup> story removal).
- A reduction in building square footage (in effect from the 2<sup>nd</sup> story removal).
- A reduction in the required parking count (in effect from the square footage reduction).
- Relocation of the on-site ADA parking stalls.
- Changes to grading, ramping, and accessible route for building entry.
- Reduction of on-site parking count by one stall due to required FDC vault location.

The building will be an owner-occupied, single-story, 7,160 sf building. It will be a single use occupancy for Business/ Personal Services. The façade materials and plant materials will be in compliance with approved Ordinance No. 60-24 of PD-153 and Town regulations. The development of this property will be completed in one phase.

Thank you,

Rachael Owens, RID, NCIDQ  
Project Manager

**97w, LLC**

o 817.882.6940

studio97w.com

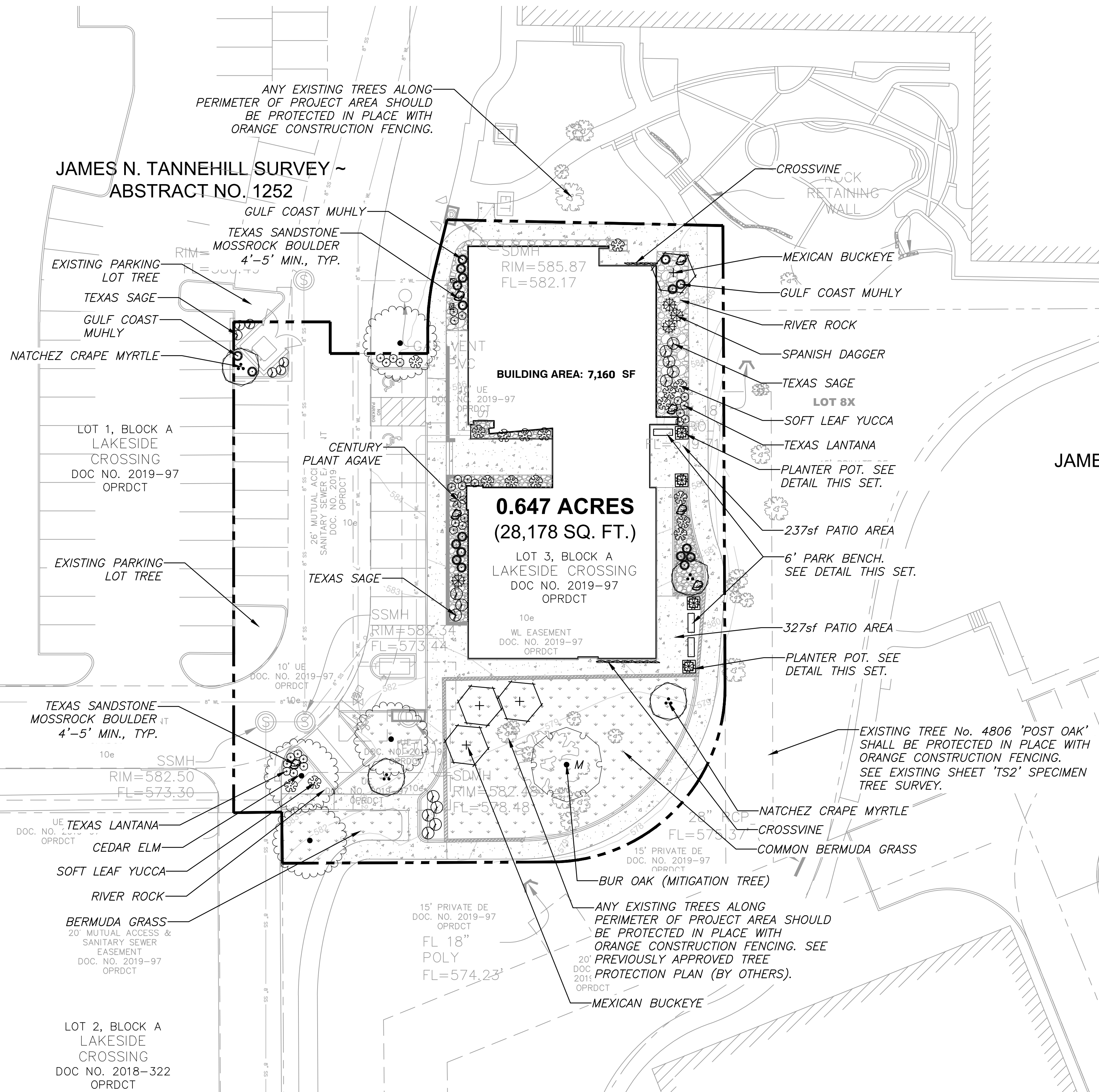
E [rachael.owens@studio97w.com](mailto:rachael.owens@studio97w.com)

[studio97w.com](http://studio97w.com)



T:\24-0112 - Cachet Lakeside Crossing - Flowermound\Design\LS 1.0 Landscape Plan.dwg May 06, 2026 - 12:14PM Martin

NORTHWOOD DRIVE  
90' PUBLIC RIGHT-OF-WAY



PLANT SCHEDULE

LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME
	ET	N/A	EXISTING TREES TO REMAIN - SEE EXISTING PD LANDSCAPE PLANS FOR REFERENCE
	BO	1	BUR OAK QUERCUS MACROCARPA NURSERY GROWN
	CE	4	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN
ORNAMENTAL TREES	CODE		COMMON / BOTANICAL NAME
	NC	4	NATCHEZ CRAPE MYRTLE LAGERSTROEMIA INDICA 'NATCHEZ' MULTI-TRUNK
	NC	4	MEXICAN BUCKEYE UNGNADIA SPECIOSA MULTI-TRUNK
SHRUBS	CODE		COMMON / BOTANICAL NAME
	CPA	1	CENTURY PLANT (AGAVE) AGAVE AMERICANA
	YGV	8	SPANISH DAGGER YUCCA GLORIOSA 'VARIEGATA'
	SLY	17	SOFT LEAF YUCCA YUCCA RECURVIFOLIA
	GCM	20	GULF COAST MUHLY GRASS MUHLENBERGIA CAPILLARIS (LAM.) TRIN.
	TSD	19	TEXAS SAGE 'DESPARADO' LEUCOPHYLLUM FRUTESCENS 'DESPARADO'
	TL	29	TEXAS LANTANA (Pollinator Plant) LANTANA URTICOIDES (L. HORRIDA)
	CV	12	CROSSVINE BIGNONIA CAPREOLATA (PLANT 24" O.C. AND USE PERMANENT STAINLESS STEEL TRELIS TO TRAIN ON WALL)
GROUND COVERS	CODE		COMMON / BOTANICAL NAME
	CB		COMMON BERMUDA GRASS CYNODON DACTYLON
	RR		2"-4" ARIZONA COBBLE SMALL - 4" DEPTH MINIMUM WHIZ-Q-STONE - 817.429.0822 OR APPROVED EQUAL

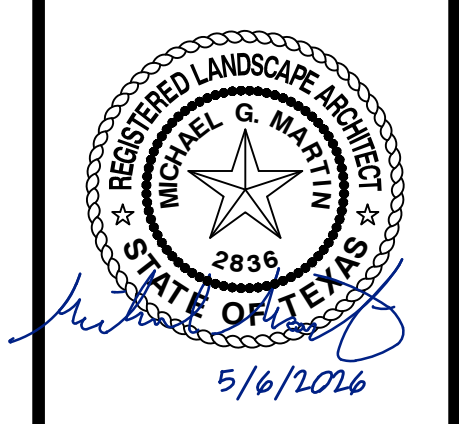
NOTES TO CONTRACTOR:

- UTILIZE JAKOB GREENKIT OR APPROVED EQUAL TO TRAIN CROSSVINE ONTO BUILDING IN SPECIFIED LOCATIONS. BUILDING ARCHITECT TO PROVIDE FINAL APPROVAL OF TRELIS SYSTEM AND FASTENING TO BUILDING BEFORE INSTALLATION. VISIT JAKOBBGREENKITS.COM FOR TRELIS DETAILS.

No.	Date	Revision	Description

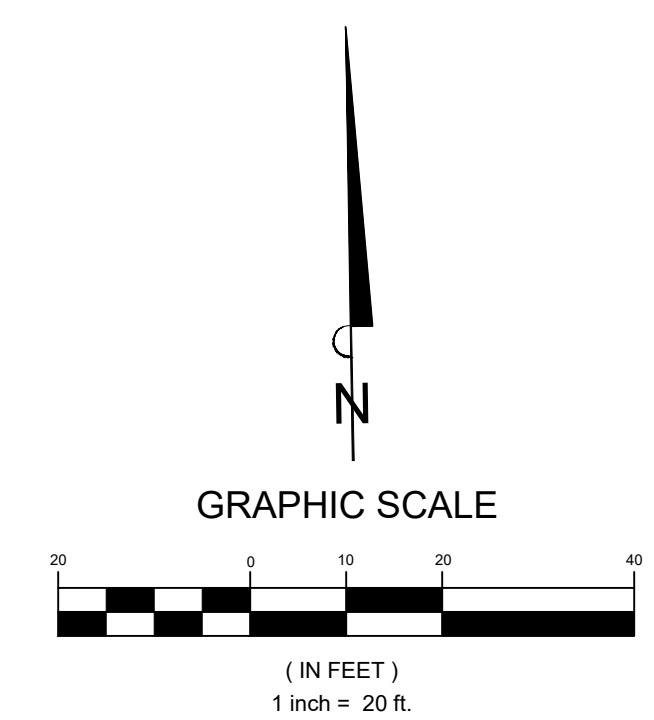
LANDSCAPE PLAN

CACHET SALONS  
520 NORTHWOOD DRIVE  
FLOWER MOUND, TEXAS 75022



TEMPUS LAND SOLUTIONS, LLC  
DFW AND GREATER TEXAS  
817.223.8489  
michael@tempus-lls.com

