



AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

JANUARY 11, 2016

FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter

A. CALL TO ORDER: 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZEN'S COMMENTS

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. REGULAR ITEMS

1. *Minutes of December 14, 2015*

Consider approval of the minutes of the December 14, 2015, Planning and Zoning Commission Regular Session and Work Session.

2. *RC14-0026 – Lake Forest Plaza, Phase 3*

Consider a request for a Record Plat to create a non-residential subdivision. The property is generally located north of Flower Mound Road and west of Long Prairie Road.

3. *RP15-0017 – Franklin Hills, Block F-2, Lot 18R*

Public Hearing

Public Hearing to consider a request for a Replat to create one residential lot. The property is generally located east of Lakewood Lane and north of Sunnyview Lane.

4. *RP15-0014 – J.L. Allison Realty Co. Subdivision, Lot 26R* *Public Hearing*

Public Hearing to consider a request for a Replat to create a residential subdivision. The property is generally located south of Oak Drive and west of Fireside Drive.

5. *MPA15-0010 – Silveron Industrial Warehouse* *Public Hearing*

Public Hearing to consider a request for a Master Plan Amendment to amend Section 1.0, Land Use Plan, and Section 2.0, Area Plans, of the Master Plan to change the current land use designation from Campus Commercial uses to Campus Industrial uses on approximately 41.24 acres of land within the Lakeside Business District Area Plan. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

6. *ZPD15-0013 – Silveron Industrial Warehouse* *Public Hearing*

Public Hearing to consider a request for rezoning from Planned Development District No. 31 (PD-31) for Campus Commercial District (CC) uses to Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses with certain exceptions to the Code of Ordinances. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

E. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: Jan. 7, 2016, at 2:50pm, at least 72 hours prior to the scheduled time of said meeting.



Cindi Price, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 14TH DAY OF DECEMBER, 2015, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session and work session with the following members present:

Claudio Forest	Chair
Don McDaniel	Vice Chair
Sandeep Sharma	Commissioner, Place 2
Mike McCall	Commissioner, Place 3
Emily Strittmatter	Commissioner, Place 5
Brian Smiley	Commissioner, Place 6
Perfecto Solis	Commissioner, Place 7
Freddie Guerra	Commissioner, Place 8

Constituting a quorum with the following members absent:

Brad Ruthrauff	Commissioner, Place 9
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Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Doug Powell	Executive Director
Tommy Dalton	Director of Strategic Services
Chuck Russell	Town Planner
Robert Pegg	Engineering Manager
Poornima Srinarasi	Senior Planner
Gina Costanza-Grant	Senior Planner

- A. CALL TO ORDER: 6:30 P.M.**
- B. INVOCATION AND PLEDGE OF ALLEGIANCE**
- C. CITIZENS/VISITORS COMMENTS**

There were none.

- D. REGULAR ITEMS**

- 1. Consider approval of the minutes of the November 9, 2015, Planning and Zoning Commission Regular Session and Work Session.**

Commission Deliberation

Vice Chair McDaniel moved to approve the November 9, 2015, minutes as presented. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Solis, Smiley, McDaniel, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

2. Consider a request for a Record Plat (RC14-0034 – Stonecrest Road Widening) to dedicate certain easements and rights-of-way within the Canyon Falls Development. The property is generally located north of Cross Timbers Road and west of US 377.

Staff Presentation

Poornima Srinarasi, Senior Planner

Commission Deliberation

Vice Chair McDaniel moved to approve RC14-0034 – Stonecrest Road Widening. Commissioner Solis seconded the motion.

VOTE ON THE MOTION

AYES: Solis, Smiley, McDaniel, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

3. Consider a request for a Record Plat (RC15-0014 – Magnolia Park) to create a residential subdivision. The property is generally located east of Flower Mound Road and north of Quail Run Road.

Staff Presentation

Poornima Srinarasi, Senior Planner

Commission Deliberation

Vice Chair McDaniel moved to approve RC15-0014 – Magnolia Park. Commissioner Sharma seconded the motion.

VOTE ON THE MOTION

AYES: Solis, Smiley, McDaniel, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

- 4. Public Hearing to consider a request for a Specific Use Permit No. 438 (SUP15-0009 - Hawk Road Cell Tower) to permit a new communication tower. The property is located at 6901 Hawk Road.**

Commissioner Smiley recused himself from the hearing of Item 4 and left the Council Chambers.

Staff Presentation

Gina Costanza-Grant, Senior Planner

Applicant Presentation

Gary Edenburn, Crown Castle
Mark Pennell, Crown Castle
Mike Menlove, Crown Castle
Lee Harris, 6901 Hawk Road, Flower Mound

In Opposition –

Ed Brock, 6921 Hawk Road, Flower Mound
Heather Juhl, 6855 Hawk Road, Flower Mound

Submitted a card to Speak In Opposition, but donated her time to Ed Brock:

Ruth Brock, 6921 Hawk Road, Flower Mound

In Favor –

Charlie Cummings, 7007 Hawk Road, Flower Mound

Close Public Hearing

Commission Deliberation

Vice Chair McDaniel moved to recommend approval of SUP15-0009 – Hawk Road Cell Tower. Commissioner Solis seconded the motion.

VOTE ON THE MOTION

AYES: Solis, McDaniel, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: Smiley

The motion passed with a vote of 5-0.

Commissioner Smiley returned to the Council Chambers.

5. Public Hearing to consider a request for rezoning (ZPD15-0006 – The Conservatory Estates) from Agricultural District (A) to Planned Development District No. 140 (PD-140) for a cluster development. The property is generally located west of Freeman Road and north of Cross Timbers Road.

6. Consider a request for a Development Plan (DP15-0001 – The Conservatory Estates) to develop a residential subdivision. The property is generally located west of Freeman Road and north of Cross Timbers Road.

Staff Presentation

Chuck Russell, Town Planner

Applicant Presentation

Randi Rivera, G & A Consultants, Inc.
Raymond Chandler, 7001 Lismore Court, Colleyville

In Favor –

Jarrold Atkinson, 4201 Post Oak Road, Flower Mound

Questions and Comments of an Informational Nature

Sharon Gentry, 2750 Bob White Lane, Flower Mound

In Opposition – None

Close Public Hearing

Commission Deliberation (ZPD15-0006)

Vice Chair McDaniel moved to table ZPD15-0006 – The Conservatory Estates to the January 11, 2016, Planning and Zoning Commission meeting. Commissioner McCall seconded the motion.

VOTE ON THE MOTION (ZPD15-0006)

AYES: Strittmatter, Sharma, McCall, McDaniel, Smiley, Solis

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

Commission Deliberation (DP15-0001)

Vice Chair McDaniel moved to table DP15-0001 – The Conservatory Estates to the January 11, 2016, Planning and Zoning Commission meeting. Commissioner McCall seconded the motion.

VOTE ON THE MOTION (DP15-0001)

AYES: Solis, Smiley, McDaniel, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

E. CLOSED SESSION

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission convened into a closed session at 9:10 p.m. for legal consultation with the Town Attorney to receive legal advice as follows:

- a. Item 7: MISC15-0005 – City of Grapevine

F. RECONVENE INTO OPEN SESSION

The Planning and Zoning Commission reconvened into open session at 9:24 p.m.

- 7. **Public Hearing to consider a request (MISC15-0005) to amend the Town's Code of Ordinances by amending the development standards for an approximately ten acre parcel of property owned by the City of Grapevine. The property is generally located on the corner of Lakeside Parkway and Enterprise Road.**

Staff Presentation

Doug Powell, Executive Director

In Opposition - None

In Favor - None

Close Public Hearing

Commission Deliberation

Commissioner Sharma moved to recommend approval of MISC15-0005 – City of Grapevine. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Strittmatter, Sharma, McCall, McDaniel, Smiley, Solis

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

E. ADJOURNMENT – REGULAR SESSION: 9:28 P.M.

i. CALL TO ORDER – WORK SESSION: 9:28 P.M.

- a. Follow-up presentation and discussion regarding possible amendments to the residential Land Use Category Definitions of the Town’s Master Plan and related Land Development Regulations describing residential densities, and opportunity for the Commission to provide additional input.**

Presenters

Doug Powell, Executive Director
Tommy Dalton, Director of Strategic Services

The work session was closed at 9:43 p.m.

TOWN OF FLOWER MOUND, TEXAS

DOUGLAS S. POWELL, AICP
Executive Director, Development Services

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: January 11, 2016

FROM: Poornima Srinarasi, Senior Planner

ITEM: Consider a request for a Record Plat (RC14-0026 – Lake Forest Plaza, Phase 3) to create a non-residential subdivision. The property is generally located north of Flower Mound Road and west of Long Prairie Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to create four non-residential lots for future development. The site is undeveloped and contains approximately 6.66 acres. Phases 1 and 2 of the Lake Forest Plaza consist of Lots 1 through 7. The current phase includes Lot 8 containing 0.99 acres; Lot 9 containing 1.32 acres; Lot 10 containing 1.75 acres; and Lot 11 containing 2.57 acres. The property is currently zoned Planned Development District-29 (PD-29) for Retail District-2 (R-2) uses and master-planned Specific Plan Area 3 (SPA 3) for retail uses.

Access to the lots is provided from Flower Mound Road and through mutual access easements. The plat depicts necessary setbacks, buffers, easements for utilities and pedestrian access easements. The plat also abandons certain previously recorded easements.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

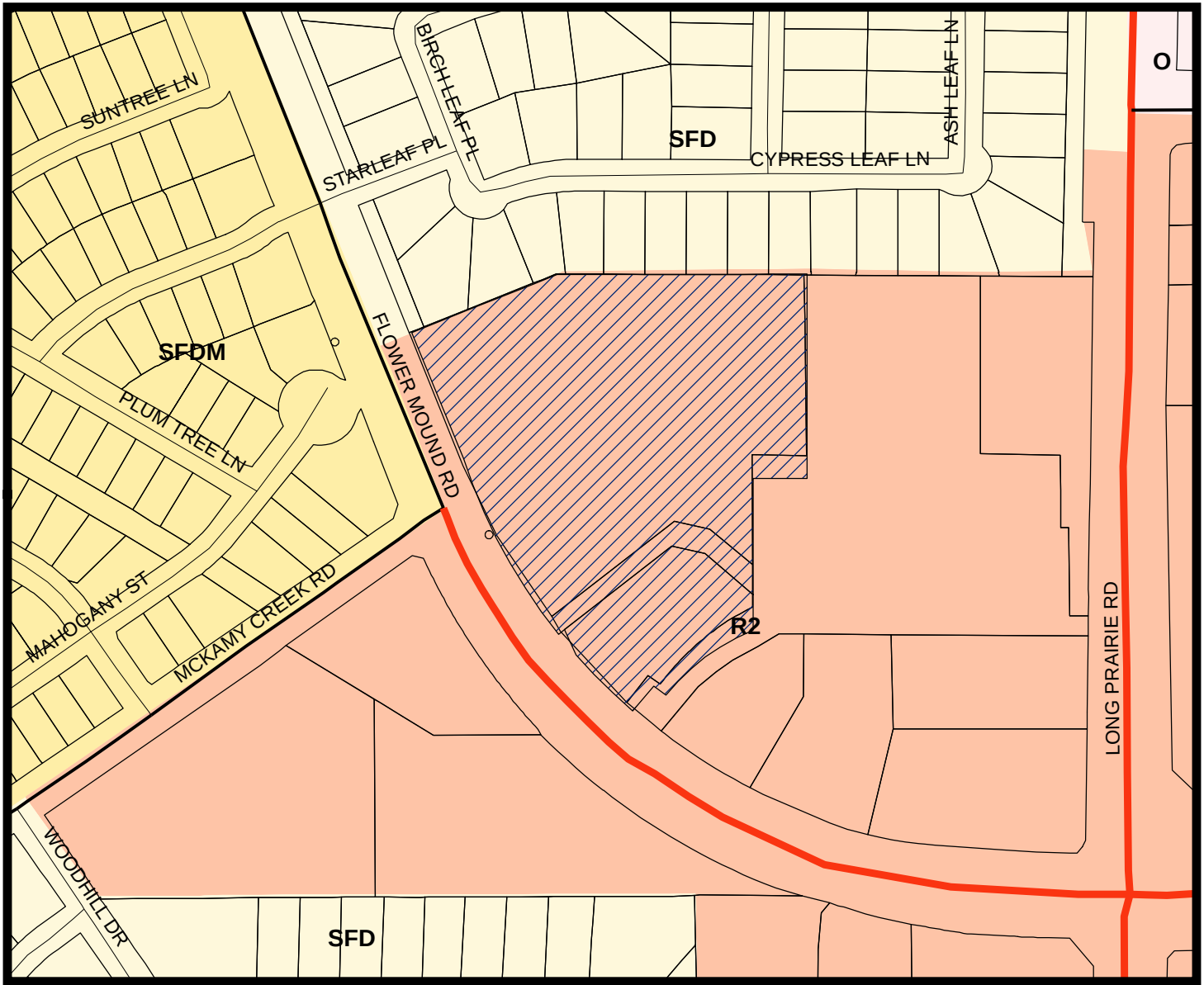
B. Application Details

1. Record Plat Package



Vicinity Map

Reference Project: RC14-0026

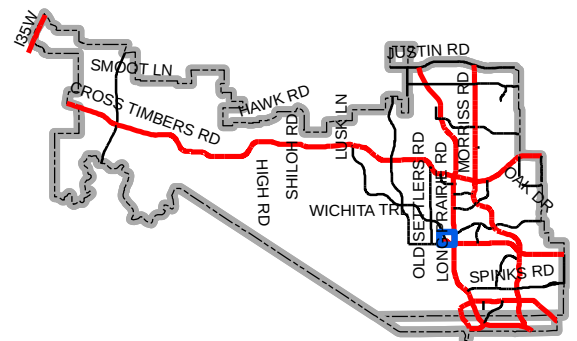
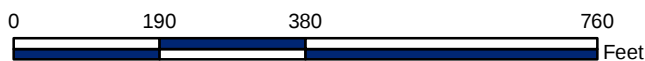


LEGEND

- Retail 2
- Single Family Density
- Single Family Density Medium
- Office



Subject Property



Map Location



1999 Bryan Street, Suite 1200
Dallas, Texas 75201
United States
T +1.214.583.8500
F +1.214.638.0447
www.jacobs.com

June 15, 2015

Mr. Chuck Russell, AICP
Planning Manager
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, Texas 75028

**Letter of Intent Lake Forest Plaza, Phase 2
WFXN0600**

Dear Mr. Russell:

Please accept this letter of intent on behalf of our clients, Hanover and Haydn Cutler. The following narrative addresses the specific items requested for this letter and provides a detailed explanation of the use of the property for your consideration.

Purpose of record plat application:

Identify, entitle, and plat four commercial lots that were created out of one commercial lot. In the metes and bounds land sale, a lot was sold by Engler Land to Buster Investments and a remainder tract was created. The intent of the proposed application is to provide a plat that demonstrates the resulting ownership at Lake Forest.

- | | |
|---------------------------------------|---|
| a) Existing zoning district: | Retail 2 |
| Proposed zoning district: | Retail 2 |
| b) Site statistics (Acreage): | 6.735 acres |
| c) Number of lots: | Four commercial lots and ROW dedication |
| d) Conceptual Site Plan: | No approved site plan for Lake Forest Plaza, Phase 2. NO site development is intended as part of record plat application. |
| e) Is site to be developed in phases: | Site is not yet intended to be developed and no phasing plan has been prepared. |

June 15, 2015
WFXN0600

f) Special considerations:

Proposed development:

NO site development is sought at this time. The purpose of this record plat application is to create a plat instrument that demonstrates the ownership of Lake Forest Plaza.

Site Trees:

Request tree survey be completed with site development. Site is currently characterized by mesquite brush and no specimen trees have been observed. No grading or development is proposed with this record plat submittal and no trees are proposed to be removed as part of the plat application.

Floodplain:

Site is located above the elevation of the local 100 Year BFE and outside the limits of the FEMA mapped floodplain.

Utilities/Storm:

Existing storm infrastructure within Lake Forest Plaza and Flower Mound Road provides drainage capacity that conveys design flows for the four lots in the existing condition. Existing detention volume is adequate for the development and is discussed in the construction documents.

Utilities/Water Access:

An existing water line stub at the northeast side of the property and stubs in the private road across from McKamy Creek Road will provide service connections to the future development of the four tracts that are owned by Engler Land and Buster Investments. Additional water easement will be dedicated on the plat to ensure all lots will have water access when developed.

Utilities/Sewer Access:

An existing 8" public sewer line is stubbed to the northeast side of the property. Extending the existing 8" sewer line and providing easements will ensure the lots will have sanitary sewer access when developed.

Ingress/Egress:

Access is provided to the four sites by Flower Mound Road and the existing fire lane and access easement.

June 15, 2015
WFXN0600

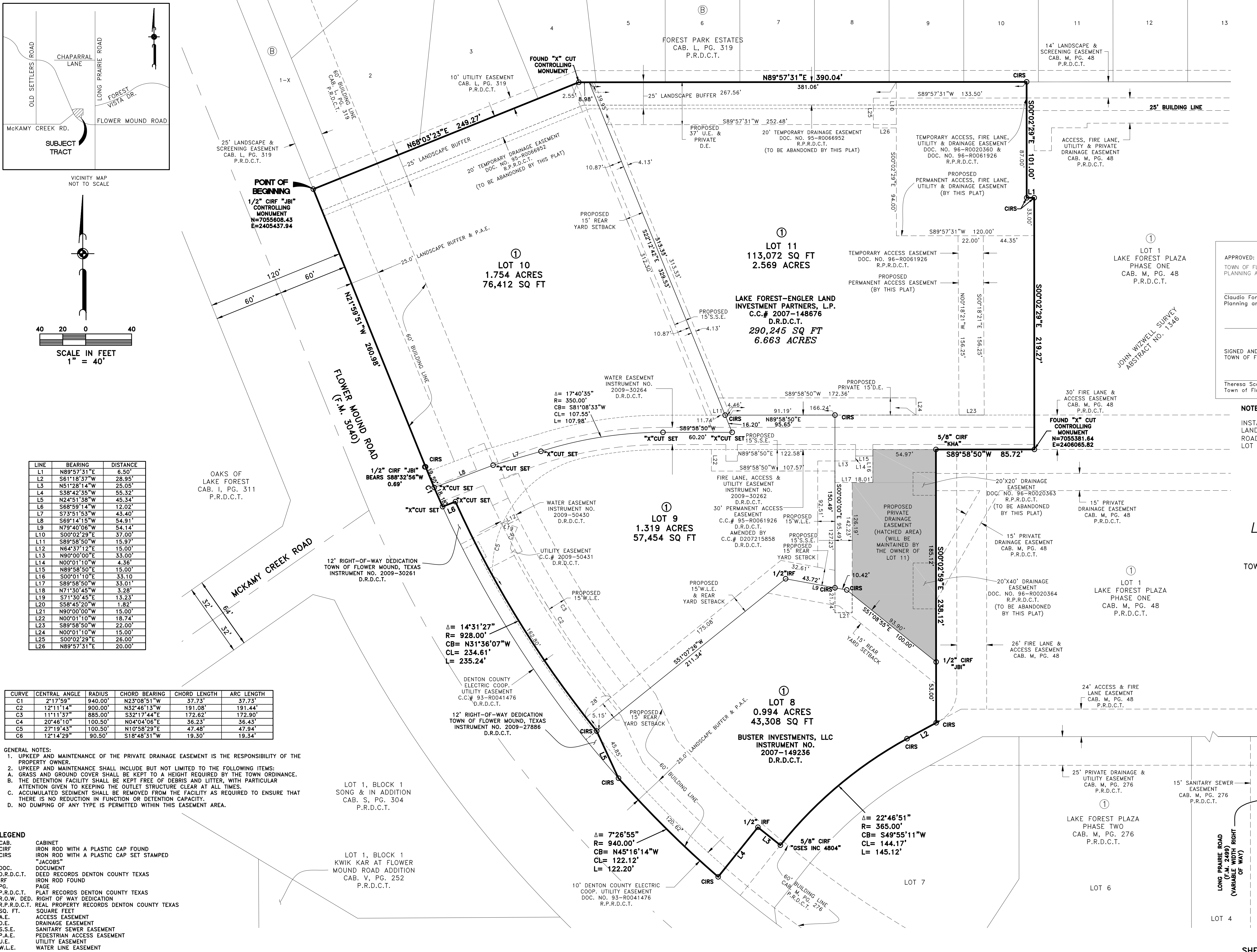
Please contact me if you have any questions, comments, concerns or require additional information.

Sincerely,

A handwritten signature in black ink, reading "Shawn Rockenbaugh". The signature is fluid and cursive, with the first name "Shawn" and last name "Rockenbaugh" clearly distinguishable.

Shawn Rockenbaugh, P.E.
Project Manager
214.920.8027
Shawn.Rockenbaugh@Jacobs.com

BW/SR/shb
Attachment



NOTE:
REFERENCE BEARING BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 (CORS96, EPOCH DATE 2002), DETERMINED BY GPS OBSERVATIONS BETWEEN JULIAN DAY 253, 2004 AND JULIAN DAY 259, 2004, CALCULATED FROM DALLAS CORS ARP (PID-DF8984) AND DENTON CORS ARP (PID-DF8986). COORDINATE VALUES SHOWN ARE GRID VALUES AND ARE DERIVED FROM THE TOWN OF FLOWER MOUND MONUMENTS 12, 13, 16, & 17 FOR GEODETIC CONTROL.

FLOOD ZONE INFORMATION:
SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF ZONE X, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 48121C0540G, DATED APRIL 18, 2011, FOR COMMUNITY NO. 480777, IN TOWN OF FLOWER MOUND, STATE OF TEXAS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED:
(NOTE: THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND JACOBS ENGINEERING GROUP, INC. ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT AN OPINION OR KNOWLEDGE OF THE PROBABILITY OF FLOODING.)

TOWN APPROVAL CERTIFICATE

APPROVED:
TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION

Claudia Forest, Commissioner
Planning and Zoning Commission

Doug Powell, Executive Director
of Development Services

Date: 2016

SIGNED AND SEALED:
TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound

NOTE:
INSTALLATION AND MAINTENANCE OF THE LANDSCAPING ADJACENT TO FLOWER MOUND ROAD (FM 3040) WILL BE BY THE INDIVIDUAL LOT OWNERS AS THE LOTS GET DEVELOPED.

**RECORD PLAT
OF
LAKE FOREST PLAZA, PHASE 3**

OUT OF THE
JOHN WIZWELL SURVEY, ABSTRACT NO. 1346
IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

**6.663 ACRES / 4 LOTS,
LOTS 8-11, BLOCK 1**

OWNERS/DEVELOPERS:
LAKE-FOREST-ENGLER LAND INVESTMENT
PARTNERS, L.P.
5950 BERKSHIRE LANE, SUITE 1200
DALLAS, TEXAS 75225
PHONE: 214-445-2211

BUSTER INVESTMENTS, LLC
3825 CAMP BOWIE BOULEVARD
FORT WORTH, TEXAS 76107
817-336-2425

ENGINEER/SURVEYOR:

JACOBS

1999 BRYAN STREET, SUITE 1200
DALLAS, TEXAS 75201-3136
PHONE 214-638-0145 FAX 214-638-0447

Jacobs Engineering Group, Inc.
TXBPLS Firm #0152300

JANUARY 2016

- LEGEND**
- CAB. CABINET
 - CIRF IRON ROD WITH A PLASTIC CAP FOUND
 - CIRS IRON ROD WITH A PLASTIC CAP SET STAMPED
 - DOC. "JACOBS"
 - D.R.D.C.T. DEED RECORDS DENTON COUNTY TEXAS
 - IRF IRON ROD FOUND
 - PG. PAGE
 - P.R.D.C.T. PLAT RECORDS DENTON COUNTY TEXAS
 - R.O.W. DED. RIGHT OF WAY DEDICATION
 - R.P.R.D.C.T. REAL PROPERTY RECORDS DENTON COUNTY TEXAS
 - SQ. FT. SQUARE FEET
 - A.E. ACCESS EASEMENT
 - D.E. DRAINAGE EASEMENT
 - S.S.E. SANITARY SEWER EASEMENT
 - P.A.E. PEDESTRIAN ACCESS EASEMENT
 - U.E. UTILITY EASEMENT
 - W.L.E. WATER LINE EASEMENT

- GENERAL NOTES:**
- UPKEEP AND MAINTENANCE OF THE PRIVATE DRAINAGE EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - UPKEEP AND MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING ITEMS:
A. GRASS AND GROUND COVER SHALL BE KEPT TO A HEIGHT REQUIRED BY THE TOWN ORDINANCE.
B. THE DETENTION FACILITY SHALL BE KEPT FREE OF DEBRIS AND LITTER, WITH PARTICULAR ATTENTION GIVEN TO KEEPING THE OUTLET STRUCTURE CLEAR AT ALL TIMES.
C. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE FACILITY AS REQUIRED TO ENSURE THAT THERE IS NO REDUCTION IN FUNCTION OR DETENTION CAPACITY.
D. NO DUMPING OF ANY TYPE IS PERMITTED WITHIN THIS EASEMENT AREA.

CURVE	CENTRAL ANGLE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	2°17'59"	940.00'	N23°08'51"W	37.73'	37.73'
C2	12°11'14"	900.00'	N32°46'13"W	191.08'	191.44'
C3	11°11'37"	885.00'	S32°17'44"E	172.62'	172.90'
C4	20°46'10"	100.50'	N04°04'06"E	36.23'	36.43'
C5	27°19'43"	100.50'	N10°58'29"E	47.48'	47.94'
C6	12°14'29"	90.50'	S18°48'31"W	18.50'	19.34'

OWNERSHIP CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. AND BUSTER INVESTMENTS, LLC, ACTING BY AND THROUGH THE UNDERSIGNED, THEIR DULY AUTHORIZED AGENTS, ARE THE OWNERS OF A TRACT OF LAND LOCATED IN THE JOHN WIZWELL SURVEY, ABSTRACT NO. 1346, TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS, BEING ALL THAT TRACT OF LAND CONVEYED TO SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P., AS RECORDED IN DOCUMENT NO. 2007-146676, DEED RECORDS, DENTON COUNTY, TEXAS, AND BEING ALL THAT TRACT OF LAND CONVEYED TO BUSTER INVESTMENTS, LLC, AS RECORDED IN DOCUMENT NO. 2007-149236, DEED RECORDS, DENTON COUNTY, TEXAS, WITH THE BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 (CORS96, EPOCH DATE 2002), DETERMINED BY GPS OBSERVATIONS BETWEEN JULIAN DAY 253, 2004 AND JULIAN DAY 259, 2004, CALCULATED FROM DALLAS CORS ARP (PID-DF8984) AND DENTON CORS ARP (PID-DF8986), BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "JBI" FOUND FOR THE SOUTHWEST CORNER OF LOT 1-X, BLOCK B, FOREST PARK ESTATES, AN ADDITION TO THE TOWN OF FLOWER MOUND AS RECORDED IN CABINET L, PAGE 319, PLAT RECORDS, DENTON COUNTY, TEXAS, AND THE NORTHWEST CORNER OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, AND BEING IN THE EASTERLY LINE OF FLOWER MOUND ROAD (F.M. 3040), A 120 FOOT WIDE RIGHT OF WAY;

THENCE DEPARTING THE EASTERLY RIGHT OF WAY LINE OF SAID FLOWER MOUND ROAD, ALONG THE SOUTH LINE OF SAID FOREST PARK ESTATES AND THE COMMON NORTH LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 68 DEGREES 03 MINUTES 23 SECONDS EAST, A DISTANCE OF 249.27 FEET TO AN "X" CUT FOUND FOR AN INTERIOR ELL CORNER IN THE SOUTH LINE OF LOT 4, BLOCK B, OF SAID FOREST PARK ESTATES;

NORTH 89 DEGREES 57 MINUTES 31 SECONDS EAST, A DISTANCE OF 390.04 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTHWEST CORNER OF LAKE FOREST PLAZA, PHASE ONE, AN ADDITION TO THE TOWN OF FLOWER MOUND AS RECORDED IN CABINET M, PAGE 48, PLAT RECORDS, DENTON COUNTY, TEXAS, AND THE NORTHEAST CORNER OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT;

THENCE ALONG THE WEST LINE OF SAID LAKE FOREST PLAZA PHASE ONE AND THE COMMON EAST LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, ALONG WITH THE EAST LINE OF AFORESAID BUSTER INVESTMENTS, LLC TRACT, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 00 DEGREES 02 MINUTES 29 SECONDS EAST, A DISTANCE OF 101.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 89 DEGREES 57 MINUTES 31 SECONDS EAST, A DISTANCE OF 6.50 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 00 DEGREES 02 MINUTES 29 SECONDS EAST, A DISTANCE OF 219.27 FEET TO AN "X" CUT FOUND FOR CORNER;

SOUTH 89 DEGREES 58 MINUTES 50 SECONDS EAST, A DISTANCE OF 85.72 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED "KHA" FOUND FOR CORNER;

SOUTH 00 DEGREES 02 MINUTES 59 SECONDS WEST, PASSING AT A DISTANCE OF 185.12 FEET A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "JBI" FOR THE SOUTHEAST CORNER OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, AND THE COMMON NORTHEAST CORNER OF SAID BUSTER INVESTMENTS, LLC TRACT, AND CONTINUING FOR A TOTAL DISTANCE OF 236.12 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 61 DEGREES 18 MINUTES 37 SECONDS WEST, A DISTANCE OF 28.95 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 22 DEGREES 46 MINUTES 51 SECONDS, A RADIUS OF 365.00 FEET, AND A CHORD THAT BEARS SOUTH 49 DEGREES 55 MINUTES 11 SECONDS WEST A DISTANCE OF 144.17 FEET;

ALONG SAID NON-TANGENT CURVE TO THE LEFT AN ARC DISTANCE OF 145.12 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED "GSES INC 4804" FOUND FOR CORNER;

NORTH 51 DEGREES 28 MINUTES 14 SECONDS WEST, 25.05 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

SOUTH 38 DEGREES 42 MINUTES 35 SECONDS WEST, 55.32 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE SOUTH CORNER OF SAID BUSTER INVESTMENTS, LLC TRACT, AND BEING IN THE EASTERLY RIGHT OF WAY LINE OF AFORESAID FLOWER MOUND ROAD, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 07 DEGREES 26 MINUTES 56 SECONDS, A RADIUS OF 940.00 FEET, AND A CHORD THAT BEARS NORTH 45 DEGREES 16 MINUTES 14 SECONDS WEST A DISTANCE OF 122.12 FEET;

THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT AND THE EASTERLY RIGHT OF WAY LINE OF SAID FLOWER MOUND ROAD AN ARC DISTANCE OF 122.20 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND BEING THE SOUTHEAST CORNER OF A 12 FOOT RIGHT OF WAY DEDICATION CONVEYED TO THE TOWN OF FLOWER MOUND, TEXAS, AS RECORDED IN INSTRUMENT NUMBER 2009-27886, DEED RECORDS OF DENTON COUNTY, TEXAS;

THENCE NORTH 24 DEGREES 51 MINUTES 38 SECONDS WEST ALONG THE EASTERLY LINE OF SAID 12 FOOT RIGHT OF WAY DEDICATION AND THE COMMON WESTERLY LINE OF SAID BUSTER INVESTMENTS, LLC TRACT, A DISTANCE OF 45.34 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTH CORNER OF SAID 12 FOOT RIGHT OF WAY DEDICATION AND THE COMMON NORTHEAST CORNER OF A 12 FOOT RIGHT OF WAY DEDICATION CONVEYED TO THE TOWN OF FLOWER MOUND, TEXAS, AS RECORDED IN INSTRUMENT NUMBER 2009-30261, DEED RECORDS OF DENTON COUNTY, TEXAS, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 14 DEGREES 31 MINUTES 27 SECONDS, A RADIUS OF 928.00 FEET, AND A CHORD THAT BEARS NORTH 31 DEGREES 36 MINUTES 07 SECONDS WEST A DISTANCE OF 234.61 FEET;

THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT AND THE EASTERLY LINE OF SAID 12 FOOT RIGHT OF WAY DEDICATION AND THE COMMON WESTERLY LINE OF AFORESAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTHEAST CORNER OF SAID 12 FOOT RIGHT OF WAY DEDICATION;

THENCE SOUTH 68 DEGREES 59 MINUTES 14 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID 12 FOOT RIGHT OF WAY DEDICATION AND THE COMMON WESTERLY LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, A DISTANCE OF 12.02 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER IN THE EASTERLY RIGHT OF WAY LINE OF SAID FLOWER MOUND ROAD AND THE COMMON WESTERLY LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 02 DEGREES 17 MINUTES 59 SECONDS, A RADIUS OF 940.00 FEET, AND A CHORD THAT BEARS NORTH 23 DEGREES 08 MINUTES 51 SECONDS WEST A DISTANCE OF 37.72 FEET;

THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT AND THE EASTERLY RIGHT OF WAY LINE OF SAID FLOWER MOUND ROAD AND THE COMMON WESTERLY LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, AN ARC DISTANCE OF 37.73 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER FROM WHICH A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "JBI" BEARS SOUTH 88 DEGREES 32 MINUTES 56 SECONDS WEST, 0.69 FEET;

THENCE NORTH 21 DEGREES 59 MINUTES 51 SECONDS WEST, ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID FLOWER MOUND ROAD AND THE COMMON WESTERLY LINE OF SAID LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. TRACT, A DISTANCE OF 260.98 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 290,245 SQUARE FEET OR 6.663 ACRES OF LAND.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. AND BUSTER INVESTMENTS, LLC, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED AGENTS, DO HEREBY ADOPT THIS PLAT DESIGNATED HEREIN AS LOTS 8 & 9, BLOCK 1, LAKE FOREST PLAZA, PHASE TWO, AN ADDITION TO THE TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS. THE EASEMENTS SHOWN HEREON ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED. ALL RIGHT-OF-WAY IS HEREBY DEDICATED IN FEE SIMPLE TO THE TOWN OF FLOWER MOUND FOR MUNICIPAL PURPOSES. THE UTILITY AND FIRE LANE EASEMENTS (STREETS, ALLEYS, AND COMMON AREAS) SHALL BE OPEN TO THE PUBLIC, FIRE AND POLICE UNITS, GARBAGE AND RUBBISH COLLECTION AGENCIES AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. NO BUILDINGS, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE UTILITY EASEMENTS AS SHOWN. SAID UTILITY EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE SAME.

ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OF EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE UTILITY EASEMENTS AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID UTILITY EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSES OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY. THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THE ADDITION WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ARE ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF FLOWER MOUND.

LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P. (OWNER: LOT 9)

BY: _____
OWNER'S AGENT TITLE

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, OF LAKE FOREST-ENGLER LAND INVESTMENT PARTNERS, L.P., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED, AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE ____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

BUSTER INVESTMENTS, LLC (OWNER: LOT 8)

BY: _____
OWNER'S AGENT TITLE

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, OF BUSTER INVESTMENTS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED, AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE ____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

THAT I, ELLIOTT PAT BUSBY, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE TOWN OF FLOWER MOUND.

PRELIMINARY, FOR REVIEW ONLY
DO NOT RECORD FOR ANY PURPOSE
RELEASED: JANUARY 01, 2016

ELLIOTT PAT BUSBY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5561



STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ELLIOTT PAT BUSBY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED, AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE ____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

A
RECORD PLAT
OF
LAKE FOREST PLAZA, PHASE 3
OUT OF THE
JOHN WIZWELL SURVEY, ABSTRACT NO. 1346
IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

6.663 ACRES / 4 LOTS,
LOTS 8-11, BLOCK 1

OWNERS/DEVELOPERS:
LAKE-FOREST-ENGLER LAND INVESTMENT
PARTNERS, L.P.
5950 BERKSHIRE LANE, SUITE 1200
DALLAS, TEXAS 75225
PHONE: 214-445-2211

BUSTER INVESTMENTS, LLC
3825 CAMP BOWIE BOULEVARD
FORT WORTH, TEXAS 76107
817-336-2425

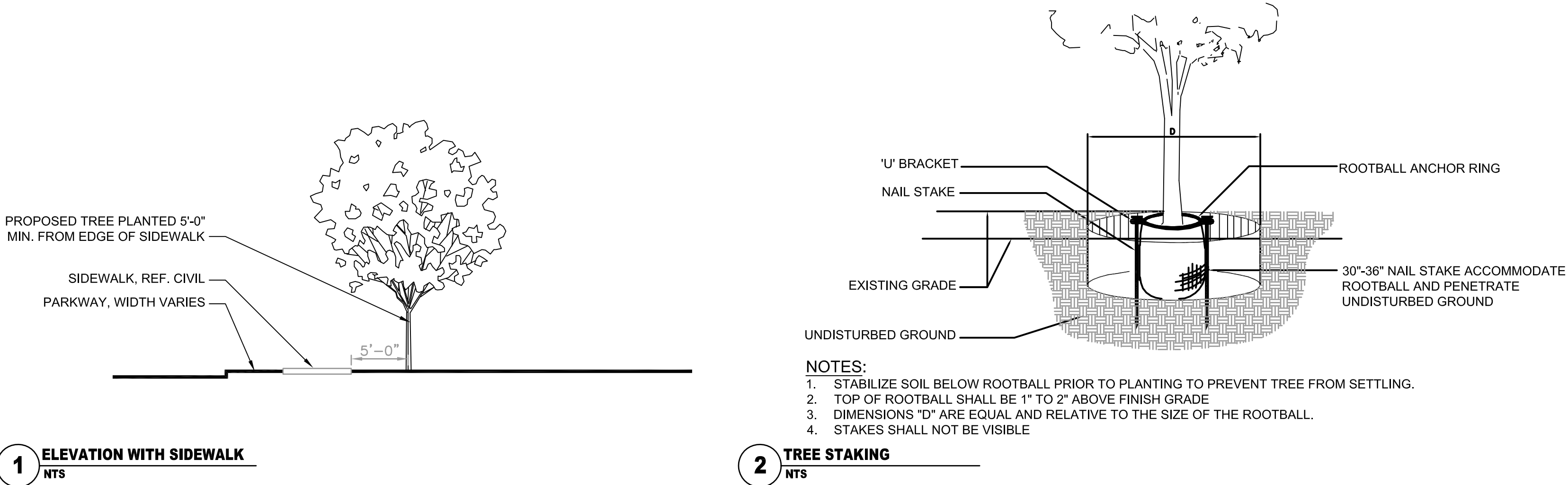
ENGINEER/SURVEYOR:

JACOBS

1999 BRYAN STREET, SUITE 1200
DALLAS, TEXAS 75201-3136
PHONE 214-638-0145 FAX 214-638-0447

Jacobs Engineering Group, Inc.
TXBPLS Firm #10152300

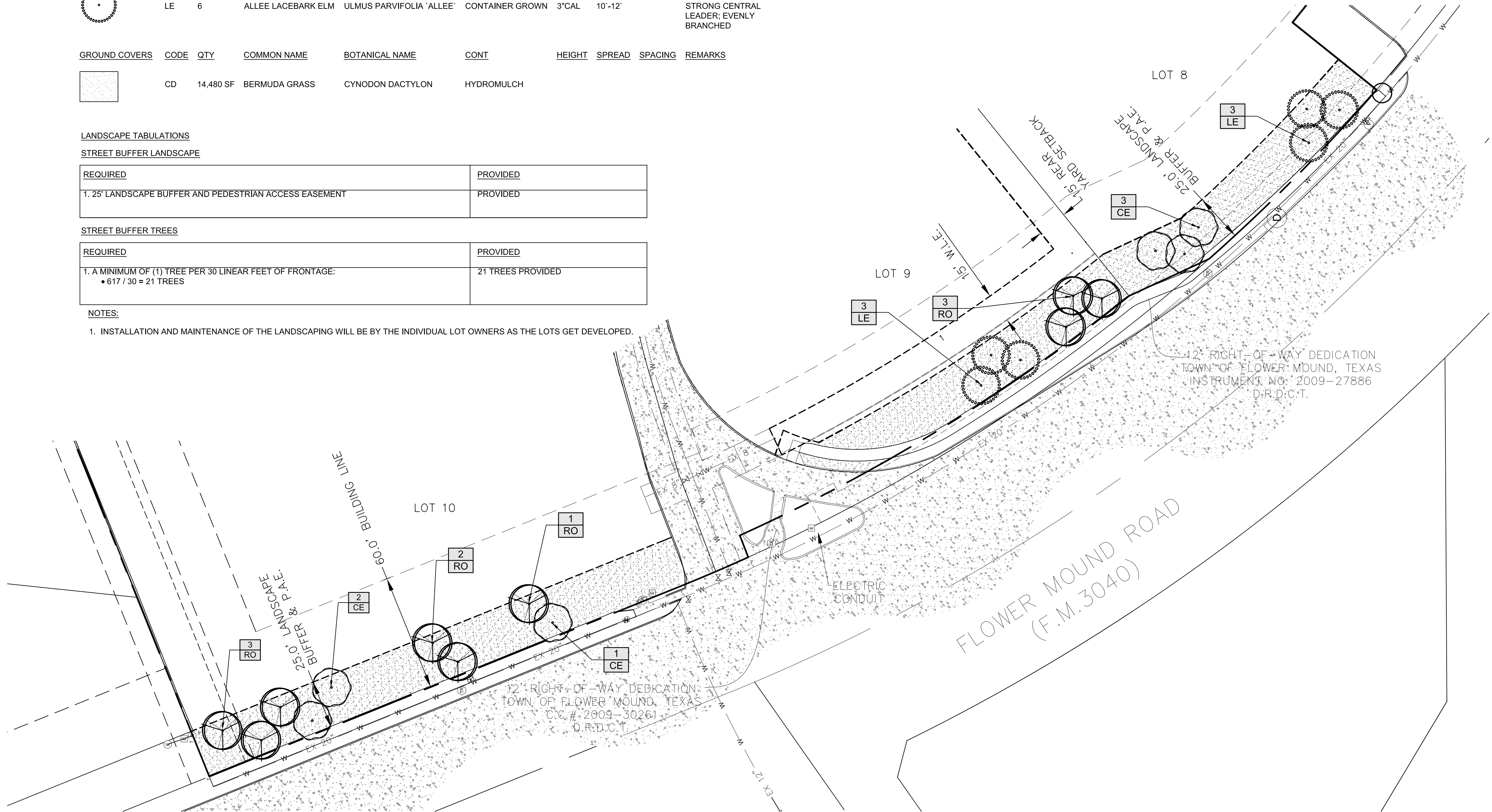
JANUARY 2016



PLANT SCHEDULE PLANTING									
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	REMARKS	
	RO	9	SHUMARD RED OAK	QUERCUS SHUMARDII	CONTAINER GROWN	3" CAL	10'-12'		
	CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	CONTAINER GROWN	3" CAL	10'-12'	CONTAINER GROWN, SINGLE TRUNK	
	LE	6	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'ALLEE'	CONTAINER GROWN	3" CAL	10'-12'	STRONG CENTRAL LEADER; EVENLY BRANCHED	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
	CD	14,480 SF	BERMUDA GRASS	CYNODON DACTYLON	HYDROMULCH				

LANDSCAPE TABULATIONS	
STREET BUFFER LANDSCAPE	
REQUIRED	PROVIDED
1. 25' LANDSCAPE BUFFER AND PEDESTRIAN ACCESS EASEMENT	PROVIDED
STREET BUFFER TREES	
REQUIRED	PROVIDED
1. A MINIMUM OF (1) TREE PER 30 LINEAR FEET OF FRONTAGE: • 617 / 30 = 21 TREES	21 TREES PROVIDED

- NOTES:
1. INSTALLATION AND MAINTENANCE OF THE LANDSCAPING WILL BE BY THE INDIVIDUAL LOT OWNERS AS THE LOTS GET DEVELOPED.



- BENCHMARK:
1. MONUMENT IS A 2" DIAMETER DOMED ALUMINUM CAP STAMPED "TOWN OF FLOWER MOUND" SET IN A CONCRETE STREET NEAR THE WEST NOSE OF A TRAFFIC ISLAND ON WOODPARK DRIVE JUST EAST OF THE INTERSECTION OF WOODHILL DRIVE AND WOODPARK DRIVE. MONUMENT IS LOCATED 117'± EAST SOUTHEAST OF A FIRE HYDRANT IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF WOODHILL DRIVE AND WOODPARK DRIVE, 130'± WEST OF THE CENTERLINE OF NORTHSORE BLVD. AND 3.5' WEST OF THE OF A TRAFFIC ISLAND LOCATED IN THE CENTER OF WOODPARK DRIVE.
ELEVATION = 627.24'
 2. MONUMENT IS A 2" DIAMETER DOMED ALUMINUM CAP STAMPED "TOWN OF FLOWER MOUND" SET IN A CONCRETE CURB INLET IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF EMORY DRIVE AND STANFORD DRIVE. MONUMENT IS LOCATED ON THE NORTHWEST CORNER OF THE CONCRETE INLET. MONUMENT IS 60'± NORTH OF A FIRE HYDRANT IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF EMORY DRIVE AND STANFORD DRIVE, 44'± NORTHWEST OF A SANITARY SEWER MANHOLE NEAR THE CENTER OF THE INTERSECTION OF EMORY DRIVE AND STANFORD DRIVE AND 32'± WEST OF THE CENTER OF STORM SEWER MANHOLE ON THE EAST SIDE OF STANFORD DRIVE.
ELEVATION = 643.11'

REV	DATE	BY	REVISION
REVISIONS			
JACOBS			
1999 BRYAN STREET, SUITE 1200 DALLAS, TX 75201-3136 PHONE 214-638-0145 FAX 214-638-0447 Jacobs Engineering Group Inc. Texas Registration F-2966			

LANDSCAPE PLAN

Lake Forest Plaza, Phase 3

TOWN OF FLOWER MOUND DENTON COUNTY, TEXAS

DESIGNED:	JMB	PROJECT NUMBER:	WFXN0600
DRAWN:	JMB		
APPROVED: SHIPP		DATE: DEC 2015	
		SCALE	
		HORZ:	
		VERT:	
		REV DATE:	
		SHEET	L1.0
		OF 10 SHEETS	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JACOB M BAKER, RLA #2760, ON January 04, 2016. IT IS NOT TO BE USED FOR CONSTRUCTION BIDDING OR PERMIT PURPOSES.



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: January 11, 2016

FROM: Poornima Srinarasi, Senior Planner

ITEM: **Public Hearing to consider a request for a Replat (RP15-0017 - Franklin Hills, Blk F-2, Lot 18R) to create one residential lot. The property is generally located east of Lakewood Lane and north of Sunnyview Lane.**

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this replat is to combine two lots into one residential lot, containing a total of 0.34 acres (14,877 square feet). The property is zoned Single-Family District-10 (SF-10). The subject property is undeveloped and the replat creates a new buildable lot. The plat depicts necessary setbacks and the access to the newly created lot will continue to be from Lakewood Lane. The applicant intends to construct a new single family home on the site.

III. CORRESPONDENCE

Since this property is zoned single-family residential, Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property that also live within the same subdivision. At the time this report was written, staff had received no correspondence regarding the project.

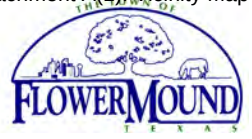
IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

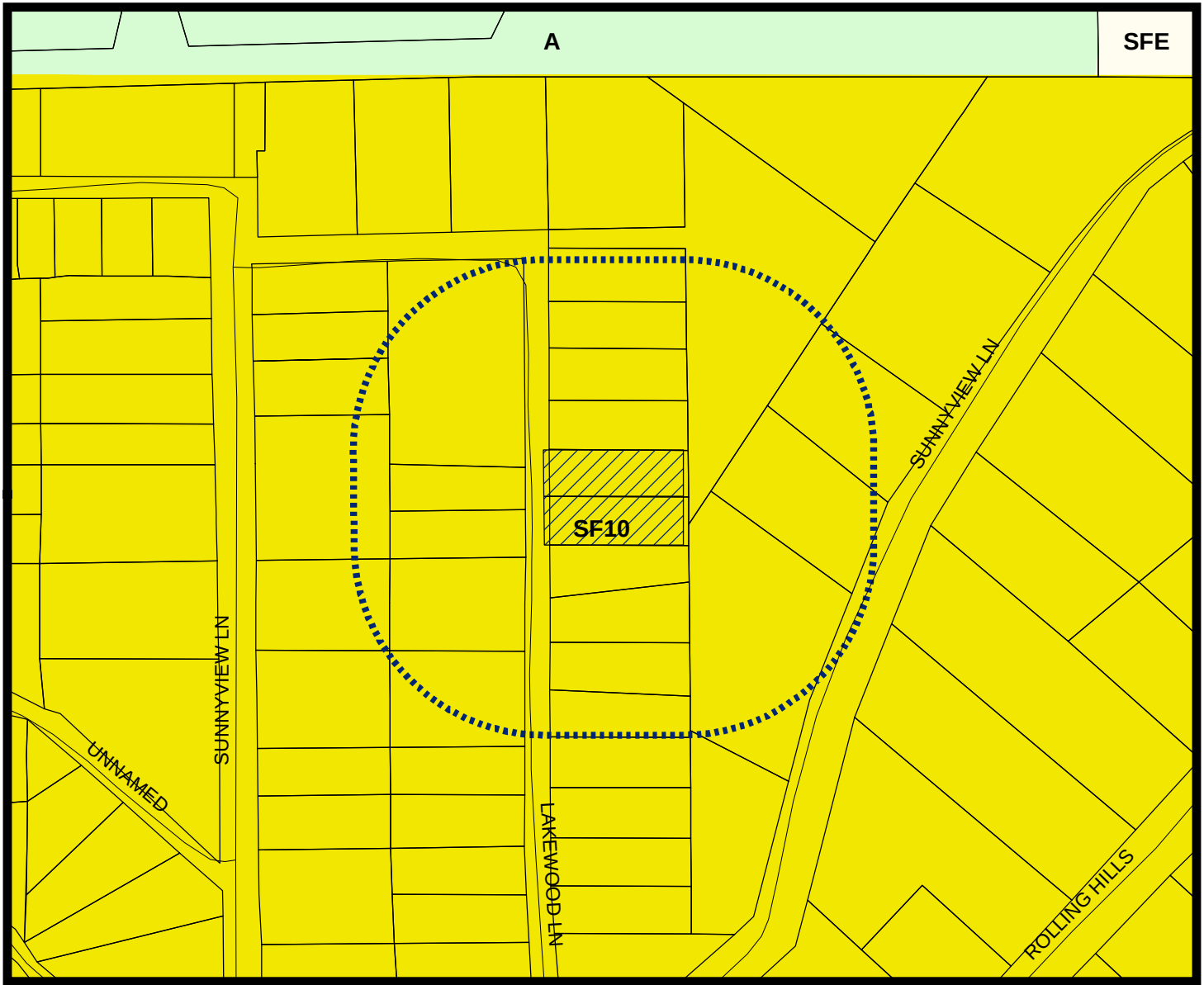
B. Application Details

1. Replat Package



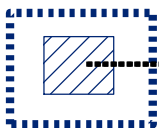
Vicinity Map

Reference Project: RP15-0017



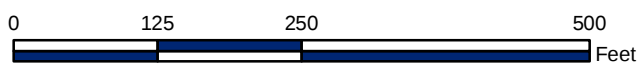
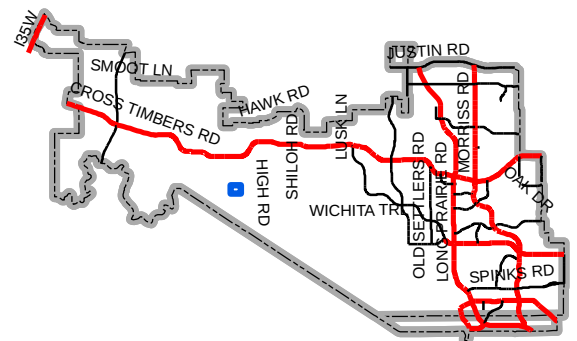
LEGEND

- Agriculture
- Single Family Estate
- Single Family 10



Subject Property

200 ft Notification Buffer around Property



Map Location



P.O. Box 54 ~ Lewisville, Texas 75067
Office: (972) 221-9439 ~ Fax: (972) 221-4675

November 30, 2015

Mr. Doug Powell
Executive Director of Development Services
Town of Flower Mound
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

RE: Replat – Lot 18A, Franklin Hills Addition

Mr. Powell:

Please accept this letter, on behalf of our clients, as an explanation of the Replat application attached hereto. We are submitting for approval an Replat of Lots 18 and 19, in Block F-2, of Franklin Hills Addition, an addition to the Town of Flower Mound, Texas according to the plat thereof, as recorded in Volume 2, Page 114, of the Plat Records of Denton County, Texas. The purpose of this Replat is to combine existing Lots 18 and 19 into a single lot for development purposes.

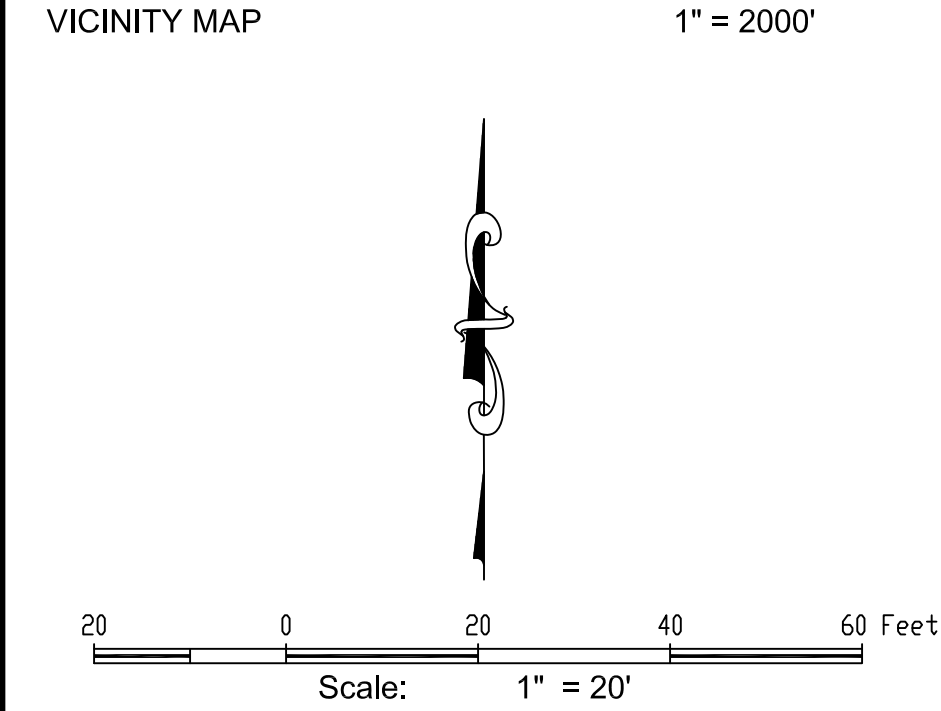
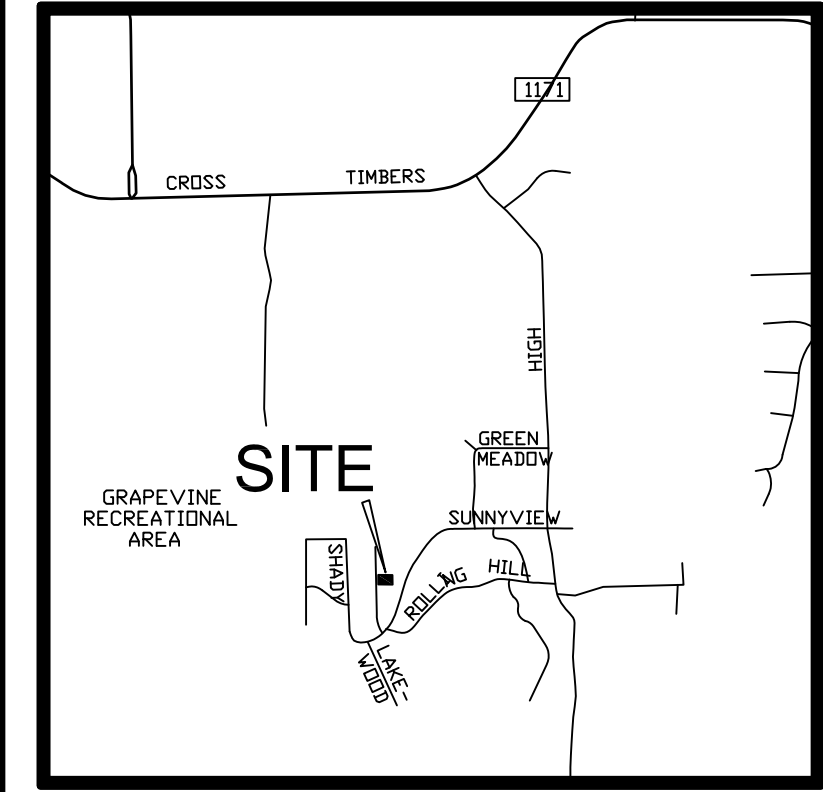
The subject property is currently zoned SF-10. Total acreage for the current site is 0.342 acres.

If you have any other questions or concerns regarding this application please feel free to contact me.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Jack Barton', is written over the printed name.

Jack Barton
Arthur Surveying Company



APPROVED:

TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION

Claudio Forest, Chairman
Planning and Zoning Commission

Doug Powell, Executive Director of
Development Services

_____, 2016.

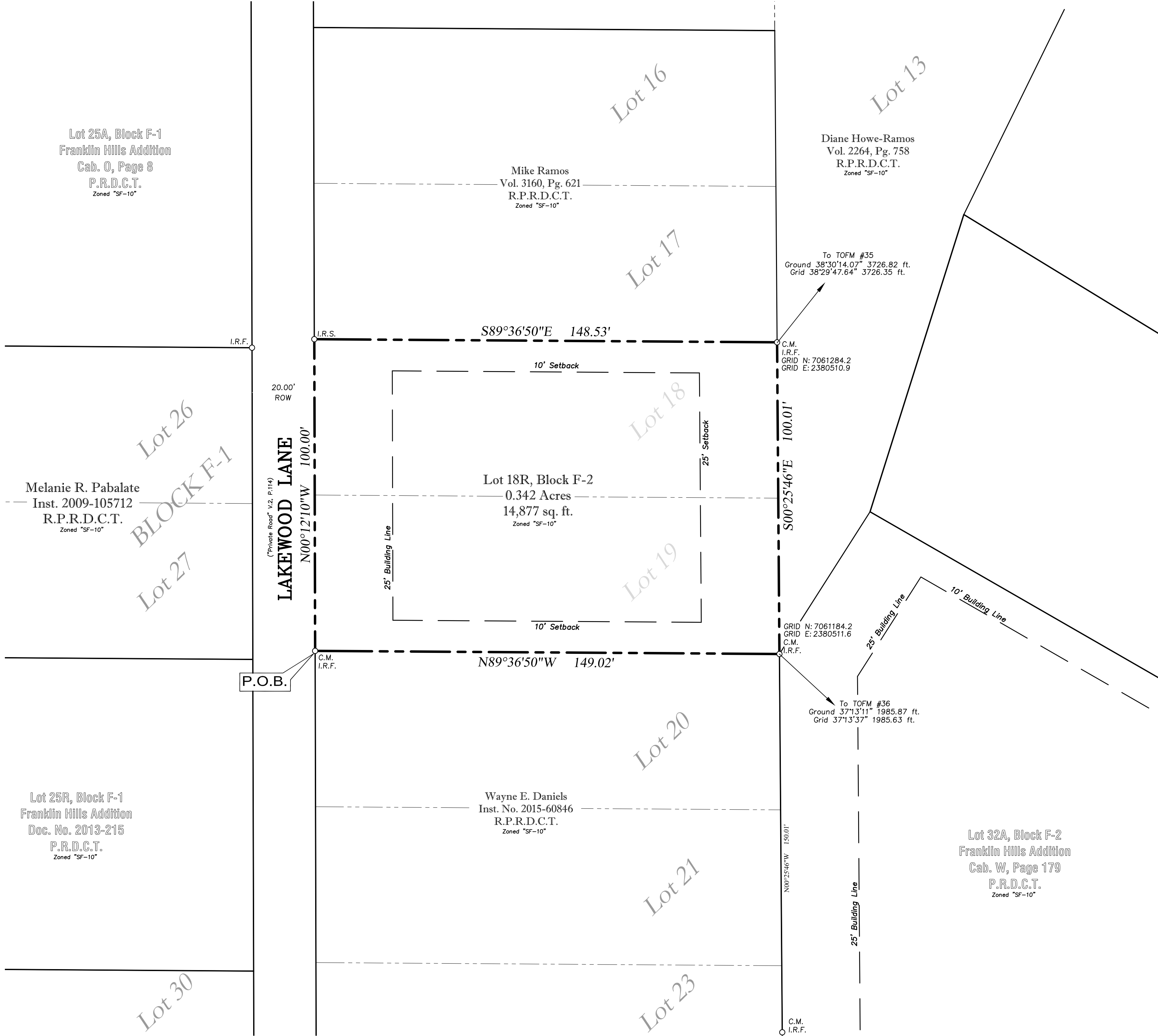
Date

SIGNED AND SEALED:
TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound

NOTES

- No portion of subject property appears to lie within a Special Flood Hazard Area according to the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel No. 480777 0520 G, present effective date of map April 18, 2011, herein property is situated within Zone X (unshaded).
- All iron rods found are ½ inch unless otherwise noted. All iron rods set are ½ inch with a yellow cap stamped "Arthur Surveying Company".
- Bearings shown hereon are based on the west line of Lot 32A, Block F-2, Franklin Hills Addition, as recorded in Cab. W, Pg. 179, P.R.D.C.T..
- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- Coordinate values shown are Texas State Plane Coordinates, NAD83 (US Feet).
- The purpose of this plat is to combine Lots 18 and 19 into one lot.
- Subject property is currently zoned "SF-10"



Lot 32A, Block F-2
Franklin Hills Addition
Cab. W, Page 179
P.R.D.C.T.
Zoned "SF-10"

OWNER
Kingston and Alice Annin
203 Whistling Duck Lane
Lewisville Texas, 75077

Arthur Surveying Co., Inc.
Professional Land Surveyors

(972) 221-9439 ~ Fax (972) 221-4875
220 Elm Street, Suite 200 ~ P.O. Box 54
Lewisville, Texas 75057 ~ TFRN No: 10063800
Established 1996
www.arthursurveying.com

DRAWN BY: JHB DATE: 11/09/2015 SCALE: 1"=20' CHECKED BY: DLA ASC NO.: 151148

State of Texas §
County of Denton § Owner's Certificate and Dedication

WHEREAS Kingston Annin and Alice Annin are the owners of a 0.342 acre tract of land situated in the T&P R.R. Survey, Abstract Number 1812, Town of Flower Mound, Denton County, Texas, being all of Lots 18 and 19, in Block F-2, of Franklin Hills Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Volume 2, Page 114, of the Plat Records of Denton County, Texas (P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a ½ inch iron rod found for the southwest corner of the herein described tract, same being the northwest corner of Lot 20, in said Block F-2, also being in the east line of a roadway under apparent public use and posted as "Lakewood Lane"

THENCE North 00 degrees 12 minutes 10 seconds West, with the east line of said Lakewood Lane, a distance of 100.00 feet to a ½ inch iron rod with yellow cap stamped "Arthur Surveying Company" set for corner, same being the southwest corner of a Lot 17, in said Block F-2;

THENCE South 89 degrees 36 minutes 50 seconds East, with the south line of said Lot 17, a distance of 148.53 feet to a ½ inch iron rod found for corner, same being the southeast corner of said Lot 17, also being in the most southerly west line of Lot 13, in said Block F-2;

THENCE South 00 degrees 25 minutes 46 seconds East, partially with the west line of said Lot 13, a distance of 100.01 feet to a ½ inch iron rod found for corner, same being an angle point in the west line of Lot 32A, in Block F-2, of Franklin Hills Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Cabinet W, Page 179, P.R.D.C.T., also being the northeast corner of said Lot 20;

THENCE North 89 degrees 36 minutes 50 seconds West, with the north line of said Lot 20, a distance of 149.02 feet to the **POINT OF BEGINNING** and containing 0.342 acre of land, more or less, and being subject to any and all easements that may affect.

NOW, therefore, know all men by these presents:

THAT, Kingston Annin and Alice Annin, do hereby adopt this plat designated herein as Lot 18R, Block F-2, Franklin Hills Addition, an addition to the Town of Flower, Denton County, Texas. The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys, rights-of-way are hereby dedicated in fee simple to the Town of Flower Mound for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance of efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required ordinarily performed by that utility. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

Kingston Annin, Owner

Alice Annin, Owner

State of Texas §
County of Denton §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared *Kingston Annin*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20_____.

Notary Public in and for
the State of Texas

State of Texas §
County of Denton §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared *Alice Annin*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20_____.

Notary Public in and for
the State of Texas

State of Texas §
County of Denton §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared *Douglas L. Arthur*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20_____.

Notary Public in and for
the State of Texas

State of Texas §
County of Denton §

THIS is to certify that I, Douglas L. Arthur, a Registered Professional Land Surveyor in the State of Texas, have plattd the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR
ANY PURPOSE AND SHALL NOT BE VIEWED OR
RELIED UPON AS A FINAL SURVEY DOCUMENT
DATED 12/23/2015

Douglas L. Arthur, R.P.L.S.
No. 4357

REPLAT

A Record Plat of Lot 18R, Block F-2
Franklin Hills Addition, an addition to
the Town of Flower Mound,
Denton County, Texas

Being a replat of Lots 18 and 19, Block F-2
Franklin Hills Addition, according to the
plat recorded in Volume 2, Page 114, P.R.D.C.T.
Being a 0.342 acre tract of land situated in the
T&P R.R. Survey, Abstract No. 1812
Town of Flower Mound, Denton County, Texas.

FOR DENTON COUNTY USE ONLY

FOR DENTON COUNTY USE ONLY

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PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: January 11, 2016

FROM: Chuck Russell, Town Planner

ITEM: **Public Hearing to consider a request for a Replat (RP15-0014 – J.L. Allison Realty Company Subdivision, Lot 26R) to create a residential subdivision. The property is generally located south of Oak Drive and west of Fireside Drive.**

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to combine three lots into one residential lot containing a total of 5.821 acres. The property is zoned Single-Family District-10 (SF-10) and the replat will create one buildable lot. The plat depicts necessary setbacks and the access to the newly created lot will continue to be from Fireside Drive. The applicant intends to construct a new single family home on the site.

