



AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

MARCH 28, 2016

**FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS**

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. CALL TO ORDER: 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZEN'S COMMENTS

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. REGULAR ITEMS

1. *Minutes of March 14, 2016*

Consider approval of the minutes of the March 14, 2016, Planning and Zoning Commission Regular Session.

2. *RC16-0003 – Stryker-Silveron Addition*

Consider a request for a Record Plat to create a nonresidential subdivision. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

3. *SP15-0029 – Stryker-Silveron Addition*

Consider a request for a Site Plan to develop one nonresidential building. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

4. *MPA16-0001 – Hawks Hill QT*

Public Hearing

Public Hearing to consider a request for a Master Plan Amendment to amend Section 3.0, Specific Plans, and Section 4.0, Urban Design Plan, by amending the roof and parapet standards for Specific Plan Area 5 (SPA 5) that apply to the subject property. The property is generally located west of Long Prairie Road and south of Waketon Road.

5. *SUP16-0001 – Hawks Hill QT*

Public Hearing

Public Hearing to consider a request for a Specific Use Permit No. 443 to permit a convenience store with gasoline sales. The property is generally located west of Long Prairie Road and south of Waketon Road.

E. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: Mar. 24, 2016, at 3:10pm, at least 72 hours prior to the scheduled time of said meeting.



Cindi Price, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.

THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 14TH DAY OF MARCH, 2016, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Claudio Forest	Chair
Don McDaniel	Vice Chair
Mike McCall	Commissioner, Place 3
Emily Strittmatter	Commissioner, Place 5
Brian Smiley	Commissioner, Place 6

Constituting a quorum with the following members absent:

Sandeep Sharma	Commissioner, Place 2
Perfecto Solis	Commissioner, Place 7
Freddie Guerra	Commissioner, Place 8
Brad Ruthrauff	Commissioner, Place 9

Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Chuck Russell	Town Planner
Robert Pegg	Engineering Manager
Poornima Srinarasi	Senior Planner
Gina Costanza-Grant	Senior Planner
Cindi Price	Executive Assistant

- A. CALL TO ORDER: 6:30 P.M.**
- B. INVOCATION AND PLEDGE OF ALLEGIANCE**
- C. CITIZENS/VISITORS COMMENTS**

There were none.

- D. REGULAR ITEMS**

- 1. Consider approval of the minutes of the February 22, 2016, Planning and Zoning Commission Regular Session and Work Session.**

Commission Deliberation

Commissioner McCall moved to approve the February 22, 2016, minutes as presented. Vice Chair McDaniel seconded the motion.

VOTE ON THE MOTION

AYES: Smiley, McDaniel, McCall, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: Solis, Sharma

The motion passed with a vote of 4-0.

2. Public Hearing to consider a request for a Replat (RP15-0013 – Parkmont Place) to create a residential subdivision. The property is generally located south of Central Park Avenue and west of River Walk Drive.

Staff Presentation

Poornima Srinarasi, Senior Planner

In Favor – None

In Opposition – None

Close Public Hearing

Commission Deliberation

Vice Chair McDaniel moved to approve RP15-0013 – Parkmont Place. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Strittmatter, McCall, McDaniel, Smiley

NAYS: None

ABSTAIN: None

ABSENT: Solis, Sharma

The motion passed with a vote of 4-0.

3. Consider a request for a Site Plan (SP15-0009 - Coram Deo Academy) to develop a multi-purpose building. The property is generally located north of Wichita Trail and west of Skillern Road.

Staff Presentation

Poornima Srinarasi, Senior Planner

Applicant Presentation

Josh Barton, G & A Consultants

Commission Deliberation

Vice Chair McDaniel moved to approve SP15-0009 – Coram Deo Academy. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Smiley, McDaniel, McCall, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: Solis, Sharma

The motion passed with a vote of 4-0.

4. Public Hearing to consider a request for rezoning (ZPD16-0002 – Home Depot/Silveron Addition) to amend Specific Use Permit No. 245 (SUP-245) within Planned Development District No. 31 (PD-31) to allow for temporary or seasonal sales. The property is generally located south of Lakeside Parkway and east of Long Prairie Road.

Staff Presentation

Gina Costanza-Grant, Senior Planner

Applicant Presentation

Scott Mommer, representing Home Depot

In Favor – None

In Opposition – None

Close Public Hearing

Commission Deliberation

Vice Chair McDaniel moved to recommend approval of ZPD16-0002 – Home Depot/Silveron Addition. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Strittmatter, McCall, McDaniel, Smiley

NAYS: None

ABSTAIN: None

ABSENT: Solis, Sharma

The motion passed with a vote of 4-0.

5. Public Hearing to consider a request for rezoning (ZPD15-0018 – Lakeside Ranch Business Park) to amend Planned Development District No. 83 (PD-83) with Campus Industrial District (CI) uses, by amending the Development Standard(s) to add “Miniwarehouse” as a use that may be permitted upon approval of a Specific Use Permit on certain tract of land, and to consider a request for a Specific Use Permit No. 446 (SUP-446) to permit a Miniwarehouse with certain modifications, exceptions and waivers to the Code of Ordinances. The property is generally located north of Lakeside Parkway and east of Gerault Road.

Staff Presentation

Gina Costanza-Grant, Senior Planner

Applicant Presentation

Rick Jones, Advantage Storage, McKinney

Submitted a card In Favor, but did not wish to speak:

Dennis Heckman, 4812 Pacer Way, Flower Mound

Faith Heckman, 4812 Pacer Way, Flower Mound

In Opposition – None

Close Public Hearing

Commission Deliberation

Vice Chair McDaniel moved to recommend approval of ZPD15-0018 – Lakeside Ranch Business Park. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Smiley, McDaniel, McCall, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: Solis, Sharma

The motion passed with a vote of 4-0.

6. Public Hearing to consider a request for a Master Plan Amendment (MPA15-0013 – Parkside at Woodlake, Phase 2) to amend Section 1.0, Land Use Plan,

of the Master Plan to change the current land use designation from Medium Density Residential to High Density Residential on approximately 1.0 acre of land. The property is generally located south of Rembert Drive and west of Long Prairie Road.

7. Public Hearing to consider a request for rezoning (ZPD15-0020 – Parkside at Woodlake, Phase 2) to amend Planned Development District No. 132 (PD-132) with Single-Family District-5 (SF-5) uses to include additional land, modify the development standards, and request certain exceptions and modifications to the Code of Ordinances. The property is generally located south of Rembert Drive and west of Long Prairie Road.

Staff Presentation

Poornima Srinarasi, Senior Planner

Applicant Presentation

Reginald Rembert, Rembert Builders

In Favor – None

In Opposition –

Jim Engel, 5110 Bayberry, Flower Mound
Janvier Scott, 2829 Bob White, Flower Mound

Close Public Hearings

Commission Deliberation (MPA15-0013)

Vice Chair McDaniel moved to recommend approval of MPA15-0013 – Parkside at Woodlake, Phase 2. Commissioner McCall seconded the motion.

VOTE ON THE MOTION (MPA15-0013)

AYES: McCall, McDaniel

NAYS: Strittmatter, Smiley, Forest

ABSTAIN: None

ABSENT: Solis, Sharma

The motion failed with a vote of 2-3.

Commission Deliberation (ZPD15-0020)

[Since the motion to recommend approval of the Master Plan amendment failed, there was no cause for a recommendation with respect to the rezoning request.]

E. ADJOURNMENT: 7:27 P.M.

TOWN OF FLOWER MOUND, TEXAS

DOUGLAS S. POWELL, AICP
Executive Director, Development Services

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: March 28, 2016

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Record Plat (RC16-0003 – Stryker-Silveron Addition) to create a nonresidential subdivision. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

The project has a companion application, a site plan for the Stryker-Silveron building (SP15-0029), for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this application is to create one nonresidential lot for the new Stryker office and manufacturing facility. The site is currently undeveloped and contains approximately 23.892 acres. The property is zoned Planned Development District-145 (PD-145) with Campus Industrial (CI) uses in compliance with the Campus Industrial land use designation within the Lakeside Business District Area Plan.

On January 21, 2016, the Town Council approved a Master Plan Amendment and zoning amendment on approximately 41.24 acres of land, which included the subject property, to change from Campus Commercial to Campus Industrial. In conjunction with that request, the Council also approved a zoning change from Planned Development District No. 31 (PD 31) for Campus Commercial District (CC) uses to Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses with certain exceptions to the Code of Ordinances. The proposed record plat application is consistent with the approved standards of PD-145.

The plat depicts necessary easements, buffers, and setbacks. The plat also depicts additional right-of-way for Lakeside Parkway and Silveron Boulevard.

Access to the proposed lot will be provided from both Lakeside Parkway and Silveron Boulevard.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

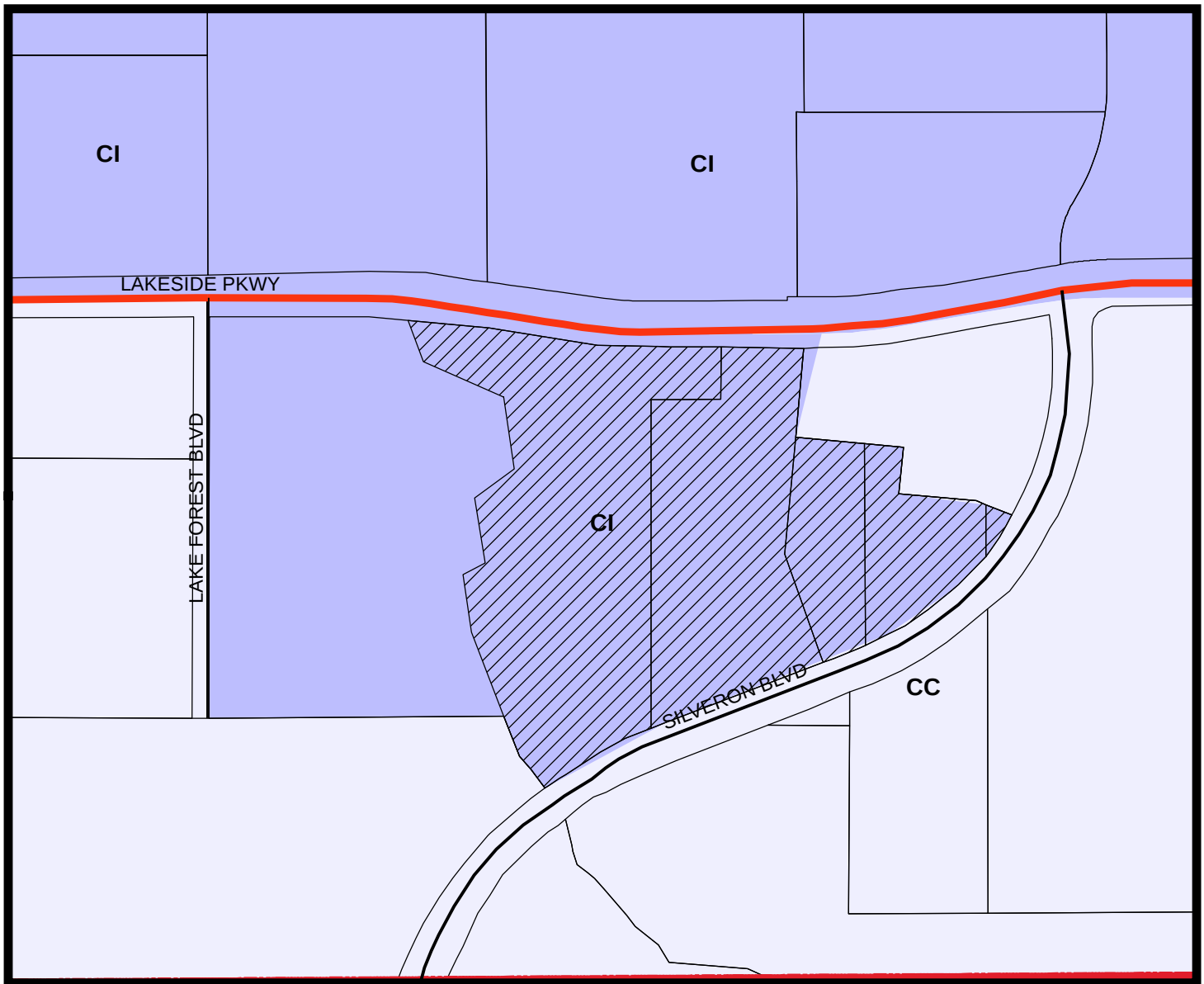
B. Application Details

1. Record Plat Package



Vicinity Map

Reference Project: RC16-0003, SP15-0029

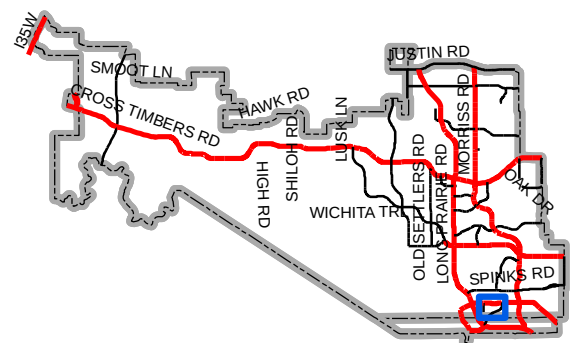
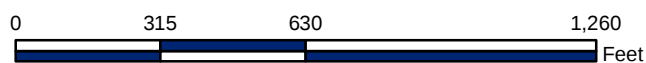


LEGEND

 Campus Industrial

 Campus Commercial

 Subject Property



Map Location

March 22, 2016
PK No.: 2283-15.162

Mr. Chuck Russell, AICP
Planning Manager/Planning Services
TOWN OF FLOWER MOUND
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

Re: **LETTER OF INTENT: RECORD PLAT SUBMITTAL**
Stryker Industrial
Flower Mound, Texas

Dear Mr. Russell:

This letter is to notify you that Pacheco Koch is submitting a Record Plat for the Stryker Industrial project. The project is zoned Campus Industrial and consists of 23.892 acres of land, to be used for the Stryker development. There is an approved Conceptual Site Plan that was part of the zoning and master plan amendment phase of this project.

If you have any questions or need additional information, please call at your convenience.

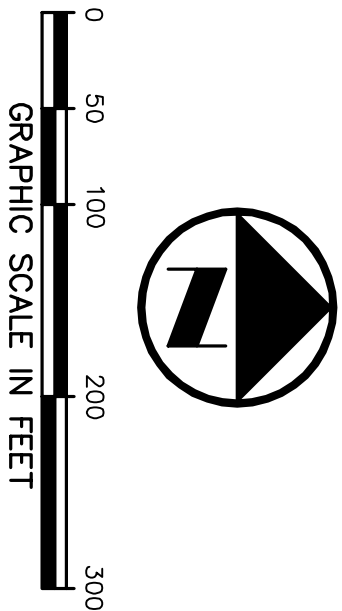
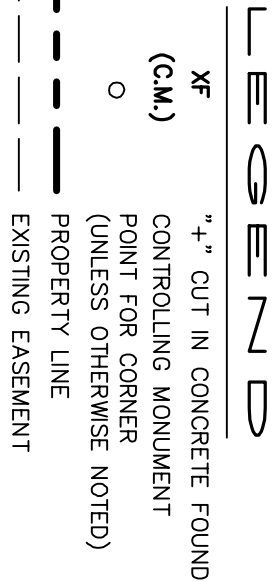
Sincerely,

A handwritten signature in blue ink, reading 'Jason G. Whatley', written over a light blue circular background.