SHEET NO.  
**LS - 1.1**



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**LANDSCAPE NOTES**

1. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN HEALTHY GROWING CONDITION AT ALL TIMES.
2. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK SHOWN ON THE LANDSCAPE PLANS.
3. QUANTITIES ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR. ALL QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR IN ORDER TO COMPLETE THE DESIGN PER THE PLANS OR CITY REQUIREMENTS.
4. ALL PROPOSED LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PER LOCAL CITY ORDINANCES AND STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. NO SPECIFIED PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES AND LINE RUNS.
7. ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. NOTIFY LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING LAYOUT.
9. TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL.
10. TREES ARE TO BE PLANTED WITH TRUNKS STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR LANDSCAPE ARCHITECT TO BE STAKED. THERE SHALL BE NO ABOVE GROUND STAKING OR GUY WIRING ALLOWED. STAKING IF REQUIRED SHALL BE ROOT ANCHOR UNDERGROUND TREE SUPPORT BY TREE STAKE SOLUTIONS, LLC. SALES@TREETAKESOLUTIONS.COM OR 281-778-1400.
11. ALL TREES LOCATIONS SHALL BE APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
12. PLANT MATERIAL MAY NOT BE PLANTED BELOW TOP OF ROOT BALL OR POTTED SOIL LINE. SHOULD PLANT MATERIAL BE PLANTED TOO LOW, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
13. ALL PROPOSED LANDSCAPE BED AREAS SHALL BE TILLED TO A DEPTH OF 6" TO 12", ADDING A 3" MIN. LAYER OF LIVING EARTH COMPOST BY LIVING EARTH, 972-869-4332, OR APPROVED EQUAL.
14. ALL LANDSCAPE BEDS SHALL RECEIVE A 2" LAYER OF NATIVE HARDWOOD MULCH, BY LIVING EARTH, 972-869-4332 EQUAL. (UNLESS OTHERWISE SPECIFIED ON PLANS)
15. ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS OF THE GOVERNING MUNICIPALITY.
16. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.
17. IN THE EVENT THERE IS A DISPUTE OR MISUNDERSTANDING OR PLANT MATERIAL OR PLANTING METHOD THE FOLLOWING APPLICABLE REFERENCES, STANDARDS, SPECIFICATIONS SHALL PREVAIL: AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE - STANDARDIZED PLANT NAMES, SECOND EDITION, 1942.AMERICAN ASSOCIATION OF NURSERYMEN: AMERICAN STANDARD OF NURSERY STOCK, 1973.
18. SHOULD EXISTING UTILITIES BE DAMAGED OR DISTURBED DURING CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE AND PROPER AUTHORITIES FOR RESTORATION.
19. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR ONE YEAR FROM DATE OF WRITTEN FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE OR GUARANTEE TO CITY OR LOCAL STANDARDS WHICHEVER IS GREATER.
20. GUARANTEE DEFINITION: AT ANY AND ALL TIMES THROUGHOUT THE YEAR (WITHIN TWO WEEKS OF NOTIFICATION BY OWNER / LANDSCAPE ARCHITECT), ALL DEAD PLANTS (EXCEPT THOSE DEAD DUE TO OWNER NEGLIGENCE) AND ALL THOSE DETERMINED NOT TO BE IN A NORMAL, VIGOROUS GROWING CONDITION, ARE TO BE REPLACED WITH SIMILAR SIZE AND TYPE PLANTS AT NO EXPENSE TO OWNER.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. CONTRACTOR SHALL CLEAN JOB SITE AT THE CONCLUSION OF EACH WORKDAY UNTIL DATE OF FINAL ACCEPTANCE.
22. CONTRACTOR IS REQUIRED TO PERFORM A PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STANDPIPE. ALL SUMPS SHOULD BE INCLUDED IN THE BASE BID AND PROVIDED AS A DEDUCT ALTERNATE IF NOT REQUIRED AFTER THE PERCOLATION TEST IS PERFORMED.

**GENERAL UTILITY NOTES:**

1. ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE LANDSCAPE ARCHITECT NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. TEMPUS LAND SOLUTIONS, LLC IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

**IRRIGATION NOTES:**

1. ALL LANDSCAPE PLANTINGS PROPOSED IN THIS PLAN WILL BE IRRIGATED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.
2. IRRIGATION SYSTEM WILL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR CAPABLE OF SHUTTING DOWN THE SYSTEM WHEN DICTATED BY RAINFALL OR FREEZING CONDITIONS.
3. IRRIGATION SYSTEM DESIGN WILL MEET ALL REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, AND ALL APPLICABLE PLUMBING CODES.
4. IRRIGATION DESIGN DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE COVER AT A LATER DATE FOR IRRIGATION PERMITTING.

**NOTES:**

1. MINIMUM 20 PERCENT OF TYPE D FACADE SHALL HAVE TRANSPARENT WINDOWS PROVIDING VIEW OF THE STREAM AND OPEN SPACE.
2. ENHANCED LANDSCAPE, HARDSCAPE, SEATING, POTTED PLANTS (PLANTS IN LARGE DECORATIVE CONTAINERS) OR SIMILAR IN AND AROUND THE PATIO/COVERED AREA TO ENCOURAGE THE USE OF OPEN SPACE.
3. BOSTON IVY SHALL BE TRIMMED SEASONALLY AND REGULARLY TRAINED AND MAINTAINED BY THE LANDSCAPE MAINTENANCE CREW IN ORDER TO PROVIDE CONSISTENT AND HEALTHY GROWTH AND REMAIN CONFINED TO THE HORIZONTAL ALLOTMENT AS SHOWN ON THE PLAN. VERTICAL GROWTH TRAINING UP THE BUILDING IN THE HORIZONTAL ALLOTMENT SHALL BE REGULARLY MONITORED AND MAINTAINED.

**TREE BIODIVERSITY TABLE**

COMMON NAME	# TREES	%	GENUS	%
BUR OAK	1	7.5%	QUERCUS	21.5%
CHINQUAPIN OAK	2	15%	QUERCUS	21.5%
CEDAR ELM	2	15%	ULMUS	14.25%
NATCHEZ CRAPE MYRTLE	3	20%	LAGERSTROEMIA	21.50%
MEXICAN BUCKEYE	2	15%	UNGNADIA	14.25%
EVE'S NECKLACE	3	20%	STYPHNOLOBIUM	21.5%
TEXAS MOUNTAIN LAUREL	1	7.5%	DERMATOPHYLLUM	7%
TOTAL	14	100%		100%

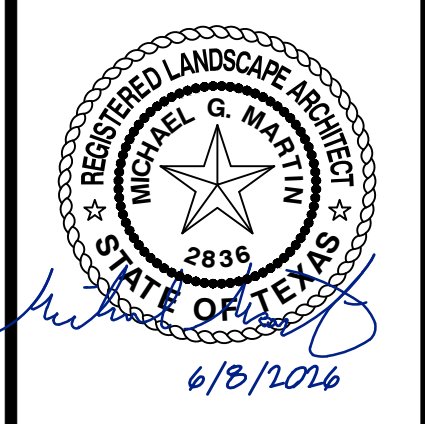
TOWN OF FLOWER MOUND ZONING ORDINANCE COMPLIANCE, PD 153-A 25-17 (LOT 3)			
	DATA OR REQUIREMENT	REQUIRED	PROVIDED
PROPOSED USE	COMMERCIAL		
CURRENT ZONING	PD 153-A 25-17		
GROSS SITE AREA	28,178 SQ. FT. (0.64 ACRES)		
ENHANCED LANDSCAPE	ENHANCED LANDSCAPE BEDS PER EXHIBIT 'D'	FRONT LANDSCAPE BEDS	YES
PARKING LOTS TREES	TREES REQUIRED IN ISLANDS PER EXHIBIT 'D'	PARKING LOT ISLAND TREES - EACH PARKING STALL SHALL BE WITHIN 50' OF TREE	YES
PARKING LOT TREES	1 TREE PER 10 SPACES	20 PARKING SPACES/10 = 2 PARKING LOT TREES	4 + 1 EXISTING
PARKING LOT LANDSCAPE	90SF OF LANDSCAPE PER 12 SPACES	20 SPACES/12x90 = 150SF	339SF OF PARKING LOT LANDSCAPE
CANOPY TREES	CANOPY TREES REQUIRED PER EXHIBIT 'D'	2 CANOPY TREES	YES
ORNAMENTAL TREES	ORNAMENTAL TREES REQUIRED PER EXHIBIT 'D'	5 ORNAMENTAL TREES	YES

**PLANT SCHEDULE**

LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.	CONTAINER	HEIGHT	SPREAD
	ET	N/A	EXISTING TREES TO REMAIN - SEE EXISTING PD LANDSCAPE PLANS FOR REFERENCE				
	BO	1	BUR OAK QUERCUS MACROCARPA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CE	2	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CO	2	CHINQUAPIN OAK QUERCUS MUEHLENBERGII NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
ORNAMENTAL TREES	CODE		COMMON / BOTANICAL NAME	CAL.	CONTAINER	HEIGHT	SPREAD
	NC	3	NATCHEZ CRAPE MYRTLE LAGERSTROEMIA INDICA 'NATCHEZ' MULTI-TRUNK	2" CAL.	B&B OR CONTAINER	8'-9' HT.	MIN. 6' SPREAD
	NC	3	MEXICAN BUCKEYE UNGNADIA SPECIOSA MULTI-TRUNK	2" CAL.	B&B OR CONTAINER	7'-9' HT.	MIN. 6' SPREAD
	EN	3	EVE'S NECKLACE TREE STYPHNOLOBIUM AFFINE SINGLE-TRUNK - NURSERY GROWN	2" CAL.	B&B OR CONTAINER	7'-9' HT.	MIN. 5' SPREAD
	TM	1	TEXAS MOUNTAIN LAUREL DERMATOPHYLLUM SECUNDIFLORUM SINGLE-TRUNK - NURSERY GROWN	2" CAL.	B&B OR CONTAINER	6'-8' HT.	MIN. 5' SPREAD
SHRUBS	CODE		COMMON / BOTANICAL NAME		CONTAINER		
	CPA	1	CENTURY PLANT (AGAVE) AGAVE AMERICANA	15 GAL.		24" HT min.	24" SPREAD min.
	YGV	8	SPANISH DAGGER YUCCA GLORIOSA 'VARIEGATA'	5 GAL.		18"-24" HT	18"-24" SPREAD
	SLY	17	SOFT LEAF YUCCA YUCCA RECURVIFOLIA	5 GAL.		18"-24" HT	18"-24" SPREAD
	GCM	20	GULF COAST MUHLY GRASS MUHLENBERGIA CAPILLARIS (LAM.) TRIN.	1 GAL.		18"-24" HT	18"-24" SPREAD
	TSD	19	TEXAS SAGE 'DESPARADO' LEUCOPHYLLUM FRUTESCENS 'DESPARADO'	5 GAL.		24"-36" HT	18"-24" SPREAD
	TL	29	TEXAS LANTANA (Pollinator Plant) LANTANA URTICOIDES (L. HORRIDA)	1 GAL.		12" HT	12" SPREAD
	CV	12	CROSSVINE BIGNONIA CAPREOLATA (PLANT 24" O.C. AND USE PERMANENT STAINLESS STEEL TRELIS TO TRAIN ON WALL)	1 GAL.		12" HT	12" SPREAD
GROUND COVERS	CODE		COMMON / BOTANICAL NAME		CONTAINER		
	CB		COMMON BERMUDA GRASS CYNODON DACTYLON		SOLID SOD		
	RR		2"-4" ARIZONA COBBLE SMALL - 4" DEPTH MINIMUM WHIZ-Q-STONE - 817.429.0822 OR APPROVED EQUAL				