III. CORRESPONDENCE

Since this property is zoned single-family residential, Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property that also live within the same subdivision. At the time this report was written, staff had received no correspondence regarding the project.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

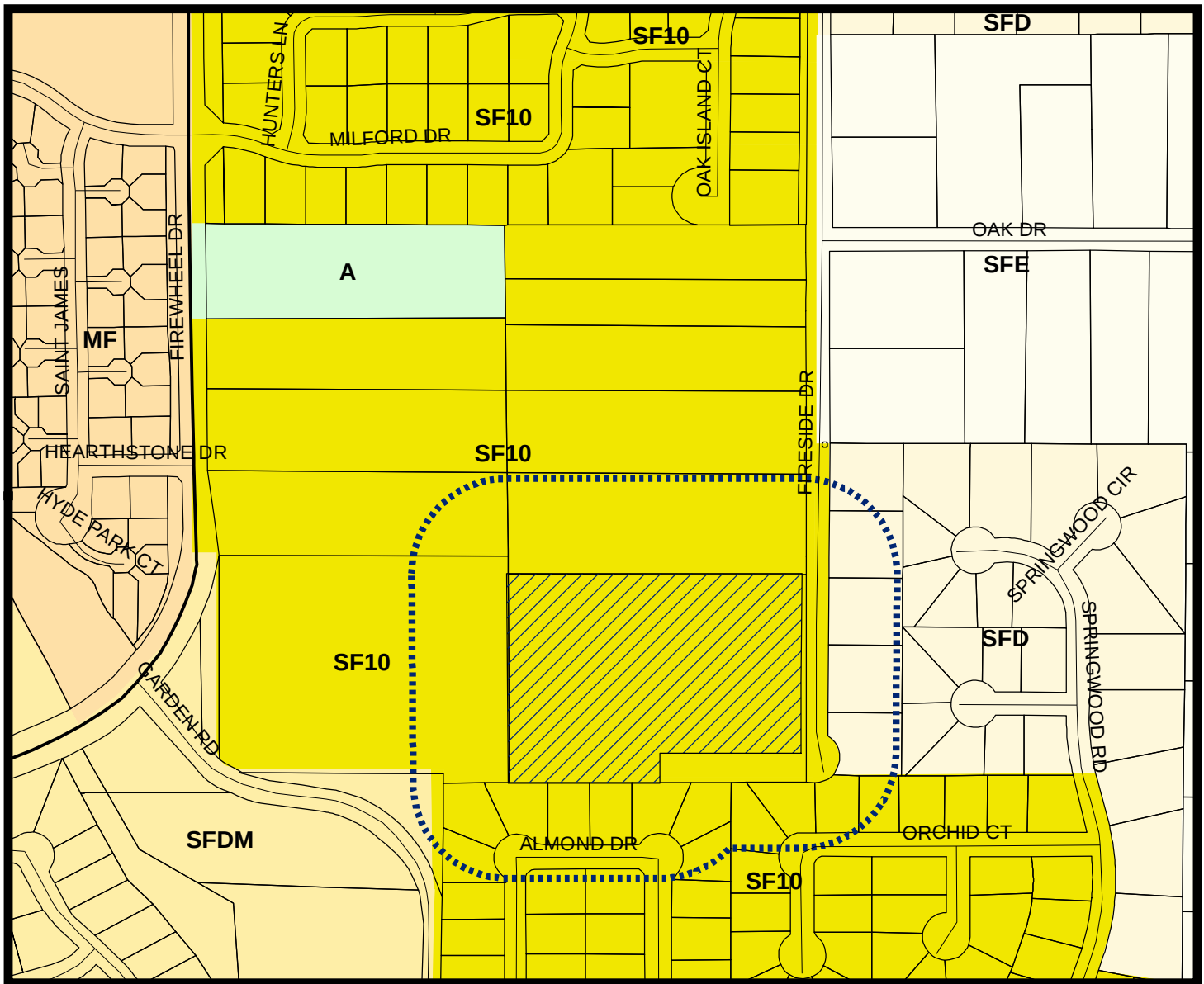
B. Application Details

1. Replat Package

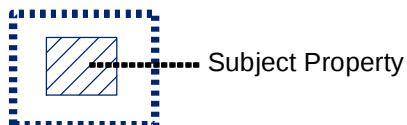


Vicinity Map

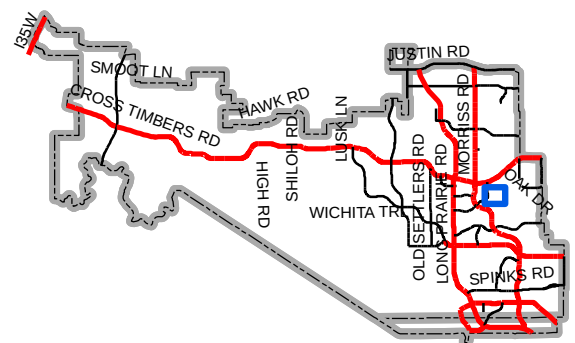
Reference Project: RP15-0014



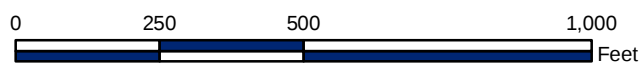
LEGEND



200 ft Notification Buffer around Property



Map Location





P.O. Box 54 ~ Lewisville, Texas 75067
Office: (972) 221-9439 ~ Fax: (972) 221-4675

January 6, 2016

Mr. Doug Powell
Executive Director of Development Services
Town of Flower Mound
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

RE: Replat – Lot 26R, J.L. Allison Realty Company Subdivision

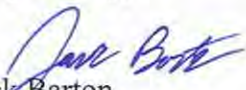
Mr. Powell:

Please accept this letter, on behalf of our clients, as an explanation of the replat application attached hereto. We are submitting for approval a replat of Lot 26 and portions of Lots 27 and 28 (described by deed ~ Inst. No. 2012-41062), of J.L. Allison Realty Company Subdivision, an addition to the Town of Flower Mound, Denton County, Texas according to the plat thereof, as recorded in Volume 2, Page 57, of the Plat Records of Denton County, Texas. The purpose of this replat is to create a single lot for development purposes. (The lots and respective portions thereof have been conveyed by deed in the configuration shown on this plat as far back as 1968/1970).

The subject property is currently zoned SF-10. Total acreage for the current site is 5.812 acres.

If you have any other questions or concerns regarding this application please feel free to contact me.

Respectfully,


Jack Barton
Arthur Surveying Company

A graphic scale bar and north arrow. The scale bar is horizontal, with markings at 30, 0, 30, 60, and 90 feet. Below the bar, it is labeled "Scale: 1" = 30'". The north arrow is vertical, pointing upwards, with a stylized arrowhead and a crossbar.

N00°19'37"E 438.96'

Lot 26, J.L. Allison Realty Co. Subdivision

Lot 28, J.L. Allison Realty Co. Subdivision

IRF - IRON ROD FOUND
IRS - IRON ROD SET
ROW - RIGHT-OF-WAY
CM - CONTROL MONUMENT
POB - POINT OF BEGINNING
ASC - ARTHUR SURVEYING
COMPANY

1. No portion of subject property appears to lie within a Special Flood Hazard Area according to the Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 480777 0545 G, present effective date of map April 18, 2011, herein property is situated within Zone X (unshaded).
2. All iron rods found are ½ inch otherwise noting. All iron rods set are ½ inch with a yellow cap stamped "Arthur Surveying Company".
3. Bearings shown herein are based on the south line of deed recorded under Inst. 2102-41062.
4. Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
5. No concentrated drainage shall be directed at downstream lots.
6. The purpose of this plat is to combine a Lot 28 and the southerly portions of Lots 26 and 27 into one lot.
7. Subject property is zoned "SF-10".

Bonnie Mae Flannagan Revocable Trust
Inst. No. 2010-43841 D.R.D.C.T.

Platted Lot Line (V.2, P.57)

20' Denton County Elec.
Co-op. Easement as established
— from existing electric facilities
(Inst. No. 95-R0040302)

1

THENCE South 00 degrees 13 minutes 14 seconds West, with the east line of said Lot 26 and the west line of said Firestone Drive, a distance of 60.00 feet to a 1/2 inch iron rod with the yellow cap stamped "Arthur Surveying Company" set for corner, same being the southeast corner of said Lot 26 also being in the north line of Lot 12, in Block 1, of Bentley Woods Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Cabinet I, Page 145, P.R.D.C.T;

THENCE North 89 degrees 20 minutes 00 seconds West, with the south line of said Lot 26 and partially with the north line of said Lot 12, passing at a distance of 59.90 feet a ½ inch iron rod found for the northwest corner thereof continuing on said course for a total distance of 317.64 feet to a ½ inch iron rod found for corner, same being the southwest corner of said Lot 26, also being the southeast corner of Lot 23R, of Grace Baptist Church Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Cabinet L, Page 152, P.R.D.C.T.;

THENCE North 00 degrees 19 minutes 37 seconds East, with the west line of said Lot 26 and the east line of said Lot 23R, a distance of 438.96 feet to a ½ inch iron rod found for corner, same being the southwest corner of a tract of land described by deed to Bonnie Mae Flannagan Revocable Trust, as recorded under Instrument Number 2010-43841, D.R.D.C.T.;

THENCE South 89 degrees 20 minutes 00 seconds East, with the south line of said Bonnie Mae Flannagan Revocable Trust tract and across said Lots 26 and 27, a distance of 620.25 feet to a point for corner in the east line of said Lot 27, same being the southeast corner of said Bonnie Mae Flannagan Revocable Trust tract, also being the west line of Fireside Drive, from which a ½ inch iron rod found bears South 82 degrees 54 minutes 49 seconds East, a distance of 0.80 feet;

THENCE South 01 degree 03 minutes 36 seconds West, with the west line of said Fireside Drive and partially with the east line of said Lot 27, passing the southeast corner thereof, same being the northeast corner of said Lot 28, continuing on said course for a total distance of 378.96 feet to the **POINT OF BEGINNING** and containing 5.812 acres of land, more or less, and being subject to any and all easements that may affect.

NOW, therefore, know all men by these presents:

THAT, Clark and Brenda Byroad, Trustees of the Byroad Revocable Trust, do hereby adopt this plat designated herein as Lot 26R, *1/4, Allison Realty Company Subdivision, an addition to the Town of Flower Mound, Denton County, Texas*. The easements shown herein are hereby reserved for the purposes as indicated. All streets, alleys, rights-of-way, The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. The utility easements shall be open to the public and private utilities for the purpose of installing, maintaining, repairing, and/or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and repairing the same and the use of the same for the purpose of the utility and the use of the same for the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required ordinarily performed by that utility. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Flower Mound.

State of Texas §
County of Denton §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared *Clark Byroad*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20_____.

Notary Public in and for
the State of Texas

State of Texas §
County of Denton §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Brenda Byroad, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20_____.

Notary Public in and for
the State of Texas

APPROVED:

**TOWN OF FLOWER MOUND
PLANNING AND ZONING COMMISSION**

Claudio Forest, Chairman
Planning and Zoning Commission

Doug Powell, Executive Director of
Development Services

, 2015.

Date _____

SIGNED AND SEALED:
TOWN OF FLOWER MOUND

Theresa Scott, Town Secretary
Town of Flower Mound

REPLAT

*A Record Plat of Lot 26R, J.L. Allison Realty
Company Subdivision, an addition to the Town of
Flower Mound, Denton County, Texas
Being a Replat of Lot 28, and a portion of Lots
26 and 27, J.L. Allison Realty Company Subdivision,
according to the plat recorded in Vol. 2, Pg. 57, P.R.D.C.T.*

– 2015 –

 Arthur Surveying Co., Inc.
Professional Land Surveyors

(972) 221-9439 ~ Fax (972) 221-4675
220 Elm Street, Suite 200 ~ P.O. Box 54
Lewisville, Texas 75057 ~ TFRN No: 10063800
Established 1986
www.arthursurveying.com

DRAWN BY: JHB DATE: 10/21/2015 SCALE: 1"=30' CHECKED BY: DLA ASC NO.: 1509442-1
REVISED: 11/11/2015 - 1st Comments

P:\1-ARTHUR\Files\3201 Fireside-Flower Mound\dwg\1509442-1 - REPLAT - REV 12-15-15.dwg 12/15/2015 3:16:31 PM CS

FOR DENTON COUNTY USE ONLY



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 5

DATE: January 11, 2016

FROM: Chuck Russell, Town Planner

ITEM: Public Hearing to consider a request for a Master Plan Amendment (MPA15-0010 – Silveron Industrial Warehouse) to amend Section 1.0, Land Use Plan, and Section 2.0, Area Plans, of the Master Plan to change the current land use designation from Campus Commercial uses to Campus Industrial uses on approximately 41.24 acres of land within the Lakeside Business District Area Plan. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations. Specifically, this application has been reviewed under the SMARTGrowth program and has met all applicable criteria.

The project has a companion application, Zoning Planned Development (ZPD15-0013), for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to change the Land Use designation of the project area from Campus Commercial to Campus Industrial uses on approximately 41.24 acres of land located within the Lakeside Business District Area Plan. Town Council approval of the proposed Master Plan Amendment would allow the applicant to proceed with the companion zoning application to develop two large scale industrial warehouse/ distribution buildings with office components which are not allowed within the existing Campus Commercial land use category. The Lakeside Business District Area Plan is described in the Master Plan as follows:

Lakeside Business District

Large scale commercial and/or light industrial developments such as corporate offices, office parks, industrial parks, clean manufacturing, hotels, commercial, similar uses, and may include limited residential development. The intent is to create a vibrant area that encourages dynamic economic development focused

around live, work, and play opportunities. A mixture of uses is important as well as its design details, amenity quality, and the use of natural areas and open spaces to provide a unique quality of life and sense of place.

Within this overall description of the Lakeside Business District, there are two major land use areas as shown in the graphic below:



The pink areas represent the Campus Commercial land uses and the purple areas represent the Campus Industrial areas. The definitions of these districts are described as follows:

Campus Commercial

Campus Commercial means a mixture of uses which includes corporate offices, office parks, hotels, commercial, similar uses, and may include limited residential development. The intent is to create a vibrant area that encourages dynamic economic development focused around live, work, and play opportunities. A mixture of uses is important as well as its design details, amenity quality, and the use of natural areas and open spaces to provide a unique quality of life and sense of place.

Development in the district must demonstrate the following:

1. Compliance with the three elements of the District's Vision:
 - a. Create high quality, regional commercial development;
 - b. Competes in the economic development arena; and
 - c. Develops a balanced tax base to reduce the residential tax burden;

2. Exemplary and enduring quality and design shall be achieved by establishing a high level of development standards;
3. Market factors should ensure a robust mix of uses that are economically viable, support a high quality of life, and provide sustainable fiscal health for the Town;
4. No one single use should be allowed to predominate in the District at build-out;
5. Uses and design shall be in context with the existing environment and adjacent developments; and
6. Residential development should provide a range of residential options that reflect changing lifestyles and demographics, and should be facilitated through the balancing of market demand and community preferences.

Campus Industrial

Large scale developments such as corporate offices, office parks, service/repair, light industry, clean assembly and similar uses, in a planned campus setting. Retail and restaurant uses serving the campus industrial uses could be included, if they are planned as integral elements of the developments.

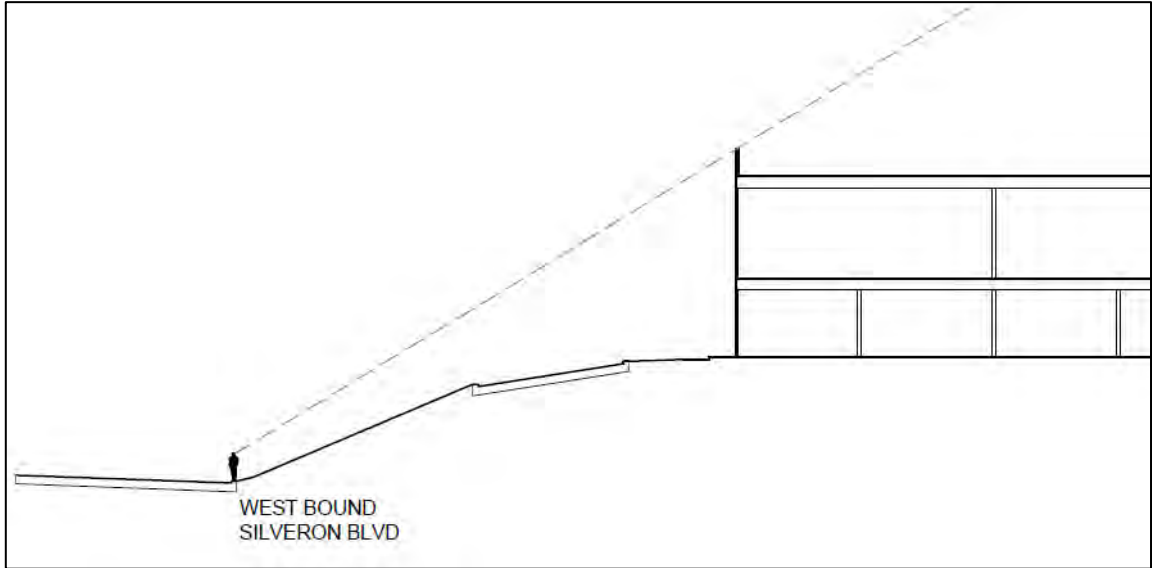
The land designated as Campus Industrial in the Lakeside Business District has almost been developed out as large warehouse/distribution centers. This site is bounded on the north by industrial developments. The land to the east, south and west of the subject site is designated for Campus Commercial uses and primarily undeveloped with the exception of the Ivie office building to the east and the Home Depot development and additional offices to the west across Lake Forest Boulevard.

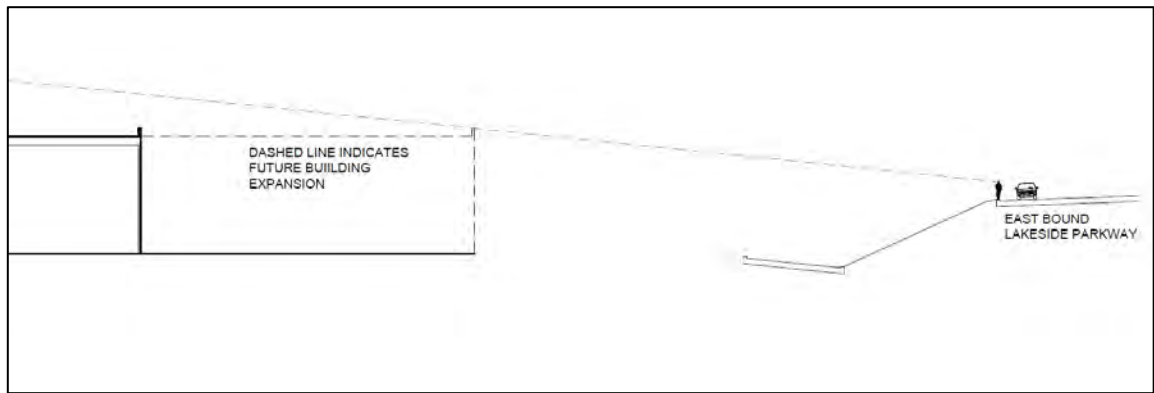
The Campus Commercial category is intended in part to attract development of corporate offices, office parks, hotels and similar commercial uses. It is an ideal land use category in which to locate a campus style environment for a corporate headquarters and all the ancillary and related uses that would accompany them. A site plan for office development was previously approved for the site immediately south of the Ivie office building. By further reducing the amount of Campus Commercial property, the Town could limit the ability to attract such a user in the future. While it may be beneficial to accommodate the proposed use in the short term, the long term goals of the Town could be impacted.

Regarding the issue of separation and reasonable transition of land uses, Lakeside Parkway serves as a logical boundary for the division of Campus Industrial from Campus Commercial uses. Crossing that boundary and extending Campus Industrial further to the south results in an encroachment of industrial and warehouse type uses into a large and contiguous area that is currently intended for Campus Commercial uses.

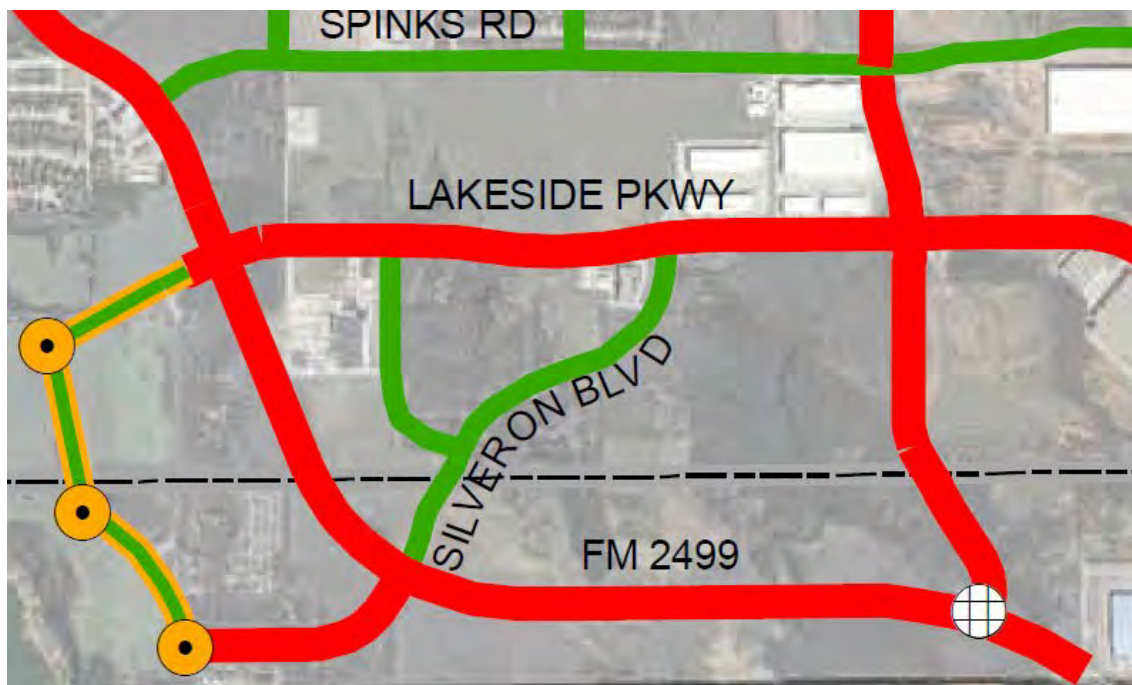
According to the Environmental Protection Plan (EPP) submitted by the applicant the subject property contains a variety of environmental features including Upland Habitat, a stream with tributaries, and three wetland areas. The subject property has a creek that runs south to north and bisects the property. The creek lies within a very low area and the topographical difference in areas ranges over 40 feet. In addition to the issue of reducing the area available for Campus Commercial land uses, the topography creates a challenge for a large building footprint of a constant elevation that is needed for the proposed use.

The site will need to have a significant amount of excavation and extensive use of retaining walls to accommodate the proposed buildings. The applicant has indicated that the retaining walls on the west side of Building 1 on the east side of the site will have an approximate maximum height ranging from 20-feet at the northwest corner to 18-feet at the southwest corner of the building. The finished floor area for Building 1 will be approximately 10 to 14 feet below the paving surface of Lakeside Parkway and approximately 16 feet above the paving surface of Silveron Boulevard (please note that both roadways are on a slope and paving surface grades change on the roadways from east to west). The grading for Building 1 creates a similar condition to the MI Windows and Doors building on Spinks Road where the landscaping at the time of planting will provide minimal visual screening both north and south of Building 1. The grade change is graphically depicted as follows (complete diagram is provided in Attachment B(1) of the companion zoning case):





It should also be noted that Silveron Boulevard is designated as an Urban Minor Arterial in the Town's Master Plan (4-lanes within 90-feet of right-of-way) while Lakeside Parkway is designated as a Major Arterial (6-lanes within 120-feet of right-of-way), see exhibit below. Silveron Boulevard is a curvilinear road with pedestrian amenities that support the current intent of the land adjacent to Silveron Boulevard developing as corporate office uses as opposed to large warehouses with truck distribution traffic which is what Lakeside Parkway was designed to carry. It is also important to note that the applicant has designed the site so that the most logical entrance for truck traffic will be from Lakeside Parkway.



Staff has expressed their concerns to the applicant and has worked with them regarding the design of the larger proposed building on the east side of the site. The front of the building facing Silveron Boulevard has been revised to resemble a corporate office building and now resembles the Ivie office building to the north and east. More details regarding the proposed development are provided in the accompanying zoning amendment (ZPD15-0013).

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Master Plan amendment requests. At the time this report was written, staff had received no response regarding the project.

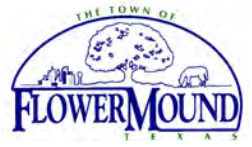
IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Lakeside Business District Area Plan

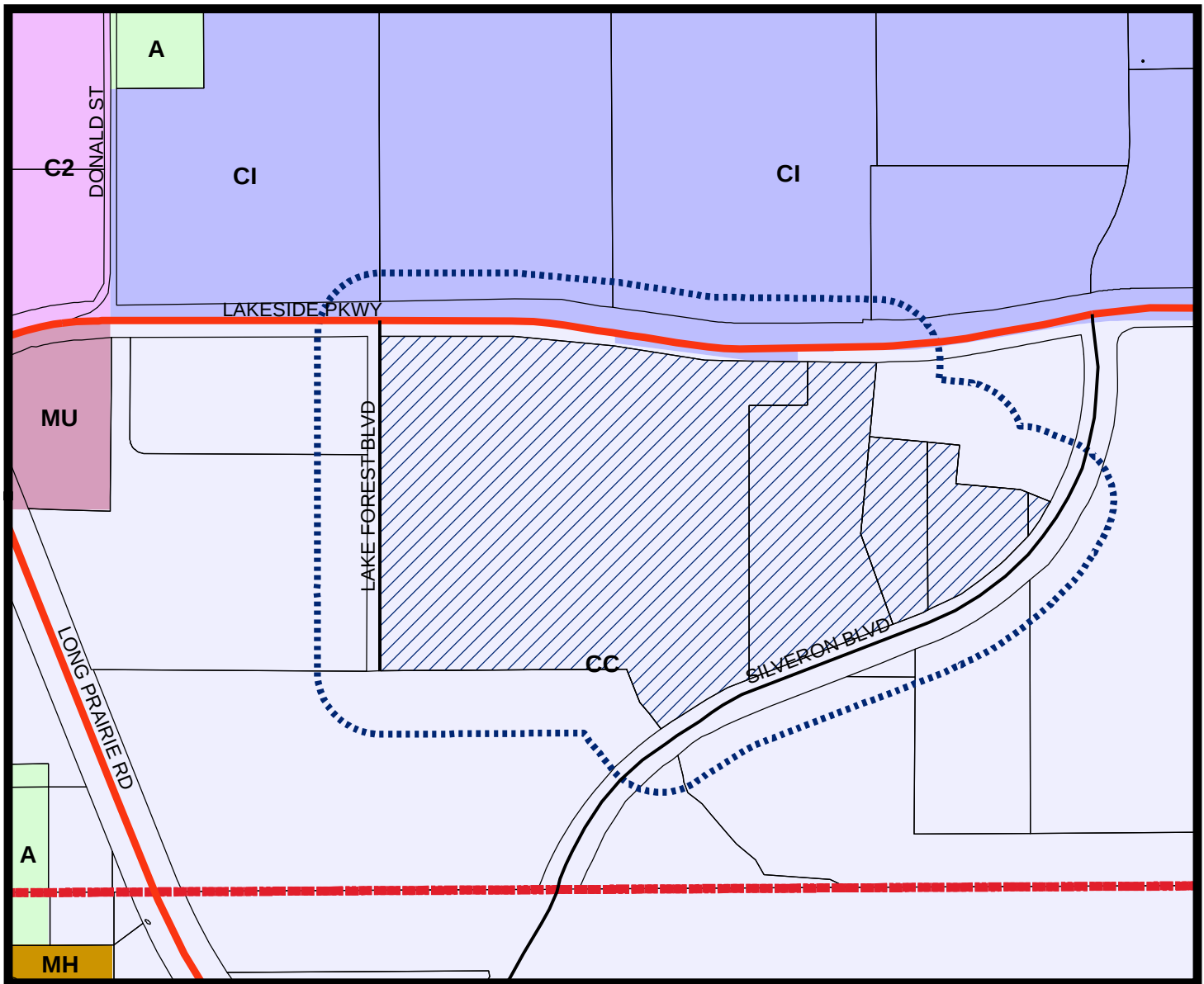
B. Application Details

1. Master Plan Exhibit



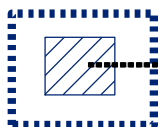
Vicinity Map

Reference Project: MPA15-0010 & ZPD15-0013



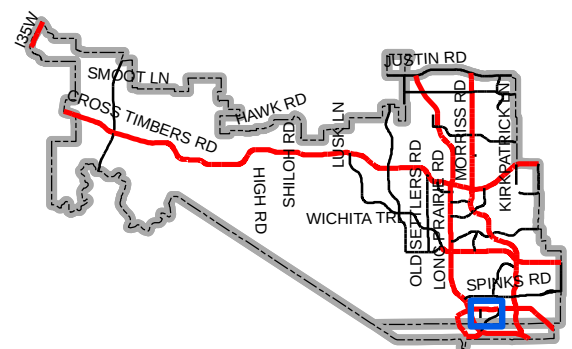
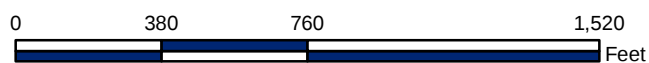
LEGEND

 Agriculture	 Campus Commercial	 Campus Industrial	 Commercial 2
 Mixed Use	 Mobile Home		



Subject Property

200 ft Notification Buffer around Property



Map Location

CIT Acquisition Corp.

3819 Maple Avenue
Dallas, Texas 75219

214-661-8000
Fax 214-661-8035

January 6, 2016
PK No.: 2283-15.162

Mr. Chuck Russell, AICP
Planning Manager/Planning Services
Town of Flower Mound
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

Re: LETTER OF INTENT: MASTER PLAN AMENDMENT (CASE # MPA15-0010) AND ZONING AMENDMENT (CASE # ZPD15-0013) FOR THE SILVERON RIDGE BUSINESS PARK DEVELOPMENT.

Dear Mr. Russell:

CIT Acquisition Corp requests that the Town of Flower Mound consider an amendment to the Town of Flower Mound Master Plan and zoning ordinance to allow for Campus Industrial uses instead of Campus Commercial uses currently allowed on the subject property. The case numbers are as follows: Master Plan Amendment - MPA15-0010 and zoning amendment - ZPD15-0013. The subject property is comprised of 41 acres generally located south of Lakeside Pkwy, north of Silveron Blvd, and east of Lake Forest Blvd. The applicant is considering the construction of two warehouses totaling approximately 400,000 square feet on the subject property. The development is anticipated to occur in a single phase, however, a multi-phased development is also possible.

In addition to the Master Plan and zoning amendments, the applicant is requesting a variance to the Town of Flower Mound Code of Ordinances. The applicant requests that the required driveway spacing of 360 feet between the two proposed driveways along Lakeside Parkway be reduced to 283 feet. The variance is requested to allow the development to maximize parking availability and vehicular access, both of which are important to companies considering the subject property for their location.

We feel the master plan changes are beneficial to the site and the Town of Flower Mound for the following reasons: First, the subject property is located in an industrial area where most of the neighboring uses are either industrial in nature, or other uses which are heavily buffered by landscaping and topography changes eliminating conflict between uses. Second, the site is not adjacent to any residential uses, so the use will not conflict with existing homes. Third, as evidenced by the success of Lakeside Ridge, warehouse users are clamoring to move or expand in Flower Mound, but there are very few available options for them to locate as the majority of warehouse buildings in the Town are leased. Without additional development, recent projects like Signature Systems Group and MI Windows would have located outside the Town.

CIT Acquisition Corp.

3819 Maple Avenue
Dallas, Texas 75219

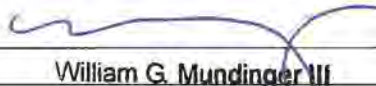
214-661-8000
Fax 214-661-8035

Finally, there are numerous benefits to the Town which come from warehouse development, including lessening the property tax burden on single family homeowners, sales tax, and job creation.

Thank you for your consideration.

Sincerely,

CIT Acquisition Corp.
a Texas corporation

By: 
Name: William G. Munding III
Title: Vice President

2.0 AREA PLANS

Lakeside Business District

Lakeside Business District Land Use Categories:

Campus Commercial – Campus Commercial means a mixture of uses which includes corporate offices, office parks, hotels, commercial, similar uses, and may include limited residential development. The intent is to create a vibrant area that encourages dynamic economic development focused around live, work, and play opportunities. A mixture of uses is important as well as its design details, amenity quality, and the use of natural areas and open spaces to provide a unique quality of life and sense of place.

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 - b. Competes in the economic development arena; and
 - c. Develops a balanced tax base to reduce the residential tax burden;
2. Exemplary and enduring quality and design shall be achieved by establishing a high level of development standards;
3. Market factors should ensure a robust mix of uses that are economically viable, support a high quality of life, and provide sustainable fiscal health for the Town;
4. No one single use should be allowed to predominate in the District at build-out;
5. Uses and design shall be in context with the existing environment and adjacent developments; and
6. Residential development should provide a range of residential options that reflect changing lifestyles and demographics, and should be facilitated through the balancing of market demand and community preferences.