Jason G. Whatley

JGW/smm
2283-15.162_Letter of Intent

enc.



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 54.47.34" E	100.33'
L2	N 29.23.52" W	12.50'
L3	N 74.10.08" E	112.63'
L4	N 27.58.04" W	10.00'
L5	S 31.58.02" E	172.09'
L6	N 08.01.58" E	11.00'
L7	N 18.14.26" W	11.94'

LOT/BLOCK ANALYSIS TABLE		
LOT	SQ. FT.	ACREAGE
1	1,034,167	23.741
AVG.	1,034,167	23.741
NET	1,034,167	23.741

* SEE SHEET 2 OF 2 FOR
SURVEYOR'S CERTIFICATE
OWNER'S CERTIFICATE AND
OWNER'S DEDICATION

SHEET 1 OF 2
RECORD PLAT
STRYKER-SILVERON
ADDITION

BEING 23.892 ACRES OF LAND
LOCATED IN THE
J. KNIGHT SURVEY, ABSTRACT NO. 692,
AN ADDITION TO THE TOWN OF FLOWER MOUND,
DENTON COUNTY, TEXAS

	Pacheco Koch		7555 RAMBLER ROAD, SUITE 1400 TX 75231, TX 75231 972.253.2031	
			TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-1103806	
DRAWN BY SBP	CHECKED BY JPH	SCALE 1"=100'	DATE 03/09/2016	JOB NUMBER 2283-15.162



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: March 28, 2016

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Site Plan (SP15-0029 – Stryker-Silveron Addition) to develop one nonresidential building. The property is generally located south of Lakeside Parkway and east of Lake Forest Boulevard.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

The project has a companion application, a record plat for Stryker-Silveron Addition (RC16-0003), for consideration on the same agenda.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of the request is to obtain approval for the construction of a corporate campus and light manufacturing facility for Stryker Communications. The subject property consists of 23.892 acres and is currently undeveloped.

On January 21, 2016, the Town Council approved a Master Plan Amendment and zoning amendment on approximately 41.24 acres of land, which included the subject property, to change from Campus Commercial to Campus Industrial uses. In conjunction with that request, the Council also approved a zoning change from Planned Development District No. 31 (PD 31) for Campus Commercial District (CC) uses to Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses with certain exceptions to the Code of Ordinances. The zoning amendment also requested exceptions to driveway spacing requirements and topographical slope requirements. Both exceptions were granted.

PD-145 was approved with a conceptual site plan indicating the construction of two buildings totaling roughly 457,950 square feet of industrial warehouse/distribution, office, and light manufacturing space. The conceptual plan also indicates a proposed soccer field and basketball court that will serve as a private recreation area for employees and additional employee parking.

The proposed site plan application applies only to the eastern portion of the site, which includes the easternmost of the two proposed buildings (Building 1) and the recreation area. The proposed Building 1 consists of approximately 209,300 square feet. Of that total, 131,200 square feet is designated as warehouse distribution space and 78,100 square feet is designated as office space. In accordance with the conceptual site plan, the plan also indicates a future expansion on the north portion of the building to add an additional 41,600 feet of warehouse distribution space.

The appropriate setbacks for the building, parking, and landscaping have been provided. The Lakeside Business District Area Plan has enhanced requirements for landscaping and sidewalk treatments along Lakeside Parkway. The conceptual site and landscape plans indicate compliance with the provision of a 25-foot landscape buffer, groving of required trees, curvilinear sidewalks integrated into the landscape, no parking within 45 feet of the property line along Lakeside Parkway, and the required 15-foot landscape buffer along Lake Forest Boulevard and Silveron Boulevard. The requirements further stipulate the use of planting, landforms and screening walls to be used to buffer and screen said areas.

The total parking required by the Town's regulations for the proposed uses (including the proposed expansion) is 348 spaces, which includes both office and warehouse floor area. The applicant is providing 403 parking spaces for this phase of the development, which is within the 20 percent allowance and is in compliance with the approved concept plan. Access to Building 1 will be provided from both Lakeside Parkway and Silveron Boulevard with the primary truck access being from Lakeside Parkway.

The Town's Urban Design Guidelines for the Lakeside Business District require that design elements be used on large scale warehouse and industrial buildings to add interest and variety while also breaking up the monotony of large stretches of tilt wall materials. The conceptual elevations indicate small variations on the wall planes and the use of stone veneer accents to mitigate the expanses of tilt wall. Small roofline offsets have also been provided to add interest to the roofline. The proposed buildings are similar in nature to the existing and proposed DFW North Distribution Center and Lakeside Commerce Center developments to the north. The proposed elevations comply with the requirements of both PD-145 and the Lakeside Business District.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. PD-145

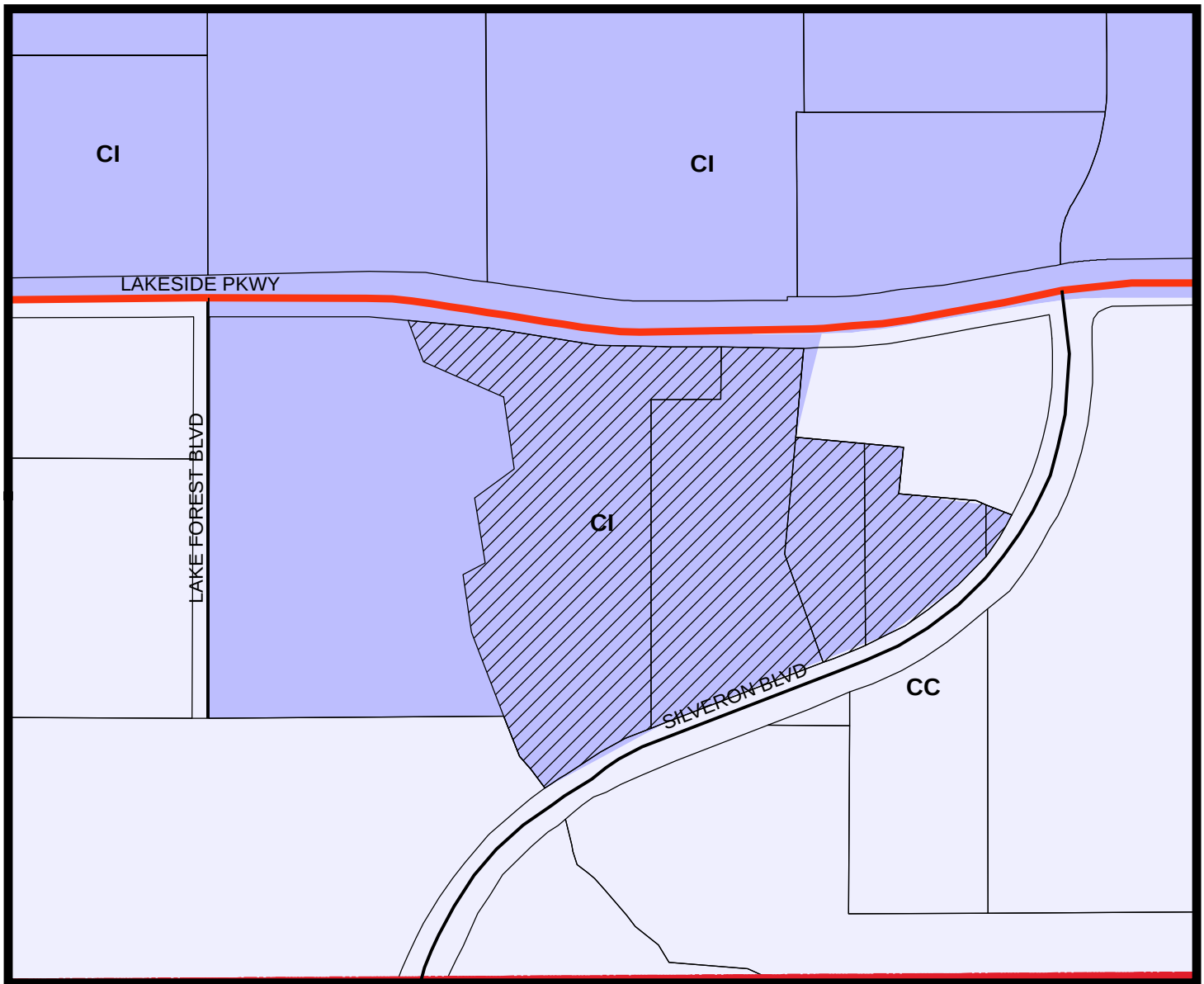
B. Application Details

1. Site Plan Package



Vicinity Map

Reference Project: RC16-0003, SP15-0029



LEGEND

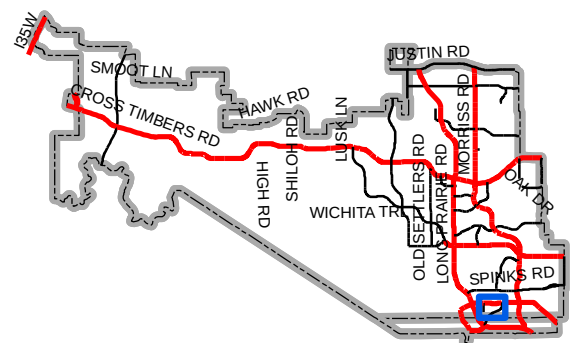
 Campus Industrial

 Campus Commercial

 Subject Property



0 315 630 1,260 Feet



Map Location

CIT Acquisition Corp.

3819 Maple Avenue
Dallas, Texas 75219

214-661-8000
Fax 214-661-8035

January 25, 2016
PK No.: 2283-15.162

Mr. Chuck Russell, AICP
Planning Manager/Planning Services
TOWN OF FLOWER MOUND
1001 Cross Timbers Road, Suite 2330
Flower Mound, Texas 75028

Re: **LETTER OF INTENT: SITE PLAN SUBMITTAL (CASE #SP15-0029)**
Silveron Industrial Project
Flower Mound, Texas

Dear Mr. Russell:

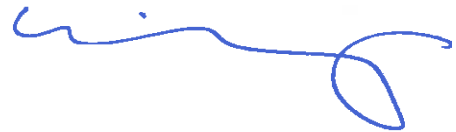
The purpose of this letter is to make you aware Pacheco Koch is submitting for Site Plan approval on behalf of CIT Acquisition Corp. (owner) in regards to the Silveron Industrial project. Previously, CIT Acquisition Corp. was granted amendments to established master plan and zoning uses, allowing for the development of Campus Industrial uses as opposed to the earlier designation of Campus Commercial use.

The subject property is comprised of 41 acres generally located south of Lakeside Pkwy, north of Silveron Blvd, and east of Lake Forest Blvd. The applicant is considering the construction of a single warehouse totaling approximately 209,300 square feet on the subject property. The development is anticipated to occur in a single phase, however, a multi-phased development is also possible.

The proposed facility will serve as a sale/distribution and storage point, as well as an area for conducting light manufacturing and the assembly of specialty surgical and medical supplies. The facility will however maintain one comprehensive use of light industrial.

If you have any questions or need additional information, please call at your convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Will Munding', with a stylized loop at the end.

Will Munding
Vice President
CIT Acquisition Corp.

TOWN OF FLOWER MOUND, TEXAS**ORDINANCE NO. 02-16**

AN ORDINANCE OF THE TOWN OF FLOWER MOUND, TEXAS, AMENDING THE OFFICIAL ZONING MAP, EXHIBIT "A" OF SUBPART B, LAND DEVELOPMENT REGULATIONS, OF THE CODE OF ORDINANCES OF THE TOWN OF FLOWER MOUND, TEXAS, BY CHANGING THE ZONING ON APPROXIMATELY 41.24 ACRES OF LAND SITUATED IN THE J. KNIGHT SURVEY, ABSTRACT NUMBER 692, FROM PLANNED DEVELOPMENT DISTRICT NO. 31 (PD-31) FOR CAMPUS COMMERCIAL DISTRICT (CC) USES TO PLANNED DEVELOPMENT DISTRICT NO. 145 (PD-145) FOR CAMPUS INDUSTRIAL DISTRICT (CI) USES IN ACCORDANCE WITH THE TOWN'S MASTER PLAN AND SPECIFIC REQUIREMENTS AND EXHIBITS INCORPORATED HEREIN; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF IN ACCORDANCE WITH SECTION 1-13 OF THE CODE OF ORDINANCES OF THE TOWN OF FLOWER MOUND; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Flower Mound is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the Town Council of the Town of Flower Mound heretofore adopted the Land Development Regulations of the Town of Flower Mound, as amended, which Ordinance regulates and restricts the location and use of buildings, structures and land for trade, industry, residence and other purposes, and provides for the establishment of zoning districts of such number, shape and area as may be best suited to carry out these regulations; and,

WHEREAS, in accordance with Chapter 78 of the Land Development Regulations, the owners of the property described as 41.24 acres of land situated in the J. Knight Survey, Abstract Number 692, have filed an application to change the zoning from Planned Development District No. 31 (PD-31) for Campus Commercial District (CC) uses to Planned Development District No. 145 (PD-145) for Campus Industrial District (CI) uses; and,

WHEREAS, the Planning and Zoning Commission of the Town of Flower Mound, Texas held a public hearing on January 11, 2016, and the Town Council of the Town of Flower Mound, Texas, held a public hearing on January 21, 2016, with respect to the proposed planned development district as described herein; and,

WHEREAS, the Town has complied with all requirements of Chapter 211 of the Local Government Code, Chapter 78 of the Land Development Regulations, and all other laws dealing with notice, publication and procedural requirements for the approval of a planned development district on the property; and

WHEREAS, the Town Council finds that amendment of the Zoning map as outlined herein is in the best interest of the Town of Flower Mound and will promote the health, safety and general welfare of the citizens of the Town of Flower Mound and the general public.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, THAT:

SECTION 1

The Land Development Regulations of the Town of Flower Mound, Texas, as amended, are hereby amended on the hereinafter described property and area to establish a planned development district as shown below:

41.24 acres of land situated in the J. Knight Survey, Abstract Number 692, Denton County, Texas, and more fully described in Exhibit "A" hereto.

Planned Development District No. 145 (PD-145) with Campus Industrial District (CI) uses.

SECTION 2

The development standards, conceptual site plan, conceptual landscape plan, and conceptual elevations of the proposed Planned Development District No. 145 (PD-145), attached hereto as Exhibits "B," "C," "D" and "E," each incorporated herein for all purposes, are hereby approved as the development standards, conceptual site plan, conceptual landscape plan, and conceptual elevations for this Planned Development District No. 145 (PD-145).

SECTION 3

The official map of the Town of Flower Mound is amended and the Executive Director of Development Services is directed to revise the official zoning map to reflect the approved Planned Development District No. 145 (PD-145), as set forth above.

SECTION 4

The use of the property described above shall be subject to all restrictions, terms and conditions contained in Exhibits "B," "C," "D" and "E," attached hereto, as well as the applicable regulations contained in the Land Development Regulations and all other applicable and pertinent ordinances of the Town of Flower Mound.

SECTION 5

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the Town of Flower Mound, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 6

It is hereby declared to be the intention of the Town Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the Town Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.

SECTION 7

Any person, firm, or corporation who violates any provision of this Ordinance as adopted by the Town Council of the Town of Flower Mound shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine as provided in Section 1-13 of the Code of Ordinances of the Town of Flower Mound. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 8

All rights and remedies of the Town of Flower Mound are expressly saved as to any and all violations of the provisions of the Land Development Regulations or any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 9

The Town Secretary of the Town of Flower Mound is hereby directed to publish the caption in the official newspaper of the Town of Flower Mound as required by Section 3.07 of the Charter of the Town of Flower Mound.