No.	Date	Revision	Description

**LANDSCAPE NOTES**  
**CACHET SALONS**  
**520 NORTHWOOD DRIVE**  
**FLOWER MOUND, TEXAS 75022**

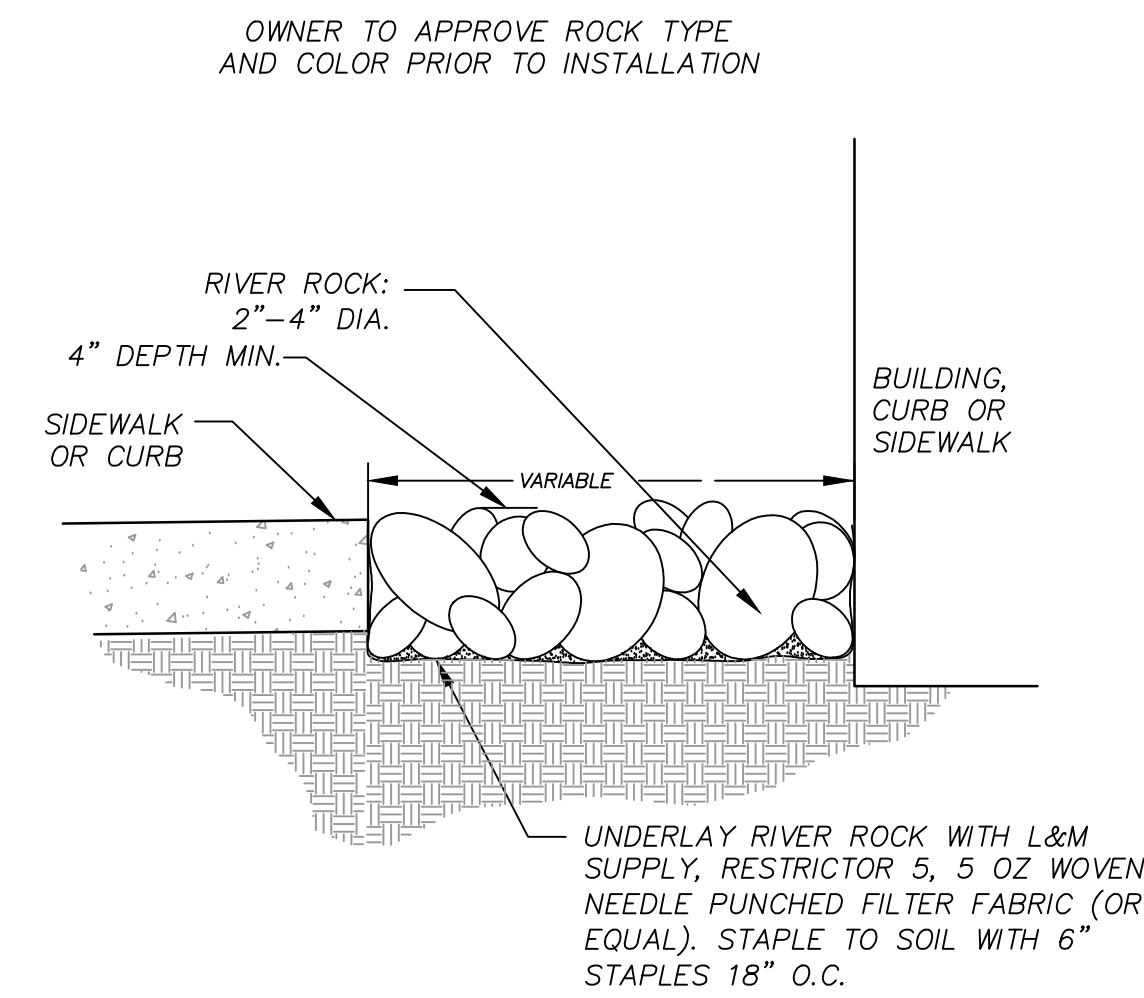


TEMPUS LAND SOLUTIONS, LLC  
 DFW AND GREATER TEXAS  
 817.223.8489  
 michae@tempus-is.com

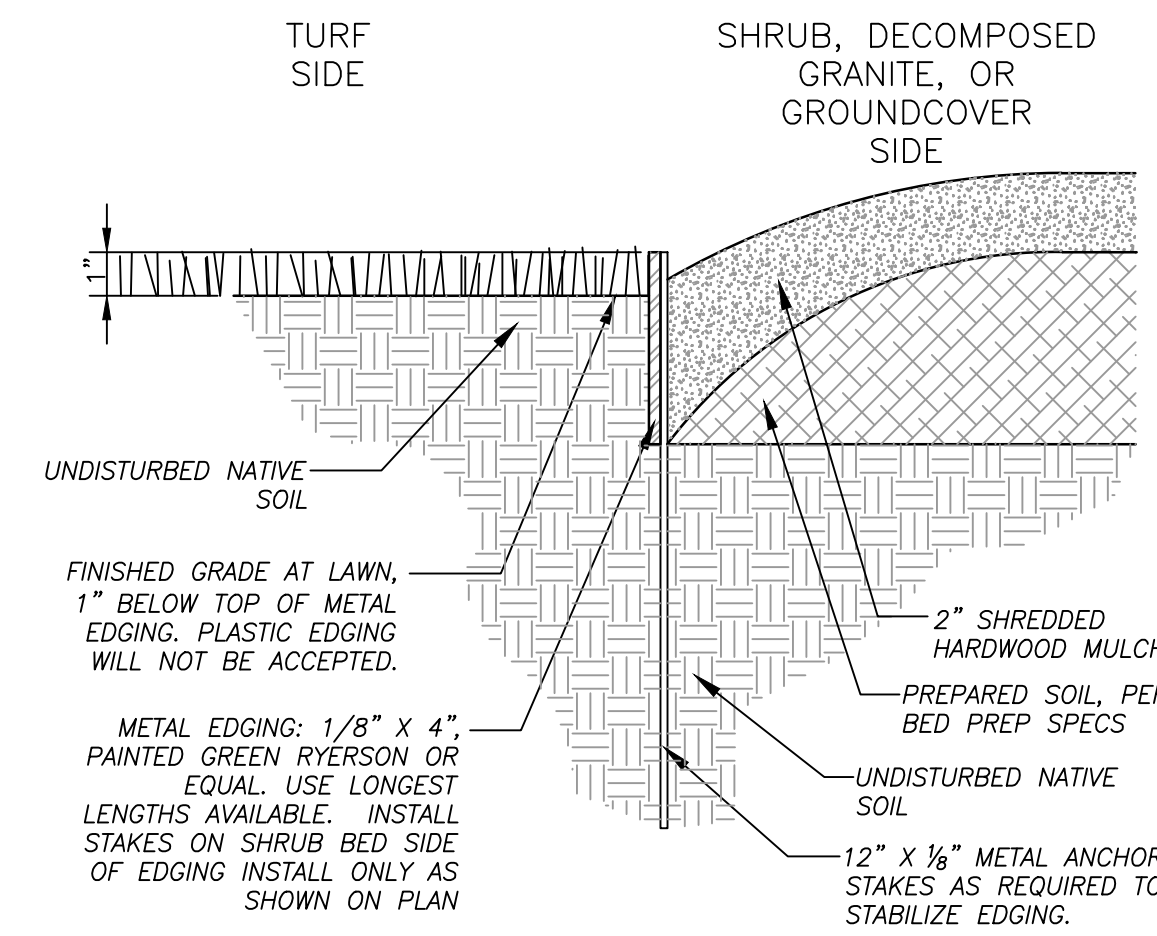
SHEET NO.  
**LS - 1.0**



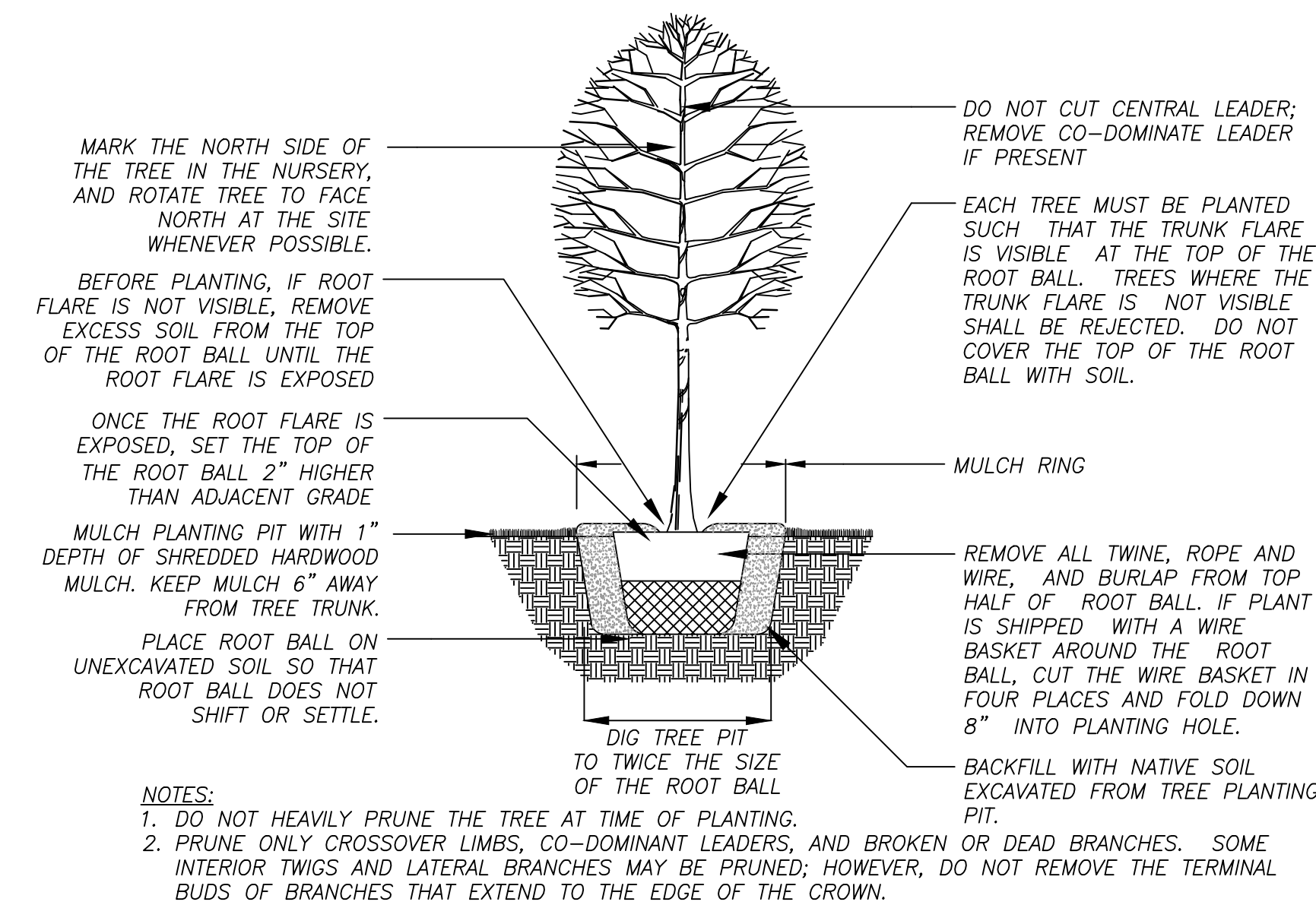
**Know what's below.  
 Call before you dig.**  
 (@ least 48 hours prior to digging)