Campus Industrial - Large scale developments such as corporate offices, office parks, service/repair, light industry, clean assembly and similar uses, in a planned campus setting. Retail and restaurant uses serving the campus industrial uses could be included, if they are planned as integral elements of the developments.

Office - Office and services uses ranging from garden office developments for small professional practices to larger, multi-story facilities for large tenants. This category would not typically include retail uses, except for incidental service or convenience retail for the office building tenants. In larger office districts, restaurants are encouraged within walking distance of the office buildings.

Lakeside Business District Elements:

Roadways – There are various roadways within the Lakeside Business District. Please refer to the “Town of Flower Mound Thoroughfare Plan” for more specific information on roadways in the Lakeside Business District.

Town Entrance Landscape - International Parkway, Lakeside Parkway and Gerault Road are all major roads into Flower Mound. Landscape for developments along these roads should be of an exemplary quality that reflects their importance as entrances into the Town. The “Town of Flower Mound Urban Design Plan” indicates suggested standards for private and public landscape development along these roads along with the Town’s “Median and Right-of-way Design Guidelines.” It will be appropriate for the private landscapes to reflect the individuality of the

2.0 AREA PLANS

various developments within the Lakeside Business District, while the public landscape should provide an element of continuity through the District.

Architectural facades along the Town Entrance streets will be a significant contributor to the image of the Lakeside Business District, and should be designed to an exemplary standard for their use. Parking between the building line and the street should be kept to a minimum to enhance the landscape image of the District.

District Arterial Landscape - Spinks Road, Garden Ridge Road and the new north-south urban minor arterial between International Parkway (FM 2499) and Spinks Road are all significant routes within and through the Lakeside Business District. The “Town of Flower Mound Urban Design Plan” along with the Town’s “Median and Right-of-way Design Guidelines” also indicates suggested standards for private and public landscape development along these roads. The landscape is particularly important along Spinks, as there are single family residential neighborhoods north of Spinks. It is desirable, though not essential for the landscape treatment to be continued on the edges of the Town parks along Spinks and Garden Ridge Road.

Parks and Flood Plain - There are two parks in the Lakeside Business District: Gerault Park and Bakersfield Park. These are community parks. Refer to the “Town of Flower Mound Parks and Trails Plan” for more specific information on these parks.

There is a significant flood plain along the eastern and southeastern edge of the Lakeside Business District. Since the Town of Flower Mound discourages construction in flood plains, and alteration of flood plains, these areas should be preserved. They should be incorporated into the landscape planning for adjoining development. Since they are anticipated to include segments of the Town’s multi-purpose trail in the future, site development in the adjoining Commercial/Industrial areas should be planned for compatible adjacent uses and site features, and avoid exterior storage, utility and similar uses in direct view of the potential trail areas.

Landscape Setback Buffer - Landscape and setback buffers are necessary to provide suitable separations between commercial and/or industrial uses in the Lakeside Business District from residential neighborhoods and developments which abut the District. These are required between the Campus Commercial and Office/Retail land uses west of International Parkway and the existing neighborhoods to their west.

Buffers will also be necessary between the Office/Retail area at the northeast corner of the International Parkway/Spinks Road intersection and the adjacent Estate Density Residential District to its east and north. Since neither of these developments has yet been planned, the buffer between the uses needs to be incorporated into the land development planning for this area.

A landscape/setback buffer is also indicated along the southern edge of Spinks Road. Because of the existing and planned single family residential neighborhoods and the school on the north side of Spinks, the northern boundaries of the Campus Commercial area between International Parkway and Gerault Road should include a landscape buffer at least that screens service and utility areas from view from the neighborhoods and from Spinks Road.

The “Town of Flower Mound Urban Design Plan” along with the Town’s “Median and Right-of-way Design Guidelines” indicates standards for landscape and setback buffers between non-residential and residential land uses.

Trail System - There are existing segments of the Town’s multi-purpose trail system in this area along with other trail opportunities. Please refer to the “Town of Flower Mound Parks and Trails Plan” for more specific information on the trail system.

2.0 AREA PLANS

Internalized Service Areas - In the areas of the Lakeside Business District designated as suitable for Commercial/Industrial land uses, service areas such as truck docks, layout or storage yards, utility components, trash handling and similar unsightly elements that are essential to appropriate commercial and industrial uses should be planned for locations internal to the major surrounding streets: International Parkway, Gerault Road, Lakeside Parkway, and Garden Ridge Road. Such uses should not be visible from these streets.

Architectural Impact Zone - The land at the southern edge of the Commercial/Industrial area east of Gerault Road and north of International Parkway is highly visible from northbound traffic on International Parkway as it enters Flower Mound. Because of the prominence of this site, and its significance to the Town's entry, buildings in this zone should be designed with particular attention to architectural quality and features as seen from International Parkway. This does not preclude industrial buildings from being built in this zone, but it does require that facades and elevations seen from International Parkway be of significantly higher architectural quality than is generally associated with industrial buildings.

Trees and Natural Features - Several large areas of trees, drainage courses and other natural features exist within the Lakeside Business District. These natural features are representative of the distinctive natural atmosphere of Flower Mound, and can have high amenity value for development. Existing trees fall within the purview of the Town's Tree Preservation Ordinance. Trees and other natural amenities should be incorporated into the planning and landscape design of developments within the Lakeside Business District.

Flower Mound Gateways - Distinctive entry demarcation to the Town of Flower Mound will help distinguish it as a unique community. Flower Mound Gateways are planned at or near the Town limits on International Parkway, Lakeside Parkway and Spinks Road.

Refer to the "Town of Flower Mound Urban Design Plan" along with the Town's "Median and right-of-way Design Guidelines" for more specific information on the Flower Mound Gateways.

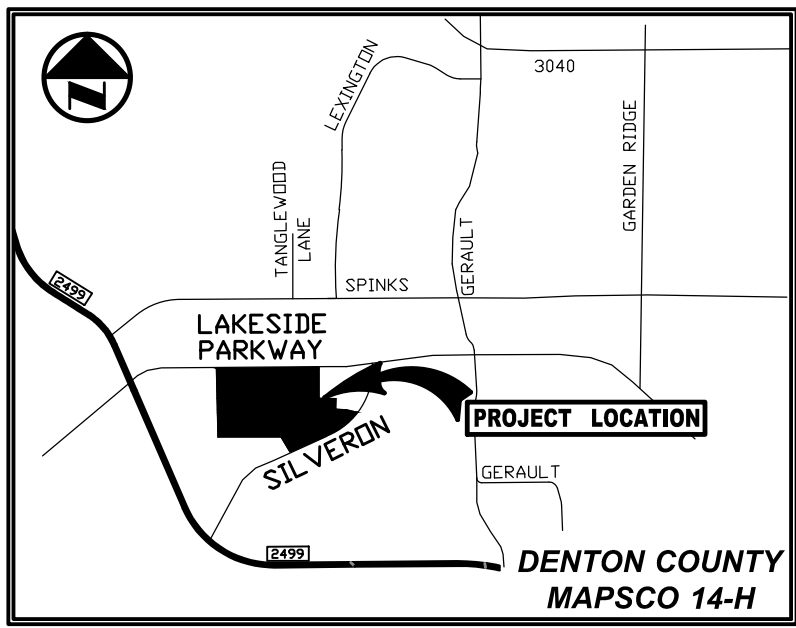
Town Landmark Intersections - The three major arterials in the Lakeside Business District, International Parkway, Lakeside Parkway, and Gerault Road, are all principal entrances into the Town for both residents and visitors. The intersections with other arterials and collectors on these three streets will be significant orientation locations, particularly for visitors not familiar with Flower Mound. Consequently, these intersections will be major landmarks in the Town, and should be landscaped to provide an exemplary quality of entrance and orientation experience for residents and visitors to Flower Mound.

Refer to the "Town of Flower Mound Urban Design Plan" along with the Town's "Median and Right-of-way Design Guidelines" for more specific information on Town Landmark Intersections.

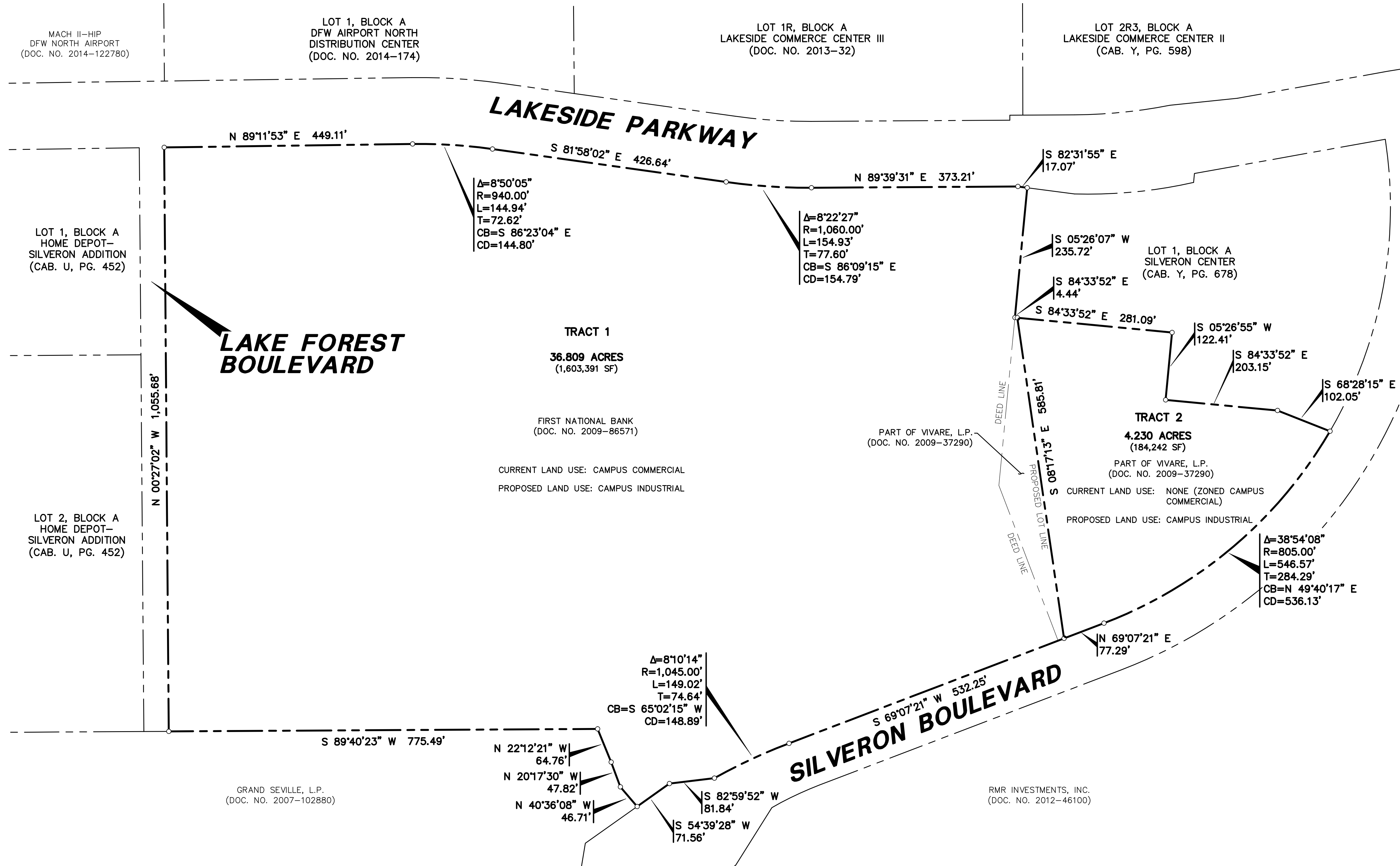
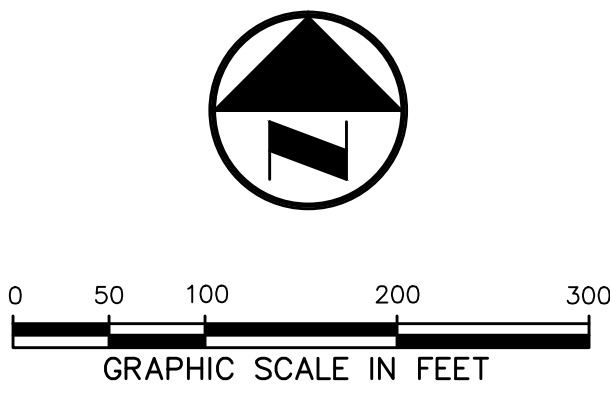
2.0 AREA PLANS



Attachment B(1): Master Plan Exhibit



VICINITY MAP
(NOT TO SCALE)



- NOTES**
- Bearing system for this survey is based on the Texas State Plane Coordinate System – NAD 83, North Central Zone 4202.
 - It is not the intent of this exhibit to render a professional opinion as to the location or condition of the boundary of the real property shown herein. This survey was not prepared for use in any real estate transaction, conveyance or title insurance proceedings. This exhibit shall not represent warranty of title or guarantee of ownership. No research has been done to determine the nature, location or existence of easements on the subject property.

ARCHITECT:
AZIMUTH ARCHITECTURE, INC.
9660 AUDELIA ROAD , SUITE 123--66
DALLAS, TEXAS 75238
CONTACT: JOHN R. TAYLOR
PHONE: (214) 261-9060

DEVELOPER:
CROW HOLDINGS
3819 MAPLE AVENUE
DALLAS, TEXAS 75219
CONTACT: WILL MUNDINGER
PHONE: (713) 661-8341

OWNER:
FIRST NATIONAL BANK
C/O PLAINSCAPITAL BANK
PO BOX 660
EDINBURG, TEXAS 78540
CONTACT: LARRY NIXON
PHONE: (972) 588-3475

ENGINEER/SURVEYOR:
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
CONTACT: C. JACK EVANS, P.E.
PHONE: (972) 235-3031

 Pacheco Koch		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193805		
<i>DRAWN BY</i> JSA	<i>CHECKED BY</i> JSA	<i>SCALE</i> 1"=60'	<i>DATE</i> OCTOBER 2015	<i>JOB NUMBER</i> 2283-15.162

**MASTER PLAN
AMENDMENT**
PROPERTY EXHIBIT
**36.809 ACRE TRACT
& 4.230 ACRE TRACT**
LOCATED IN THE TOWN OF FLOWER MOUND, TEXAS
AND BEING OUT OF THE
J. KNIGHT SURVEY, ABSTRACT NO. 692,
DENTON COUNTY, TEXAS

DESCRIPTION OF PROPERTY

TRACT 1:

DESCRIPTION, of a 36.809 acre tract of land situated in the J. Knight Survey, Abstract No. 692, Denton County, Texas; said tract being all of that tract of land described in Substitute Trustee's Foreclosure Sale Deed to First National Bank recorded in Document Number 2009-86571 and part of that tract of land described in Correction Trustee's Deed to Vivare, L.P. recorded in Document Number 2009-37290, both of the Official Records of Denton County, Texas; said 36.809 acre tract being more particularly described as follows:

BEGINNING, at a point for corner at the intersection of the south right-of-way line of Lakeside Parkway (a variable width right-of-way, 120 feet wide at this point) and the east right-of-way line of Lake Forest Boulevard (a 45-foot wide right-of-way); said point being the northwest corner of said Bank tract;

THENCE, in an easterly direction, along the said south line of Lakeside Parkway and the north line of said Bank tract, the following five (5) calls:

North 89 degrees, 11 minutes, 53 seconds East, a distance of 449.11 feet to a point at the beginning of a tangent curve to the right;

Along said curve to the right, having a central angle of 08 degrees, 50 minutes, 05 seconds, a radius of 940.00 feet, a chord bearing and distance of South 86 degrees, 23 minutes, 04 seconds East, 144.80 feet, an arc distance of 144.94 feet to a point at the end of said curve;

South 81 degrees, 58 minutes, 02 seconds East, a distance of 426.64 feet to a point at the beginning of a tangent curve to the left;

Along said curve to the left, having a central angle of 08 degrees, 22 minutes, 27 seconds, a radius of 1060.00 feet, a chord bearing and distance of South 86 degrees, 09 minutes, 15 seconds East, 154.79 feet, an arc distance of 154.93 feet to a point at the end of said curve;

North 89 degrees, 39 minutes, 31 seconds East, a distance of 373.21 feet to an angle point;

South 82 degrees, 31 minutes, 55 seconds East, a distance of 17.07 feet to a point for corner; said point being the northeast corner of said Bank tract and the northwest corner of Lot 1, Block A, Silveron Center, an addition to the Town of Flower Mound according to the plat recorded in Cabinet Y, Page 678 of the Plat Records of Denton County, Texas;

THENCE, South 05 degrees, 26 minutes, 07 seconds West, departing the said south line of Lakeside Parkway and along the east line of said Bank tract and the westernmost west line of said Lot 1, a distance of 235.72 feet to a point for corner; said point being the westernmost southwest corner of said Lot 1 and the northwest corner of said Vivare tract;

THENCE, South 84 degrees, 33 minutes, 52 seconds East, departing the said east line of the Bank tract and along the northernmost south line of said Lot 1 and the northernmost north line of said Vivare tract, a distance of 4.44 feet to a point for corner;

THENCE, South 08 degrees, 17 minutes, 13 seconds East, departing the said south line of Lot 1 and the said north line of the Vivare tract and into and across said Vivare tract, a distance of 585.81 feet to a point for corner in the northwest right-of-way line of Silveron Boulevard (a variable width right-of-way, 90 feet wide at this point) and the southeast line of said Vivare tract;

THENCE, in a southwesterly direction, along the said northwest line of Silveron Boulevard, the said southeast line of the Vivare tract and the southeast line of said Bank tract, the following four (4) calls:

South 69 degrees, 07 minutes, 21 seconds West, at a distance of 11.44 feet passing the south corner of said Vivare tract and the southeast corner of said Bank tract, then continuing along the said southeast line of the Bank tract in all a total distance of 532.25 feet to a point at the beginning of a tangent curve to the left;

Along said curve to the left, having a central angle of 08 degrees, 10 minutes, 14 seconds, a radius of 1045.00 feet, a chord bearing and distance of South 65 degrees, 02 minutes, 15 seconds West, 148.89 feet, an arc distance of 149.02 feet to a point at the end of said curve;

South 82 degrees, 59 minutes, 52 seconds West, a distance of 81.84 feet to a point for corner;

South 54 degrees, 39 minutes, 28 seconds West, a distance of 71.56 feet to a point for corner; said point being the southernmost corner of said Bank tract and the easternmost corner of that tract of land described in Special Warranty Deed to Grand Seville, L.P. recorded in Document Number 2007-102880 of said Official Records;

THENCE, departing the said northwest line of Silveron Boulevard and along the south line of said Bank tract and the north line of said Seville tract, the following four (4) calls:

North 40 degrees, 36 minutes, 08 seconds West, a distance of 46.71 feet to a point for corner;

North 20 degrees, 17 minutes, 30 seconds West, a distance of 47.82 feet to a point for corner;

North 22 degrees, 12 minutes, 21 seconds East, a distance of 64.76 feet to a point for corner;

South 89 degrees, 40 minutes, 23 seconds West, a distance of 775.49 feet to a point for corner; said point being the westernmost southwest corner of said Bank tract and the east end of the south terminus of said Lake Forest Boulevard;

THENCE, North 00 degrees, 27 minutes, 02 seconds West, departing the said north line of the Seville tract and along the said east line of Lake Forest Boulevard and the west line of said Bank tract, a distance of 1055.68 feet to the POINT OF BEGINNING;

CONTAINING: 1,603,391 square feet or 36.809 acres of land, more or less.

TRACT 2:

DESCRIPTION, of a 4.230 acre tract of land situated in the J. Knight Survey, Abstract No. 692, Denton County, Texas; said tract being part of that tract of land described in Correction Trustee's Deed to Vivare, L.P. recorded in Document Number 2009-37290 of the Official Records of Denton County, Texas; said 4.230 acre tract being more particularly described as follows:

BEGINNING, at a point for corner in the northernmost north line of said Vivare tract and the northernmost south line of Lot 1, Block A, Silveron Center, an addition to the Town of Flower Mound according to the plat recorded in Cabinet Y, Page 678 of the Plat Records of Denton County, Texas; from said point the westernmost southwest corner of said Lot 1 bears North 84 degrees, 33 minutes, 52 seconds West, a distance of 4.44 feet;

THENCE, in an easterly direction, along the said north line of the Vivare tract and the said south line of Lot 1, the following four (4) calls:

South 84 degrees, 33 minutes, 52 seconds East, a distance of 281.09 feet to a point for corner;

South 05 degrees, 26 minutes, 55 seconds West, a distance of 122.41 feet to a point for corner;

South 84 degrees, 33 minutes, 52 seconds East, a distance of 203.15 feet to a point for corner;

South 68 degrees, 28 minutes, 15 seconds East, a distance of 102.05 feet to a point for corner in the northwest right-of-way line of Silveron Boulevard (a variable width right-of-way, 90 feet wide at this point); said point being the easternmost northeast corner of said Vivare tract and the southeast corner of said Lot 1; said point also being in a non-tangent curve to the right;

THENCE, in a southwesterly direction, along the said northwest line of Silveron Boulevard, the southeast line of said Vivare tract and said curve to the right, having a central angle of 38 degrees, 54 minutes, 08 seconds, a radius of 805.00 feet, a chord bearing and distance of South 49 degrees, 40 minutes, 17 seconds West, 536.13 feet, an arc distance of 546.57 feet to a point at the end of said curve;

THENCE, South 69 degrees, 07 minutes, 21 seconds West, continuing along the said northwest line of Silveron Boulevard and the said southeast line of the Vivare tract, a distance of 77.29 feet to a point for corner;

THENCE, North 08 degrees, 17 minutes, 13 seconds West, departing the said northwest line of Silveron Boulevard and the said southeast line of the Vivare tract and into and across said Vivare tract, a distance of 585.81 feet to the POINT OF BEGINNING;

CONTAINING: 184,242 square feet or 4.230 acres of land, more or less.

PROPERTY EXHIBIT - 36.809 ACRE TRACT & 4.230 ACRE TRACT

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MA.DWG: 22-2283-15.162.DWG\SURVEY CS0 2012\2283-15.162_PROPERTY EXHIBIT.DWG



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 6

DATE: January 11, 2016

FROM: Chuck Russell, Town Planner

ITEM: **Public Hearing to consider a request for rezoning (ZPD15-0013 – Silveron Industrial Warehouse) from Planned Development District No. 31 (PD-31) for Campus Commercial District (CC) uses to Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses with certain exceptions to the Code of Ordinances. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.**

I. ITEM SUMMARY

This application has been reviewed by DRC and, aside from the requested exceptions, has been found to be in conformance with all applicable Town regulations. Specifically, this application has been reviewed under the SMARTGrowth program and has been found to meet all applicable criteria.

The project has a companion application, a Master Plan Amendment (MPA15-0010), for consideration on the same agenda. Approval of this zoning request is contingent upon approval of the Master Plan Amendment.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to rezone approximately 41.24 acres of land in order to develop large scale industrial warehouse/distribution buildings with office components, which is not allowed under the existing Planned Development District No. 31 (PD-31) zoning. The property is currently undeveloped. The proposed development will have access from Lakeside Parkway, Lake Forest Boulevard and Silveron Boulevard.

The proposed development is bordered to the north, across Lakeside Parkway, by Campus Industrial zoned property developed with the DFW North Distribution Center and Lakeside Commerce Center; to the west by Campus Commercial zoned property developed with an office complex and The Home Depot; to the south, across Silveron Boulevard, by undeveloped land master-planned for Campus Commercial uses and zoned PD-31 with Campus Commercial (CC)

uses; and to the east by Campus Commercial zoned property developed with the Ivie & Associates corporate office complex.

The Town's Master Plan contains specific Area Plans for the Town. This section of the Master Plan depicts appropriate land uses and relationships between land uses in these areas. The subject property is located within the Lakeside Business District Area Plan. For more details regarding the applicant's request to amend the Master Plan, please refer to the accompanying project (MPA15-0010).

The proposed Zoning Amendment will allow the applicant to develop roughly 457,950 square feet of industrial warehouse/distribution buildings with office components on the site. The existing Campus Commercial land use category does not allow for the larger scale industrial developments, such as the one being proposed, which is the reason the applicant is requesting Campus Industrial land use and zoning.

The accompanying concept plan (Attachment B(1)) depicts the proposed development layout. Tract 1 is proposed to include two buildings totaling approximately 457,950 square feet. The appropriate setbacks for the building, parking, and landscaping have been provided. Building 1 is located on the east side of Tract 1 and will contain 131,200 square feet of warehouse/distribution space and 78,100 square feet of office space in the initial phase of development. The plan also allows for the expansion of Building 1 to contain an additional 41,600 square feet of warehouse/distribution space and another 78,100 square feet of office space. Building 2 on the west side of Tract 1 will be constructed at a future time and contains 109,608 square feet of warehouse/distribution space and 19,342 square feet of office space.

Tract 2 indicates a proposed soccer field and basketball court that will serve as a private recreation area for employees as well as an access drive and additional employee parking. The applicant is proposing to be consistent with developments north of the site, which includes both the DFW North Distribution Center (Phase One) and the Lakeside Commerce Center. These standards include a 65-foot building setback, a 45-foot parking setback, as well as similar architecture and landscaping along Lakeside Parkway.

The total parking required by the Town's regulations for the proposed uses is 728 spaces which includes both office and warehouse floor area. The Town's regulations also allow up to a 20 percent reduction in the required parking which would be 582 spaces. The applicant is providing 604 parking spaces for all phases of the development which is within the 20 percent allowance. A parking study has also been provided that supports this number of spaces (see Attachment B(3)). Access to Building 1 will be provided from both Lakeside Parkway and Silveron Boulevard with the primary truck access being from Lakeside Parkway. Building 2 will have access from both Lakeside Parkway and Lake Forest Boulevard.

The Lakeside Business District Area Plan has enhanced requirements for landscaping and sidewalk treatments along Lakeside Parkway. The conceptual site and landscape plans indicate compliance with the provision of a 25-foot landscape buffer, groving of required trees, curvilinear sidewalks integrated into the landscape, no parking within 45 feet of the property line along Lakeside Parkway, and the required 15-foot landscape buffer along Lake Forest Boulevard and Silveron Boulevard. The Lakeside Business District Area Plan also requires that service areas for truck docks be internalized and not visible from district arterials such as Lakeside Parkway. The requirements further stipulate the use of planting, landforms and screening walls to be used to buffer and screen said areas.

The Town's Urban Design Guidelines for the Lakeside Business District require that design elements be used on large scale warehouse and industrial buildings to add interest and variety while also breaking up the monotony of large stretches of tilt wall materials. The conceptual elevations indicate small variations on the wall planes and the use of stone veneer accents to mitigate the expanses of tilt wall. Small roofline offsets have also been provided to add interest to the roofline. The proposed buildings are similar in nature to the existing and proposed DFW North Distribution Center and Lakeside Commerce Center developments to the north.

a. Exception to Driveway Spacing

The applicant is requesting a waiver to the driveway spacing requirements of a major arterial. This waiver is for the easternmost driveway opening along Lakeside Parkway. The distance of this driveway from the one to the west of it will be 283 feet, which is 77 feet short of the required 360 feet dictated by the access management criteria in the design standards. Staff does not have an objection to this request.

b. Exception to Topographical Slope Protection

The subject property has a creek that runs south to north and bisects the property. The creek lies within a very low area and the topographical difference in areas ranges to over 40 feet. In addition to the issue of reducing the area available for Campus Commercial land uses, the topography creates a challenge for a large rectangular building footprint that is needed for the proposed use. The site will likely need to have a significant amount of excavation and extensive use of retaining walls to accommodate the proposed buildings. The applicant has indicated that the retaining walls on the west side of Building 1 will have an approximate maximum height ranging from 20 feet at the northwest corner to 18 feet at the southwest corner of the building.

Section 98-147 of the Town Code of Ordinances, "Topographical slope protection", states:

No development application or project shall be approved that proposes development on any existing topographical slopes of 12 percent or greater, or that proposes to alter any existing topographical slopes that are less than 12 percent but equal to or greater than five percent then available (other than within five feet of the footprint of the proposed structure or structures). The purpose of this criterion is to ensure that development is respectful of and appropriately integrated with the natural physical geography of the land in Flower Mound by requiring environmentally sensitive development techniques to eliminate "scrape and build."

According to the Town's Director of Economic Development, this project is eligible to qualify for economic incentives. Section 98-151 of the Town Code of Ordinances, "Waiver of environmental quality criteria", states:

It is recognized that certain projects that qualify for economic development incentives, pursuant to the town's economic development incentives policy, due to their size, location, amenities and design, may necessitate waivers from the environmental quality criteria contained in this subdivision. Any requested waiver shall be evaluated during the development process and action taken thereon by the planning and zoning commission and the town council in accordance with the purposes and objectives contained in section 98-31 of the SMARTGrowth program and the town's economic development incentives policy.

According to the applicant's Environmental Protection Plan (see Attachment B(4)), the applicant is requesting an exception to this SMARTGrowth Criterion for approximately 3.86 acres of land with slopes between 5% and 12%. An exception is also being requested for the impacts to approximately 0.56 acres of land with slopes greater than 12%.

The draft development standards include a provision that requires the applicant to identify Best Management Practices ("BMPs") that will be used to maintain and responsibly integrate the development into the natural topography together with an explanation regarding their use within the plans for such development. The BMPs to be used shall include, but are not limited to, those BMPs found within the Town's Engineering Design and Construction Standards.

On October 6, 2015, the Environmental Conservation Commission (ECC) reviewed a tree removal permit for 8 specimen trees. The ECC recommended approval of the requested permits by a vote of 6 to 1. The item will be forwarded to the Town Council for consideration at the same time as the subject project.

The link to the October 6, 2015, ECC meeting is:

<http://flowermoundtx.swagit.com/play/10062015-1044/#7>

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Zoning amendment requests. At the time this report was written, staff had received no response regarding the project.

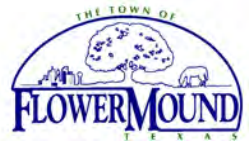
IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

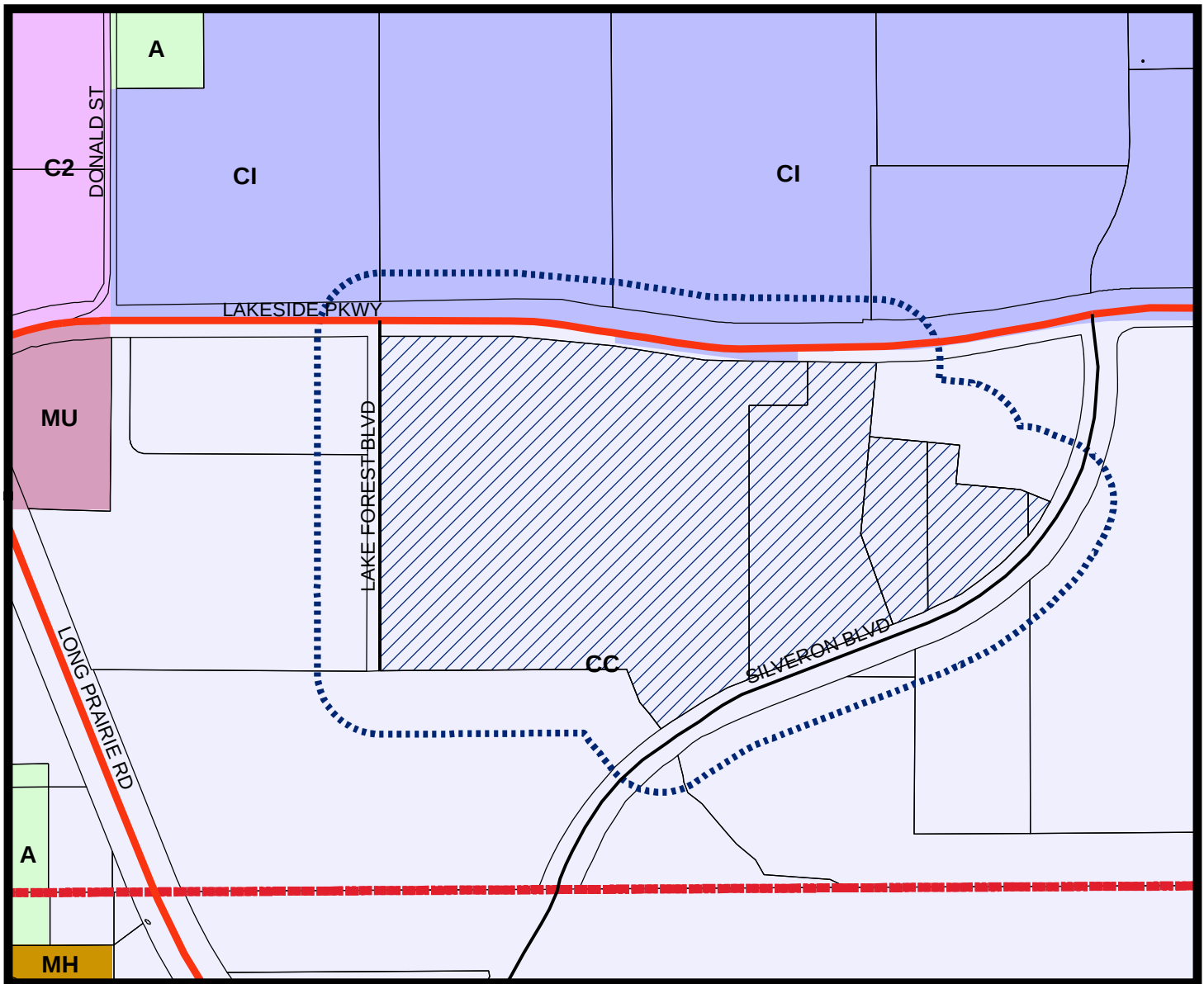
B. Application Details

1. Zoning Package
2. Draft Development Standards
3. Parking Study
4. Environmental Protection Plan



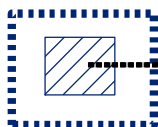
Vicinity Map

Reference Project: MPA15-0010 & ZPD15-0013



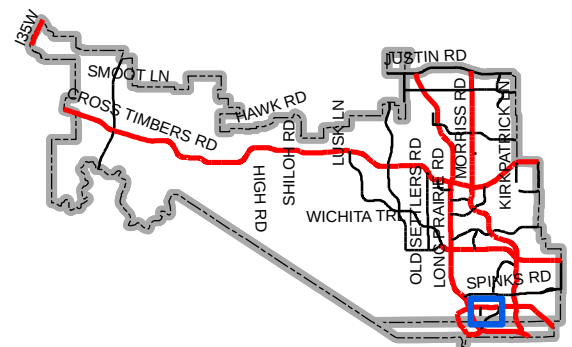
LEGEND

 Agriculture	 Campus Commercial	 Campus Industrial	 Commercial 2
 Mixed Use	 Mobile Home		

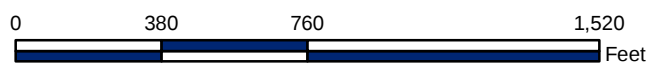


Subject Property

200 ft Notification Buffer around Property



Map Location



CIT Acquisition Corp.