SECTION 10

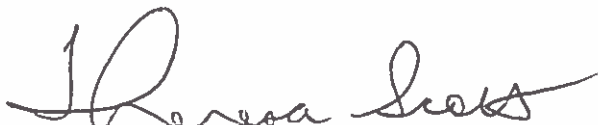
This Ordinance shall be in full force and effect from and after the date of its passage and publication as required by law, and it is so ordained.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, BY A VOTE OF 4 TO 1, ON THIS THE 21 DAY OF JANUARY, 2016.

APPROVED:


Thomas E. Hayden, MAYOR

ATTEST:


Theresa Scott, TOWN SECRETARY

APPROVED AS TO FORM AND LEGALITY:


Bryn Meredith, TOWN ATTORNEY

Exhibit "A"
Legal Description

TRACT 1:

DESCRIPTION, of a 36.809 acre tract of land situated in the J. Knight Survey, Abstract No. 692, Denton County, Texas; said tract being all of that tract of land described in Substitute Trustee's Foreclosure Sale Deed to First Nation Bank recorded in Document Number 2009-86571 and part of that tract of land described in Correction Trustee's Deed to Vivare, L.P. recorded in Document Number 2009-37290, both of the Official Records of Denton County, Texas; said 36.809 acre tract being more particularly described as follows:

BEGINNING, at a point for corner at the intersection of the south right-of-way line of Lakeside Parkway (a variable width right-of-way, 120 feet wide at this point) and the east right-of-way line of Lake Forest Boulevard (a 45-foot wide right-of-way); said point being the northwest corner of said Bank tract;

THENCE, in an easterly direction, along the said south line of Lakeside Parkway and the north line of said Bank tract, the following five (5) calls:

North 89 degrees, 11 minutes, 53 seconds East, a distance of 449.11 feet to a point at the beginning of a tangent curve to the right;

Along said curve to the right, having a central angle of 08 degrees, 50 minutes, 05 seconds, a radius of 940.00 feet, a chord bearing and distance of South 86 degrees, 23 minutes, 04 seconds East, 144.80 feet, an arc distance of 144.94 feet to a point at the end of said curve;

South 81 degrees, 58 minutes, 02 seconds East, a distance of 426.64 feet to a point at the beginning of a tangent curve to the left;

Along said curve to the left, having a central angle of 08 degrees, 22 minutes, 27 seconds, a radius of 1060.00 feet, a chord bearing and distance of South 86 degrees, 09 minutes, 15 seconds East, 154.79 feet, an arc distance of 154.93 feet to a point at the end of said curve;

North 89 degrees, 39 minutes, 31 seconds East, a distance of 373.21 feet to an angle point;

South 82 degrees, 31 minutes, 55 seconds East, a distance of 17.07 feet to a point for corner; said point being the northeast corner of said Bank tract and the northwest corner of Lot 1, Block A, Silveron Center, an addition to the Town of Flower Mound according to the plat recorded in Cabinet Y, Page 678 of the Plat Records of Denton County, Texas;

THENCE, South 05 degrees, 26 minutes, 07 seconds West, departing the said south line of Lakeside Parkway and along the east line of said Bank tract and the westernmost west line of said Lot 1, a distance of 235.72 feet to a point for corner; said point being the westernmost southwest corner of said Lot 1 and the northwest corner of said Vivare tract;

THENCE, South 84 degrees, 33 minutes, 52 seconds East, departing the said east line of the Bank tract and along the northernmost south line of said Lot 1 and the northernmost north line of said Vivare tract, a distance of 4.44 feet to a point for corner;

THENCE, South 08 degrees, 17 minutes, 13 seconds East, departing the said south line of Lot 1 and the said north line of the Vivare tract and into and across said Vivare tract, a distance of 585.81 feet to a point for corner in the northwest right-of-way line of Silveron Boulevard (a variable width right-of-way, 90 feet wide at this point) and the southeast line of said Vivare tract;

THENCE, in a southwesterly direction, along the said northwest line of Silveron Boulevard, the said southeast line of the Vivare tract and the southeast line of said Bank tract, the following four (4) calls:

South 69 degrees, 07 minutes, 21 seconds West, at a distance of 11.44 feet passing the south corner of said Vivare tract and the southeast corner of said Bank tract, then continuing along the said southeast line of the Bank tract in all a total distance of 532.25 feet to a point at the beginning of a tangent curve to the left;

Along said curve to the left, having a central angle of 08 degrees, 10 minutes, 14 seconds, a radius of 1045.00 feet, a chord bearing and distance of South 65 degrees, 02 minutes, 15 seconds West, 148.89 feet, an arc distance of 149.02 feet to a point at the end of said curve;

South 82 degrees, 59 minutes, 52 seconds West, a distance of 81.84 feet to a point for corner;

South 54 degrees, 39 minutes, 28 seconds West, a distance of 71.56 feet to a point for corner; said point being the southernmost corner of said Bank tract and the easternmost corner of that tract of land described in Special Warranty Deed to Grand Sevilla, L.P. recorded in Document Number 2007-102880 of said Official Records;

THENCE, departing the said northwest line of Silveron Boulevard and along the south line of said Bank tract and the north line of said Seville tract, the following four (4) calls:

North 40 degrees, 36 minutes, 08 seconds West, a distance of 46.71 feet to a point for corner;

North 20 degrees, 17 minutes, 30 seconds West, a distance of 47.82 feet to a point for corner;

North 22 degrees, 12 minutes, 21 seconds West, a distance of 64.76 feet to a point for corner;

South 89 degrees, 40 minutes, 23 seconds West, a distance of 775.49 feet to a point for corner; said point being the westernmost southwest corner of said Bank tract and the east end of the south terminus of said Lake Forest Boulevard;

THENCE, North 00 degrees, 27 minutes, 02 seconds West, departing the said north line of the Seville tract and along the said east line of Lake Forest Boulevard and the west line of said Bank tract, a distance of 1055.68 feet to the POINT OF BEGINNING;

CONTAINING: 1,603,391 square feet or 36.809 acres of land, more or less.

TRACT 2:

DESCRIPTION, of a 4.230 acre tract of land situated in the J. Knight Survey, Abstract No. 692, Denton County, Texas; said tract being part of that tract of land described in Correction Trustee's Deed to Vivare, L.P. recorded in Document Number 2009-37290 of the Official Records of Denton County, Texas; said 4.230 acre tract being more particularly described as follows:

BEGINNING, at a point for corner in the northernmost north line of said Vivare tract and the northernmost south line of Lot 1, Block A, Silveron Center, an addition to the Town of Flower Mound according to the plat recorded in Cabinet Y, Page 678 of the Plat Records of Denton County, Texas; from said point the westernmost southwest corner of said Lot 1 bears North 84 degrees, 33 minutes, 52 seconds West, a distance of 4.44 feet;

THENCE, in an easterly direction, along the said north line of the Vivare tract and the said south line of Lot 1, the following four (4) calls:

South 84 degrees, 33 minutes, 52 seconds East, a distance of 281.09 feet to a point for corner;

South 05 degrees, 26 minutes, 55 seconds West, a distance of 122.41 feet to a point for corner;

South 84 degrees, 33 minutes, 52 seconds East, a distance of 203.15 feet to a point for corner;

South 68 degrees, 28 minutes, 15 seconds East, a distance of 102.05 feet to a point for corner in the northwest right-of-way line of Silveron Boulevard (a variable width right-of-way, 90 feet wide at this point); said point being the easternmost northeast corner of said Vivare tract and the southeast corner of said Lot 1; said point also being in a non-tangent curve to the right;

THENCE, in a southwesterly direction, along the said northwest line of Silveron Boulevard, the southeast line of said Vivare tract and said curve to the right, having a central angle of 38 degrees, 54 minutes, 08 seconds, a radius of 805.00 feet, a chord bearing and distance of South 49 degrees, 40 minutes, 17 seconds West, 538.13 feet, an arc distance of 546.57 feet to a point at the end of said curve;

THENCE, South 69 degrees, 07 minutes, 21 seconds West, continuing along the said northwest line of Silveron Boulevard and the said southeast line of the Vivare tract, a distance of 77.29 feet to a point for corner;

THENCE, North 08 degrees, 17 minutes, 13 seconds West, departing the said northwest line of Silveron Boulevard and the said southeast line of the Vivare tract and into and across said Vivare tract, a distance of 585.81 feet to the POINT OF BEGINNING;

CONTAINING: 184,242 square feet or 4.230 acres of land, more or less.

Exhibit "B"
DEVELOPMENT STANDARDS
Planned Development District No. 145
for Campus Industrial Uses

Silveron Industrial

The development as described in Exhibit "XX" shall be developed in accordance with the Town's Master Plan and Land Development Regulations, as amended, and shall be subject to the following conditions and requirements:

PERMITTED USES

Campus Industrial District (CI) uses. Development of Silveron Industrial comprising approximately 41.04 acres land, shall comply with all regulations applicable to the Campus Industrial District (CI) uses in the Land Development Regulations, as amended, except as otherwise provided in this ordinance.

DIMENSIONAL REGULATIONS

The dimensional regulations for this Planned Development shall comply with Campus Industrial District (CI) uses and/or as depicted in Exhibit XX.

ARCHITECTURAL STANDARDS

1. Roof pitches shall conform to the Town's Master Plan. Sloped roofing shall be required for structures 15,000 square feet in area and less. Buildings of one or two stories over 15,000 square feet in area may have a flat or low-slope roof, but shall use a parapet wall or mansard roof along the building perimeter, so that the flat or low-slope roof and any roof top mounted mechanical equipment is not visible from the public right-of-way or from neighboring residential buildings.
2. Contrasting wall planes, architectural elements, and rooflines shall be used to create exemplary and enduring elevations. Building entries will be identified by various architectural features including arches, canopies, and portals.

3. All building elevations will be articulated to meet or exceed the Town of Flower Mound Urban Design Plan. Buildings will reflect an architectural prominence, with particular attention being paid to architectural quality on the facades, rooflines, and elevations visible from adjacent roadways.
4. Franchise utility panels and connection points shall be painted to match the color and texture of the building and located so that they are not visible from public roadways, except that Franchise utility panels and connection points facing Arterial Roadways will be kept at a minimum and adequately screened, with additional landscaping or other approved material during the Site Plan approval process, to obstruct visibility from adjacent roadways.
5. Specific Building Material Standards shall include:
 - a. A minimum of eighty percent (80%) of the building wall area (not including doors and windows) shall be of a primary masonry identified within the Town's Urban Design Plan. Up to twenty percent (20%) of any wall surface material may be stucco, fiber cement board, cementitious plaster, E.I.F.S., CMU, or a combination of all.
 - b. The use of exposed standard concrete shall not be utilized for any elevation.
 - c. Unpainted metal, galvanized metal, or metal subject to rusting shall not be used. All exposed metals shall have a factory-applied finish if available.
 - d. Outward facing mirrored glass shall not be used.
 - e. Not more than fifteen percent (15%) of any elevation shall be comprised of a color that is not considered an earth or wood tone. White or shades of white shall be considered an earth tone color.

LANDSCAPE BUFFER AND SCREENING REQUIREMENTS

1. Landscaping and buffering shall be provided in a consistent manner as shown on Exhibit "D".
2. All loading areas shall be completely screened from public right-of-ways by a screen wall, which is of adequate length and height to completely enclose a

delivery vehicle parked in a loading area. Additionally, berms and landscaping may be used to enhance screening and soften screen walls.

MISCELLANEOUS STANDARDS

1. Storm water storage facilities may include detention and/or retention ponds provided that retention ponds shall include aeration. Detention or retention ponds may include either sloped edges or hard edges comprised of stacked stone, stone veneer, cut stone or faux stone that complement the development. No exposed concrete is permitted.
2. All site retaining walls shall utilize stacked stone, stone veneer, cut stone, or faux stone that complements the material standards and colors for the development.
3. If the development of PD-145 includes phasing of any nature, such phasing shall be detailed in the subsequent development application, be it a Development Plan, Record Plat, or a Site Plan.
4. Open Space Amenity and Pedestrian connectivity requirements within Planned Development District 145 shall incorporate the standards for such space as described by the Town's Urban Design Plan.

EXCEPTIONS

The following exceptions shall be granted with the approval of the Planned Development District:

1. Exceptions to the access management policy and criteria regarding driveway spacing contained in the Town's Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances as shown in Exhibit "C".
2. Exceptions to Topographic Slope Protection: An exception to Section 98-147, Topographical Slope Protection is granted for approximately 4.70 acres of land that have topographic slopes of between 5% and 12% and are not within

5 feet of the structure and for approximately 0.74 acres of land that have topographic slopes greater than 12% that will be impacted by the proposed development. These numbers are approximate and minor changes may be approved by Town staff prior to record plat approval for each phase of the development. The developer shall provide detailed drawings that illustrate the impact of the proposed development on the natural topography and the manner by which the development is integrated into, reflects and maintains the overall integrity of the natural topography with subsequent record plat applications. In addition, the developer shall conform with the following requirements with subsequent record plat applications:

- a. The identification of those specific Best Management Practices ("BMPs") that will be used to maintain and responsibly integrate the development into the natural topography together with an explanation regarding their use within the plans for such development. The BMPs to be used shall include, but are not limited to, those BMPs found within the Town's Engineering Design and Construction Standards.
 - b. While recognized as a potential BMP, the use of retaining walls should be kept to a minimum. Any retaining wall four foot (4') or greater in height shall be designed by a professional engineer licensed by the State of Texas.
3. Waiver to Upland Habitat Mitigation Fees: Developer shall not be required to pay Upland Habitat Fees.