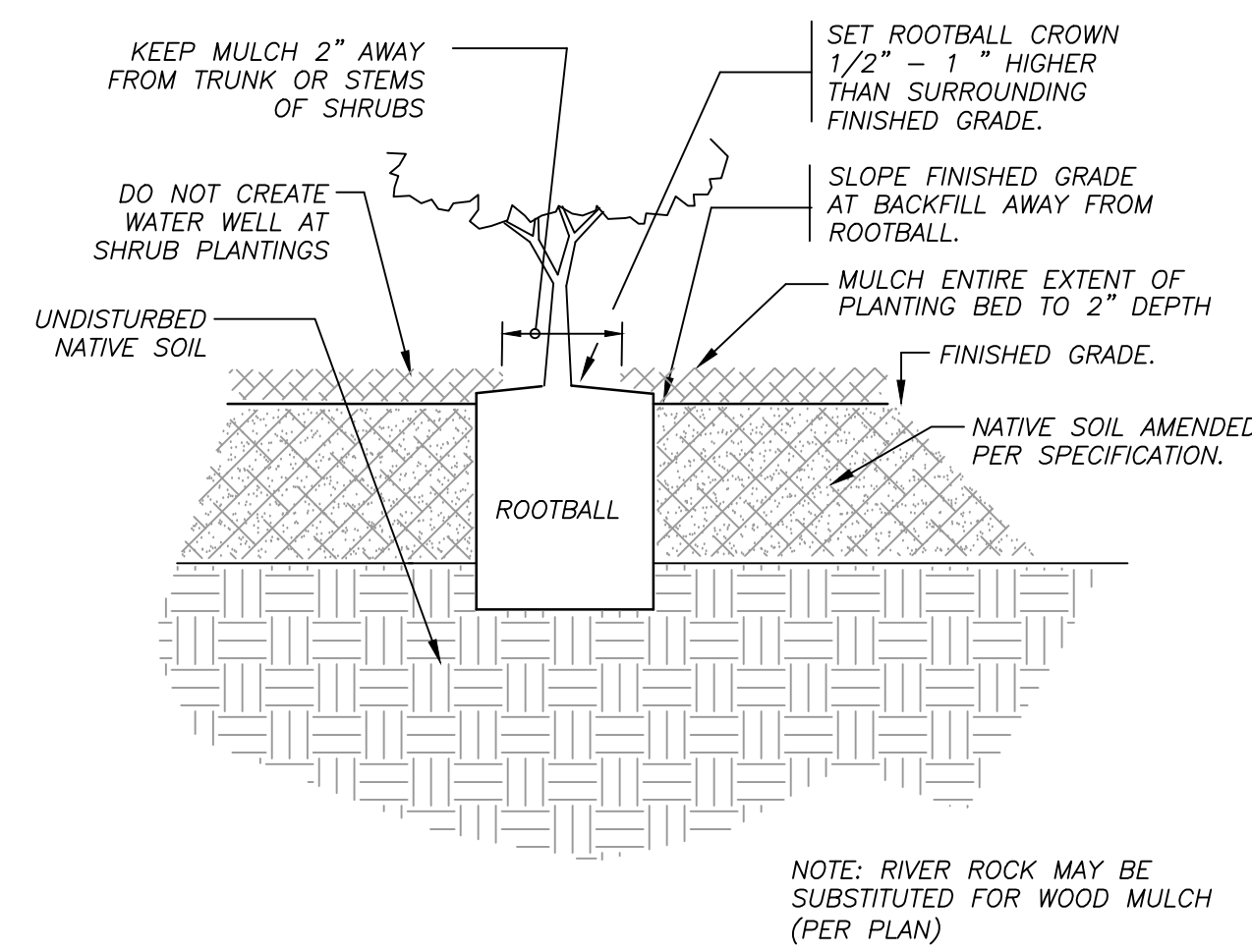
1 RIVER ROCK  
NTS



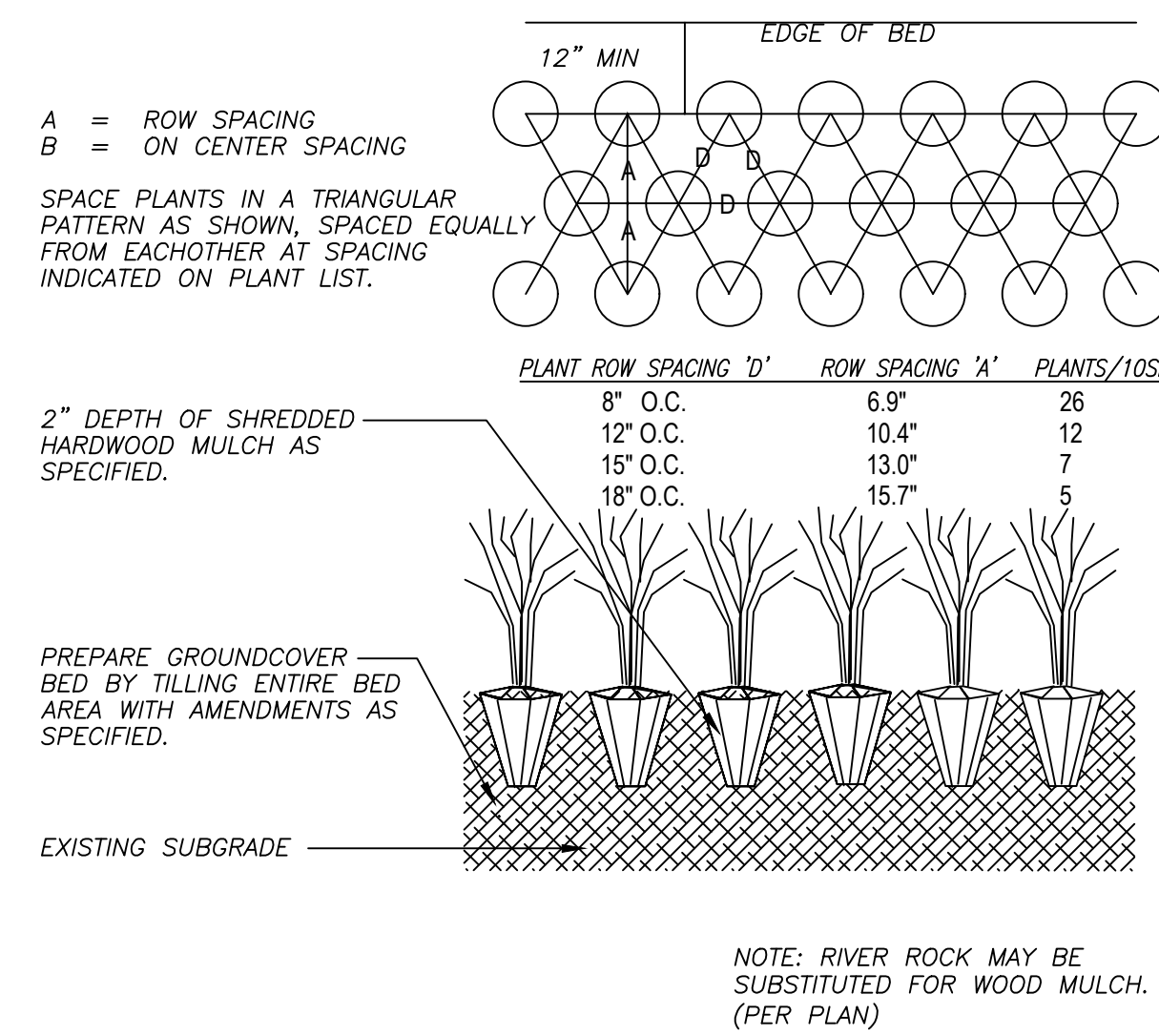
2 STEEL EDGING AT PLANTING BED  
N.T.S.