3819 Maple Avenue
Dallas, Texas 75219

214-661-8000
Fax 214-661-8035

January 6, 2016
PK No.: 2283-15.162

Mr. Chuck Russell, AICP
Planning Manager/Planning Services
Town of Flower Mound
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

Re: LETTER OF INTENT: MASTER PLAN AMENDMENT (CASE # MPA15-0010) AND ZONING AMENDMENT (CASE # ZPD15-0013) FOR THE SILVERON RIDGE BUSINESS PARK DEVELOPMENT.

Dear Mr. Russell:

CIT Acquisition Corp requests that the Town of Flower Mound consider an amendment to the Town of Flower Mound Master Plan and zoning ordinance to allow for Campus Industrial uses instead of Campus Commercial uses currently allowed on the subject property. The case numbers are as follows: Master Plan Amendment - MPA15-0010 and zoning amendment - ZPD15-0013. The subject property is comprised of 41 acres generally located south of Lakeside Pkwy, north of Silveron Blvd, and east of Lake Forest Blvd. The applicant is considering the construction of two warehouses totaling approximately 400,000 square feet on the subject property. The development is anticipated to occur in a single phase, however, a multi-phased development is also possible.

In addition to the Master Plan and zoning amendments, the applicant is requesting a variance to the Town of Flower Mound Code of Ordinances. The applicant requests that the required driveway spacing of 360 feet between the two proposed driveways along Lakeside Parkway be reduced to 283 feet. The variance is requested to allow the development to maximize parking availability and vehicular access, both of which are important to companies considering the subject property for their location.

We feel the master plan changes are beneficial to the site and the Town of Flower Mound for the following reasons: First, the subject property is located in an industrial area where most of the neighboring uses are either industrial in nature, or other uses which are heavily buffered by landscaping and topography changes eliminating conflict between uses. Second, the site is not adjacent to any residential uses, so the use will not conflict with existing homes. Third, as evidenced by the success of Lakeside Ridge, warehouse users are clamoring to move or expand in Flower Mound, but there are very few available options for them to locate as the majority of warehouse buildings in the Town are leased. Without additional development, recent projects like Signature Systems Group and MI Windows would have located outside the Town.

CIT Acquisition Corp.

3819 Maple Avenue
Dallas, Texas 75219

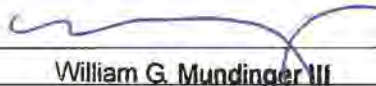
214-661-8000
Fax 214-661-8035

Finally, there are numerous benefits to the Town which come from warehouse development, including lessening the property tax burden on single family homeowners, sales tax, and job creation.

Thank you for your consideration.

Sincerely,

CIT Acquisition Corp.
a Texas corporation

By: 
Name: William G. Munding III
Title: Vice President

© COPYRIGHT 2015 AZIMUTH : ARCHITECTURE, INC.



Street Yard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Min. 20% of street yard	366,880	73,376	218,943
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Lakeside Parkway 197,841 s.f.	68	68
10,000 to 110,000 plus (1) per 2,500 in excess of 10,000 s.f.	Lake Forest Blvd. 83,768 s.f.	42	42
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Silveron Blvd. 146,903 s.f.	59	59
Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 L.F.	Lakeside Parkway 1,520 L.F.	51	52
1 per 30 L.F.	Lake Forest Blvd. 1,068 L.F.	36	36
1 per 30 L.F.	Silveron Blvd. 1,458 L.F.	49	49
Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
80 s.f. per 12 spaces	338	2,536 s.f.	7,317 s.f.
Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 per 10 spaces	338	34	47

- PLANT KEY**
- Cedar Elm QTY: 65
 - Red Oak QTY: 50
 - Live Oak QTY: 87
 - Crape Myrtle QTY: 42
 - Vitex QTY: 34
 - Nellie R. Stevens Holly
 - Texas Sage
 - Loropetalum
 - Dwarf Wax Myrtle
 - Compact Texas Sage
 - Dwarf Yaupon Holly / Indian Hawthorn
 - Loropetalum
 - Mexican Feather Grass
 - Dwarf Hamlin Grass
 - Needlepoint Holly
 - Muhly Grass
 - Salvia Greggii
 - Purple Wintercreeper

NOTE 1:
Contact John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346 prior to beginning any work in the town's R.O.W.

Contractor is responsible for repairing any damage to existing town irrigation systems.

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids, purple bunnies, purple drip tubing, and purple caps on all irrigation heads. R.O.W. irrigation shall be on separate valves from the remainder of the system.

Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit through the building department. The plans will be approved at the time the permit is pulled.

01 CONCEPTUAL LANDSCAPE SITE PLAN
SCALE: 1" = 80'-0"

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

- 1 07.17.15 City Submittal
2 10.06.15 City Comments
3 10.28.15 City Comments
4 12.28.15 City Submittal

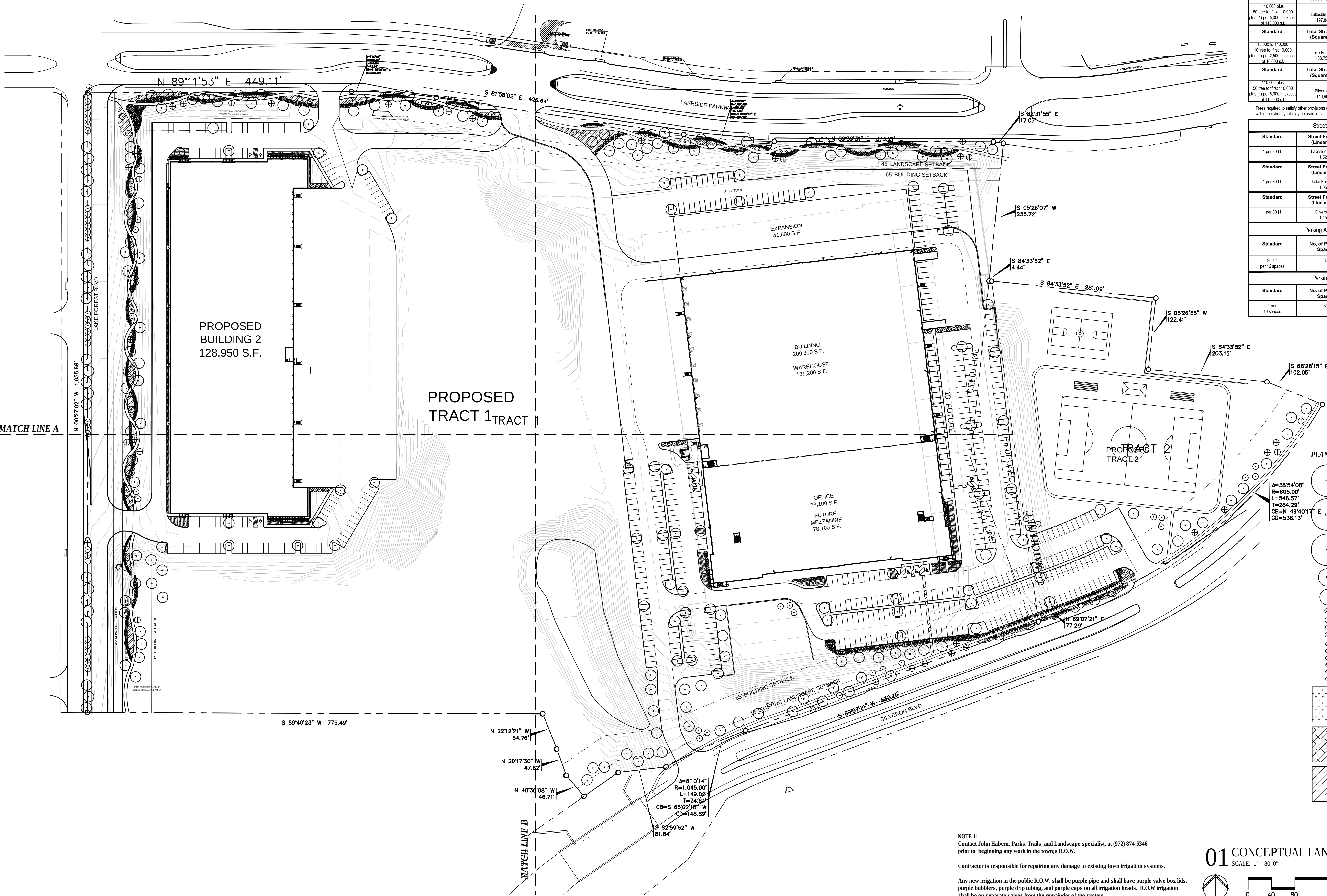
- 5
6
7
8
9



SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015
SHEET: L1.01



LOT 3: LANDSCAPE TABULATIONS

Street Yard Landscaping			
Standard	Total Street Yard (Square Feet)	Required	Provided
Min. 20% of street yard	368,880	73,376	218,943
Street Yard Trees			
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Lakeside Parkway 197,841 s.f.	68	68
Standard	Total Street Yard (Square Feet)	Required	Provided
10,000 to 110,000 10 tree for first 10,000 plus (1) per 2,500 in excess of 10,000 s.f.	Lake Forest Blvd. 88,736 s.f.	42	42
Standard	Total Street Yard (Square Feet)	Required	Provided
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Silveron Blvd. 146,903 s.f.	59	59

Trees required to satisfy other provisions of landscaping requirements and lying within the street yard may be used to satisfy the requirements of other sections.

Street Buffer Trees			
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Lakeside Parkway 1,520 l.f.	51	52
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Lake Forest Blvd. 1,056 l.f.	36	36
Standard	Street Frontage (Linear Feet)	Required	Provided
1 per 30 l.f.	Silveron Blvd. 1,458 l.f.	49	49

Parking Area Landscaping			
Standard	No. of Parking Spaces	Required	Provided
90 s.f. per 12 spaces	338	2,535 s.f.	7,317 s.f.

Parking Area Trees			
Standard	No. of Parking Spaces	Required	Provided
1 per 10 spaces	338	34	47

PLANT KEY

- + Cedar Elm QTY: 65
- o Red Oak QTY: 50
- Live Oak QTY: 87
- Crepe Myrtle QTY: 42
- ⊕ Vitex QTY: 34
- ⊗ Nellie R. Stevens Holly
- ⊗ Texas Sage
- ⊗ Loropetalum
- ⊗ Dwarf Wax Myrtle
- ⊗ Compact Texas Sage
- ⊗ Dwarf Yaupon Holly / Indian Hawthorn
- ⊗ Loropetalum
- ⊗ Mexican Feather Grass
- ⊗ Dwarf Hamlin Grass
- ⊗ Needlepoint Holly
- ▨ Muhly Grass
- ▨ Salvia Greggii
- ▨ Purple Wintercreeper

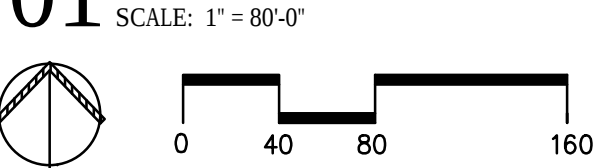
NOTE 1:
Contact John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346 prior to beginning any work in the town's R.O.W.

Contractor is responsible for repairing any damage to existing town irrigation systems.

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids, purple bubblers, purple drip tubing, and purple caps on all irrigation heads. R.O.W irrigation shall be on separate valves from the remainder of the system.

Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit through the building department. The plans will be approved at the time the permit is pulled.

01 CONCEPTUAL LANDSCAPE SITE PLAN



architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

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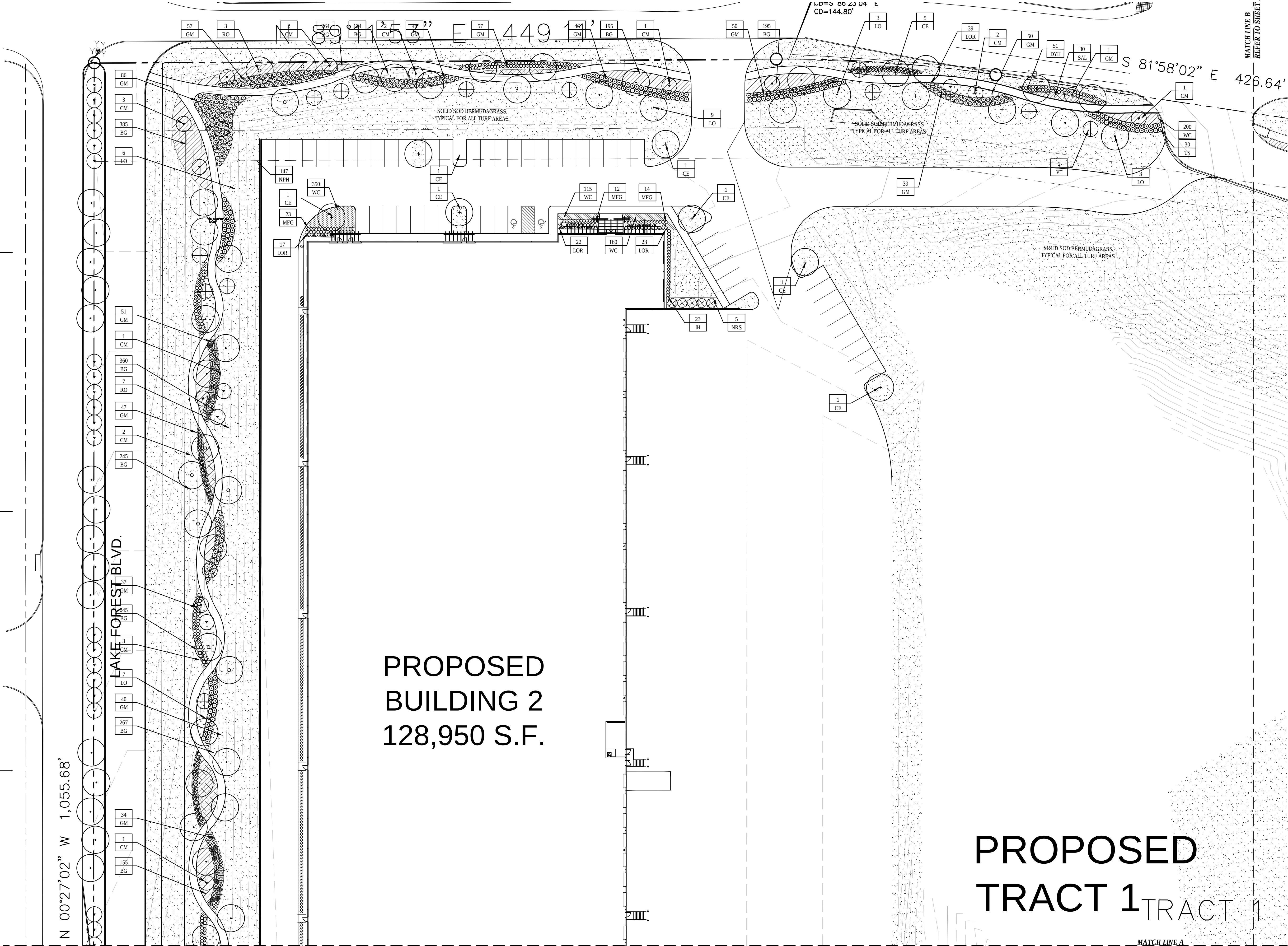
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SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015

SHEET: L1.01



PLANT LEGEND

QUANTITY	PLANT TYPE
SYMBOL	PLANT TYPE
CE	Cedar Elm
CM	Cree Myrtle
LO	Live Oak
RO	Red Oak
TS	Compact Texas Sage
DHG	Dwarf Hamlin Grass
DWM	Dwarf Wax Myrtle
DYH	Dwarf Yaupon Holly
GM	Gulf Muhly Grass
IH	Indian Hawthorn 'Clara'
LOR	Loropetalum
MFG	Mexican Feather Grass
NPH	Needlepoint Holly
NRS	Nellie R. Stevens Holly
SAL	Salvia Greggii
VT	Vitex
WC	Purple Wintercreeper

PLANT KEY

+	Cedar Elm
o	Red Oak
.	Live Oak
▼	Cree Myrtle
⊕	Vitex
⊗	Nellie R. Stevens Holly
⊙	Texas Sage
⊛	Loropetalum
⊞	Dwarf Wax Myrtle
⊟	Compact Texas Sage
⊠	Dwarf Yaupon Holly / Indian Hawthorn
⊡	Loropetalum
⊢	Mexican Feather Grass
⊣	Dwarf Hamlin Grass
⊤	Needlepoint Holly

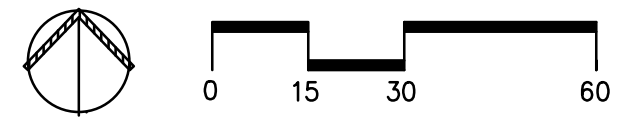
	Muhly Grass
	Salvia Greggii
	Purple Wintercreeper

PROPOSED TRACT 1

MATCH LINE A
REFER TO SHEET L1.05

MATCH LINE B
REFER TO SHEET L1.04

01 CONCEPTUAL LANDSCAPE SITE PLAN
SCALE: 1" = 30'-0"



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SILVERON DC 1 & 2
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Flower Mound, Texas 75028

CLIENT:

JOB #:

REVISIONS:

SEAL:

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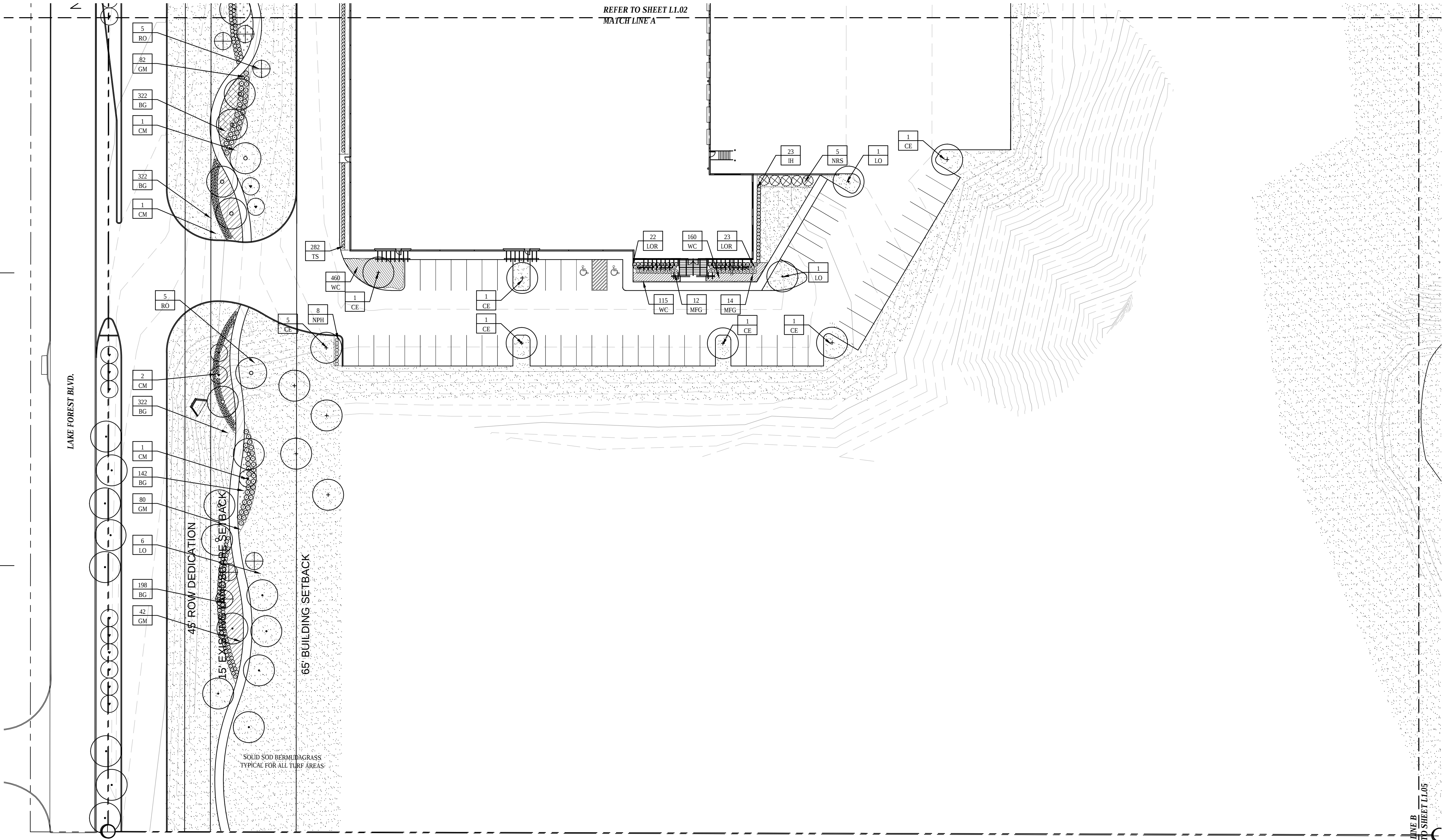
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SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015
SHEET: L1.02



S 89°40'23" W 775.49'

N 22°12'21" W 1

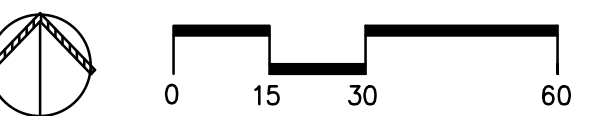
MATCH LINE B
REFER TO SHEET L1.05

PLANT LEGEND	
QUANTITY	PLANT TYPE
SYMBOL	PLANT TYPE
CE	Cedar Elm
CM	Crepe Myrtle
LO	Live Oak
RO	Red Oak
TS	Compact Texas Sage
DHG	Dwarf Hamlin Grass
DWM	Dwarf Wax Myrtle
DYH	Dwarf Yaupon Holly
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IH	Indian Hawthorn 'Clara'
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NPH	Needlepoint Holly
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SAL	Salvia Greggii
VT	Vitex
WC	Purple Wintercreeper

PLANT KEY	
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Muhly Grass
Salvia Greggii
Purple Wintercreeper

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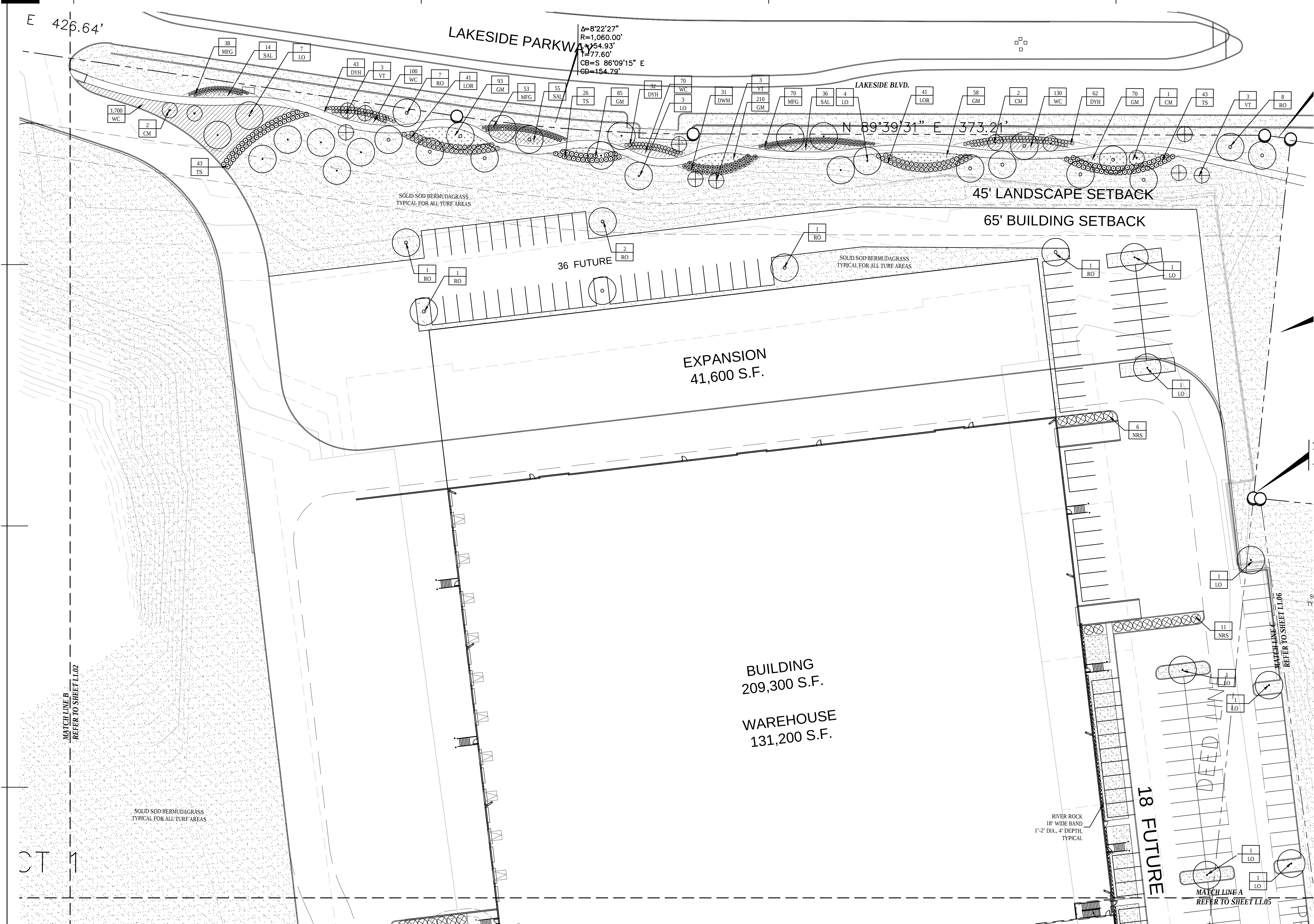


SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015

SHEET: L1.03



PLANT LEGEND

QUANTITY	PLANT TYPE
SYMBOL	PLANT TYPE

CE	Cedar Elm
CM	Crape Myrtle
LO	Live Oak
RO	Red Oak
TS	Compact Texas Sage
DHG	Dwarf Hamlin Grass
DWM	Dwarf Wax Myrtle
DYH	Dwarf Yaupon Holly
GM	Gulf Muhly Grass
IH	Indian Hawthorn 'Clara'
LOR	Loropetalum
MFG	Mexican Feather Grass
NPH	Needlepoint Holly
NRS	Nellie R. Stevens Holly
SAL	Salvia Greggii
VT	Vitex
WC	Purple Wintercreeper

PLANT KEY

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.	Live Oak
▼	Crape Myrtle
⊕	Vitex
⊗	Nellie R. Stevens Holly
⊙	Texas Sage
⊛	Loropetalum
⊜	Dwarf Wax Myrtle
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⊠	Loropetalum
⊡	Mexican Feather Grass
⊢	Dwarf Hamlin Grass
⊣	Needlepoint Holly

⊞	Muhly Grass
⊡	Salvia Greggii
⊢	Purple Wintercreeper

01 CONCEPTUAL LANDSCAPE SITE PLAN

SCALE: 1" = 30'-0"

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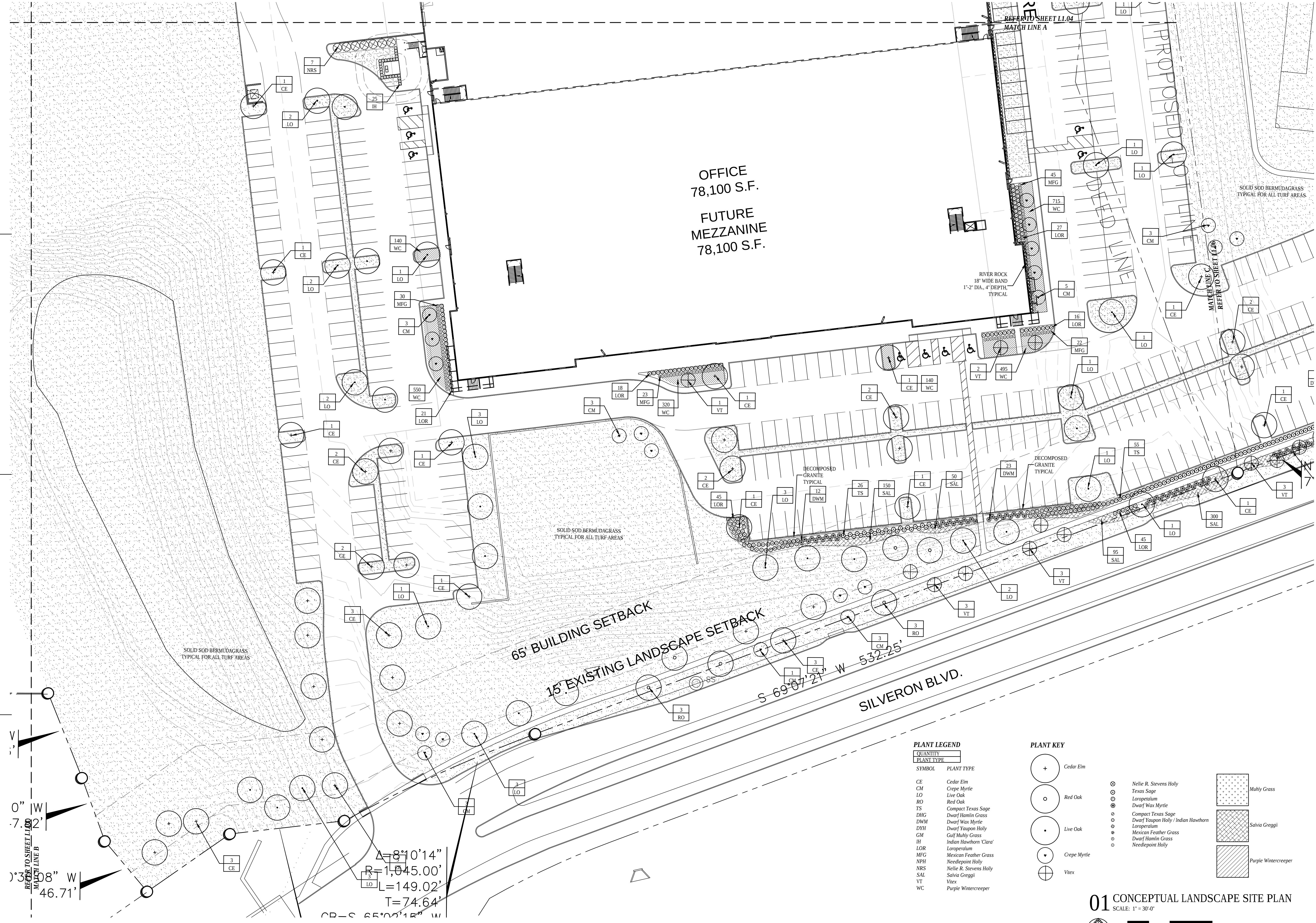


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CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015

SHEET: L1.04



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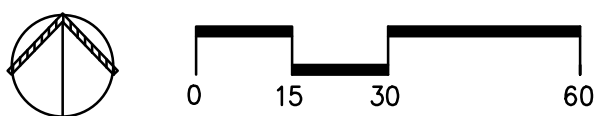
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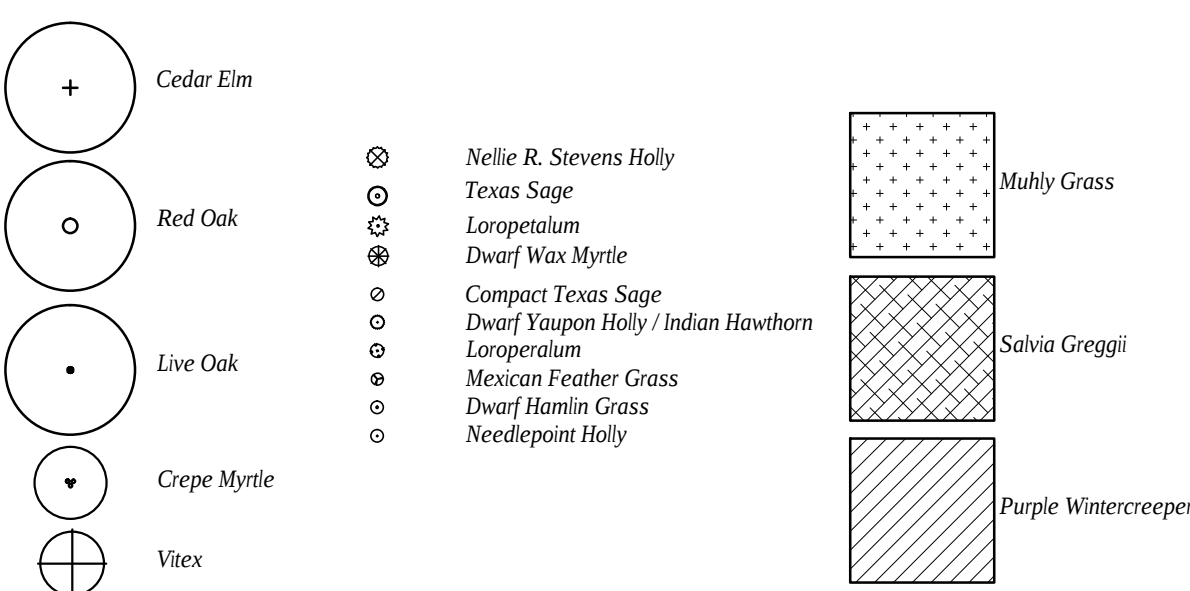
SHEET CONTENTS:
CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015
SHEET: L1.05



SYMBOL	PLANT TYPE
CE	Cedar Elm
CM	Crepe Myrtle
LO	Live Oak
RO	Red Oak
TS	Compact Texas
DHG	Dwarf Hamlin
DWM	Dwarf Wax Myrtle
DYH	Dwarf Yaupon
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LOR	Loropetalum
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NRS	Nellie R. Stewart
SAL	Salvia Greggii
VT	Vitex
WC	Purple Wintercreeper

PLANT KEY



01 CONCEPTUAL LANDSCAPE SITE PLAN

SCALE: 1" = 30'-0"

architecture

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214.261.9060

CLIENT:

JOB #

REVISIONS:

SEAL.