Exhibit "C" Conceptual Site Plan

SILVERON DC 1 & 2
Flower Mound, Texas 75025

21009

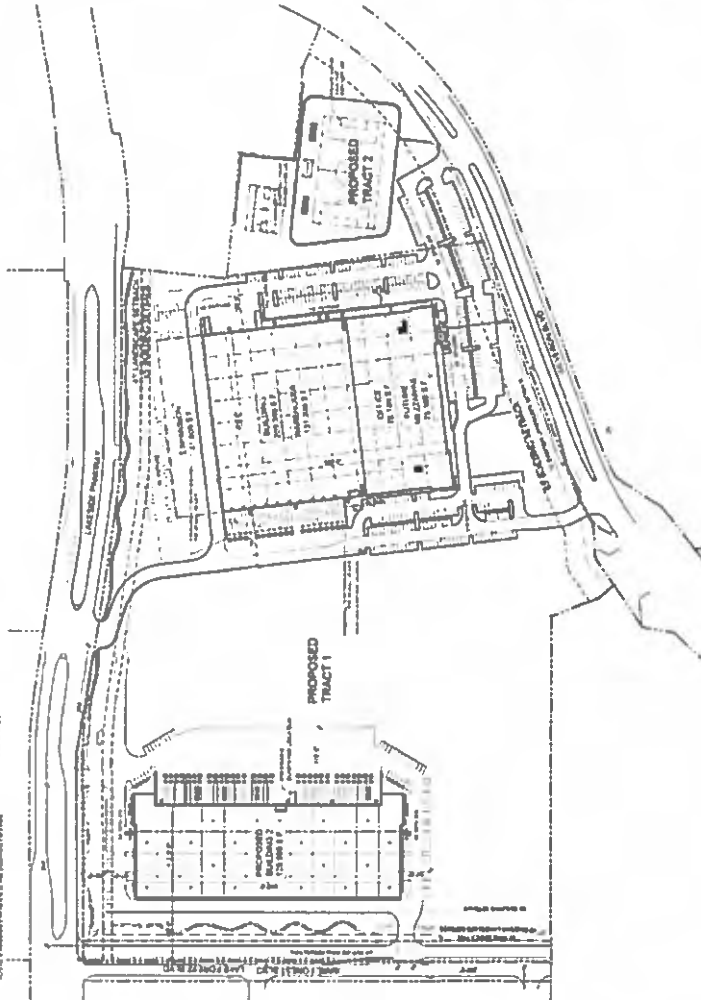
1	1/2" = 1' Scale	1/2" = 1' Scale
2	1/4" = 1' Scale	1/4" = 1' Scale
3	1/8" = 1' Scale	1/8" = 1' Scale
4	1/16" = 1' Scale	1/16" = 1' Scale
5	1/32" = 1' Scale	1/32" = 1' Scale
6	1/64" = 1' Scale	1/64" = 1' Scale
7	1/128" = 1' Scale	1/128" = 1' Scale
8	1/256" = 1' Scale	1/256" = 1' Scale
9	1/512" = 1' Scale	1/512" = 1' Scale
10	1/1024" = 1' Scale	1/1024" = 1' Scale



CONCEPTUAL
SITE PLAN
DATE: December 28, 2016
SHEET: A1.00

MASTER PLAN FEATURE	
1	1/2" = 1' Scale
2	1/4" = 1' Scale
3	1/8" = 1' Scale
4	1/16" = 1' Scale
5	1/32" = 1' Scale
6	1/64" = 1' Scale
7	1/128" = 1' Scale
8	1/256" = 1' Scale
9	1/512" = 1' Scale
10	1/1024" = 1' Scale

PARKING TABULATIONS	
1	1/2" = 1' Scale
2	1/4" = 1' Scale
3	1/8" = 1' Scale
4	1/16" = 1' Scale
5	1/32" = 1' Scale
6	1/64" = 1' Scale
7	1/128" = 1' Scale
8	1/256" = 1' Scale
9	1/512" = 1' Scale
10	1/1024" = 1' Scale

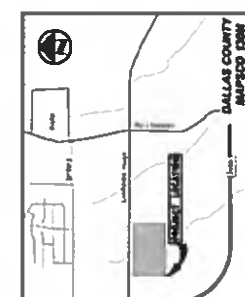


01 CONCEPTUAL SITE PLAN

SITE DATA	
1	1/2" = 1' Scale
2	1/4" = 1' Scale
3	1/8" = 1' Scale
4	1/16" = 1' Scale
5	1/32" = 1' Scale
6	1/64" = 1' Scale
7	1/128" = 1' Scale
8	1/256" = 1' Scale
9	1/512" = 1' Scale
10	1/1024" = 1' Scale

BUILDING FEATURES	
1	1/2" = 1' Scale
2	1/4" = 1' Scale
3	1/8" = 1' Scale
4	1/16" = 1' Scale
5	1/32" = 1' Scale
6	1/64" = 1' Scale
7	1/128" = 1' Scale
8	1/256" = 1' Scale
9	1/512" = 1' Scale
10	1/1024" = 1' Scale

- ## GENERAL NOTES
1. All dimensions are in feet and inches. Round all dimensions to the nearest inch.
 2. All dimensions are based on the centerline of the road unless otherwise noted.
 3. All dimensions are based on the centerline of the road unless otherwise noted.
 4. All dimensions are based on the centerline of the road unless otherwise noted.
 5. All dimensions are based on the centerline of the road unless otherwise noted.
 6. All dimensions are based on the centerline of the road unless otherwise noted.



VICINITY MAP
(NOT TO SCALE)

Exhibit "D"

Conceptual Landscape Plan

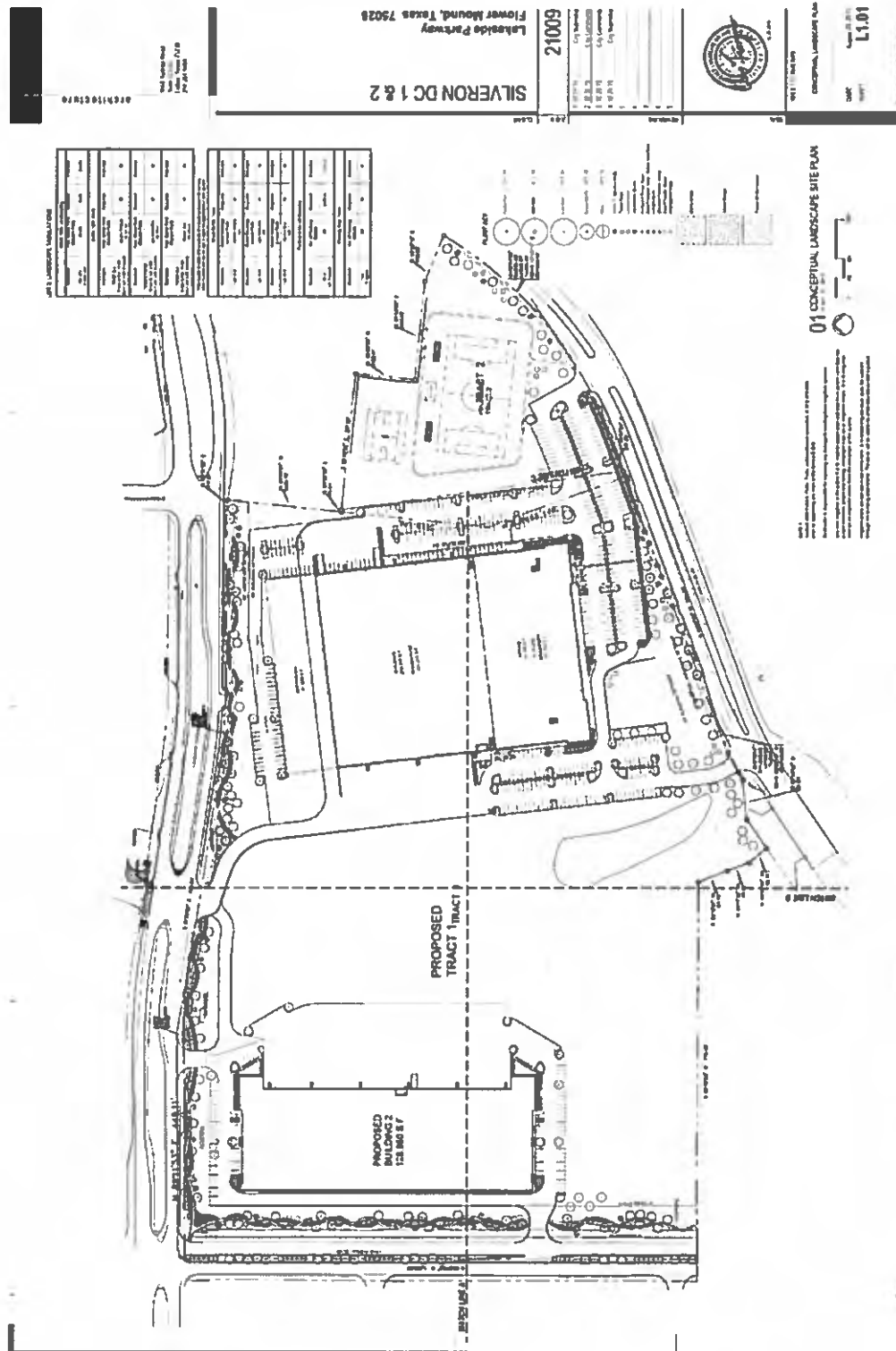
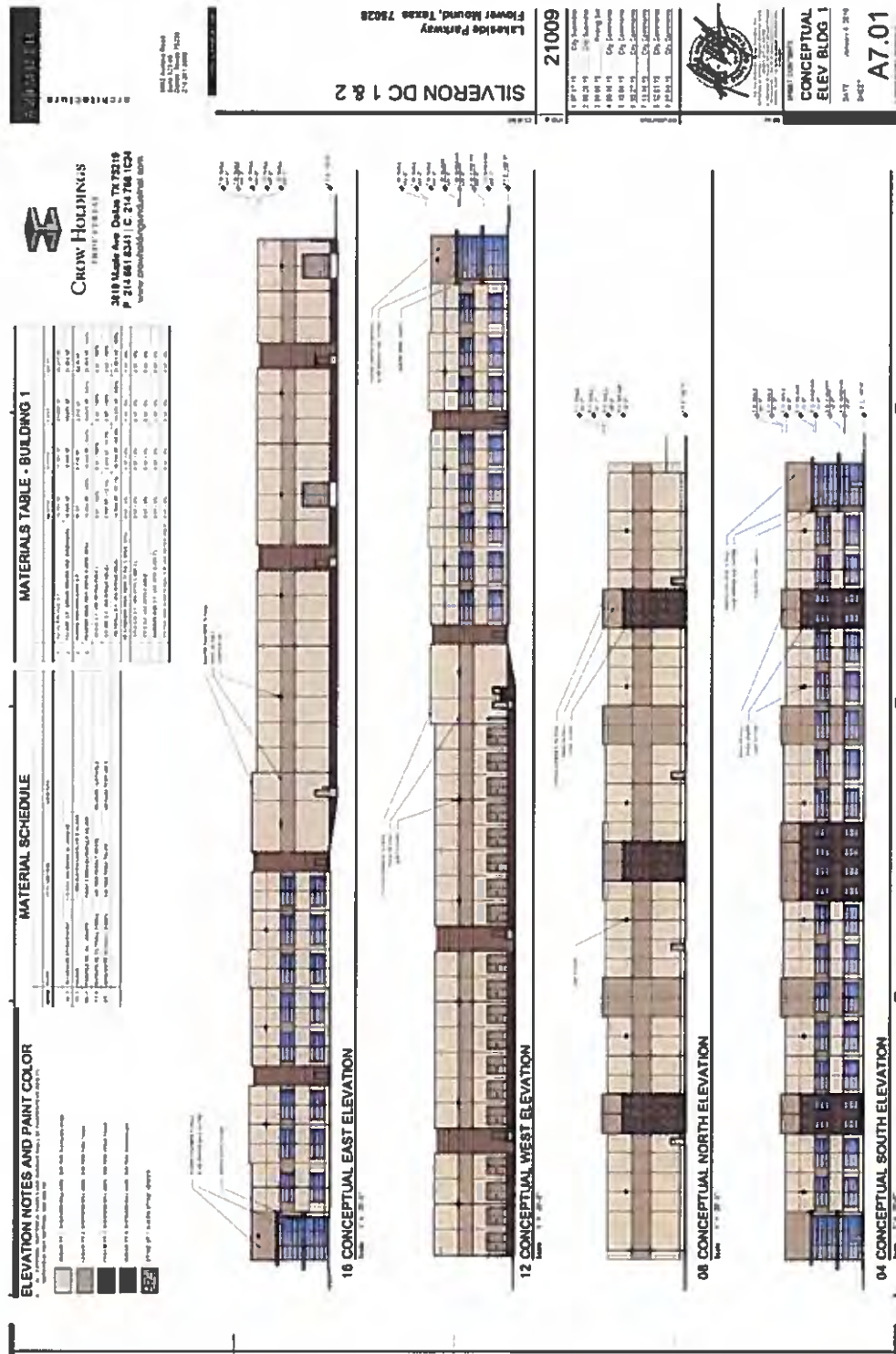
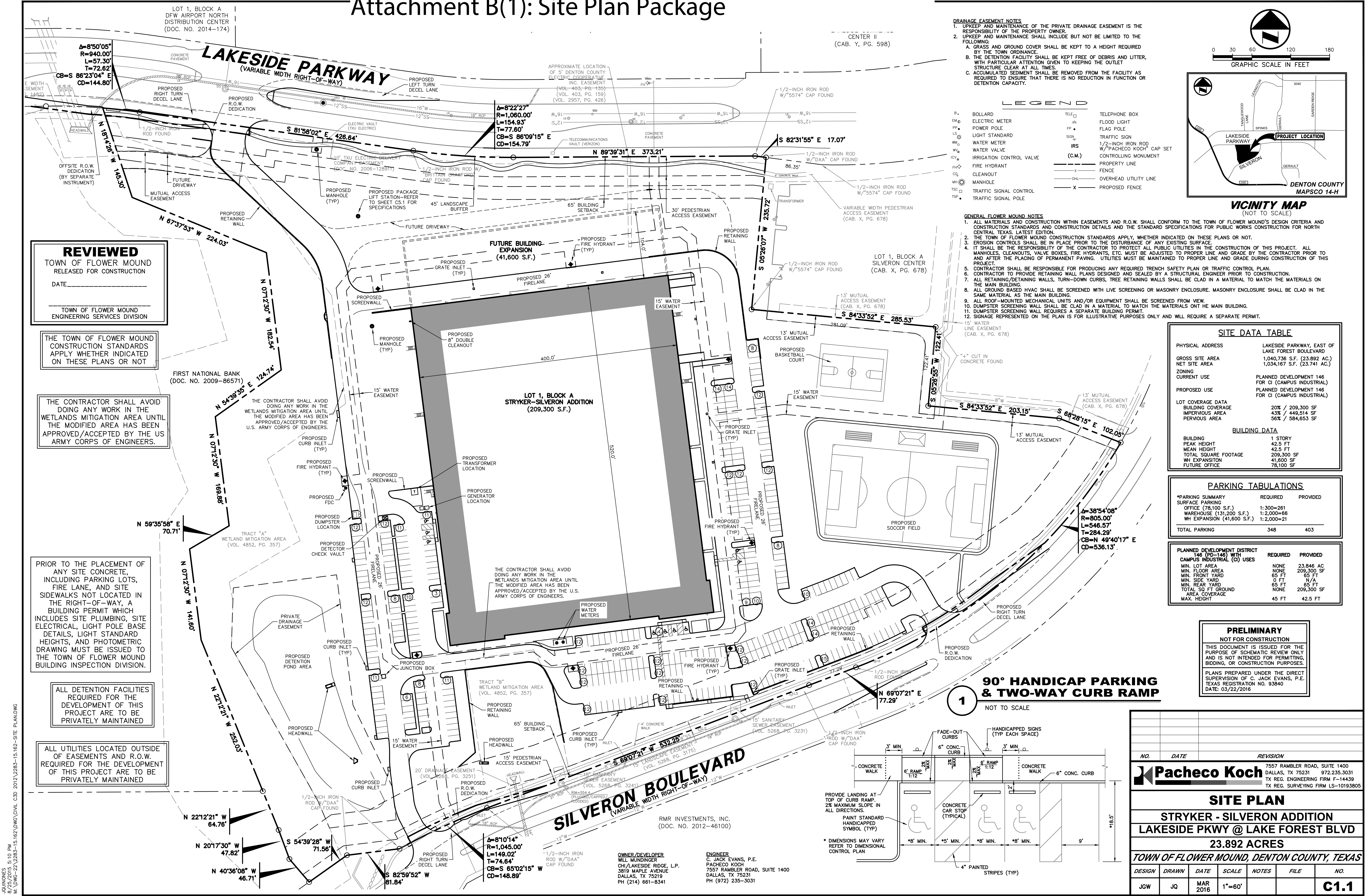