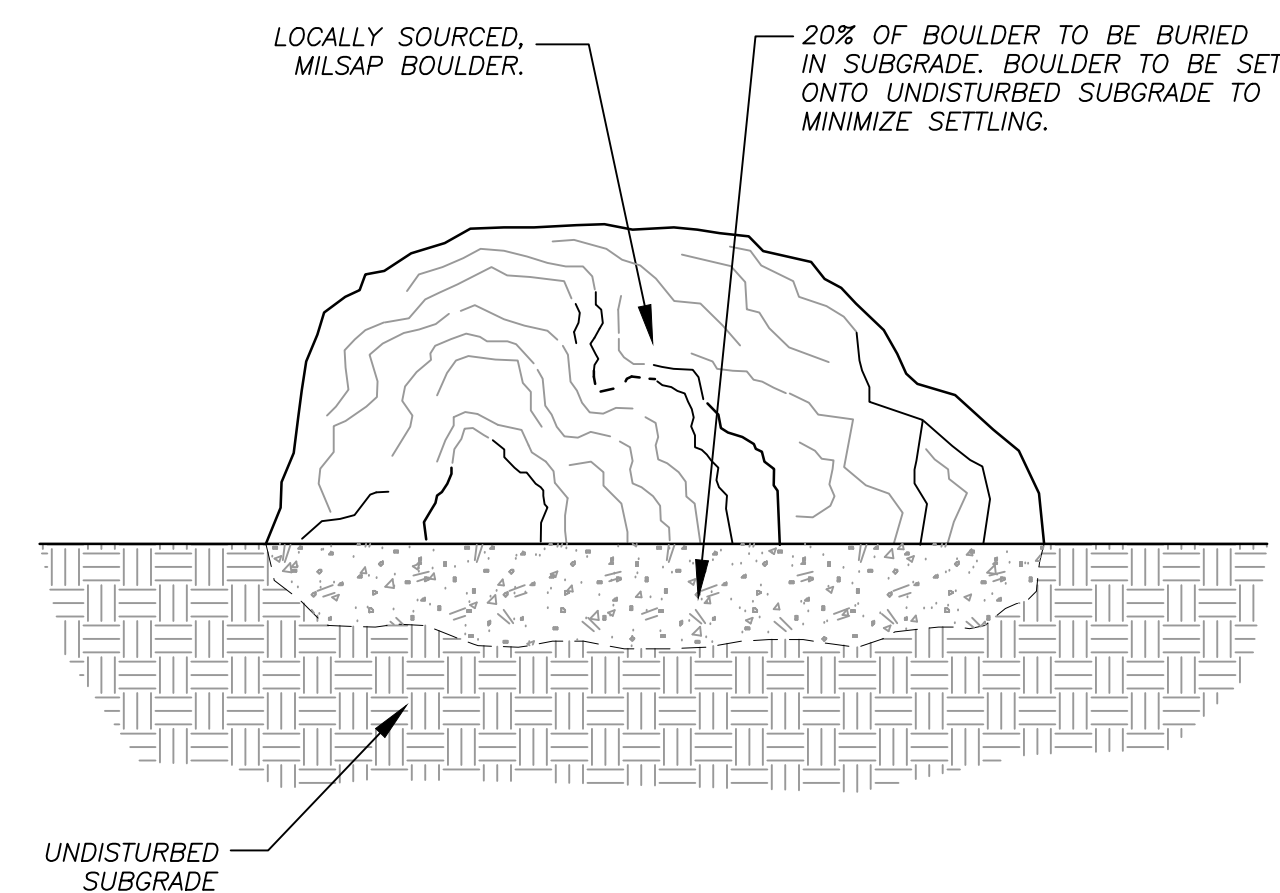
3 TREE PLANTING DETAIL IN ALL SOIL TYPES  
NTS



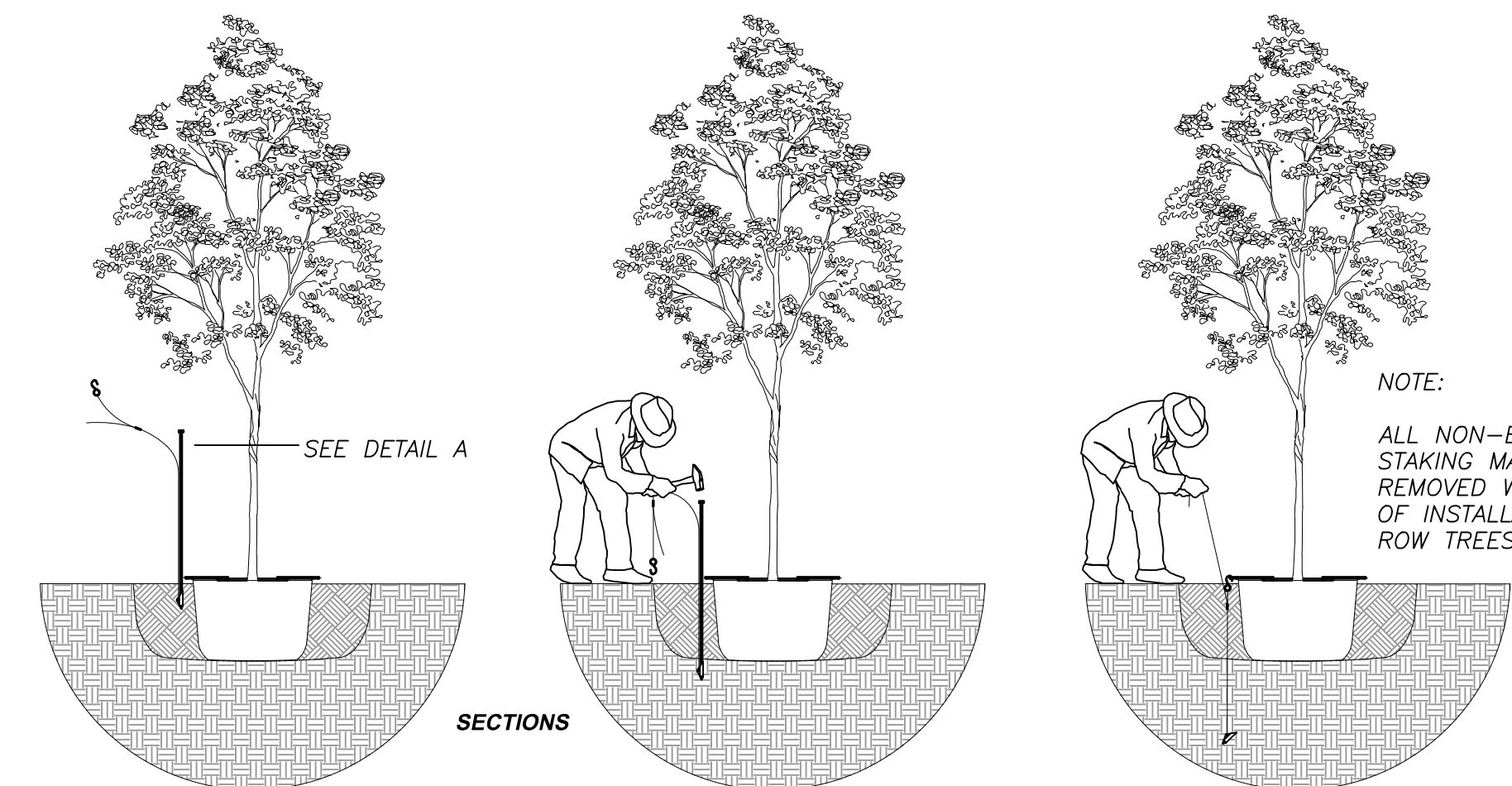
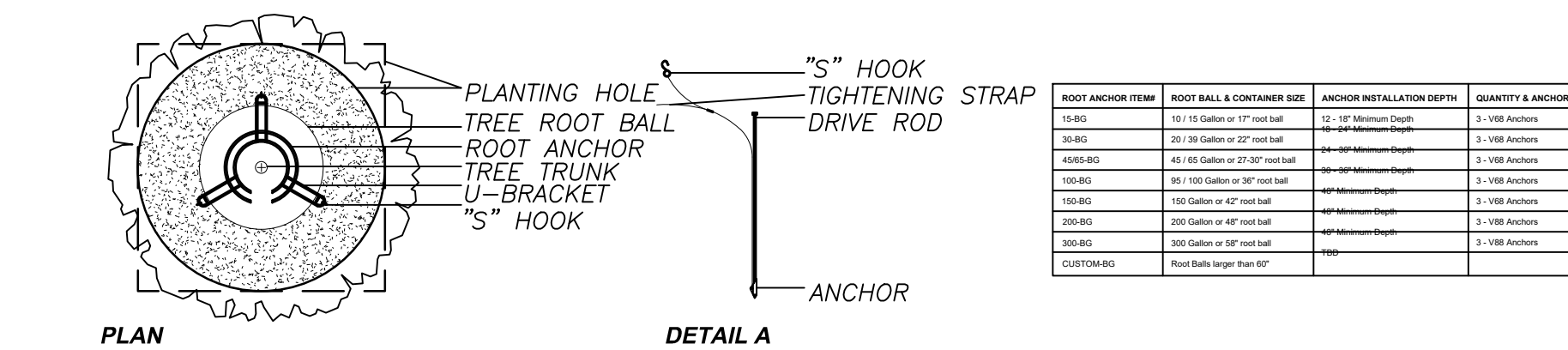
4 SHRUB PLANTING  
NTS



5 GROUNDCOVER PLANTING  
NOT TO SCALE



6 BOULDER INSTALLATION  
NOT TO SCALE



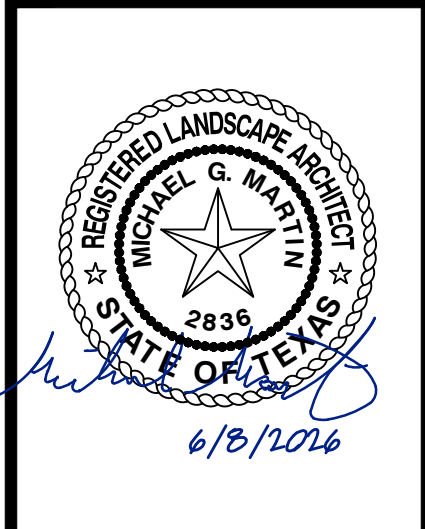
7 BELOW GRADE SAFETY STAKE  
NTS

Tree Stake Solutions, LLC  
9973 FM 521 Road  
Rosharon, Texas 77583  
www.treestakesolutions.com

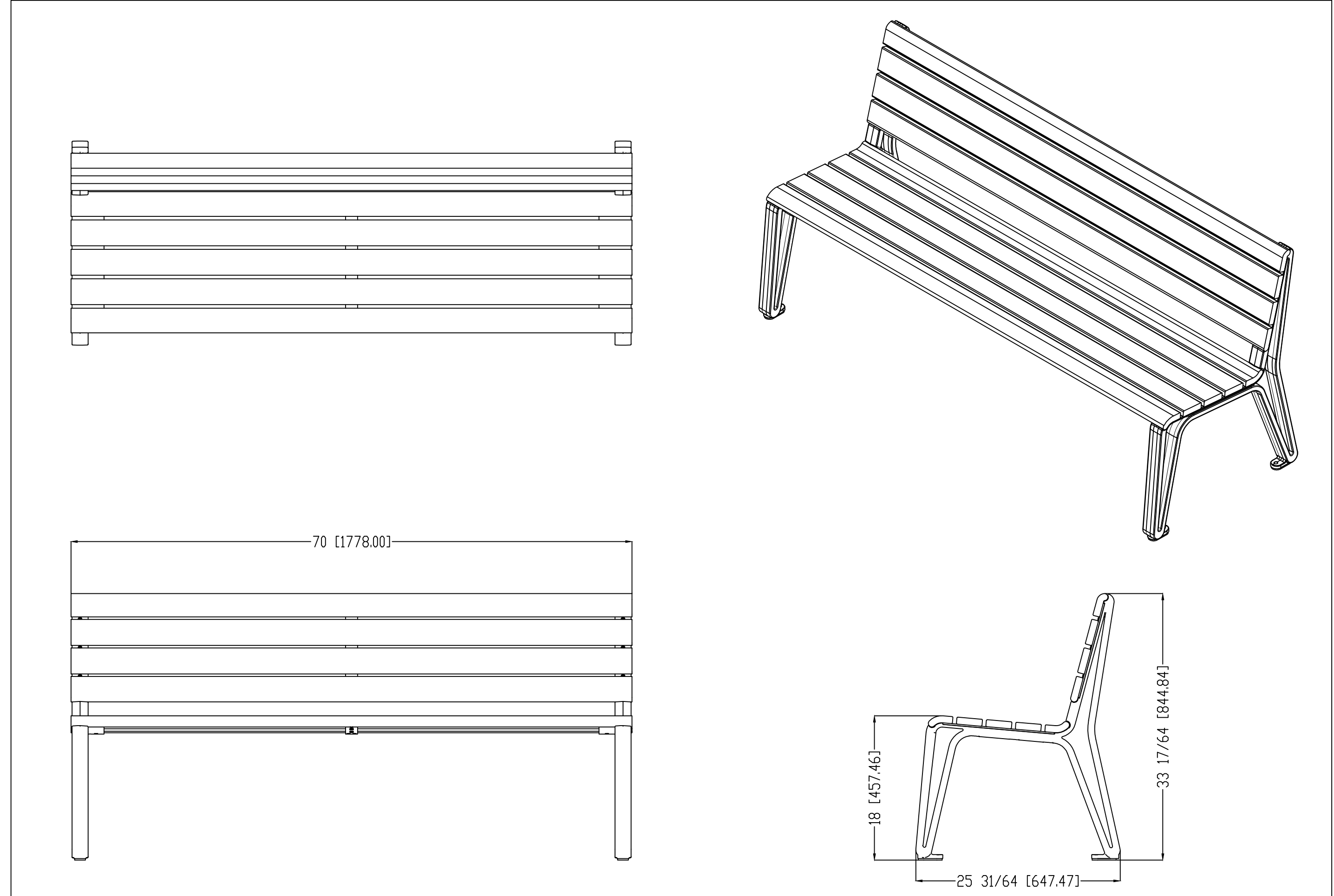
Phone: 281-778-1400  
Mobile: 903-676-6143  
Fax: 281-778-1425