SILVERON DC 1 & 2

**Lakeside Parkway
Flower Mound, Texas 75028**

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SHEET CONTENTS:

CONCEPTUAL LANDSCAPE PLAN

DATE: August 28, 2015

SHEET: **L1.06**

SECTION 02800 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. (Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- Remove rejected plant material immediately from site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

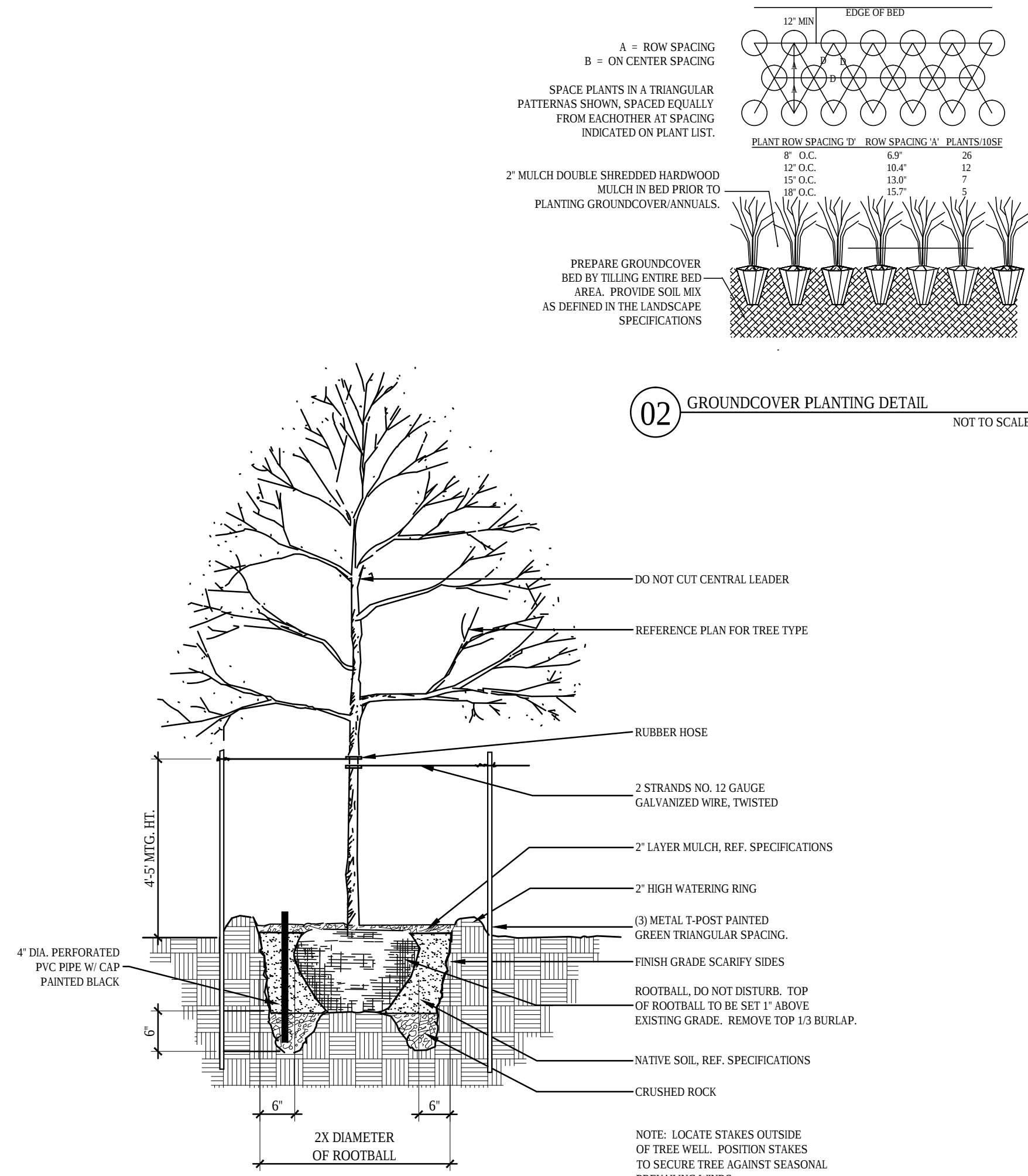
- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term "trunk-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

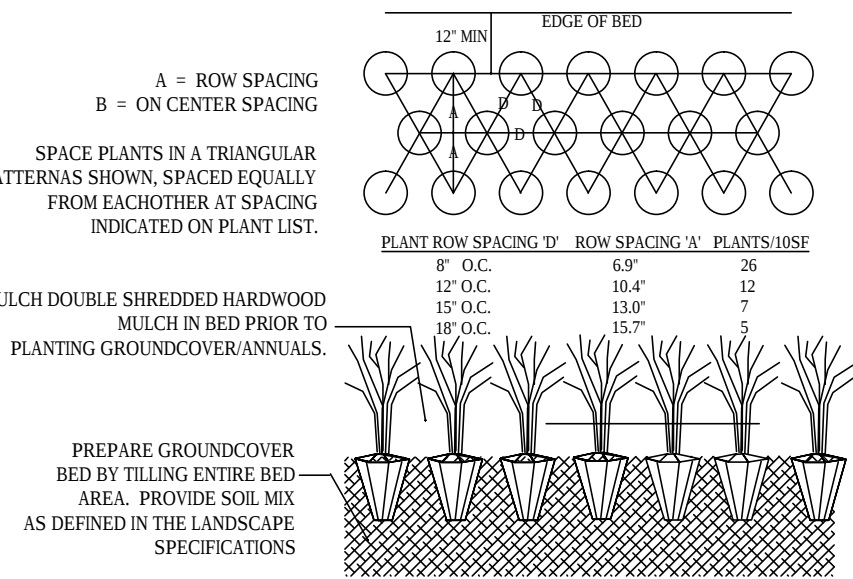
- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertalid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

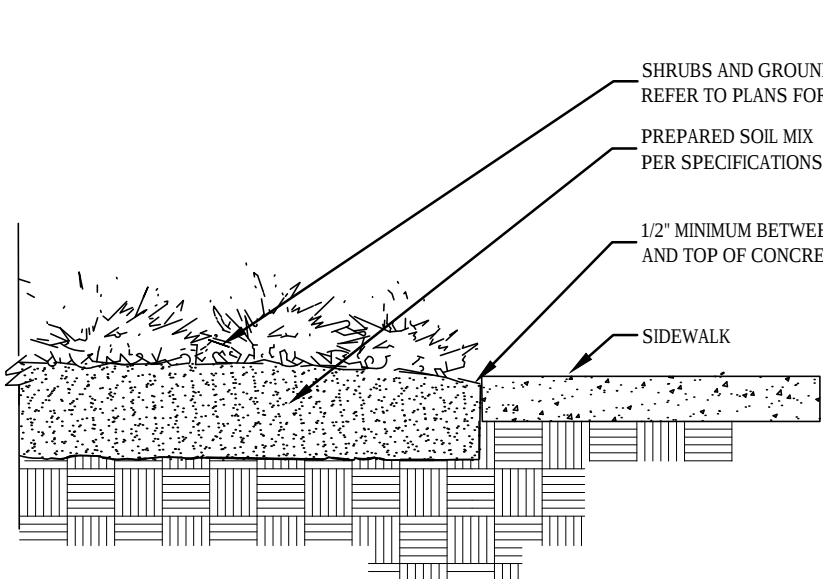
- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armco with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 3/4 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Lottland Co., (214) 631-5250 or approved equal.



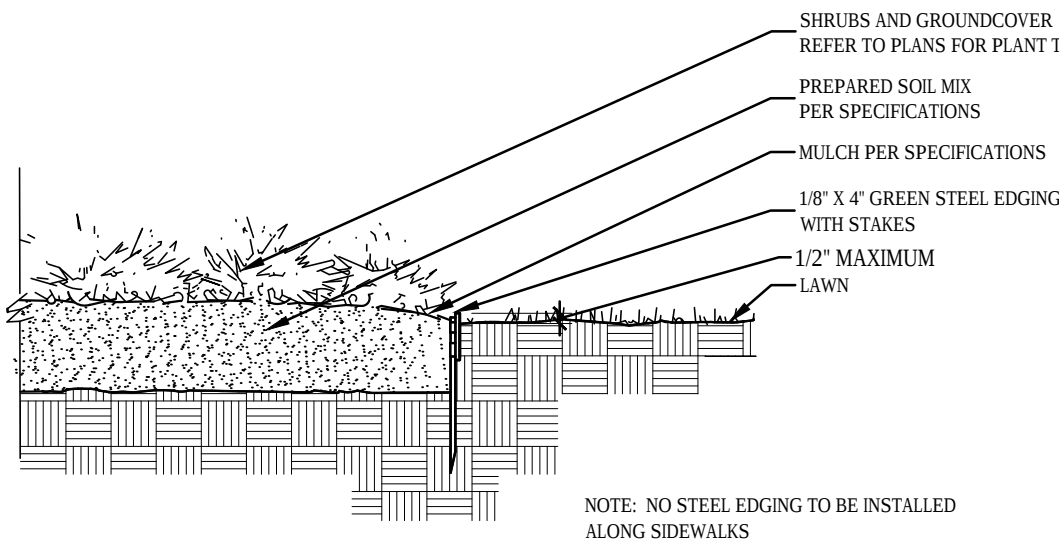
01 TREE PLANTING DETAIL
NOT TO SCALE



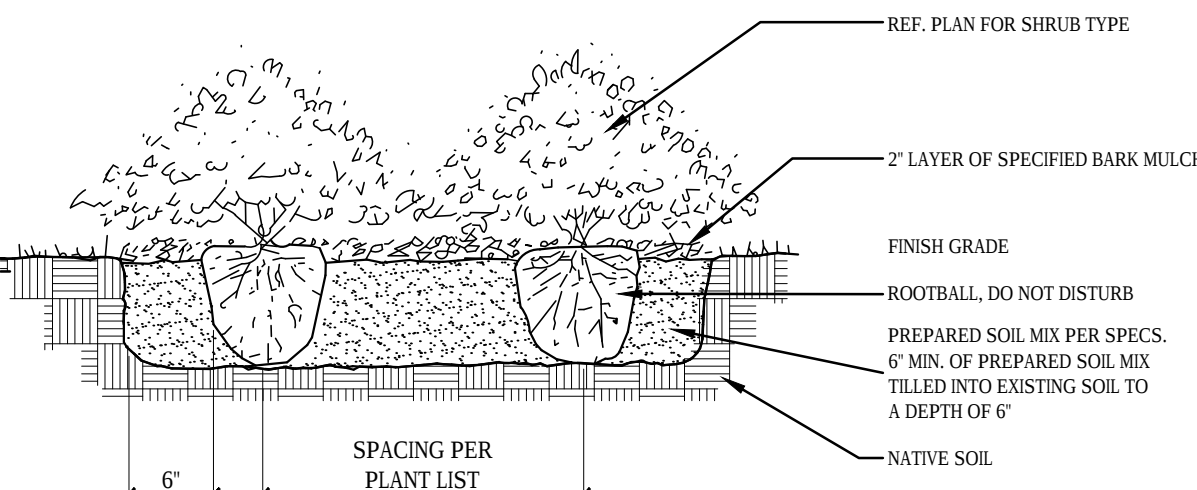
02 GROUND COVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
no steel along sidewalks NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

CLIENT:

JOB # :

1 07.17.15 City Submittal

2

3

4

5

6

7

8

9

REVISIONS:



SEAL:

SHEET CONTENTS:

LANDSCAPE SPECIFICATIONS

DATE: August 28, 2015

SHEET: L1.07

ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

	COLOR PT-1: SHERWIN WILLIAMS - SW 7036 Accessible Beige
	COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
	COLOR PT-3: SHERWIN WILLIAMS - SW 7039 Virtual Taupe
	COLOR PT-4: SHERWIN WILLIAMS - SW 7040 Smokehouse
	STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE

MARK	NAME	DESCRIPTION	COMMENTS
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM	
GL-1	GLASS	1" INSULATED GRAYLITE II GLASS	
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER	
PT-1	CONCRETE TILTWALL PANEL	SW 7009 PEARLY WHITE	MEDIUM TEXTURED
PT-2	CONCRETE TILTWALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED

MATERIALS TABLE - BUILDING 1

		NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	16,785 SF	17,393 SF	21,889 SF	25,277 SF
2.	FACADE S.F. (MINUS DOORS AND WINDOWS)	16,689 SF	12,669 SF	19,071 SF	21,061 SF
3.	DOORS AND WINDOWS S.F.	96 SF	4,724 SF	2,818 SF	4,216 SF
4.	PRIMARY MASONRY TOTALS (MIN. 80%)	16,689 SF / 100%	12,669 SF / 100%	19,071 SF / 100%	21,061 SF / 100%
	- BRICK S.F. (AS APPLICABLE)	0 SF / 100%	0 SF / 100%	0 SF / 100%	0 SF / 100%
	- STONE S.F. (AS APPLICABLE)	2,145 SF / 12.9%	2,433 SF / 19.2%	0 SF / 100%	0 SF / 100%
	- TILTWALL S.F. (AS APPLICABLE)	14,544 SF / 87.1%	10,236 SF / 80.8%	19,071 SF / 100%	21,061 SF / 100%
5.	SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- HARDPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



Crow Holdings
INDUSTRIAL

3819 Maple Ave. Dallas TX 75219
P: 214.661.8341 | C: 214.766.1024
www.crowholdingsindustrial.com

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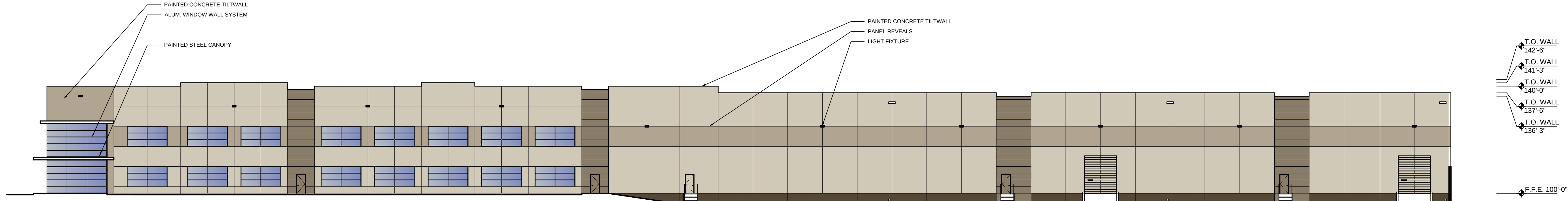
architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

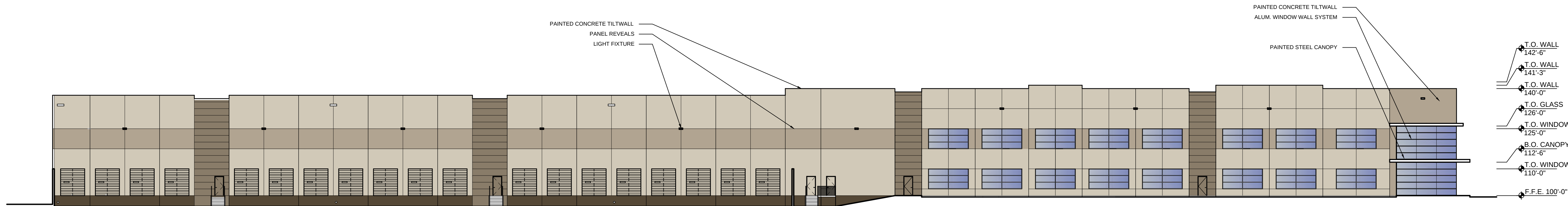
16 CONCEPTUAL EAST ELEVATION

Scale: 1" = 20'-0"



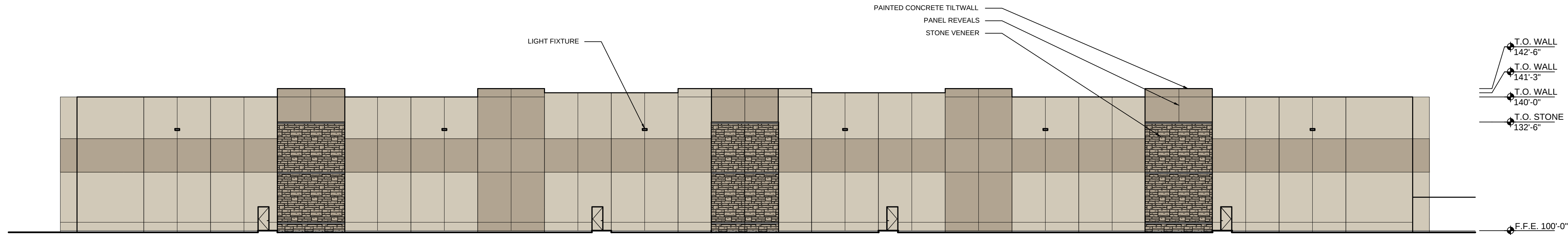
12 CONCEPTUAL WEST ELEVATION

Scale: 1" = 20'-0"



08 CONCEPTUAL NORTH ELEVATION

Scale: 1" = 20'-0"



04 CONCEPTUAL SOUTH ELEVATION

Scale: 1" = 20'-0"



SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

CLIENT:

JOB # :

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5	10.06.15	City Comments
6	10.27.15	City Comments
7	11.16.15	City Comments
8	12.01.15	City Comments
9	01.04.16	City Comments

REVISIONS:

SEAL:



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SHEET CONTENTS:
CONCEPTUAL
ELEV. BLDG. 1

DATE: January 4, 2016

SHEET:

A7.01

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ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

- COLOR PT-1: SHERWIN WILLIAMS - SW 7009 Pearly White
- COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
- STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE				MATERIALS TABLE - BUILDING 2					
MARK	NAME	DESCRIPTION	COMMENTS			NORTH	SOUTH	EAST	WEST
				1.	TOTAL FACADE S.F.	9,550 SF	9,550 SF	25,080 SF	24,390 SF
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM		2.	FACADE S.F. (MINUS DOORS AND WINDOWS)	8,580 SF	8,580 SF	21,453 SF	23,464 SF
GL-1	GLASS	1" INSULATED GRAYLITE II GLASS		3.	DOORS AND WINDOWS S.F.	970 SF	970 SF	3,627 SF	926 SF
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER		4.	PRIMARY MASONRY TOTALS (MIN. 80%)	8,580 SF / 100%	8,580 SF / 100%	21,453 SF / 100%	23,464 SF / 100%
PT-1	CONCRETE TILTWALL PANEL	SW 7009 PEARLY WHITE	MEDIUM TEXTURED		- BRICK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
PT-2	CONCRETE TILTWALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED		- STONE S.F. (AS APPLICABLE)	970 SF / 11.3%	970 SF / 11.3%	0 SF / 0%	1,488 SF / 6.3%
ST-1	STONE VENEER	AUSTIN STONE			- TILTWALL S.F. (AS APPLICABLE)	7,610 SF / 88.7%	7,610 SF / 88.7%	21,453 SF / 100%	21,976 SF / 93.7%
				5.	SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- HARDIPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
					- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



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AZIMUTH:

architecture

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11 BUILDING 2 EAST CONCEPTUAL ELEVATION

Scale: 1" = 20'-0"

PAINTED CONCRETE TILTWALL PT-2
PAINTED CONCRETE TILTWALL PT-1
ALUM. STOREFRONT AL-1

07 BUILDING 2 WEST CONCEPTUAL ELEVATION

Scale: 1" = 20'-0"

AUSTIN STONE VENEER ST-1
PAINTED CONCRETE TILTWALL PT-1
PAINTED CONCRETE TILTWALL PT-2
ALUM. STOREFRONT AL-1

NOTE: OVERALL BUILDING HEIGHT IS 40'

02 BUILDING 2 NORTH CONCEPTUAL ELEVATION (SOUTH O.H.)

Scale: 1" = 20'-0"

PAINTED CONCRETE TILTWALL PT-1
PAINTED CONCRETE TILTWALL PT-2
ALUM. STOREFRONT AL-1
AUSTIN STONE VENEER ST-1
PAINTED STEEL TRELISS
PANEL REVEALS
PANEL FORM LINER
WALL SCONCE LIGHT FIXTURE

T.O. WALL 140'-0"
T.O. WALL 138'-9"
T.O. GLASS 130'-0"
T.O. GLASS 122'-6"
T.O. WALL 120'-0"
T.O. TRELESS 112'-6"
T.O. GLASS 110'-0"
F.F.E. 100'-0"

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

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9	12.28.15	City Comments



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CONCEPTUAL
ELEV. BLDG. 2

DATE: December 28, 2015

SHEET:

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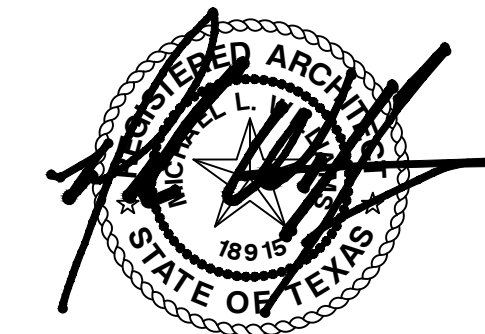
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SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

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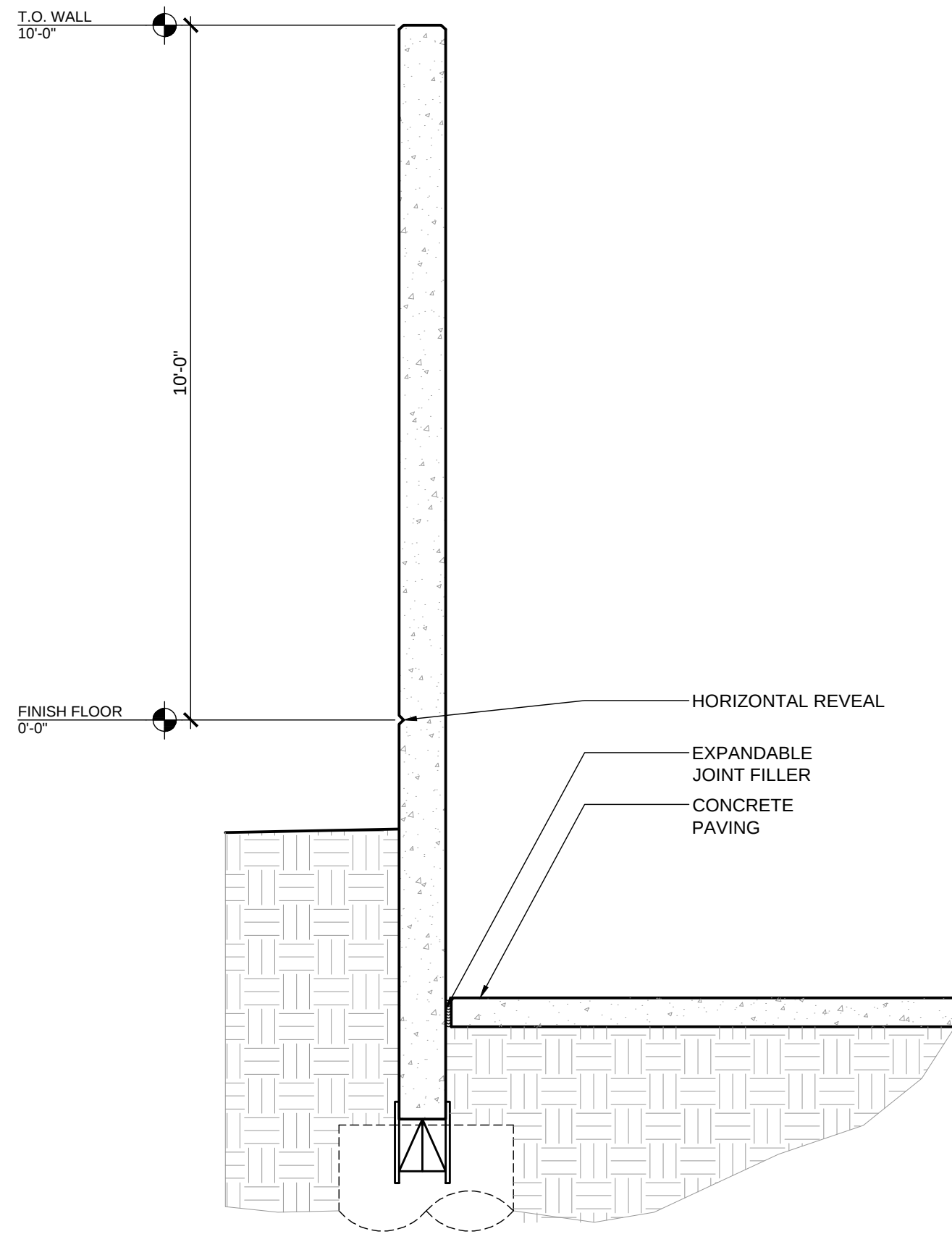
CONCEPTUAL
BLDG. SECT.

DATE: December 28, 2015

SHEET:

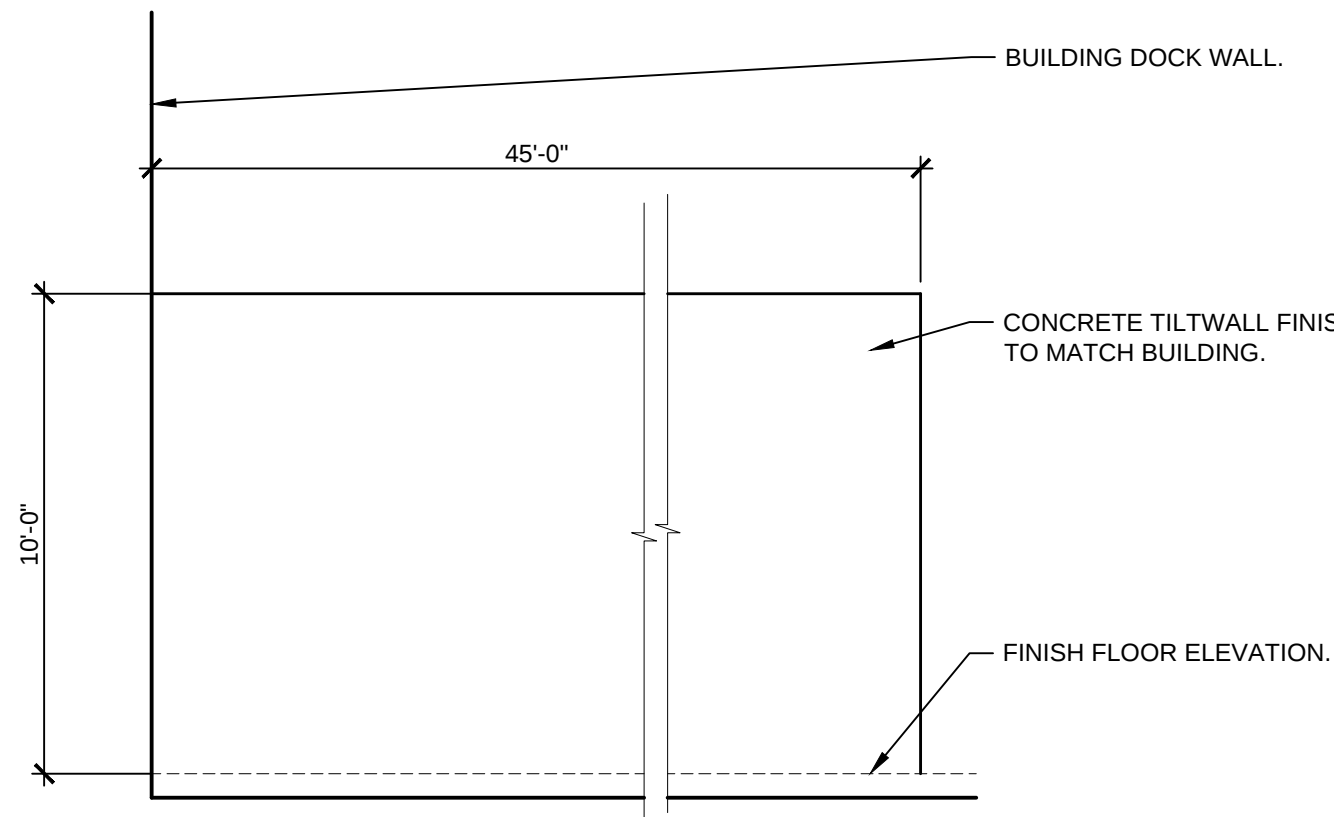
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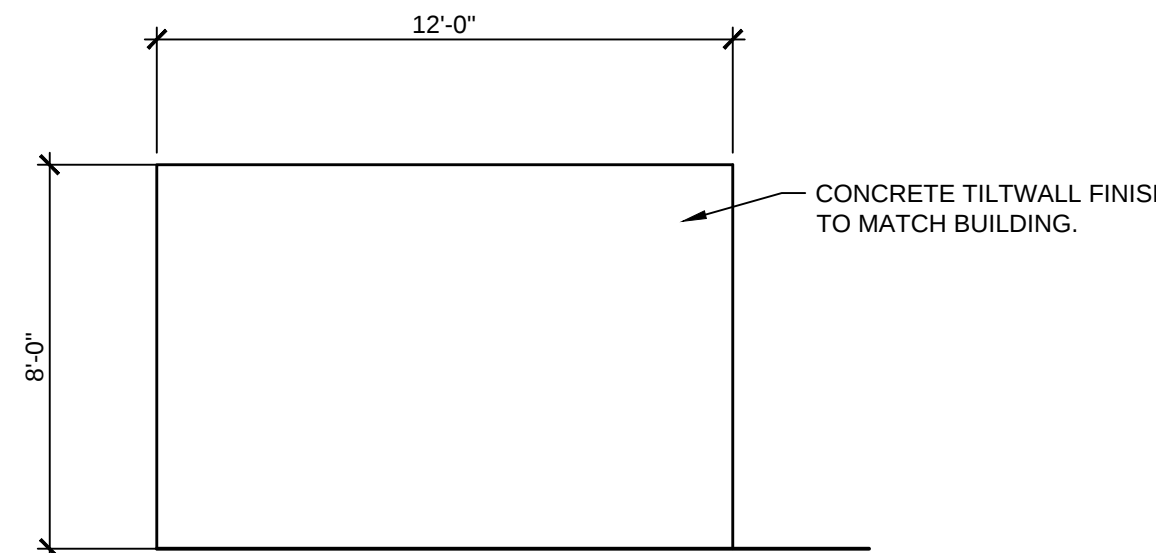
08 SCREEN WALL SECTION

Scale: 1/2" = 1'-0"



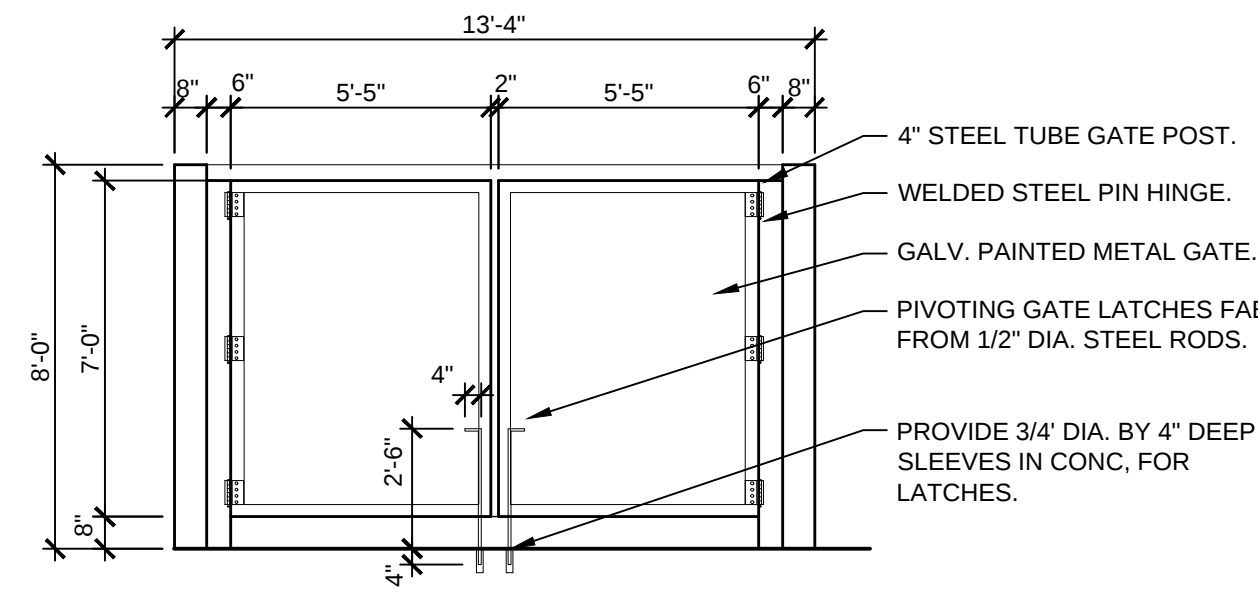
06 TRASH ENCLOSURE SIDE ELEV.