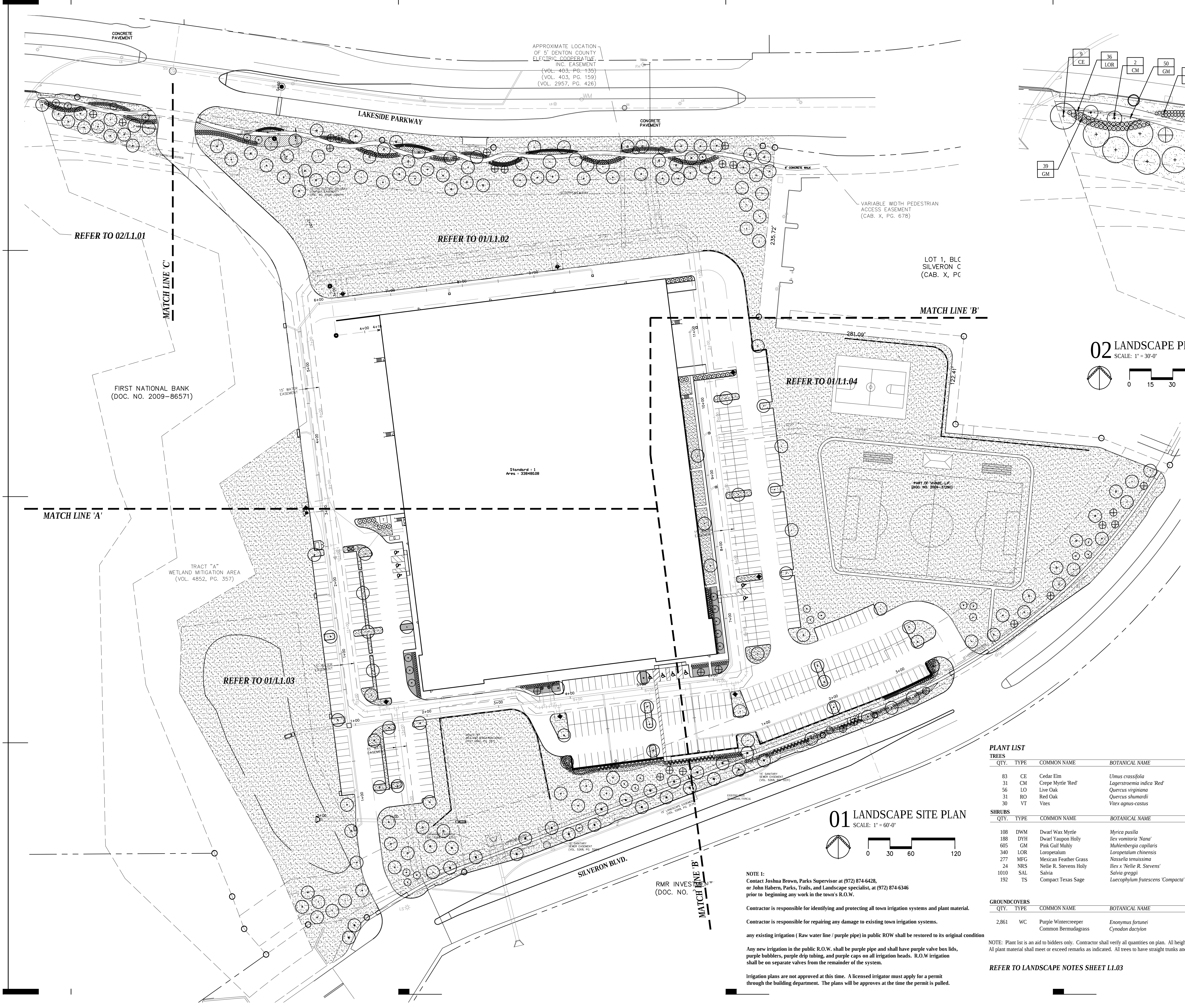
Exhibit "E" Conceptual Elevations



[illegible]

Attachment B(1): Site Plan Package





01 LANDSCAPE SITE PLAN
SCALE: 1" = 60'-0"

NOTE 1:
Contact Joshua Brown, Parks Supervisor at (972) 874-6428,
or John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346
prior to beginning any work in the town's R.O.W.

Contractor is responsible for identifying and protecting all town irrigation systems and plant material.

Contractor is responsible for repairing any damage to existing town irrigation systems.

any existing irrigation (Raw water line / purple pipe) in public ROW shall be restored to its original condition

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids, purple bubblers, purple drip tubing, and purple caps on all irrigation heads. R.O.W irrigation shall be on separate valves from the remainder of the system.

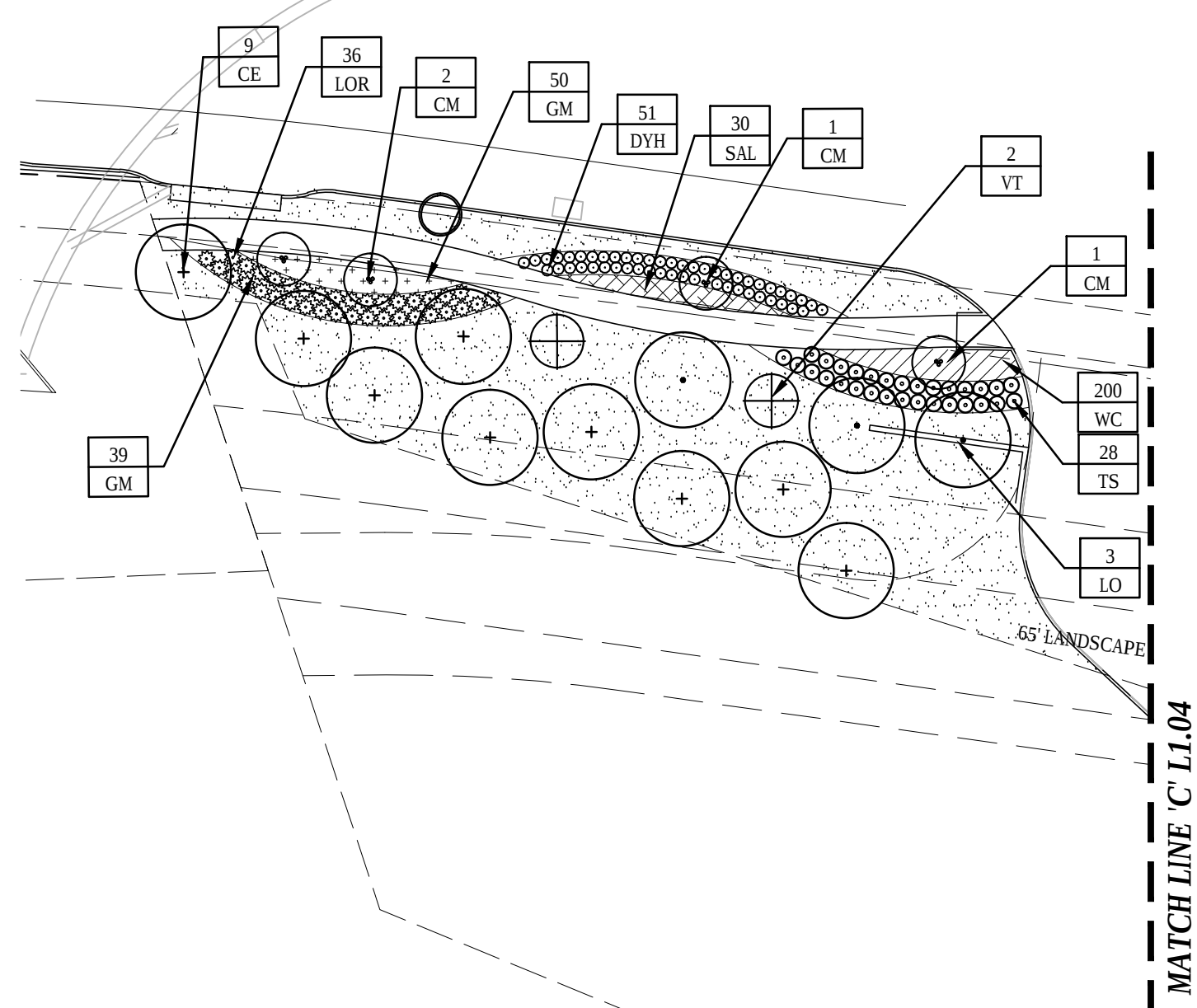
Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit through the building department. The plans will be approved at the time the permit is pulled.

PLANT LIST					
TREES					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
83	CE	Cedar Elm	Ulmus crassifolia	4" cal.	B&B, 13' ht., 5' spread min., 5" clear trunk
31	CM	Crepe Myrtle 'Red'	Lagerstroemia indica 'Red'	8' ht.	container, 3-5 trunks tree form
56	LO	Live Oak	Quercus virginiana	6" cal.	B&B or container, 15' ht., 8' spread min., 5" clear trunk
31	RO	Red Oak	Quercus shumardii	6" cal.	B&B or container, 15' ht., 8' spread min., 5" clear trunk
30	VT	Vitex	Vitex agnus-castus	8' ht.	container, 3-5 trunks tree form
SHRUBS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
108	DWM	Dwarf Wax Myrtle	Myrica pusilla	5 gal.	container full, 24" o.c.
188	DYH	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gal.	container full, 24" o.c.
605	CM	Pink Gail Mahoy	Muhlenbergia capillaris	3 gal.	container full, 24" o.c.
340	LOR	Loropetalum	Loropetalum chinensis	5 gal.	container full, 36" o.c.
277	MFG	Mexican Feather Grass	Nassella tenuissima	3 gal.	container full, 24" o.c.
24	NRS	Nellie R. Stevens Holly	Illex x 'Nellie R. Stevens'	5' ht.	container full to base, 24" spread
1010	SAL	Salvia	Salvia greggii	3 gal.	container full, 24" o.c.
192	TS	Compact Texas Sage	Leucophyllum frutescens 'Compacta'	5 gal.	container full, 36" o.c.

GROUND COVERS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
2,861	WC	Purple Wintercreeper	Enonymus fortunei	4" pots	container, 3-5 (12") runners min., 12" o.c.
		Common Bermudagrass	Cynodon dactylon		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

REFER TO LANDSCAPE NOTES SHEET L1.03



02 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

LANDSCAPE TABULATIONS

Street Yard Landscaping				
Standard	Total Street Yard (Square Feet)	Required	Provided	
Min. 20% of street yard	366,880	73,376	218,943	
Street Yard Trees				
Standard	Total Street Yard (Square Feet)	Required	Provided	
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Lakeside Parkway 204,500 s.f.	69	83	
Standard	Total Street Yard (Square Feet)	Required	Provided	
110,000 plus 50 tree for first 110,000 plus (1) per 5,000 in excess of 110,000 s.f.	Silveron Blvd. 225,088 s.f.	73	88 (includes 22 existing)	
Trees required to satisfy other provisions of landscaping requirements and lying within the street yard may be used to satisfy the requirements of other sections.				
Street Buffer Trees				
Standard	Street Frontage (Linear Feet)	Required	Provided	
1 per 30 L.F.	Lakeside Parkway 1,029 L.F.	35	35	
Standard	Street Frontage (Linear Feet)	Required	Provided	
1 per 30 L.F.	Silveron Blvd. 1,386 L.F.	47	47 (includes 22 existing)	
Parking Area Landscaping				
Standard	No. of Parking Spaces	Required	Provided	
50 s.f. per 12 spaces	403	3,022 s.f.	9,284 s.f.	
Parking Area Trees				
Standard	No. of Parking Spaces	Required	Provided	
1 per 10 spaces	403	41	43	

architecture

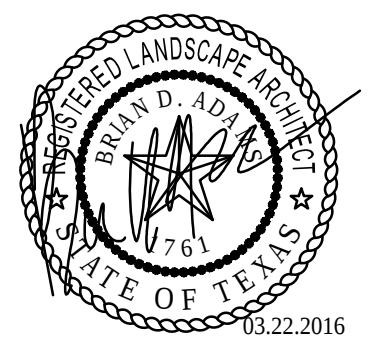
9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

- 1 FLOWER MOUND COMMENTS 01.25.2016
2 FLOWER MOUND COMMENTS 03.07.2016
3 FLOWER MOUND COMMENTS 03.22.2016
4
5
6
7
8
9



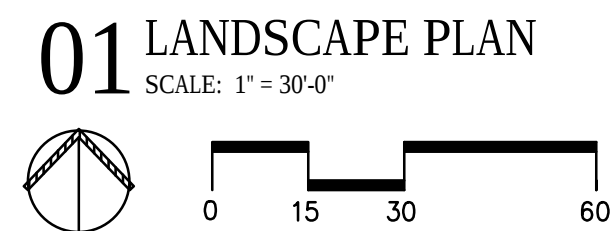
SHEET CONTENTS:

LANDSCAPE SITE PLAN

DATE: December 22, 2015

SHEET: L1.01

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0883
Fax 214.871.0545
Email smr@smr-la.com



© COPYRIGHT 2015 AZIMUTH : ARCHITECTURE, INC.

NOTE 1:
Contact Joshua Brown, Parks Supervisor at (972) 874-6428,
or John Habern, Parks, Trails, and Landscape specialist, at (972) 874-6346
prior to beginning any work in the town's R.O.W.

Contractor is responsible for identifying and protecting all town irrigation systems and plant material.

Contractor is responsible for repairing any damage to existing town irrigation systems.

any existing irrigation (Raw water line / purple pipe) in public ROW shall be restored to its original condition

Any new irrigation in the public R.O.W. shall be purple pipe and shall have purple valve box lids,
purple bubblers, purple drip tubing, and purple caps on all irrigation heads. R.O.W irrigation
shall be on separate valves from the remainder of the system.

Irrigation plans are not approved at this time. A licensed irrigator must apply for a permit
through the building department. The plans will be approves at the time the permit is pulled.