No.	Date	Revision	Description

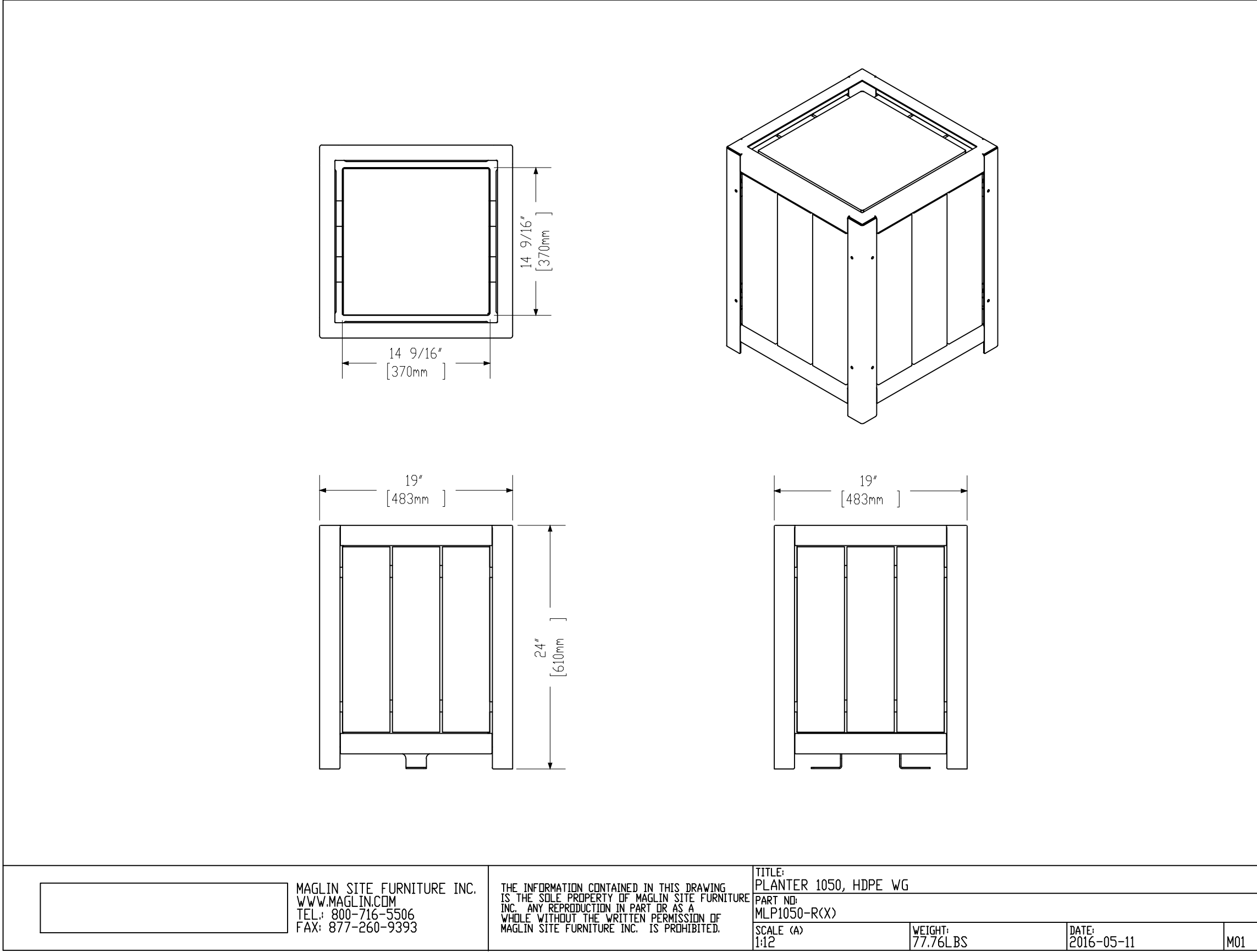
**LANDSCAPE DETAILS**  
CACHET SALONS  
520 NORTHWOOD DRIVE  
FLOWER MOUND, TEXAS 75022



TEMPUS LAND SOLUTIONS, LLC  
DFW AND GREATER TEXAS  
817.223.8489  
michael@tempus-ls.com



<p>MAGLIN SITE FURNITURE WWW.MAGLIN.COM TEL: 800-716-5506 FAX: 877-260-9393</p>	<p>THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MAGLIN SITE FURNITURE. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MAGLIN SITE FURNITURE IS PROHIBITED.</p>	<p>TITLE: ICONIC BENCH, BACKED, 70IN L, CAST AL ENDS, TM ASH WOOD SLATS</p>	<p>SCALE (A) 1:16</p>	<p>DATE: 2019-02-01</p>	<p>M01</p>
		<p>MODEL #: MBE-2300-00053</p>			



<p>MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM TEL: 800-716-5506 FAX: 877-260-9393</p>	<p>THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MAGLIN SITE FURNITURE INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MAGLIN SITE FURNITURE INC. IS PROHIBITED.</p>	<p>TITLE: PLANTER 1050, HDPE WG</p>	<p>WEIGHT: 77.76LBS</p>	<p>DATE: 2016-05-11</p>	<p>M01</p>
		<p>PART NO: MLP1050-RXX</p>	<p>SCALE (A) 1:12</p>		

No.	Date	Revision Description

**LANDSCAPE DETAILS**

**CACHET SALONS**  
520 NORTHWOOD DRIVE  
FLOWER MOUND, TEXAS 75022



**TEMPUS LAND SOLUTIONS**  
EST. 2021

TEMPUS LAND SOLUTIONS, LLC  
DFW AND GREATER TEXAS  
817.223.8489  
michael@tempus-is.com

SHEET NO.  
**LS - 1.3**

NOTES:  
 1. FACADE TYPE D (EAST FACADE) SHALL HAVE MINIMUM 20% TRANSPARENT WINDOWS.  
 2. SIGNS REQUIRE A SEPERATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATION.  
 3. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.

MATERIAL CALCULATION TABLE	NORTH	EAST	SOUTH	WEST
	(FACADE TYPE B)	(FACADE TYPE D)	(FACADE TYPE B)	(FACADE TYPE A)
TOTAL FACADE S.F. (EXCLUDING DOORS & WINDOWS)	1317 sf	2566 sf	1282 sf	2362 sf
DOORS & WINDOWS S.F.	157 sf (12%)	559 sf (22%)	211 sf (16.4%)	778 sf (33%)
<b>PRIMARY MATERIAL TOTALS</b>	<b>96.00%</b>	<b>84.00%</b>	<b>87.00%</b>	<b>85.00%</b>
STUCCO S.F.	1265 sf	2024 sf	1112 sf	1961 sf
BRICK S.F.	0 sf	120 sf	0 sf	48 sf
<b>SECONDARY MATERIAL TOTALS</b>	<b>6.00%</b>	<b>16.00%</b>	<b>13.30%</b>	<b>14.00%</b>
ALUMINUM COMPOSITE PANELS (WOOD) S.F.	52 sf	86 sf	52 sf	103 sf
PRE-FINISHED ALUMINUM PANELS S.F.	29 sf	312 sf	118 sf	226 sf

KEYED NOTES:

- ① STUCCO FACADE (PAREX USA - IVORY); SMOOTH.
- ② STUCCO FACADE (PAREX USA - IVORY); LINEAR ROUGH TEXTURE.
- ③ BRICK FACADE (OLD TEXAS BRICK - SILVERPORT).
- ④ ALUMINUM COMPOSITE MATERIAL PANEL (REYNOBOND - DESIGN LINE ITALIAN WALNUT).
- ⑤ PRE-FINISHED ALUMINUM PANEL (REYNOBOND - 4MM FR PEWTER).
- ⑥ STOREFRONT SYSTEM; MIDNIGHT BRONZE ALUMINUM.
- ⑦ Poured concrete stairs and ramp.
- ⑧ METAL FRAME CANOPY W/ WOOD SOFFIT (REYNOBOND - DESIGN LINE ITALIAN WALNUT).
- ⑨ STUCCO CORNICE DETAILING (PAREX USA - IVORY); SMOOTH.
- ⑩ TUMBLED STONE RETAINING WALL (EXISTING).
- ⑪ PRE-FINISHED ALUMINUM SCREENING (REYNOBOND 4MM FR PEWTER).

ISSUE HISTORY	
01 ISSUED FOR ZPD REVIEW	07-24-2023
02 ZPD REVIEW - SUBMISSION 02	10-04-2023
03 ZPD REVIEW - SUBMISSION 03	02-14-2024
04 ZPD REVIEW - SUBMISSION 04	09-18-2024
05 ZPD REVIEW - SUBMISSION 07	11-27-2024
06 ZPD REVIEW - SUBMISSION 08	12-03-2024
07 ZPD REVIEW - SUBMISSION 09	03-12-2026



**CACHET SALONS + SPA**  
**AT LAKESIDE CROSSING**  
 520 NORTHWOOD DRIVE  
 FLOWER MOUND, TEXAS, 75028

PROJECT NO.	23115
SCALE	VARIABLES
SHEET TITLE	COLOR EXTERIOR ELEVATIONS
SHEET NUMBER	<b>A2.02</b>
<small>         *THESE DOCUMENTS ARE INCOMPLETE AND FOR INTERIM REVIEW ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL PERMIT OR CONSTRUCTION* ARCHITECT NAME: JASON EGGENBURGER REG. No. 23759       </small>	