Scale: 1/4" = 1'-0"



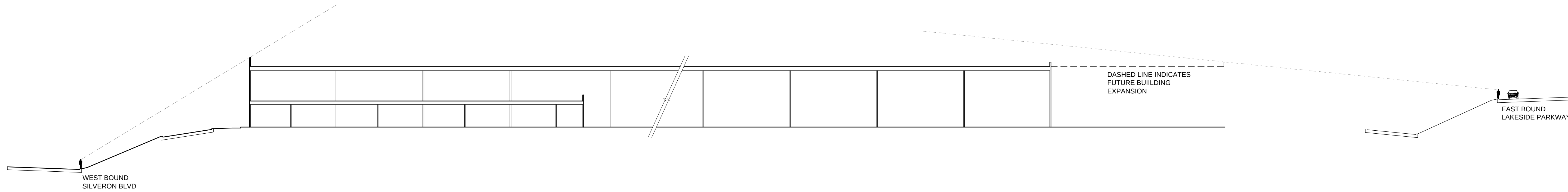
06 TRASH ENCLOSURE SIDE ELEV.

Scale: 1/4" = 1'-0"



05 TRASH ENCLOSURE GATE ELEV.

Scale: 1/4" = 1'-0"



04 CONCEPTUAL BUILDING SECTION WITH SIGHT LINES

Scale: 1" = 30'-0"

DEVELOPMENT STANDARDS
Planned Development District No. 145
for Campus Industrial Uses

Silveron Industrial

The development as described in Exhibit “XX” shall be developed in accordance with the Town’s Master Plan and Land Development Regulations, as amended, and shall be subject to the following conditions and requirements:

A. PERMITTED USES

Campus Industrial District (CI) uses. Development of Silveron Industrial comprising approximately 41.04 acres land, shall comply with all regulations applicable to the Campus Industrial District (CI) uses in the Land Development Regulations, as amended, except as otherwise provided in this ordinance.

B. DIMENSIONAL REGULATIONS

The dimensional regulations for this Planned Development shall comply with Campus Industrial District (CI) uses and/or as depicted in Exhibit XX.

C. ARCHITECTURAL STANDARDS

1. Roof pitches shall conform to the Town's Master Plan. Sloped roofing shall be required for structures 15,000 square feet in area and less. Buildings of one or two stories over 15,000 square feet in area may have a flat or low-slope roof, but shall use a parapet wall or mansard roof along the building perimeter, so that the flat or low-slope roof and any roof top mounted mechanical equipment is not visible from the public right-of-way or from neighboring residential buildings.
2. Contrasting wall planes, architectural elements, and rooflines shall be used to create exemplary and enduring elevations. Building entries will be identified by various architectural features including arches,

canopies, and portals.

3. All building elevations will be articulated to meet or exceed the Town of Flower Mound Urban Design Plan. Buildings will reflect an architectural prominence, with particular attention being paid to architectural quality on the facades, rooflines, and elevations visible from adjacent roadways.
4. Franchise utility panels and connection points shall be painted to match the color and texture of the building and located so that they are not visible from public roadways, except that Franchise utility panels and connection points facing Arterial Roadways will be kept at a minimum and adequately screened, with additional landscaping or other approved material during the Site Plan approval process, to obstruct visibility from adjacent roadways.
5. Specific Building Material Standards shall include:
 - a. A minimum of eighty percent (80%) of the building wall area (not including doors and windows) shall be of a primary masonry identified within the Town's Urban Design Plan. Up to twenty percent (20%) of any wall surface material may be stucco, fiber cement board, cementitious plaster, E.I.F.S., CMU, or a combination of all.
 - b. The use of exposed standard concrete shall not be utilized for any elevation.
 - c. Unpainted metal, galvanized metal, or metal subject to rusting shall not be used. All exposed metals shall have a factory-applied finish if available.
 - d. Outward facing mirrored glass shall not be used.
 - e. Not more than fifteen percent (15%) of any elevation shall be comprised of a color that is not considered an earth or wood tone. White or shades of white shall be considered an earth tone color.

D. LANDSCAPE BUFFER AND SCREENING REQUIREMENTS

1. Landscaping and buffering shall be provided in a consistent manner as shown on Exhibit XX.
2. All loading areas shall be completely screened from public right-of-ways by a screen wall, which is of adequate length and height to completely enclose a delivery vehicle parked in a loading area. Additionally, berms and landscaping may be used to enhance screening and soften screen walls.

E. MISCELLANEOUS STANDARDS

1. Storm water storage facilities may include detention and/or retention ponds provided that retention ponds shall include aeration. Detention or retention ponds may include either sloped edges or hard edges comprised of stacked stone, stone veneer, cut stone or faux stone that complement the development. No exposed concrete is permitted.
2. All site retaining walls shall utilize stacked stone, stone veneer, cut stone, or faux stone that complements the material standards and colors for the development.
3. If the development of PD-145 includes phasing of any nature, such phasing shall be detailed in the subsequent development application, be it a Development Plan, Record Plat, or a Site Plan.
4. Open Space Amenity and Pedestrian connectivity requirements within Planned Development District 145 shall incorporate the standards for such space as described by the Town's Urban Design Plan.

F. EXCEPTIONS

The following exceptions shall be granted with the approval of the Planned Development District:

1. Exceptions to the access management policy and criteria regarding driveway spacing contained in the Town's Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances as shown in Exhibit XX.
2. Exceptions to Topographic Slope Protection: An exception to Section 98-147, Topographical Slope Protection is granted for approximately 3.86 acres of land that have topographic slopes of between 5% and 12% and are not within 5 feet of the structure and for approximately 0.56 acres of land that have topographic slopes greater than 12% that will be impacted by the proposed development. These numbers may be adjusted with minor changes prior to record plat approval for each phase of the development. The developer shall provide detailed drawings that illustrate the impact of the proposed development on the natural topography and the manner by which the development is integrated into, reflects and maintains the overall integrity of the natural topography with subsequent record plat applications. In addition, the developer shall conform with the following requirements with subsequent record plat applications:
 - a. The identification of those specific Best Management Practices ("BMPs") that will be used to maintain and responsibly integrate the development into the natural topography together with an explanation regarding their use within the plans for such development. The BMPs to be used shall include, but are not limited to, those BMPs found within the Town's Engineering Design and Construction Standards.
 - b. While recognized as a potential BMP, the use of retaining walls should be kept to a minimum. Any retaining wall four foot (4') or greater in height shall be designed by a professional engineer licensed by the State of Texas.



TECHNICAL MEMORANDUM

To: Mr. Will Mundinger – Crow Holdings Industrial

From: Steve E. Stoner, P.E., PTOE – Pacheco Koch

Date: January 4, 2016

RE: Parking Study for Silveron Development (Eastern Building)

INTRODUCTION

The services of Pacheco Koch, LLC were retained by Crow Holdings Industrial to assess the parking needs for a portion of the Silveron DC 1&2 development on Lakeside Parkway in Flower Mound, Texas. Rezoning the property to Planned Development District No. 31 with Campus Industrial Uses is proposed. This parking analysis is being prepared pursuant to the requirements of the Town of Flower Mound Code of Ordinances, Section 82-73 (3,4).

Pacheco Koch is a consulting firm based in Dallas, Texas, providing licensed professional engineers skilled in traffic/transportation engineering and parking analyses.

PROJECT DESCRIPTION

The eastern building of the Silveron DC 1 & 2 warehouse/office development is depicted on the attached Conceptual Site Plan prepared by Azimuth Architecture. The initial construction will consist of 78,100 SF of office space and 131,200 SF of warehouse. A future, 41,600-SF expansion of the warehouse space is planned. For this scenario, the tenant anticipates a parking need for 403 parking spaces as depicted in the attached Conceptual Site Plan prepared by Azimuth Architecture.

The opportunity also exists to increase (double) the office space on a mezzanine level inside the building. Though this scenario is not currently proposed, this "potential maximum" scenario is also depicted in the Conceptual Site Plan with 490 potential parking spaces.

CODE PARKING REQUIREMENT

The parking criteria defined in Section 82-74 of the Development Code calls for one parking space per 300 square feet of office use and one parking space per 2,000 square feet of warehouse use. Application of the default parking requirements (i.e., base code) for each scenario is summarized in **Table 1**.

Table 1. Base Code Parking Requirement
(Data provided by Azimuth Architecture)

Land Use	Rate	Initial Construction		Expanded Building		Potential Maximum	
		Amount	Spaces Required	Amount	Spaces Required	Amount	Spaces Required
Office	1 spaces per 300 GSF	78,100 SF	260	78,100 SF	260	156,200 SF	520
Warehouse	1 space per 2,000 SF	131,200 SF	66	172,800 SF	86	172,800 SF	86
SUBTOTAL	--	209,200 SF	326	205,900 SF	346	329,000 SF	606
Allowable Range	-20%	--	261 [-65]	--	277 [-69]	--	485 [-121]
	+20%	--	391 [+65]	--	415 [+69]	--	727 [+121]

NOTE: Truck loading docks are in addition to the vehicular parking supply.

PUBLISHED PARKING DATA

The Institute of Transportation Engineers *Parking Generation* manual (4th Edition) provides published data summarizing the projected peak parking demand for various land uses based upon data collected around the country over several years. Although not all land uses are listed in the Manual, and some of the listed uses only contain very limited data sets, *Parking Generation* may provide a reference point for estimating peak parking demand.

The following table summarizes the potentially applicable data for the subject land use.

Table 2. ITE Parking Generation Data (for reference)

Land Use	ITE Description	ITE Peak Parking Rate (Study Sample Size)	Projected Peak Parking Demand for Subject Use Using ITE Rate (at Full Buildout)
Warehousing	<i>Warehouses are primarily devoted to the storage of material but may also include office and maintenance areas.</i>	0.51 vehicles per 1,000 GSF (14)	168
Manufacturing	<i>Manufacturing facilities are areas where the primary activity is the conversion of raw material or parts into finished projects. Size and type of facility may vary substantially. In addition, facilities also have office, warehouse, research and associated functions.</i>	1.02 vehicles per 1,000 GSF (3)	336

SUMMARY

The eastern building of the proposed Silveron DC 1 & 2 warehouse/office development will initially provide 403 parking spaces, which will accommodate the tenants parking needs through the planned warehouse expansion phase. Based upon the Town of Flower Mound code requirements, the facility is required to provide between 277 and 415 parking spaces.

At (potential) maximum buildout, the development is required to provide between 485 and 727 parking spaces. Under this scenario the site can accommodate a minimum of 490 parking spaces, which is within the Town's parking requirement.

Table 3. Proposed Parking Supply
(Data provided by Azimuth Architecture)

Scenario	Initial Construction	Expanded Building	Potential Maximum
Parking Spaces Required (+/- 20% Range)	261 - 391	277 - 415	485 - 727
Proposed Parking Spaces	403	403	490
Within Range?	NO*	YES	YES

* Parking supply in the initial construction phase exceeds standard range by twelve (12) spaces since parking for the planned building expansion is included per the request of the building's tenant.

No adjustments to the proposed parking supply are required.

NOTE: Both the proposed parking supply and the Town's parking requirement are higher than the projected parking peak demand based upon ITE *Parking Generation* data; although, ITE acknowledges that each facility has unique parking needs.

END

SES/smm
2283-15.162_Technical Memo

SITE DATA

SITE AREA PROPOSED LOT 1 =	1,603,400 S.F. / 36.809 AC.
SITE AREA PROPOSED LOT 2 =	184,221 S.F. / 4.229 AC.
BUILDING 1 AREA =	209,300 S.F.
BUILDING 1 AREA FUTURE OFFICE =	78,100
BUILDING 1 AREA WAREHOUSE EXPANSION =	41,600
BUILDING 1 AREA TOTAL =	329,000
BUILDING 2 AREA =	128,950 S.F.
TOTAL BUILDING AREA =	457,950 S.F.
COVERAGE =	25.62%
TOTAL PARKING REQUIRED W/OUT 20% REDUCTION =	728
TOTAL PARKING REQUIRED WITH 20% REDUCTION =	582
TOTAL PARKING PROVIDED =	604

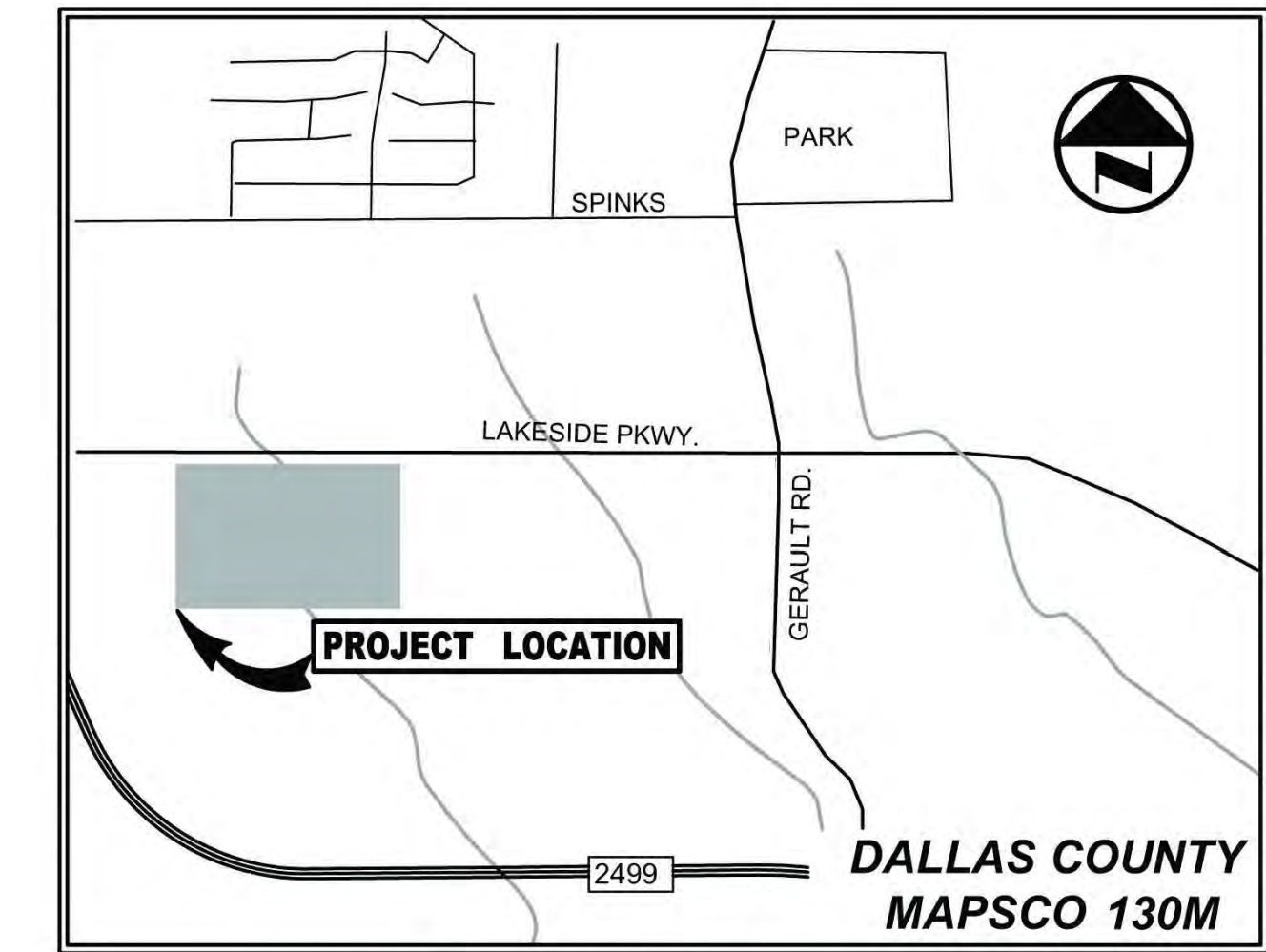
BUILDING FEATURES

- BUILDING 1:
- PAINT FINISH CONCRETE TILTWALL BUILDING WITH STONE FEATURES
 - PAINTED STEEL CANOPIES AT OFFICE ENTRIES
 - 50' X 50' TYPICAL BAY
 - (19) 10' X 10' O.H. DOCK DOORS
 - 32' CLEAR HEIGHT - TOTAL BUILDING HEIGHT 42'-6"
 - E.S.F.R. FIRE PROTECTION SYSTEM

- BUILDING 2:
- PAINT FINISH CONCRETE TILTWALL BUILDING WITH STONE FEATURES
 - PAINTED STEEL CANOPIES AND TRELLIS AT OFFICE ENTRIES
 - 50' X 50' TYPICAL BAY, 60' X 50' STAGING BAY
 - (32) 9' X 10' O.H. DOCK DOORS
 - 32' CLEAR HEIGHT - TOTAL BUILDING HEIGHT 40'
 - E.S.F.R. FIRE PROTECTION SYSTEM

GENERAL NOTES

- ALL RETAINING / DETAINING WALL, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- ALL GROUND BASED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
- DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE BUILDING.
- DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT.



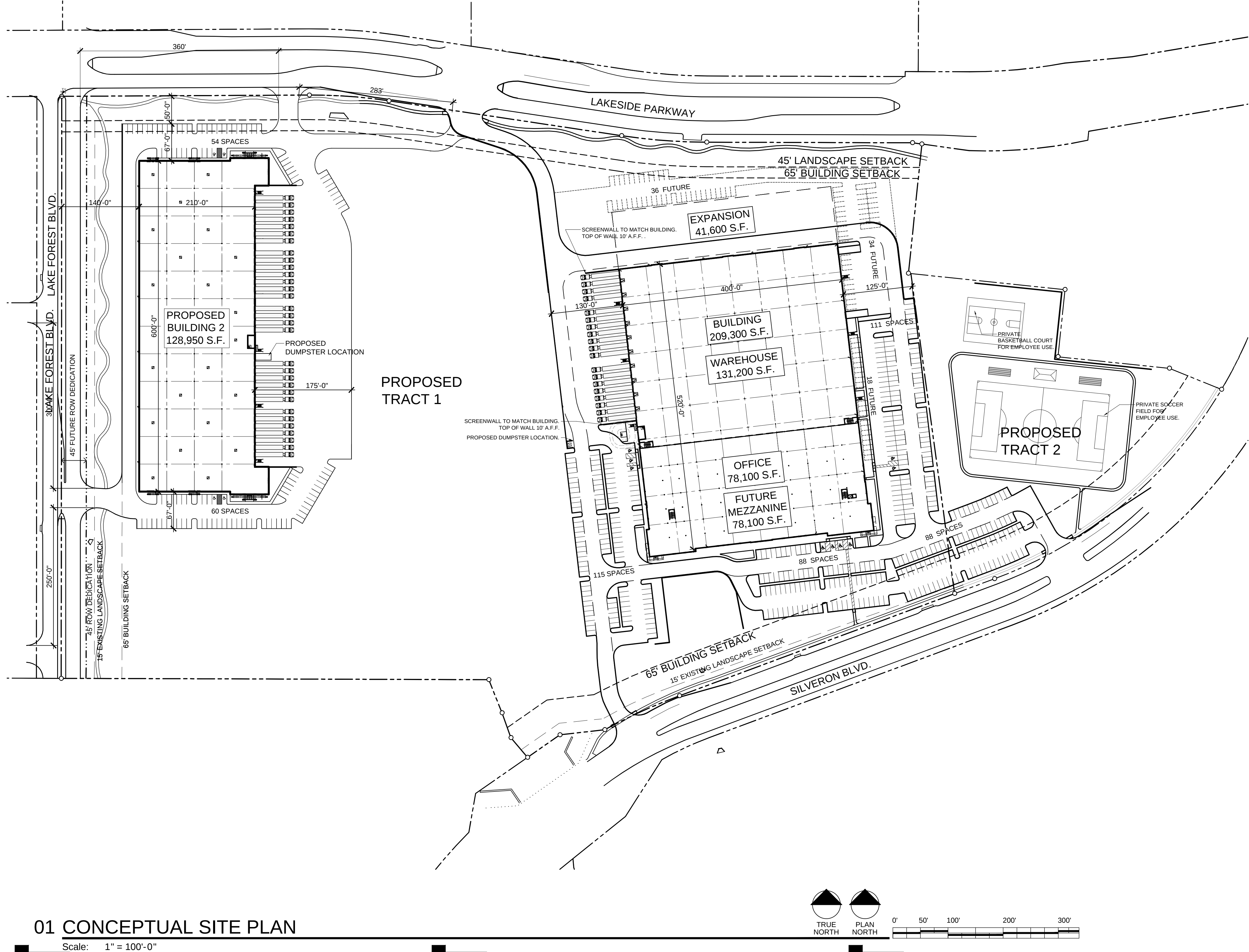
VICINITY MAP
(NOT TO SCALE)

PARKING TABULATIONS

BUILDING 1:			BUILDING 2:		
OFFICE = 78,100 SF	78,100 S.F.		128,950 SF X 15% OFFICE = 19,342 SF	19,342 S.F.	
OFFICE FUTURE = 78,100 SF	78,100 S.F.		128,950 SF X 90% WAREHOUSE = 109,608 SF	109,608 S.F.	
WAREHOUSE = 131,200 SF	131,200 S.F.		OFFICE PARKING 1:300 (19,342 / 300) = 64.5	65 SPACES	
WAREHOUSE EXPANSION = 41,600	41,600 S.F.		WH PARKING 1:2000 (109,608 / 2000) = 54.8	55 SPACES	
			TOTAL PARKING	120 SPACES	
			20% REDUCTION	24 SPACES	
			TOTAL PARKING REQUIRED	96 SPACES	
			TOTAL PARKING PROVIDED	114 SPACES	
OFFICE PARKING 1:300 (78,100 / 300) = 260	260 SPACES				
OFFICE PARKING FUTURE 1:300 (78,100 / 300) = 260	260 SPACES				
WH PARKING 1:2000 (131,200 / 2000) = 65.6	66 SPACES				
WH PARKING EXPAN. 1:2000 (41,600 / 2000) = 20.8	22 SPACES				
TOTAL PARKING	608 SPACES				
20% REDUCTION	122 SPACES				
TOTAL PARKING REQUIRED	486 SPACES				
TOTAL PARKING PROVIDED INCLUDING FUTURE	490 SPACES				

MASTER PLAN FEATURE

LAND USE PLAN	LAKESIDE BUSINESS DISTRICT
SPECIFIC PLAN	CAMPUS INDUSTRIAL
URBAN DESIGN PLAN	LAKESIDE BUSINESS DISTRICT
PARKS AND TRAILS	N/A
OPEN SPACE PLAN	N/A
THOROUGHFARE PLAN	LAKESIDE PARKWAY (MAJOR ARTERIAL) SILVERON BLVD. (URBAN MINOR ARTERIAL) LAKE FOREST BLVD. (URBAN MINOR ARTERIAL)
WATER PLAN	LAKESIDE BUSINESS DISTRICT
WASTEWATER PLAN	LAKESIDE BUSINESS DISTRICT
ECONOMIC IMPACT	N/A



01 CONCEPTUAL SITE PLAN

Scale: 1" = 100'-0"

AZIMUTH:

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

SILVERON DC 1 & 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

JOB # :	CLIENT:
REVISIONS:	
1 07.17.15	City Submittal
2 08.28.15	City Submittal
3 09.08.15	Pricing Set
4 09.18.15	City Comments
5 10.06.15	City Comments
6 10.27.15	City Comments
7 11.16.15	City Comments
8 12.01.15	City Comments
9 12.28.15	City Comments



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #18915
December 28, 2015 City Submittal
ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN
OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL
EXAMINERS.

SHEET CONTENTS:
CONCEPTUAL
SITE PLAN

DATE: December 28, 2015

SHEET:

A1.00

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101 E. Southwest Pkwy, Ste. 114
Lewisville, TX 75067
(972) 436-9669
FAX: (972) 436-9667

October 19, 2015

Will Munding
Crow Holdings Industrial
3819 Maple Avenue
Dallas, TX 75219

Subject: Environmental Protection Plan for the Proposed Silveron DC 1 and 2 Development,
Flower Mound, Denton County, Texas.

Dear Mr. Munding:

This Environmental Protection Plan (EPP) was prepared to satisfy the Town of Flower Mound (Town) development requirements for the proposed commercial development in Flower Mound (Proposed Silveron DC 1 and 2 Development). The project site is an approximately 36.8-acre tract of vacant property located within a developing area of Flower Mound. The property is located southwest of the intersection of Lakeside Parkway and Silveron Boulevard in Flower Mound, Denton County, Texas (**Figure 1**). The EPP summarizes a survey performed to identify Environmentally Sensitive Areas (ESAs) potentially present on the property. This EPP was developed in accordance with the Town of Flower Mound SMARTGrowth Program, Category E (6) Environmental Quality.

Site Description

On October 9, 2015 Jose Alvarez and John Kemmey, of KBA EnviroScience, Ltd. (KBA), performed a site investigation of the proposed development property to assess property condition and environmental features, and to determine whether there are any ESAs, as described in the SMARTGrowth Program, located on site. The proposed development design is provided as **Figure 2**.

The site consists of forest in the central and western portion of the site and mixed scrub-shrub and grasslands in the eastern portion of the site. Most of the site is dominated by upland trees, grasses, and forbs including Bermuda grass (*Cynodon dactylon*), cedar elm (*Ulmus crassifolia*), dallisgrass (*Paspalum dilatatum*), downy brome (*Bromus tectorum*), eastern red cedar (*Juniperus virginiana*), green ash (*Fraxinus pennsylvanica*), greenbriar (*Smilax bona-nox*), perennial rye (*Lolium perenne*), post oak (*Quercus stellata*), and mesquite (*Prosopis glandulosa*).

One ephemeral stream, three tributaries, three wetlands and a pond are located on site. Stream A enters the site through a culvert in the northern portion of the site and flows southeast into a pond and accompanying fringe wetland. A fringe wetland extends along Stream A as it enters the site through a culvert. Stream A flows southeast into a pond in the

central portion of the site. The stream then continues south out of the pond and exits in the southern portion of the site. A fringe wetland is also located around Stream A before it exits the site. A tributary, Tributary 1 originates onsite in the central portion of the site and flows southeast into Stream A. Tributary 2 enters the site through a culvert located in the southwestern portion of the site and flows east until it joins Stream A. Tributary 3 flows into the site in the southwestern portion of the site. Tributary 3 flows northeast until it flows into Tributary 2 (**Figure 3**).

Soils onsite consist of clay-loam and clay. Elevation of the project area ranges from 520 to 600 feet above mean sea level (msl) as indicated on the USGS topographic map (USGS 2014) (**Figure 4**).

A review of the US Fish and Wildlife Service National Wetland Inventory (NWI) Map (**Figure 5**), shows one Palustrine, Unconsolidated Bottom, Permanently Flooded, Diked/Impounded (PUBHh) feature present on property. No wetlands are indicated on the NWI map. During the site visit, the pond was observed on the site as indicated by the NWI map.

Habitat Evaluation

A habitat evaluation was conducted to assess the presence, or likely presence, of federal and state-listed threatened or endangered species potentially occurring at the site. A protected species list for Denton County was obtained from the United States Fish and Wildlife Service (USFWS) and Texas Parks and Wildlife Department (TPWD) prior to the site visits. The evaluation considered the habitat provided by the site compared to the location of critical habitat and habitat preferences of the listed species.

There are thirteen species designated by the USFWS and/or the TPWD as threatened or endangered species in Denton County, as shown in **Table 1**.

Table 1: Federal and State-Listed Threatened and Endangered Species Potentially Present in Denton County, Texas

Species (Scientific Name) Federal, State Status	Species Habitat Description	Habitat Present	Effect	Pertinent Information
Bald Eagle (<i>Haliaeetus leucocephalus</i>) --, T	Found primarily near rivers and large lakes; nests in tall trees or on cliffs near water; communally roosts, especially in winter; hunts live prey, scavenges, and pirates food from other birds	No	No	Project site located in an industrial area and is too close to human habitation for Bald Eagles to utilize. In addition, no bald eagle nest were seen during the site visit.
Least Terns (<i>Sterna antillarum</i>) E, --	Migratory and breed along the river systems of Texas, especially the Red and Rio Grande River systems. Most often seen on sandbars in rivers and lakes or on pond edges free of vegetation, but may also breed on man-made structures such as water treatment plants. The birds nest in Texas during May through August, and winter in Central and South America.	No	No	No sandbars on lakes or rivers are present on site.
Peregrine Falcon (<i>Falco peregrinus</i>) --, T	Both subspecies migrate across the state from more northern breeding areas in US and Canada to winter along coast and farther south; subspecies (<i>F. p. anatum</i>) is also a resident breeder in west Texas; the two subspecies' listing statuses differ, <i>F.p. tundrius</i> is no longer listed in Texas; but because the subspecies are not easily distinguishable at a distance, reference is generally made only to the species level.	Yes	No	Species could potentially utilize the site temporarily during migration but is unlikely to be affected by the proposed project.
Piping Plover (<i>Charadrius melodus</i>) T, --	Breeding area extends along the eastern coast of the United States south to southern Texas and includes the Great Lakes region, the northern Midwestern states, and south central Canada. The Piping Plover winters along the eastern Mexico coast. Piping Plovers nest on sandy beaches along the ocean or inland lakes; bare to sparsely vegetated areas on dredge-created and natural alluvial islands in rivers; gravel pits along rivers; and salt-encrusted bare areas of sand, gravel, or pebbly mud on alkaline interior lakes and ponds.	No	No	Conditional species, adversely affected with conditions or activities related to wind energy projects. No sandy beaches are located on site.

Species (Scientific Name) Federal, State Status	Species Habitat Description	Habitat Present	Effect	Pertinent Information
Red Knot (<i>Calidris canutus rufa</i>) Threatened, --	Migratory and may stopover in gulf coast. Breeding habitat consist of slightly vegetated land in tundra. Wintering habitats consist of large sandy tidal flats and coastlines.	No	No	Conditional species, adversely affected with conditions or activities related to wind energy projects. No sandy tidal flats or coastlines are located on site.
White-faced Ibis (<i>Plegadis chihi</i>) --, T	Prefers freshwater marshes, sloughs, and irrigated rice fields, but will attend brackish and saltwater habitats; nests in marshes, in low trees, on the ground in bulrushes or reeds, or on floating mats.	Yes	No	Habitat for this species found on site. However, the species was not seen during the site visit and the proposed project does not impact any potential habitat.
Whooping Crane (<i>Grus americana</i>) E-EXPN, E	Potential migrant via plains throughout most of the state to coast; winters in coastal marshes of Aransas, Calhoun, and Refugio counties.	No	No	The wetlands onsite are isolated, small, and not likely to provide adequate habitat.
Wood Stork (<i>Mycteria americana</i>) --, T	Forages in prairie ponds, flooded pastures or fields, ditches, and other shallow standing water, including salt-water; usually roosts communally in tall snags, sometimes in association with other wading birds (i.e. active heronries); breeds in Mexico and birds move into Gulf States in search of mud flats and other wetlands, even those associated with forested areas; formerly nested in Texas, but no breeding records since 1960.	No	No	The wetlands onsite are isolated, small, and not likely to provide adequate habitat.
Red wolf (<i>Canis rufus</i>) --, E	Extirpated; formerly known throughout eastern half of the state in brushy and forested areas, as well as coastal prairies	No	No	Extirpated in Texas.
Louisiana pigtoe (<i>Pleurobema riddellii</i>) --, T	Streams and moderate-size rivers, usually flowing water on substrates of mud, sand, and gravel; not generally known from impoundments; Sabine, Neches, and Trinity (historic) River basins	No	No	Ephemeral channels on site not conducive to bivalves. Extirpated in Trinity Basin.
Texas heelsplitter (<i>Potamilus amphichaenus</i>) --, T	Quiet waters in mud or sand and also in reservoirs. Sabine, Neches, and Trinity River basins	Yes	No	Ephemeral channel on site not conducive to bivalves. Some channels on site likely to contain adequate habitat; however, the main channel will remain unimpacted by proposed development.