The contractor shall avoid doing any work
in the wetlands mitigation area until the
modified area has been approved / accepted
by the US Army Corps of Engineers

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include moving, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

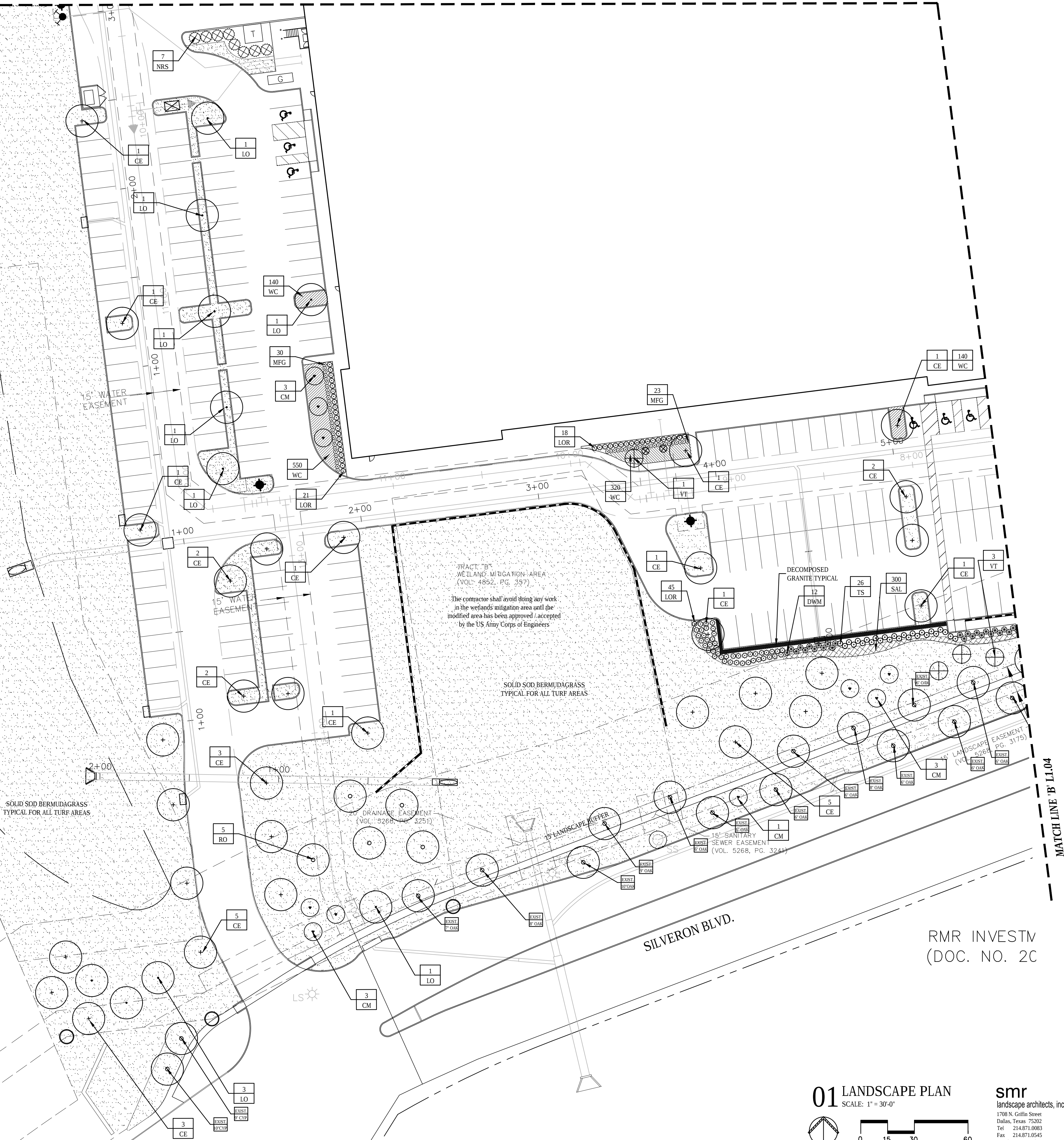
- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

PLANT LEGEND

QUANTITY
PLANT TYPE

SYMBOL	PLANT TYPE
CE	Cedar Elm
CM	Crepe Myrtle
DWM	Dwarf Wax Myrtle
DYH	Dwarf Yaupon Holly
GM	Gulf Muhly Grass
IH	Indian Hawthorn 'Clara'
LO	Live Oak
LOR	Loropetalum
MFG	Mexican Fanther Grass
NRS	Nellie R. Stevens Holly
RO	Red Oak
SAL	Salvia Greggii
TS	Compact Texas Sage
VT	Vitex
WC	Purple Wintercreeper

MATCH LINE 'A' L1.02



architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

- 1 FLOWER MOUND COMMENTS 01.25.2016
2 FLOWER MOUND COMMENTS 03.07.2016
3 FLOWER MOUND COMMENTS 03.22.2016
4
5
6
7
8
9



SHEET CONTENTS:

LANDSCAPE PLAN

DATE: December 22, 2015

SHEET: L1.03

SECTION 02800 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1960, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 – Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix, material, gravel, and crushed stone. (Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made: plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

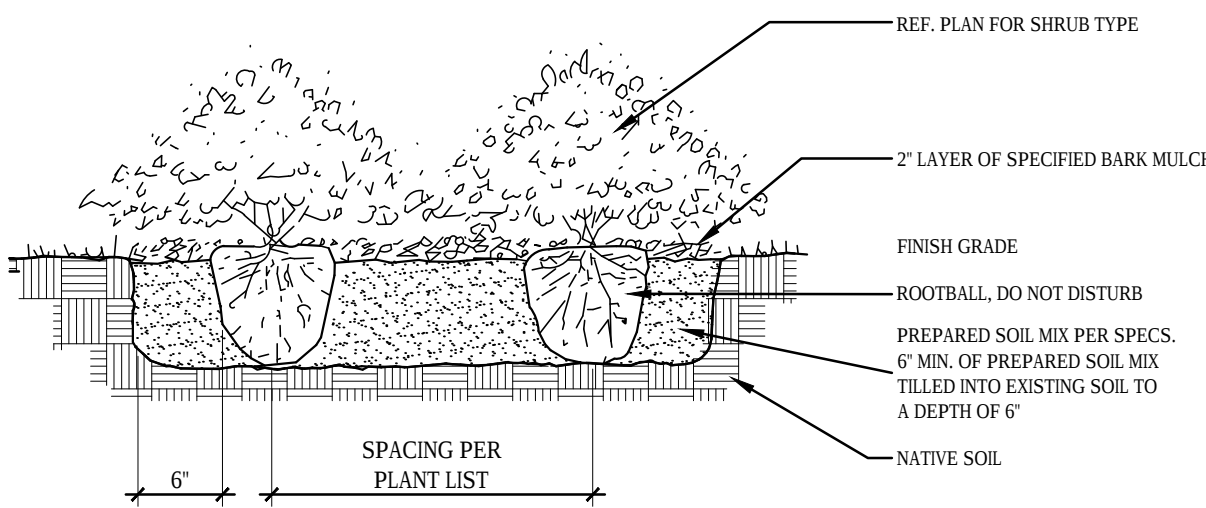
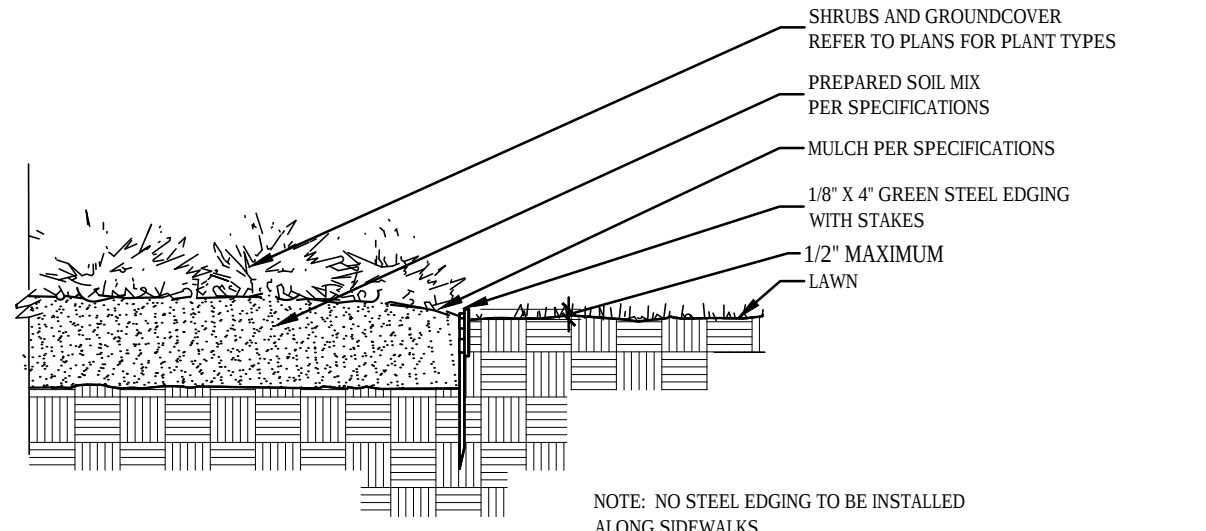
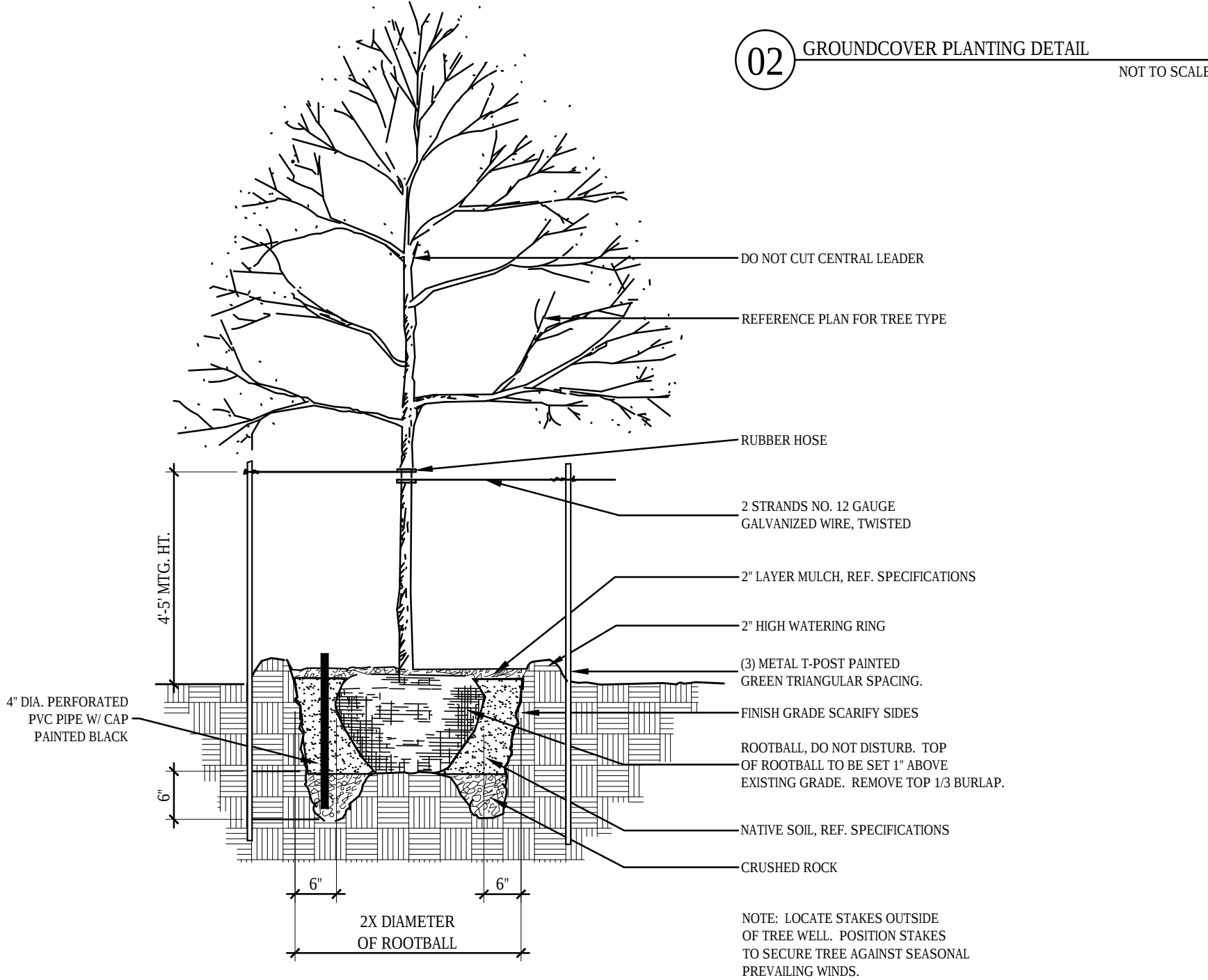
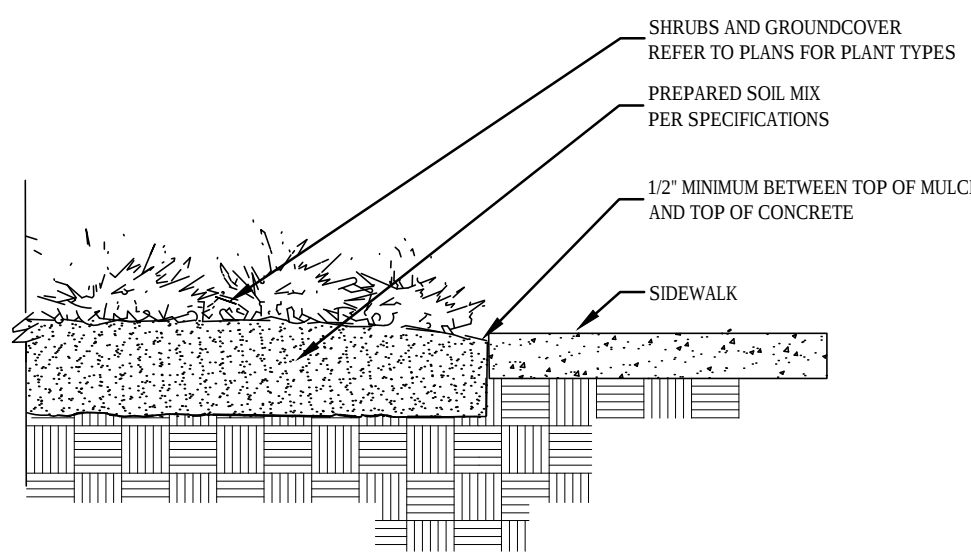
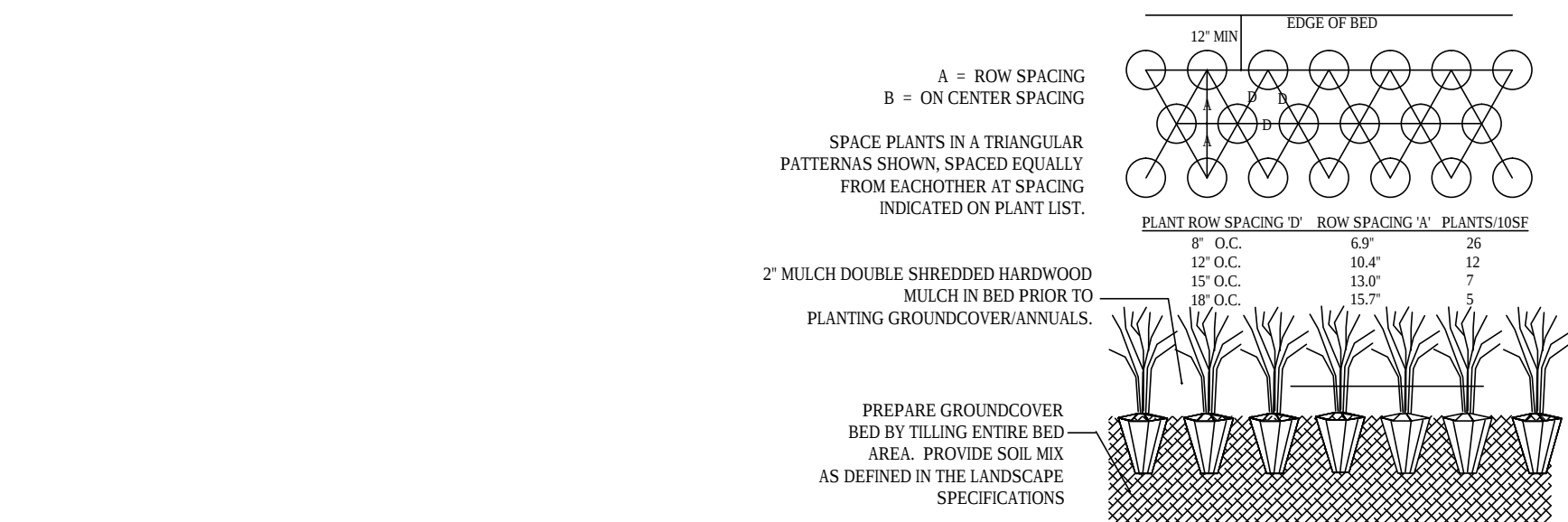
- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term "trunk-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertalid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Studded T-Post, #1 Armco with anchor plate, 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 3/4 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Lottland Co., (214) 631-5250 or approved equal.



architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

SILVERON DC 2

Lakeside Parkway
Flower Mound, Texas 75028

21009

1 FLOWER MOUND COMMENTS 01.25.2016

2

3 FLOWER MOUND COMMENTS 03.22.2016

4

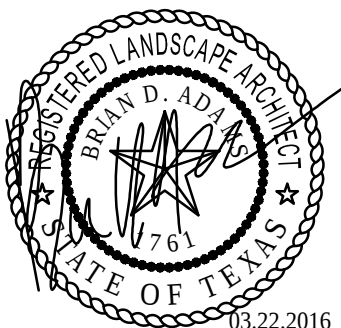
5

6

7

8

9



SHEET CONTENTS:

LANDSCAPE SPECIFICATIONS

DATE: December 22, 2015

SHEET: L1.05

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-la.com

© COPYRIGHT 2015 AZMUTH - ARCHITECTURE, INC.

ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

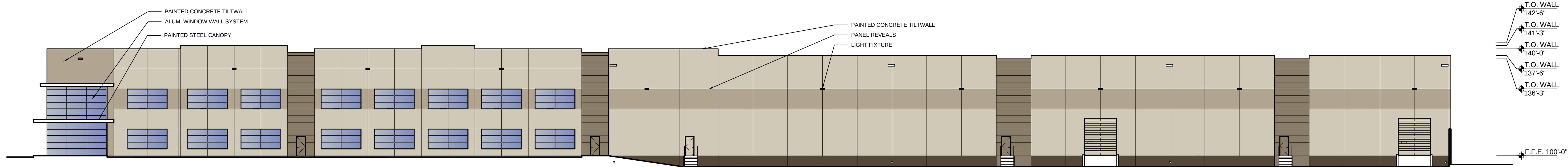
	COLOR PT-1: SHERWIN WILLIAMS - SW 7036 Accessible Beige
	COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
	COLOR PT-3: SHERWIN WILLIAMS - SW 7039 Virtual Taupe
	COLOR PT-4: SHERWIN WILLIAMS - SW 7040 Smokehouse
	STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE

MARK	NAME	DESCRIPTION	COMMENTS
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM	
GL-1	GLASS	1" INSULATED GREY GLASS	
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER	
PT-1	CONCRETE TILT WALL PANEL	SW 7036 ACCESSIBLE BEIGE	MEDIUM TEXTURED
PT-2	CONCRETE TILT WALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED
PT-3	CONCRETE TILT WALL PANEL	SW 7039 VIRTUAL TAUPE	MEDIUM TEXTURED
PT-4	CONCRETE TILT WALL PANEL	SW 7040 SMOKEHOUSE	MEDIUM TEXTURED
ST-1	STONE VENEER	AUSTIN STONE VENEER	

MATERIALS TABLE

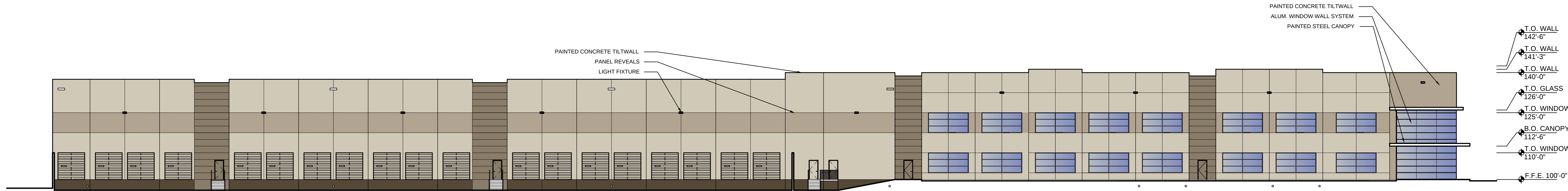
		NORTH	SOUTH	EAST	WEST
1.	TOTAL FACADE S.F.	16,785 SF	17,393 SF	21,889 SF	25,277 SF
2.	FACADE S.F. (MINUS DOORS AND WINDOWS)	16,689 SF	12,669 SF	19,071 SF	21,061 SF
3.	DOORS AND WINDOWS S.F.	96 SF	4,724 SF	2,818 SF	4,216 SF
4.	PRIMARY MASONRY TOTALS (MIN. 80%)	16,689 SF / 100%	12,669 SF / 100%	19,071 SF / 100%	21,061 SF / 100%
	- BRICK S.F. (AS APPLICABLE)	0 SF / 100%	0 SF / 100%	0 SF / 100%	0 SF / 100%
	- STONE S.F. (AS APPLICABLE)	2,145 SF / 12.9%	2,433 SF / 19.2%	0 SF / 100%	0 SF / 100%
	- TILT WALL S.F. (AS APPLICABLE)	14,544 SF / 87.1%	10,236 SF / 80.8%	19,071 SF / 100%	21,061 SF / 100%
5.	SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- HARDPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
	- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



16 EAST ELEVATION

Scale: 1" = 20'-0"

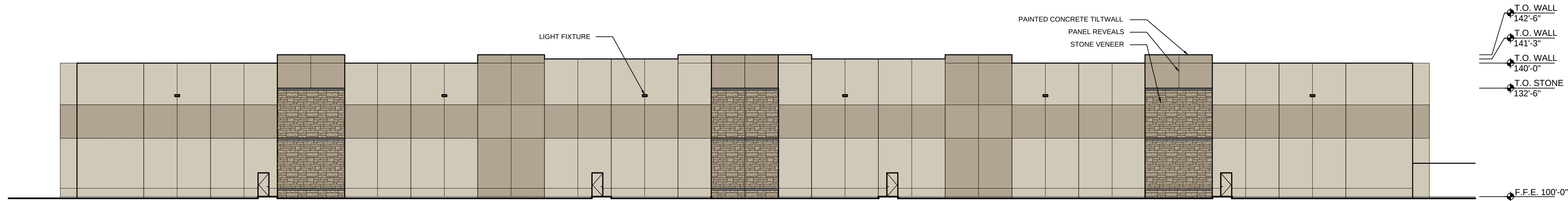
BUILDING HEIGHT 42'-6" A.F.F.



12 WEST ELEVATION

Scale: 1" = 20'-0"

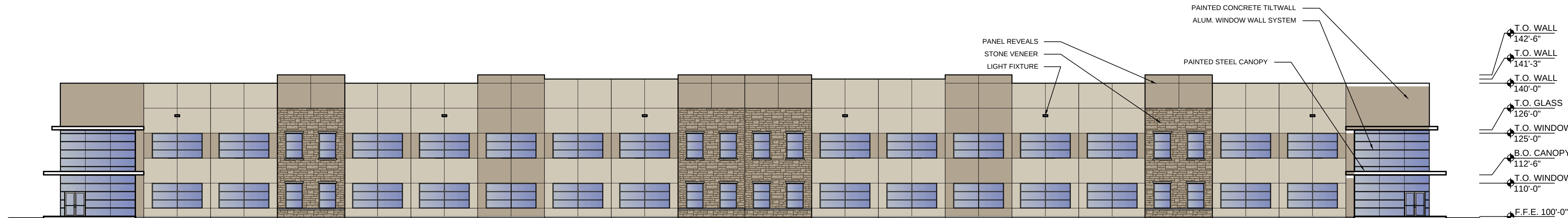
BUILDING HEIGHT 42'-6" A.F.F.



08 NORTH ELEVATION

Scale: 1" = 20'-0"

BUILDING HEIGHT 42'-6" A.F.F.



04 SOUTH ELEVATION

Scale: 1" = 20'-0"

BUILDING HEIGHT 42'-6" A.F.F.

AZIMUTH:

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

STRYKER

Silveron Blvd.
Flower Mound, Texas 75028

CLIENT: JOB #:

21009

REVISIONS:

1	10.20.15	CAD Distribution
2	10.23.15	Pricing Set
3	11.23.15	Bid Set
4	12.22.15	Site Plan Submittal
5	01.08.16	Pricing Set
6	01.21.16	City Comments
7	02.22.16	Construction Docs
8	03.03.16	DRC Comments
9		

SEAL:



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #148915 March 03, 2016 Construction Documents ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS.

SHEET CONTENTS:

EXTERIOR
ELEVATIONS

DATE: March 03, 2016

SHEET:

A7.01

© COPYRIGHT 2016 AZIMUTH - ARCHITECTURE, INC.

ELEVATION NOTES AND PAINT COLOR

A. ALL EXTERNAL ELECTRICAL PANELS AND CONDUIT SHALL BE PAINTED/TEXTURED TO MATCH BUILDING MATERIAL AND COLOR.

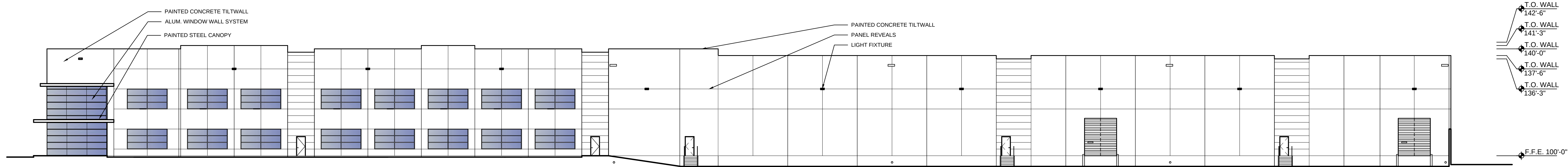
	COLOR PT-1: SHERWIN WILLIAMS - SW 7036 Accessible Beige
	COLOR PT-2: SHERWIN WILLIAMS - SW 7038 Tony Taupe
	COLOR PT-3: SHERWIN WILLIAMS - SW 7039 Virtual Taupe
	COLOR PT-4: SHERWIN WILLIAMS - SW 7040 Smokehouse
	STONE ST-1: AUSTIN STONE VENEER

MATERIAL SCHEDULE

MARK	NAME	DESCRIPTION	COMMENTS
AL-1	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM	
GL-1	GLASS	1" INSULATED GREY GLASS	
MC-1	PAINTED METAL CANOPY	PAINT FINISH BONDPLEX SILVER	
PT-1	CONCRETE TILT WALL PANEL	SW 7036 ACCESSIBLE BEIGE	MEDIUM TEXTURED
PT-2	CONCRETE TILT WALL PANEL	SW 7038 TONY TAUPE	MEDIUM TEXTURED
PT-3	CONCRETE TILT WALL PANEL	SW 7039 VIRTUAL TAUPE	MEDIUM TEXTURED
PT-4	CONCRETE TILT WALL PANEL	SW 7040 SMOKEHOUSE	MEDIUM TEXTURED
ST-1	STONE VENEER	AUSTIN STONE VENEER	

MATERIALS TABLE

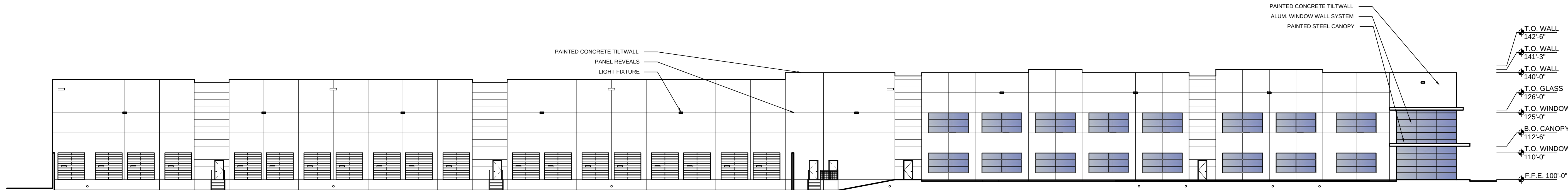
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	16,785 SF	17,393 SF	21,889 SF	25,277 SF
2. FACADE S.F. (MINUS DOORS AND WINDOWS)	16,689 SF	12,669 SF	19,071 SF	21,061 SF
3. DOORS AND WINDOWS S.F.	96 SF	4,724 SF	2,818 SF	4,216 SF
4. PRIMARY MASONRY TOTALS (MIN. 80%)	16,689 SF / 100%	12,669 SF / 100%	19,071 SF / 100%	21,061 SF / 100%
- BRICK S.F. (AS APPLICABLE)	0 SF / 100%	0 SF / 100%	0 SF / 100%	0 SF / 100%
- STONE S.F. (AS APPLICABLE)	2,145 SF / 12.9%	2,433 SF / 19.2%	0 SF / 100%	0 SF / 100%
- TILT WALL S.F. (AS APPLICABLE)	14,544 SF / 87.1%	10,236 SF / 80.8%	19,071 SF / 100%	21,061 SF / 100%
5. SECONDARY MASONRY TOTALS (MAX. 20%)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
- STUCCO S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
- EIFS S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
- HARDPLANK S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%
- DETAIL ANY ADDITIONAL S.F. (AS APPLICABLE)	0 SF / 0%	0 SF / 0%	0 SF / 0%	0 SF / 0%



16 EAST ELEVATION

Scale: 1" = 20'-0"

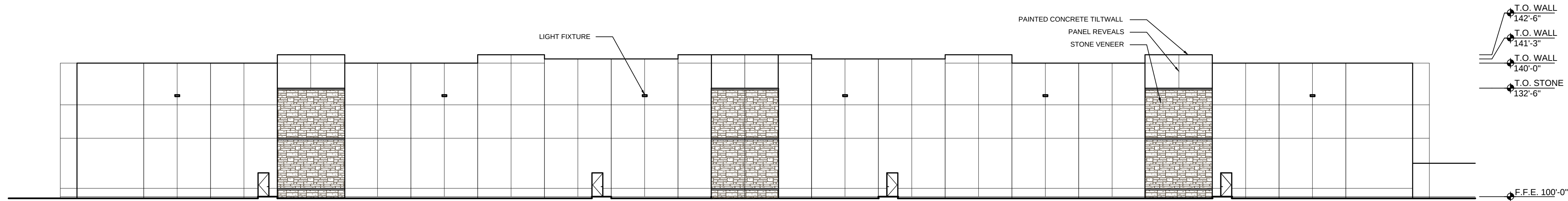
BUILDING HEIGHT 42'-6" A.F.F.



12 WEST ELEVATION

Scale: 1" = 20'-0"

BUILDING HEIGHT 42'-6" A.F.F.



08 NORTH ELEVATION

Scale: 1" = 20'-0"

BUILDING HEIGHT 42'-6" A.F.F.



04 SOUTH ELEVATION

Scale: 1" = 20'-0"

BUILDING HEIGHT 42'-6" A.F.F.

AZIMUTH:

architecture

9660 Audelia Road
Suite 123-66
Dallas, Texas 75238
214.261.9060

www.azimutharc.com

STRYKER

Silveron Blvd.
Flower Mound, Texas 75028

CLIENT: JOB #:

21009

REVISIONS:

1	10.20.15	CAD Distribution
2	10.23.15	Pricing Set
3	11.23.15	Bid Set
4	12.22.15	Site Plan Submittal
5	01.08.16	Pricing Set
6	01.21.16	City Comments
7	02.22.16	Construction Docs
8	03.03.16	DRC Comments
9		

SEAL:



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #18915 MARCH 03, 2016 CONSTRUCTION DOCUMENTS ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS.

SHEET CONTENTS:

EXTERIOR
ELEVATIONS

DATE: March 03, 2016

SHEET:

A7.01

© COPYRIGHT 2016 AZIMUTH - ARCHITECTURE, INC.

STRYKER

Silveron Blvd.
Flower Mound, Texas 75028

21009

1	10.20.15	CAD Distribution
2	10.23.15	Pricing Set
3	11.23.15	Bid Set
4	12.22.15	Site Plan Submittal
5	01.08.16	Pricing Set
6	01.21.16	City Comments
7	02.22.16	Construction Docs
8	03.03.16	DRC Comments
9		



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT #18915
March 03, 2016 Construction Documents
ALTERATIONS OF SEALED DOCUMENTS WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN
OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL
EXAMINERS.