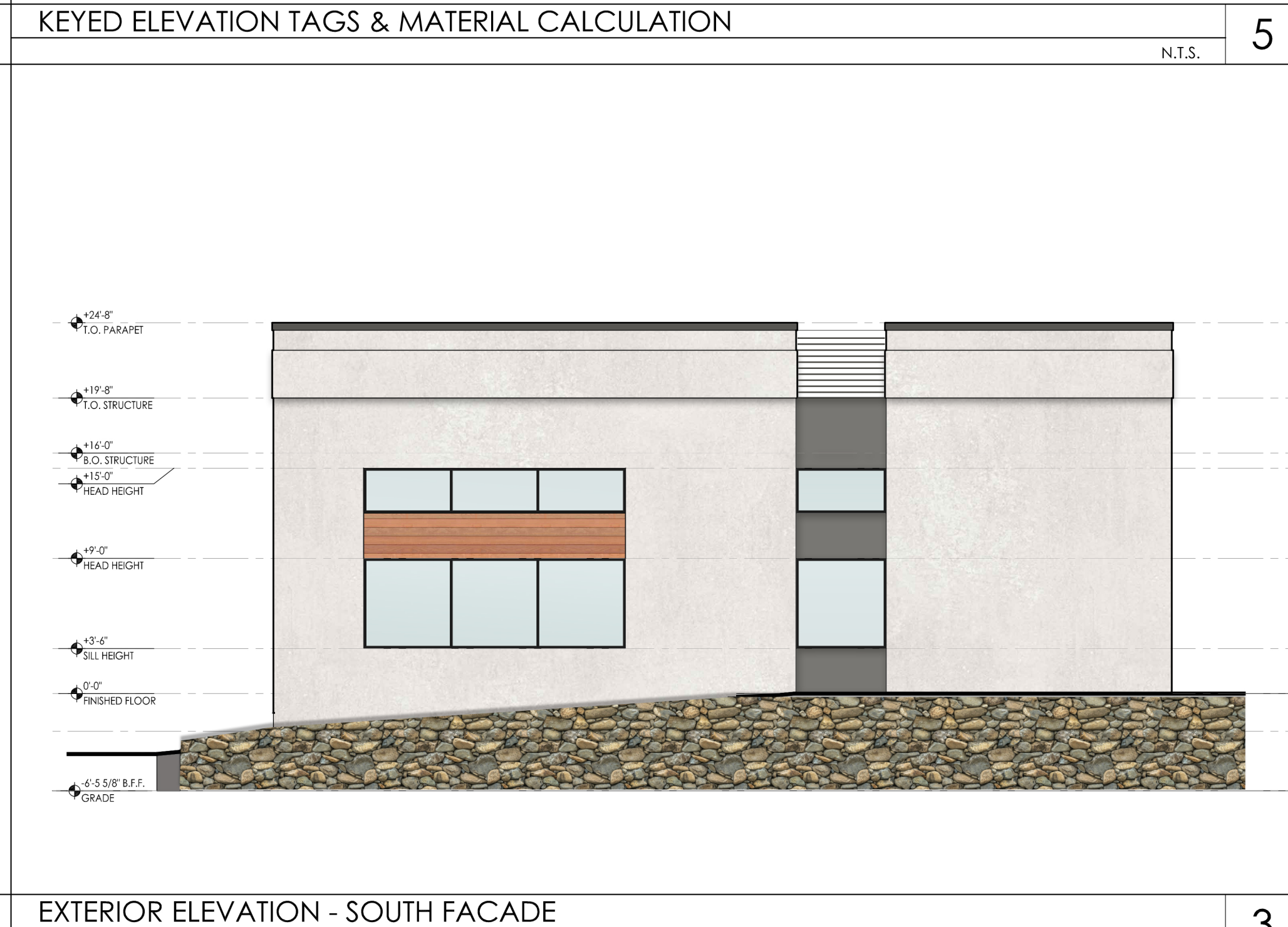
EXTERIOR ELEVATION - WEST FACADE

1/8" = 1'-0" 4



EXTERIOR ELEVATION - EAST FACADE

1/8" = 1'-0" 2



EXTERIOR ELEVATION - SOUTH FACADE

1/8" = 1'-0" 3



EXTERIOR ELEVATION - NORTH FACADE

1/8" = 1'-0" 1

N.T.S. 6

KEYED ELEVATION TAGS & MATERIAL CALCULATION N.T.S. 5

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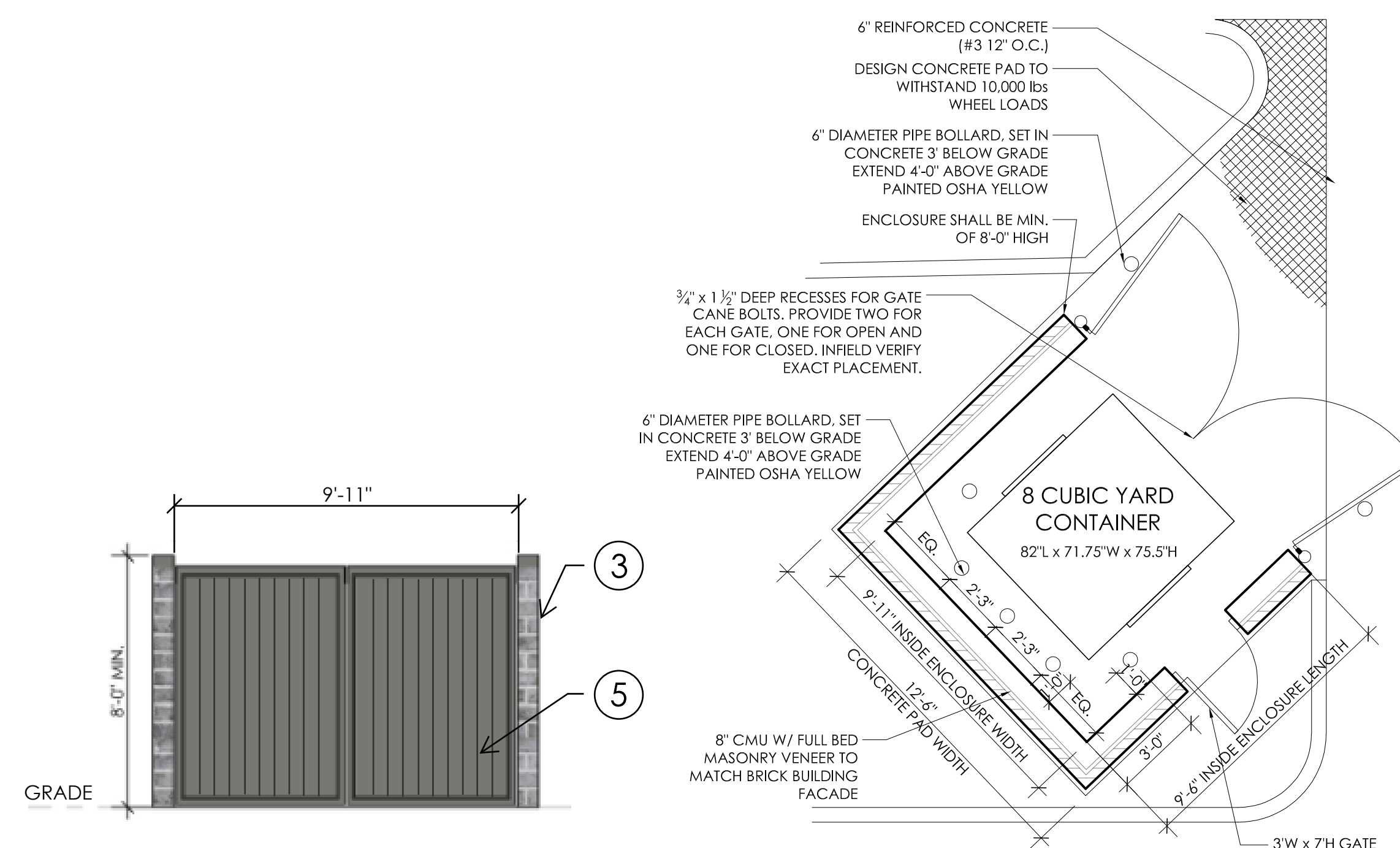
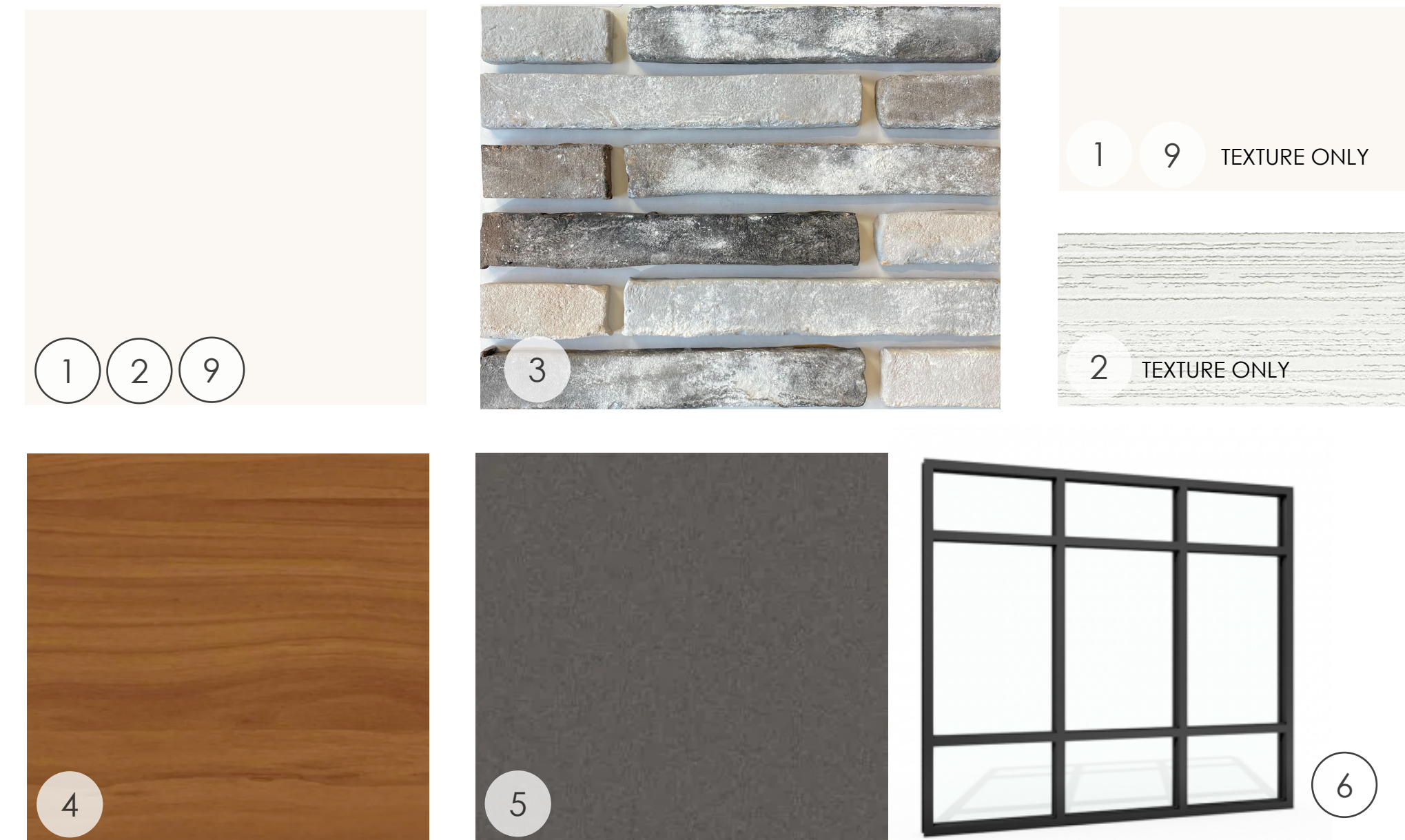
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KEYED NOTES:

- 1 STUCCO FACADE (PAREX USA - IVORY): SMOOTH.
- 2 STUCCO FACADE (PAREX USA - IVORY): LINEAR ROUGH TEXTURE.
- 3 BRICK FACADE (OLD TEXAS BRICK - SILVERPORT).
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- 5 PRE-FINISHED ALUMINUM PANEL (REYNOBOND - 4MM FR PEWTER).
- 6 STOREFRONT SYSTEM; MIDNIGHT BRONZE ALUMINUM.
- 7 POURED CONCRETE STAIRS AND RAMP.
- 8 METAL FRAME CANOPY W/ WOOD SOFFIT (REYNOBOND - DESIGN LINE ITALIAN WALNUT).
- 9 STUCCO CORNICE DETAILING (PAREX USA - IVORY): SMOOTH.
- 10 TUMBLED STONE RETAINING WALL [EXISTING].
- 11 PRE-FINISHED ALUMINUM SCREENING (REYNOBOND 4MM FR PEWTER).



ISSUE HISTORY	
01 ISSUED FOR ZPD REVIEW	07-24-2023
02 ZPD REVIEW - SUBMISSION 02	10-04-2023
03 ZPD REVIEW - SUBMISSION 03	02-14-2024
04 ZPD REVIEW - SUBMISSION 04	09-18-2024
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**CACHET SALONS + SPA  
AT LAKESIDE CROSSING**  
520 NORTHWOOD DRIVE  
FLOWER MOUND, TEXAS, 75028

PROJECT NO. 23115  
SCALE VARIES  
SHEET TITLE  
**EXTERIOR MATERIAL  
PALETTE & DUMPSTER  
ENCLOSURE**  
SHEET NUMBER  
**A2.03**

"THESE DOCUMENTS ARE INCOMPLETE AND FOR INTERIM REVIEW ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL PERMIT OR CONSTRUCTION" ARCHITECT NAME: JASON EGGENBURGER REG. No. 23759



# PLANNING & ZONING COMMISSION AGENDA J.1. REGULAR ITEM(S)

---

**DATE:** June 22, 2026  
**FROM:** Nick Ford, Senior Planner  
**ITEM:** **Public Hearing to consider an ordinance amending the Land Development Regulations (LDR26-0001 – Time-Based Shared Parking) by amending Chapter 82, "Development Standards," related to off-street parking.**

---

## BACKGROUND:

### I. ITEM SUMMARY

This Town-initiated item proposes to amend the Town's Land Development Regulations by updating language related to off-street parking and more specifically adding regulations regarding time-based shared parking. The proposed amendments implement Objective 2.3 of the [FY24-25 Strategic Plan](#) as adopted by Town Council, which identifies commercial parking code revisions as an initiative to incentivize reduced parking demand and increase opportunities for open space preservation.

The proposed amendment includes changes to the off-street parking code to allow for shared parking options provided by the town that developers, owners, or applicants can use to park their site. Shared parking is known as the use of a parking space to serve two or more land uses, which are compatible with their peak demands, based on the time of day and day of the week. The Town's current minimum parking requirements are based off national parking standards that were developed over two decades ago, and assume peak capacity at all times of the day and generally provide an oversupply of parking and pavement across many sites. The combined parking demand between multiple uses is often substantially lower than the sum of individual minimum parking requirements because peak demand occurs at different times.