Species (Scientific Name) Federal, State Status	Species Habitat Description	Habitat Present	Effect	Pertinent Information
Texas Horned Lizard (<i>Phrynosoma cornutum</i>) --, T	Open, arid and semi-arid regions with sparse vegetation, including grass, cactus, scattered brush or scrubby trees; soil may vary in texture from sandy to rocky. Feeds on harvester ants.	No	No	The site did contain sparsely vegetated areas, however no harvester ant colonies were located on-site. In addition, no evidence of horned lizard use (e.g., scat) was identified.
Timber/Canebrake rattlesnake (<i>Crotalus horridus</i>) --, T	Swamps, floodplains, upland pine and deciduous woodlands, riparian zones, abandoned farmland; limestone bluffs, sandy soil or black clay, prefers dense ground cover, i.e. grapevines or palmetto	Yes	No	Potential habitat for this species exists on site; however, habitat on project site not unique. Surrounding, undeveloped properties will provide adequate habitat.

E = Endangered; EXPN = Experimental Population; T = Threatened

Based on the site visit, it is KBA's opinion that the site offers potential habitat for the following threatened or endangered species:

- Peregrine falcon (TPWD "threatened"), potential migrant
- Texas Heelsplitter (TPWD "threatened"), potential resident;
- Timber/canebrake rattlesnake (TPWD "threatened"), potential resident;
- White-faced Ibis (TPWD "threatened"), potential resident;

Although the site offers potential habitat for the above-noted species, habitat on the project site is not unique in the area and surrounding, undeveloped land will provide adequate habitat. Additionally, the stream and wetland habitat potentially available to the Texas Heelsplitter and White-faced Ibis will not be impacted.

None of these species identified as potentially inhabiting or feeding on the site were observed on the site and no field observations indicate their presence.

Environmentally Sensitive Areas

KBA conducted a desk-top analysis and field verification of the site and identified the following ESAs on the site:

Upland Habitat

The Town defines upland habitat as:

"Areas, a minimum of ten (10) acres in size, equal to or exceeding 50 trees per acre, which contain a predominate matrix of tree species identified in the Town's Protected Tree List. Any tree species that makes up over thirty percent (30%) of the population within a complex is considered to be the predominate species."

KBA identified upland habitat in the western portion of the property. The upland habitat consisted of over 10 contiguous acres of forested land that contained greater than 50 trees per acre that was dominated by trees on the Town's Protected Species List. The site contains approximately 18.96 acres of upland habitat and was estimated based on changes in elevation, stands of trees, and location of the floodplain (Figure 6).

The upland habitat included cedar elm, eastern red cedar, green ash, hackberry, and post oak. The vegetation observed appeared to be in good health.

Based on the vegetation present, this area is considered an ESA by the Town's definition of upland habitat. Although there is approximately 18.96 acres of upland habitat on site, only 7.38 acres will be impacted by the development, leaving 11.58 acres of upland habitat undisturbed (Figure 7). The sections on the property considered upland habitat are located mostly in the central and southern portion of the site.

Waters of the State

The Town defines waters of the State as:

"Groundwater, percolating or otherwise, lakes, bays, ponds, impounding reservoirs, springs, rivers, streams, creeks, estuaries, marshes, inlets, canals, the Gulf of Mexico, inside the territorial limits of the state, and all other bodies of surface water, natural or artificial, inland or coastal, fresh or salt, navigable or nonnavigable, and including the beds and banks of all watercourses and banks of all watercourses and bodies of surface water, that are wholly or partially inside or bordering the state or inside the jurisdiction of the state."

KBA performed a jurisdictional delineation of wetlands and other "waters of the United States" (as defined by the Clean Water Act) for the site. The Town's site survey depicts a stream (Stream A) and pond located on the property. The stream enters the site in the north-central portion of the property and flows southeast into a pond in the central portion of the site. The stream then flows south out of the pond and exits the site via a culvert under Silveron Boulevard.

KBA delineated three tributaries and three wetlands in addition to the stream and pond noted by the town. A fringe wetland (0.012 acres) surrounds Stream A as it enters the site near the culvert in the northern portion of the site. Stream A then flows southeast into a pond (0.129 acres). The stream then continues south out of the pond and exits in the southern portion of the site. Stream A flows for 1,524 feet. A fringe wetland (0.109 acres) is also located along Stream A before it exits the site. A tributary, Tributary 1 (228 ft), originates onsite in the central portion of the site and flows southeast into Stream A. Tributary 2 (766 ft) enters the site through a culvert located in the southwestern portion of the site and flows east until it joins Stream A. Tributary 3 flows 237 ft into the site in the southwestern portion of the site and flows northeast until it flows into Tributary 2. The ephemeral stream, the three ephemeral tributaries, three wetlands and the pond are considered ESAs by the Town's definition of waters of the State.

Topographical Slope Protection

The Town of Flower Mound's SmartGrowth Implementation manual states:

"No development application or project shall be approved that proposes development on any existing topographical slopes of twelve percent (12.0%) or greater, or that proposes to alter any existing topographical slopes that are less than twelve percent (12.0%) but equal to or greater than five percent (5.0%) (other than within five feet of the footprint of the proposed structure or structures)."

Several locations on the Proposed Silveron DC 1 and 2 Development have been mapped by the Town as areas having between 5% and 12% topographic slope (**Figure 8**). These areas total approximately 14.31 acres and, in general, parallel Stream A and are in central portion of the site. There are also a few smaller areas that have topographic slopes equal to or greater than 12% scattered across various locations of the site and total 5.63 acres. The locations of these steep slopes are considered an ESA by the Town and meet the criterion for topographic slope protection.

Approximately 7.92 acres of the 14.31 acres of land with topographic slopes between 5% and 12% are proposed to be impacted by the development (**Figure 9**). A variance of the topographic slope protection is being requested for the 3.86 acres of land that have topographic slopes of between 5% and 12% and are not within 5 ft of the structure. In addition, 0.56 acres of the 5.63 acres of land on the site that have topographic slopes greater than 12% are proposed to be impacted. Therefore, a variance is also being requested for the 0.56 acres of land that have topographic slopes greater than 12% that will be impacted by the proposed development.

Proposed Development Plan

The proposed site plan calls for the property to be developed as a commercial development. Goals to preserve the natural habitat on the Proposed Silveron DC 1 and 2 Development will include the removal of only those trees and natural vegetation that would be affected by the proposed construction of the onsite roads, utilities, and structures. Several mitigation strategies are proposed to compensate for any permanent impacts to environmentally sensitive areas. Best Management Practices (BMPs) will also be employed to retain sediments and other pollutants onsite during construction activities. A figure showing the overall development plan and impacts to Town-defined ESAs is shown as Figure 7 and 9.

Mitigation Measures During Project Planning and Construction

The following mitigation measures will be employed throughout the planning and construction of the project:

- The development plan has been designed to preserve as many trees and natural vegetation as possible while still allowing an economically viable development.
- Approximately 18.96 acres of Town-defined Upland Habitat exists on the site and the development plan has been designed to preserve over half of this habitat.

Approximately 7.38 acres of upland habitat is proposed to be impacted by the commercial developments. Approximately 11.58 acres of upland habitat will be completely unimpacted by the proposed project. Mitigation for the 7.38 acres of upland habitat impacted by buildings will be partially accomplished by the preservation of 11.58 acres of upland habitat on site. A variance is being requested for any additional compensation required for impacts to upland habitat on site.

- Although every attempt has been made to minimize the number of trees damaged or removed during development, some impacts to trees will occur. The removal of trees will be limited to stressed or dead trees, trees within the footprint of proposed structures and roads, and trees needed to be removed to level the building lots. To reduce impacts, roads will be constructed so as to minimize the number of trees needing to be removed. Mitigation for the impact to trees that must be removed will include tree preservation (where possible), additional tree and other native vegetation plantings, habitat improvement projects, and green space preservation.
- Tributary 2 and Tributary 3 will remain unaltered. A small portion of Stream A and Tributary 1 will be filled for the development. Any fill in jurisdictional waters will be authorized under a US Army Corps of Engineers Section 404 permit. Specifically, Nationwide Permit 39 will be obtained for the commercial developments.
- No areas with topographic slopes between 5% and 12% will be altered unless they are within five feet of a proposed structure or a variance of this requirement is issued by the Town. A variance of this requirement is being requested for approximately 3.86 acres of land with slopes between 5% and 12%. A variance is also being requested for the impacts to 0.56 acres of land with slopes greater than 12%.
- Silt fencing will be installed and maintained in compliance with TCEQ Construction General Permit requirements. This structural feature will minimize sediments from entering the Town's storm sewer system during construction.
- Silt fencing will be installed perpendicular to the direction of flow, especially along roadways and drainage/low elevation areas.
- Stabilized construction entrances will be installed at appropriate locations onsite during construction. These structural features will reduce the risk of transporting mud or sediment onto the adjacent roads and other nearby roadways.
- Major soil disturbing activities will be sequenced to preserve existing vegetation.
- Storm water control devices will be installed to promote sedimentation onsite, limit runoff, and reduce the velocity of concentrated flows to reduce erosion and scouring to onsite and adjacent drainages.
- Storm water control devices will be maintained until stabilized disturbed areas have achieved final stabilization.

- Active migratory bird nesting areas will not be disturbed during site development. Although not anticipated, if a threatened or endangered species is encountered during site development, the USFWS and/or TPWD authorities will be contacted immediately.

Conclusions

Based on the site visit, ESA Survey performed by KBA, and proposed zoning for the site, KBA concludes the following:

- The project site contains potentially suitable habitat for the following resident or migrating species: Peregrine falcon, Texas Heelsplitter, timber/canebrake rattlesnake and the White-faced Ibis. None of these listed species were observed onsite. Potential habitat for these species does exist on site, however, the habitat on the project site is not unique to the area and surrounding, undeveloped properties will provide adequate habitat to prevent negative impacts to these species. In addition, potential habitat on site for the Texas Heelsplitter and White-faced Ibis will not be impacted by the proposed development.
- Town-defined Environmentally Sensitive Areas exist on the project site. Waters of the state, Upland Habitat, and Topographical Slope Protection areas have been identified on site. Although some impacts to these areas are anticipated, mitigation measures that compensate for these impacts will be conducted.
- The Town's tree ordinance and other environmental mandates will be strictly adhered to.

The Proposed Silveron DC 1 and 2 Development will be designed to allow for the partial preservation of existing natural habitat. The preserved trees will provide an aesthetic value to the site and continue to provide habitat for a variety of biota including songbirds, mammals, reptiles, and insects.

Please let either of us know if additional information would be helpful.

Sincerely,

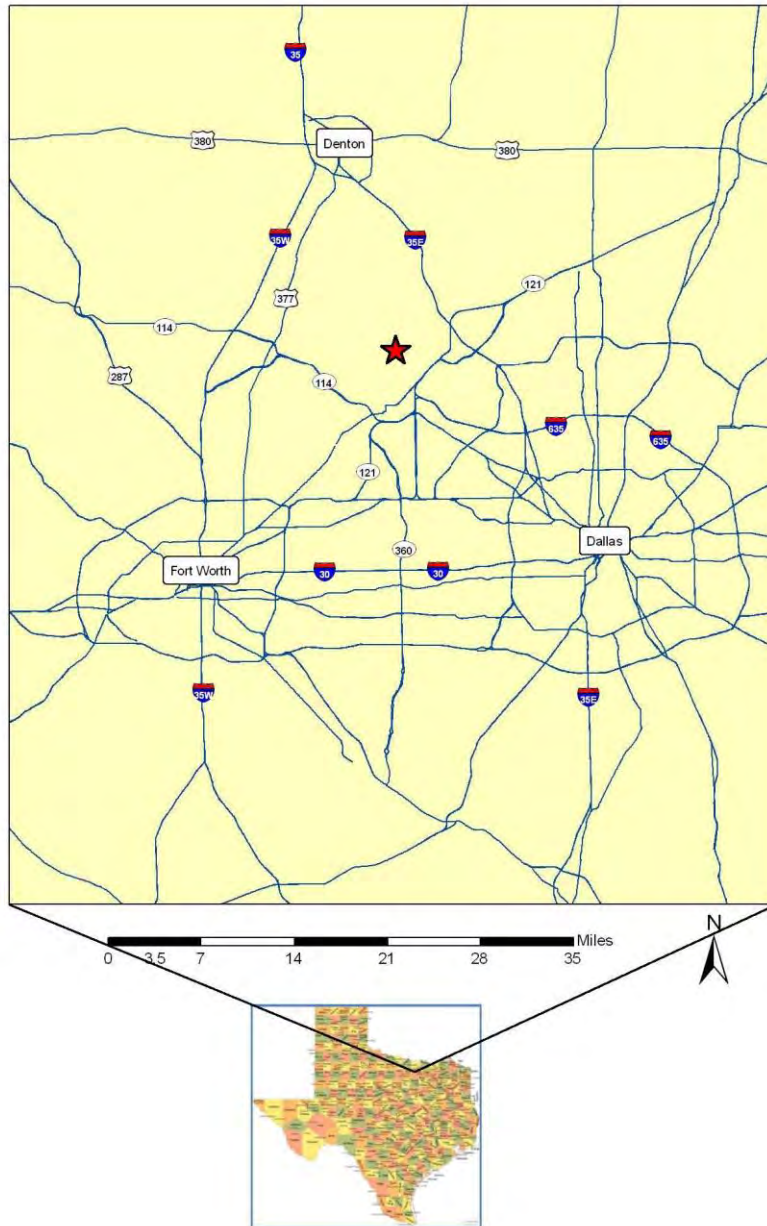


Joseph Schwartz, Project Manager
KBA EnviroScience, Ltd.



C. Keith Bradley, REP, CWB
KBA EnviroScience, Ltd.

FIGURES

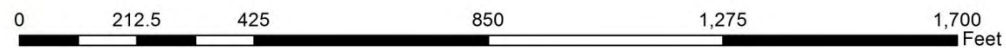
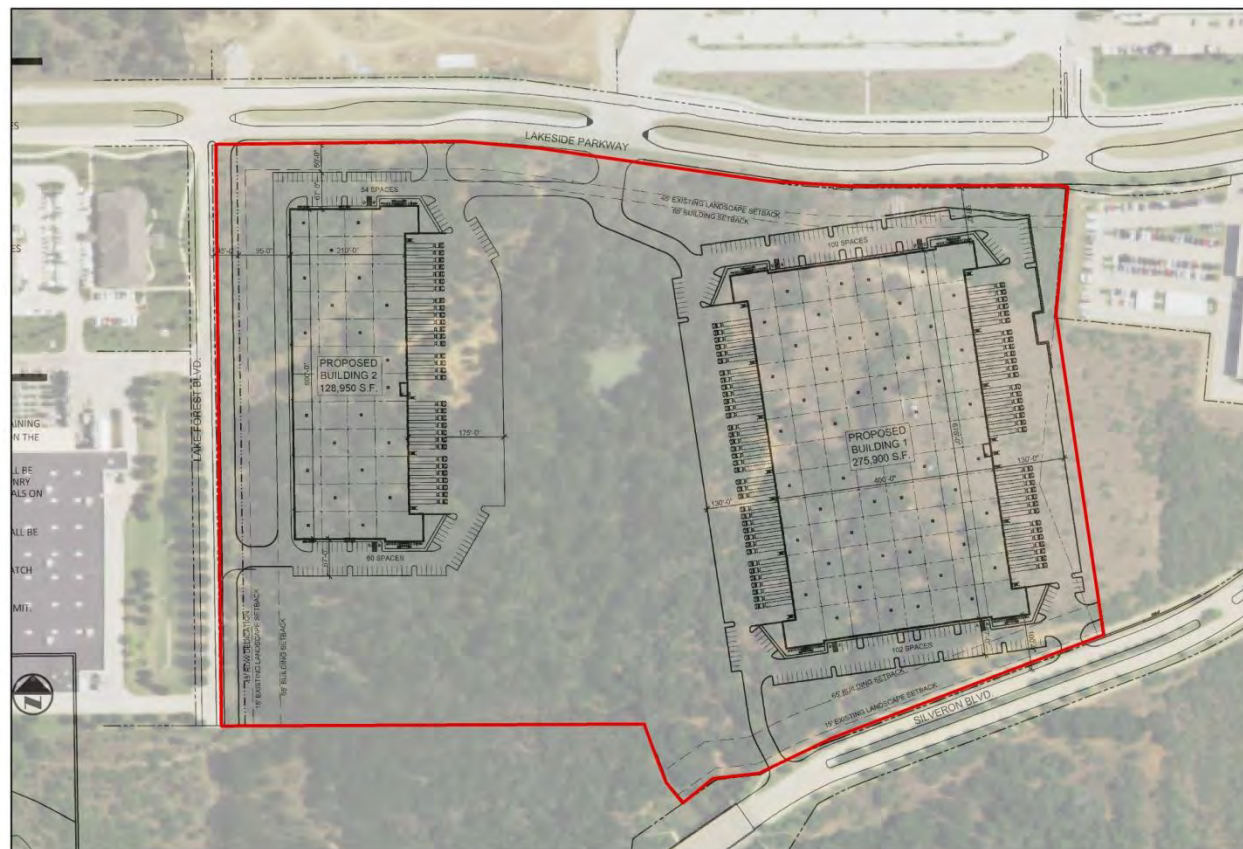


Crow Holdings Industrial
Project 15.085.01.F

Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 1. Site Location Map for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.



Crow Holdings Industrial
Project 15.085.01.F

Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 2. Development Plan for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.

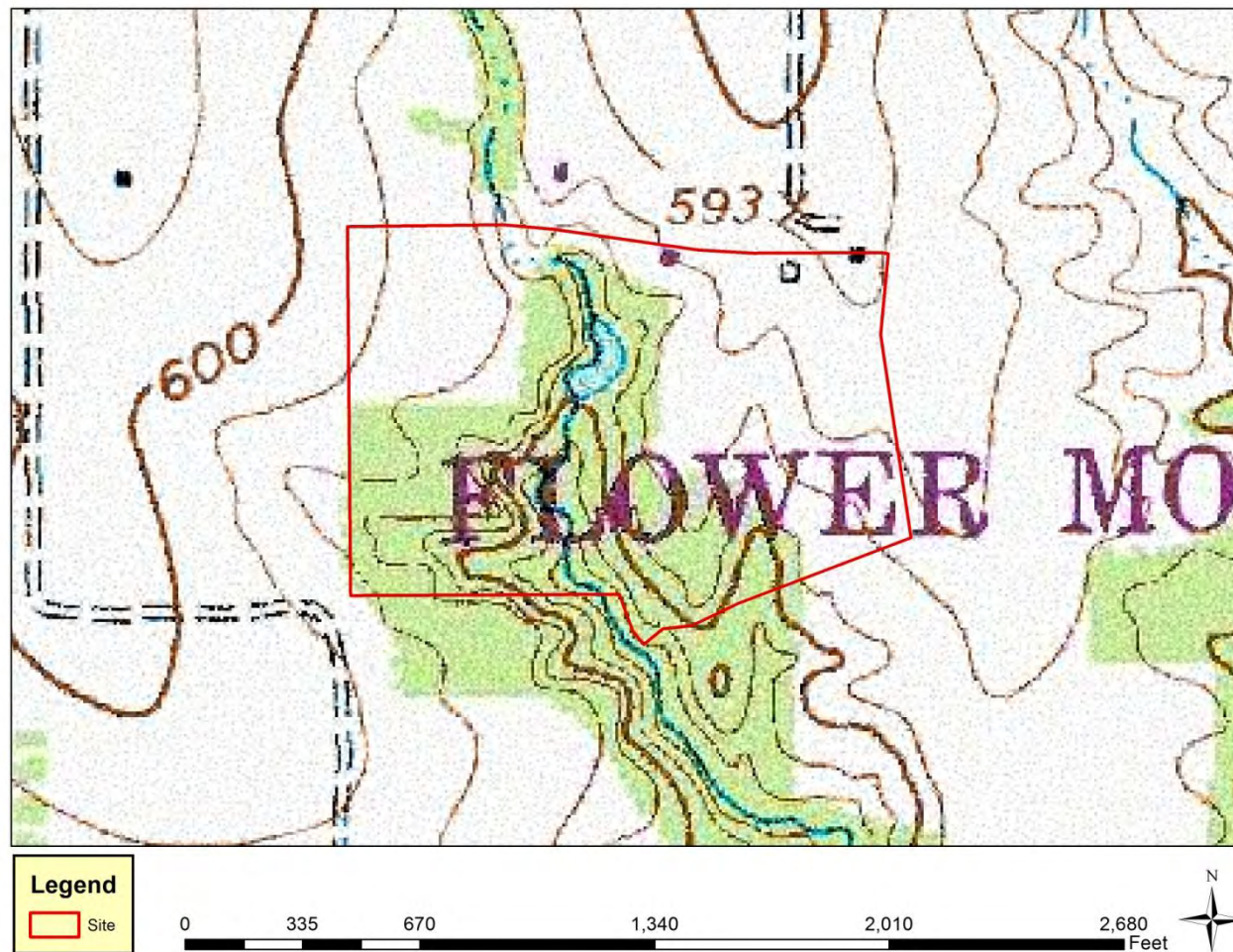


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Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 3. Streams Located on the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.



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9/11/15

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Figure 4. Topographic Map for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.

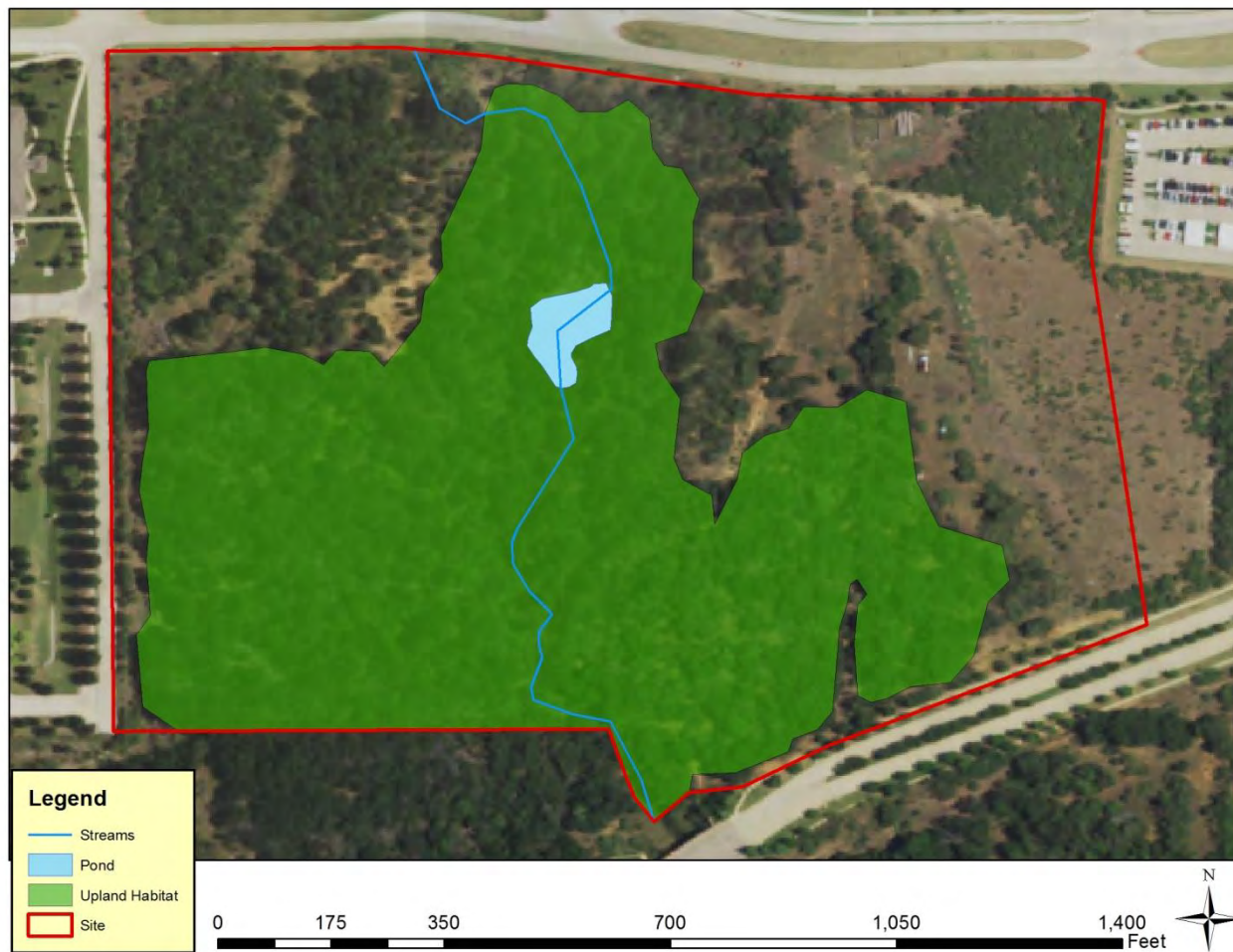


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9/11/15

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Figure 5. USFWS NWI Map for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.



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9/11/15

KBA EnviroScience, Ltd.

Figure 6. Environmentally Sensitive Areas Map for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.

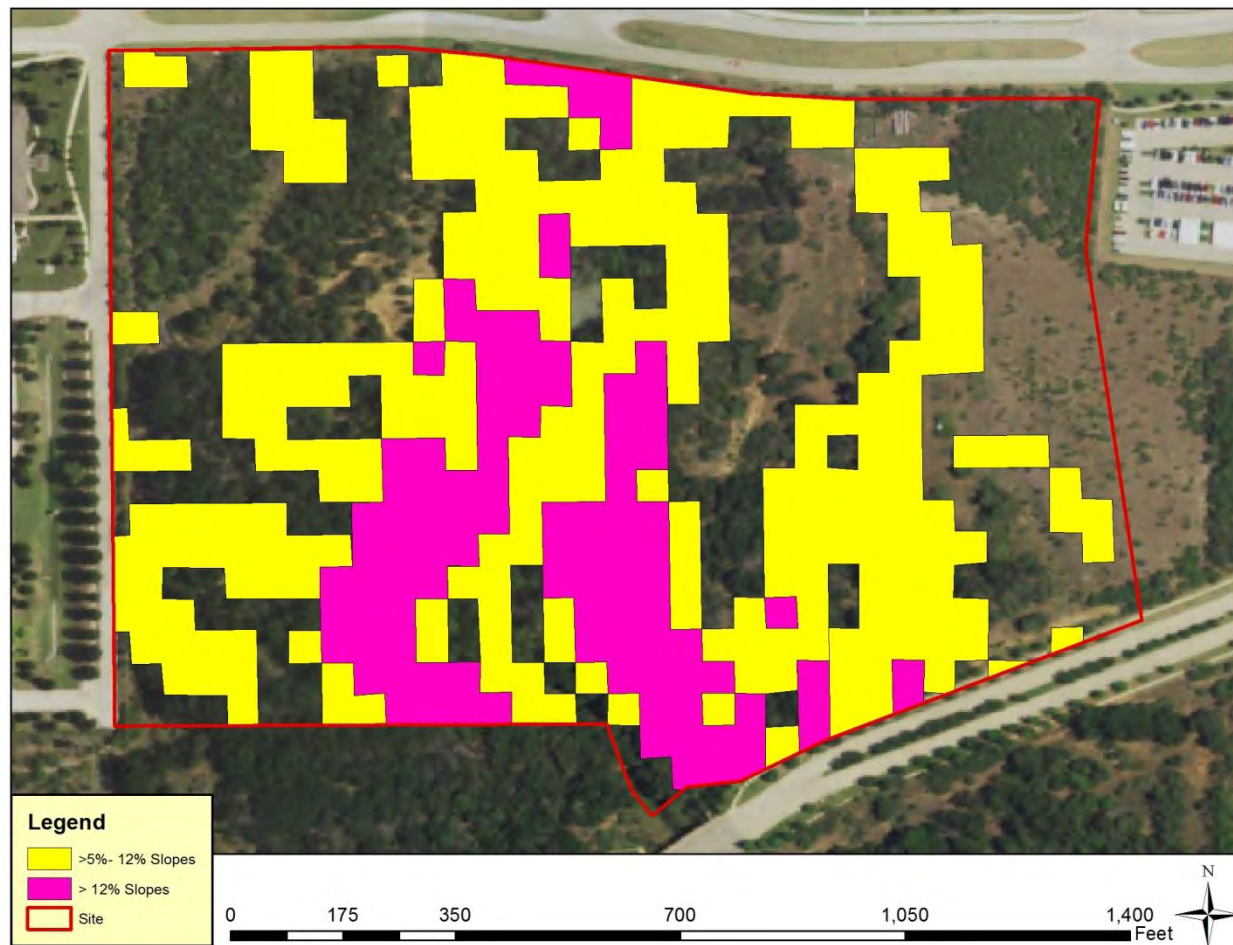


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Project 15.085.01.F

Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 7. Proposed Impacts to Environmentally Sensitive Areas for the Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.

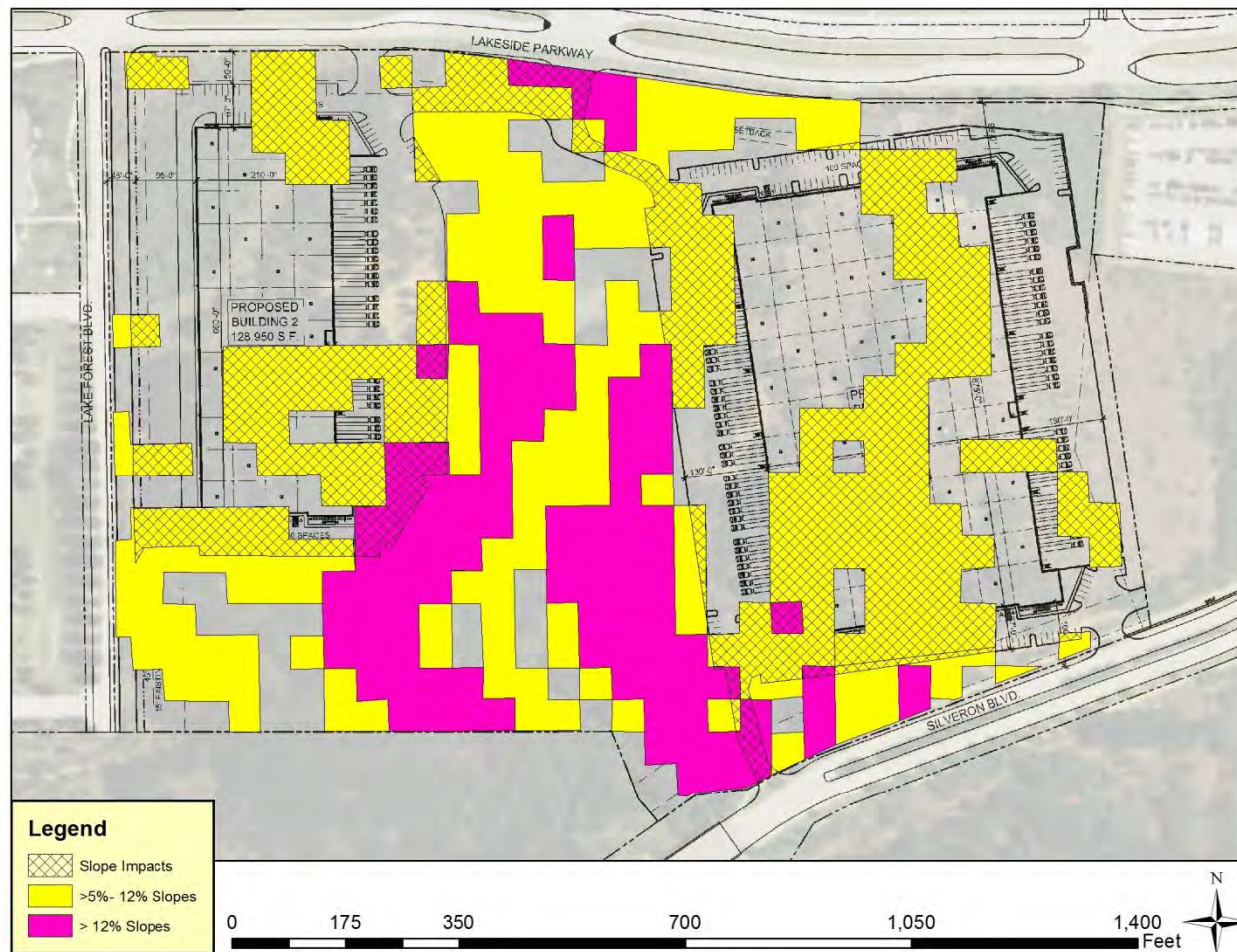


Crow Holdings Industrial
Project 15.085.01.F

Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 8. Map of Protected Slope Areas for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.



Crow Holdings Industrial
Project 15.085.01.F

Prepared by J. Alvarez
9/11/15

KBA EnviroScience, Ltd.

Figure 9. Proposed Impacts to Protected Slope Areas for the Proposed Silveron DC 1 and 2 Development, Flower Mound, Denton County, Texas.