Currently, parking can only be reduced by a maximum of 20% without requesting a deviation. Increasing or decreasing parking spaces by more than 20% of the required minimum parking also requires a shared parking study and Town Council approval upon recommendation from the Planning & Zoning Commission. With the proposed shared parking amendments, developers can potentially reduce their parking beyond the current 20% cap rule, which can remove the necessity for performing a parking study, reduce the cost of building parking spaces, reduce the heat island effect, and reduce stormwater runoff, which could also allow a site to contain more open space and landscape opportunities.

### II. APPLICATION ANALYSIS

To develop the proposed shared parking factors, Town staff conducted a comprehensive parking utilization study between 2022 and 2026 to measure actual parking demand for a variety of commercial land uses throughout Flower Mound. The objective of the study was to observe the overall peak parking demand of various sites across the town during any given month, day and time period for different land uses and compare the results to nationally recognized parking references as provided in the Urban Land Institute (ULI) *Shared Parking, Third Edition* and the Institute of Transportation Engineers (ITE) *Parking Generation Manual, Sixth Edition*. The resulting factors are intended to provide a more accurate basis for

evaluating mixed-use developments than applying conventional minimum parking requirements independently to each land use.

Parking demand was measured by observing the number of occupied parking spaces at sites in and around Flower Mound during various months, weekdays, weekends, holidays, and time periods, with the exception of nighttime counts from midnight to six in the morning. Counts were collected using multiple observation methods, including on-site field counts, drone photography, Nearmap imagery, ESRI aerial imagery, and Google Street View where appropriate. Over the course of the study, Town staff collected more than 450 parking observations, culminating in over 36,000 parked vehicles at approximately 120 sites across 17 different land use categories.

For each observation, the number of parked vehicles was compared to the total parking supply available on-site to determine an observed parking occupancy rate. Because parking occupancy alone does not necessarily reflect actual parking demand, the observed rates were further refined using two adjustment factors.

First, parking occupancy was adjusted to account for parking deviations, recognizing that many developments provide parking in excess of the minimum parking required by the Town's regulations. Without this adjustment, sites with substantial excess parking would appear to have lower parking demand simply because they contain more parking than is necessary. The parking deviation adjustment normalizes observed occupancy relative to the minimum parking supply that would otherwise be required by the code. Average parking deviations of the sites studied are about 23.84%.

Second, parking occupancy was adjusted to account for vacancy. Existing developments often contain vacant tenant spaces or unoccupied buildings that reduce parking utilization independent of the site's potential parking demand. Vacancy adjustments estimate the parking demand that would reasonably occur under stabilized occupancy conditions rather than temporary market conditions. Average vacancy rates for sites studied are around 4.89%

Following these adjustments, parking demand was normalized within each land use category by comparing adjusted parking demand during each observation period to the representative peak demand for that land use. Normalization established a time-based demand profile showing the proportion of peak parking demand that occurs during weekday morning, weekday afternoon, weekday evening, weekend morning, weekend afternoon, and weekend evening periods. Because each land use exhibits different peak parking demands and peak times, normalization allows parking demand to be compared across land uses using a common scale.

To develop representative demand factors for each land use, staff evaluated four measures of parking utilization for every observation: observed parking occupancy, parking occupancy adjusted for parking deviations and vacancy, normalized parking demand expressed as a percentage of peak demand, and normalized parking demand incorporating both parking deviation and vacancy adjustments. Additionally, instead of relying on average or peak utilization, which can understate parking demand during busy periods, or maximum observed values, which may reflect isolated conditions, staff selected the 85<sup>th</sup> percentile value for each measure. The 85<sup>th</sup> percentile represents a commonly accepted planning threshold that captures typical high-demand conditions while minimizing the influence of statistical outliers as recommended by the Urban Land Institute (ULI) *Shared Parking, Third Edition*. In short, the 85<sup>th</sup> percentile equates to 85% of the time the shared parking percentages within each respective time period will be adequate parking and in a shared environment, even more so. These values provided the basis for evaluating local parking demand characteristics and informed the development of the proposed shared parking factors.

Furthermore, parking demand is influenced by a variety of factors, including seasonal variations, economic conditions, tenant mix, evolving consumer behavior, and changing travel patterns. No individual observation or study period can capture every condition affecting parking demand; however, by collecting

observations over multiple years, across different seasons, weekdays, weekends, and times of day, applying adjustments for parking supply and vacancy, and evaluating high-demand conditions using the 85<sup>th</sup> percentile of observed occupancy, the methodology reduces the influence of temporary or site-specific conditions and produces parking demand factors that are characteristic of Flower Mound.

In conclusion, the proposed shared parking factors represent a calibrated balance between nationally recognized shared parking practices and observed local parking demand. Rather than relying exclusively on either the local observations or the ULI methodology, staff evaluated both datasets to develop factors that are representative of Flower Mound while remaining consistent with accepted parking planning practices. Land use categories with a greater number of observations provided a higher level of confidence in locally derived demand factors, while categories with fewer observations relied more heavily on comparison to published ULI demand distributions. This calibrated approach provides flexibility for developers while maintaining sufficient parking to accommodate expected peak demand across a variety of developments.

### **III. AMENDMENTS**

Updates are proposed in Chapter 82 — "Development Standards."

#### **Section 82-73. Computing parking and loading requirements.**

- Update to add shared parking as a valid method in determining parking requirements for a site and referencing the new section (Section 82-84) to be amended into the code.

#### **Section 82-84. Shared Parking.**

- Adding this new section to the parking code which lists requirements on when and how to use the new shared parking.
- Shared parking is not a requirement, but if used, it must meet the following standards:
  - Must contain two or more different land uses on the site, such as Restaurant and Retail.
  - Must be located in the same development or subdivision unless otherwise specified in an approved town document such as a Planned Development or Mixed-Use district.
  - A shared parking agreement between all parties must be provided to the Town. The town will be made a party to all agreements and must be held harmless.
  - Change in uses must be reassessed and obtain prior approval. This is standard protocol in our current code for any parking adjustments and would be handled at an administrative level unless otherwise required by the code.
  - Developers and owners must use the shared parking table below, which may reduce the parking by more than 20%.
  - For projects which contain land uses not listed in the table or other hours which do not overlap, a shared parking study would be required per current processes found in section 82-73(4).
- Below is the schedule of time-based shared parking requirements as researched and developed by the town.

<b>Land Uses</b>	<b>Weekday</b>			<b>Weekend</b>			<b>Nighttime</b> (12am - 6am)
	<b>Morning</b> (6am - 12pm)	<b>Afternoon</b> (12pm - 6pm)	<b>Evening</b> (6pm - 12am)	<b>Morning</b> (6am - 12pm)	<b>Afternoon</b> (12pm - 6pm)	<b>Evening</b> (6pm - 12am)	
<b>Hotels</b>	75%	55%	70%	70%	45%	70%	100%
<b>Offices</b>	95%	95%	10%	15%	10%	5%	5%
<b>Restaurants</b>	50%	65%	80%	50%	70%	100%	10%
<b>Retail / Personal Services</b>	55%	70%	50%	75%	65%	55%	5%
<b>Recreational / Entertainment</b>	25%	35%	45%	25%	70%	80%	10%
<b>Health or Athletic Clubs</b>	75%	55%	80%	75%	60%	50%	5%

**BOARD REVIEW/CITIZEN FEEDBACK:**

The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle) for all land development regulation updates. At the time this report was written, staff had received [## items of correspondence in support and ## items of correspondence in opposition; had not received any correspondence regarding this item.]

**ALTERNATIVES:** N/A

**FISCAL IMPACT:** N/A

**LEGAL REVIEW:** Annabelle Ackling, of Taylor, Olson, Adkins, Sralla, & Elam L.L.P., will review the ordinance as to form and legality.

**ATTACHMENTS:**

1. DRAFT Ordinance

**DRAFT MOTION:** Move to approve as presented in the agenda caption.

**LDR26-0001**

**SUBPART B – LAND DEVELOPMENT REGULATIONS**

CHAPTER 82 – DEVELOPMENT STANDARDS

**ARTICLE III. OFF-STREET PARKING AND LOADING**

**Sec. 82-73. Computing parking and loading requirements.**

\*\*\*

(12) *Shared parking.* In efforts to reduce parking requirements, reduce stormwater runoff, and to reduce the heat island effect of large impervious areas, off-street parking may be shared between different uses and properties with different operating hours or different peak time periods based on the provisions of section 82-84.

\*\*\*

**Sec. 82-84. Shared parking.**

Shared parking may be used for applicants desiring to reduce off-street parking through shared-use parking by the day and time of day on a site. Shared parking shall be established in accordance with the following:

- (1) Shared parking must use two or more of the land uses listed in “Schedule of Time-Based Shared Parking Requirements” table below;
- (2) Unless otherwise required by a Planned Development or other town approved document, shared parking spaces must be located within the same development or subdivision;
- (3) Where multiple owners or lots exist in the same development or subdivision, a signed copy of a written agreement, executed by the parties involved, must be furnished to the town manager, and recorded in the local county deed records by the applicant, assuring the retention and enforcement of shared parking. The town shall be made a party to any shared parking agreement necessary for meeting shared parking requirements and such agreement shall include a provision stating the parties will hold the town harmless;
- (4) Should any change in uses occur from the original request, a reassessment of the shared parking areas shall be reviewed and approved by the town manager; and
- (5) Shared parking adjustments shall be made according to the percentages set forth in the “Schedule of Time-Based Shared Parking Requirements” table below. The number of parking spaces required is determined by multiplying the percentage in each column by the number of spaces required for the use pursuant to section 82-74 and then totaling the resulting numbers for each column. The column total that generates the highest number of parking spaces is the shared parking requirement. It is possible that by using this “Schedule of Time-Based Shared Parking Requirements,” the amount of required parking for a particular use may be reduced by more than the 20% that would otherwise be allowed in accordance with section 82-73(1).

SCHEDULE OF TIME-BASED SHARED PARKING REQUIREMENTS

Land Uses	Weekday			Weekend			Nighttime (12am- 6am)
	Morning (6am - 12pm)	Afternoon (12pm - 6pm)	Evening (6pm - 12am)	Morning (6am - 12pm)	Afternoon (12pm - 6pm)	Evening (6pm - 12am)	
<b>Hotels</b>	75%	55%	70%	70%	45%	70%	100%
<b>Offices</b>	95%	95%	10%	15%	10%	5%	5%
<b>Restaurants</b>	50%	65%	80%	50%	70%	100%	10%

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***SUBPART B – LAND DEVELOPMENT REGULATIONS***

	Weekday			Weekend			<b>Nighttime</b> (12am- 6am)
	<b>Morning</b> (6am - 12pm)	<b>Afternoon</b> (12pm - 6pm)	<b>Evening</b> (6pm - 12am)	<b>Morning</b> (6am - 12pm)	<b>Afternoon</b> (12pm - 6pm)	<b>Evening</b> (6pm - 12am)	
<b>Land Uses</b>							
<b>Retail / Personal Services</b>	55%	70%	50%	75%	65%	55%	5%
<b>Recreational / Entertainment</b>	25%	35%	45%	25%	70%	80%	10%
<b>Health or Athletic Clubs</b>	75%	55%	80%	75%	60%	50%	5%

\* For projects that contain land uses not listed above or have operating hours that do not overlap, shared parking may be considered if the applicant furnishes a shared parking study. The analysis should confirm the appropriateness of shared parking in similar situations and be based upon the most current edition Urban Land Institute’s (ULI) “Shared Parking” or other accepted methodology as found in section 82-73(4) and determined by the town manager.

**Secs. 82-85—82-110. - Reserved.**