SHEET CONTENTS:

SECTION
AND DETAILS

DATE: March 03, 2016

SHEET:

A7.11

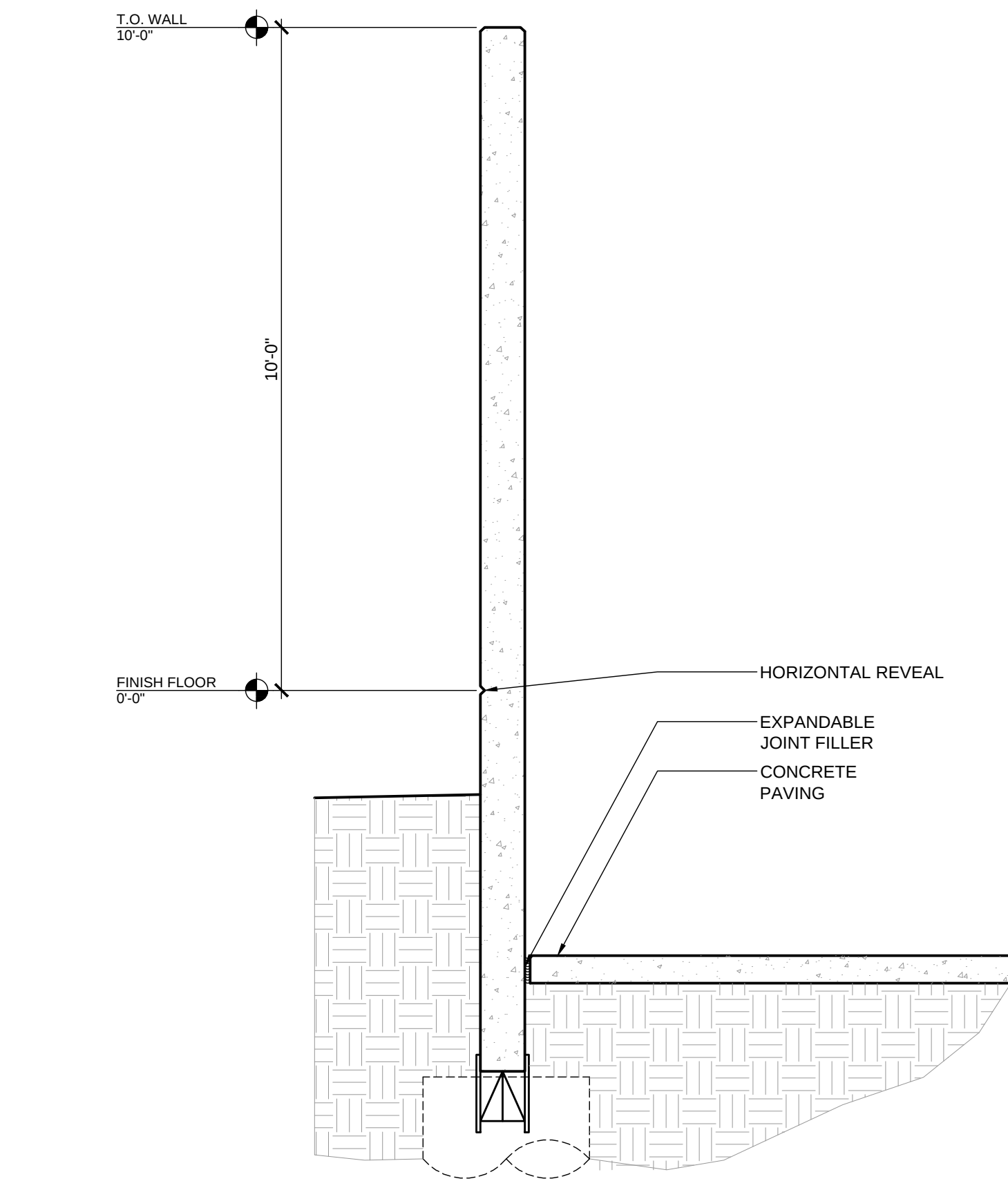
© COPYRIGHT 2016 AZIMUTH ARCHITECTURE, INC.

CLIENT:

JOB #:

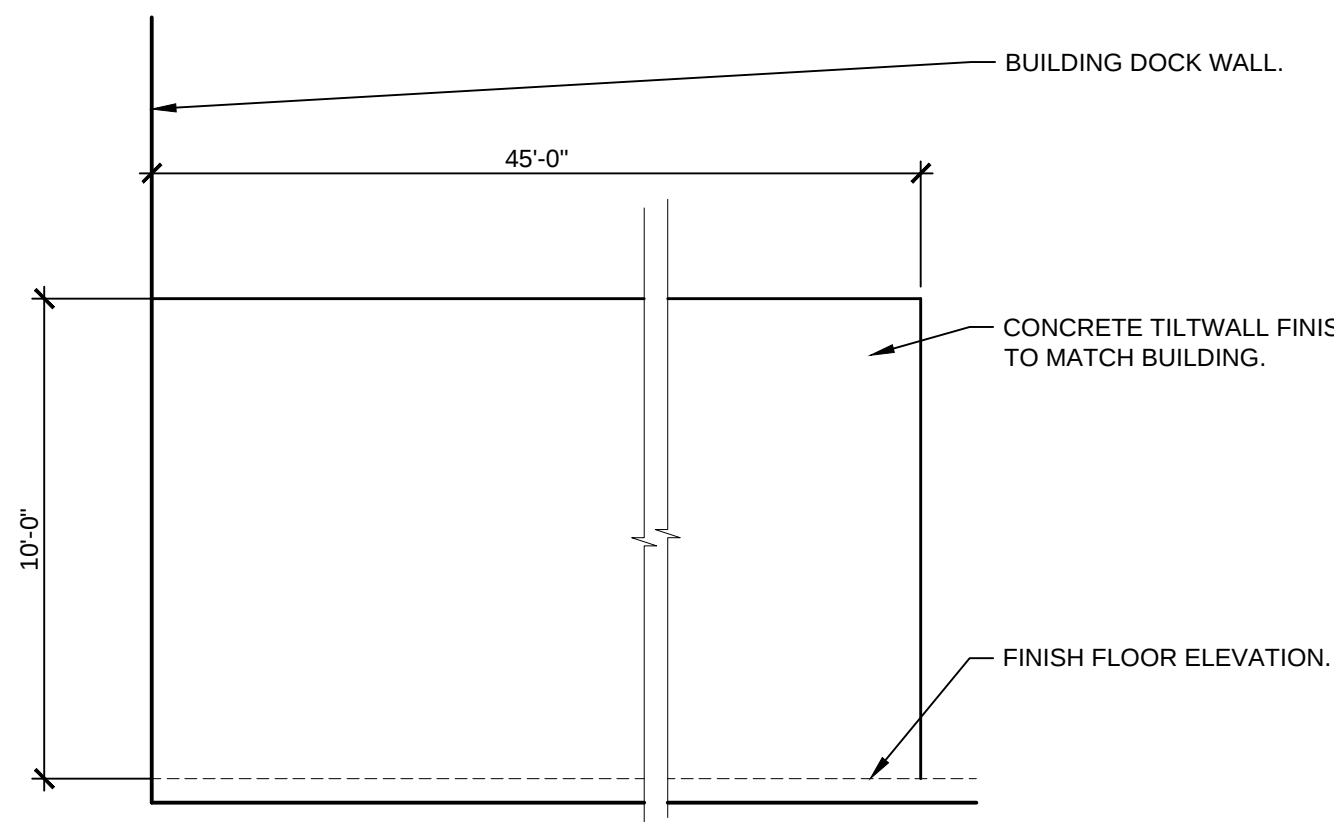
REVISIONS:

SEAL:



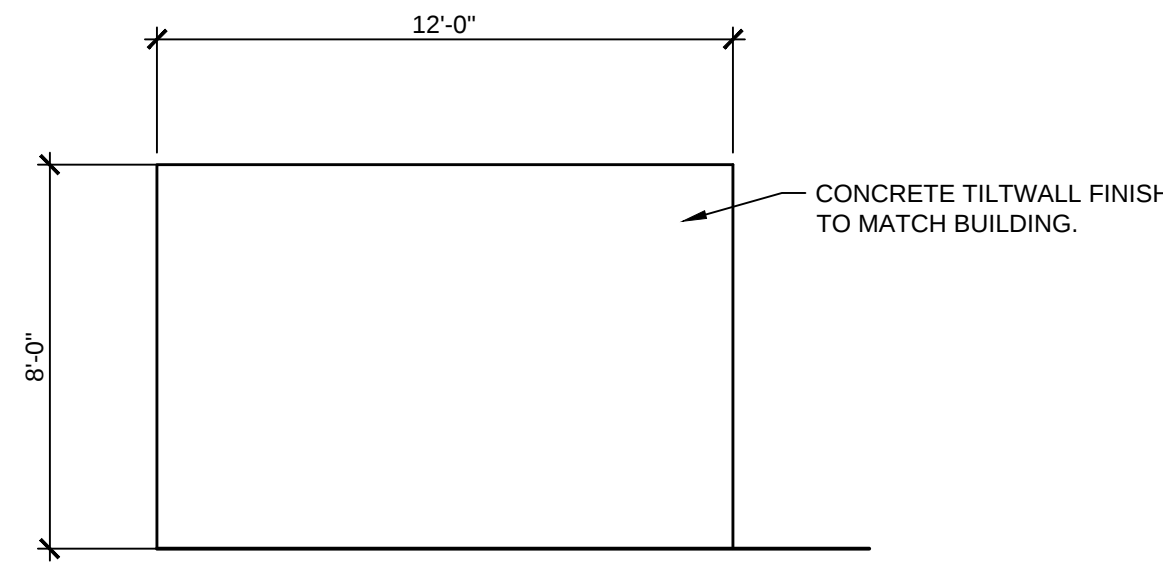
08 SCREEN WALL SECTION

Scale: 1/2" = 1'-0"



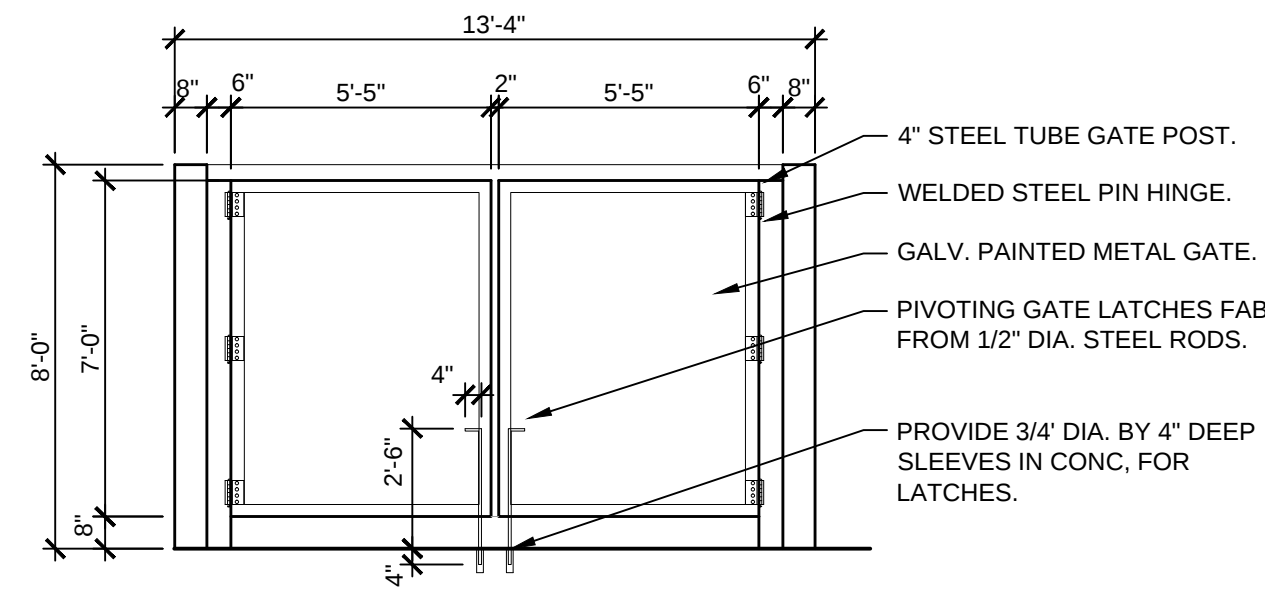
07 TRASH ENCLOSURE SIDE ELEV.

Scale: 1/4" = 1'-0"



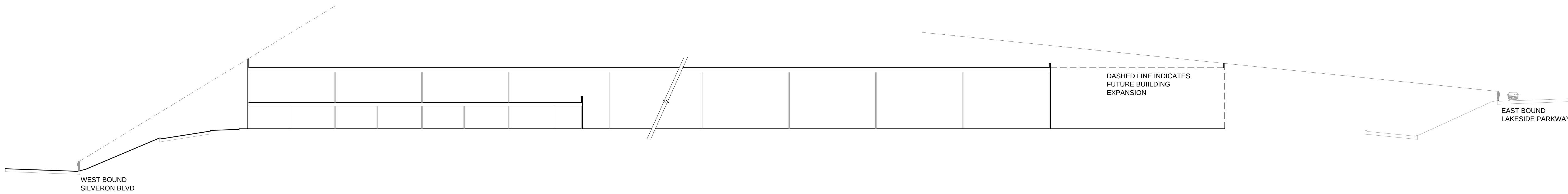
06 TRASH ENCLOSURE SIDE ELEV.

Scale: 1/4" = 1'-0"



05 TRASH ENCLOSURE GATE ELEV.

Scale: 1/4" = 1'-0"



04 BUILDING SECTION WITH SIGHT LINES

Scale: 1" = 30'-0"

BUILDING HEIGHT 42'-6" A.F.F.



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: March 28, 2016

FROM: Chuck Russell, Town Planner

ITEM: Public Hearing to consider a request for a Master Plan Amendment (MPA16-0001 – Hawks Hill QT) to amend Section 3.0, Specific Plans, and Section 4.0, Urban Design Plan, by amending the roof and parapet standards for Specific Plan Area 5 (SPA 5) that apply to the subject property. The property is generally located west of Long Prairie Road and south of Waketon Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and found to be in conformance with all applicable Town regulations except as described below.

The project has a companion Specific Use Permit application (SUP16-0001) for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The applicant is requesting to amend both the Urban Design standards within the Town's Master Plan as well as the standards within Specific Plan Area 5 (SPA 5) to seek relief from the requirement that mandates buildings of 15,000 square feet or less have pitched roofs. The requested modifications will allow the applicant to proceed with the development process to construct a 5,858-square-foot convenience store with gasoline sales. The site is currently undeveloped and is approximately 1.5 acres in size.

The subject property is located within the Hawks Hill Planned Development District No. 141 (PD-141) with Retail District-2 (R-2), Office District (O), and Agricultural District (A) uses. The Town Council approved the change in zoning from an (A) zoning district to PD-141 on October 5, 2015. PD-141 requires Town Council approval of a Specific Use Permit (SUP) for a convenience store with gasoline sales. Consideration of a companion request for this SUP is on the same agenda.

In general, the Town's Urban Design standards do not allow nonresidential buildings with a footprint of less than 15,000 square feet to have flat roofs. Over the years, specific relief from this provision has been approved for specific developments and specific buildings. This request is to modify an existing

exception in the regulations for developments within SPA 5. Section 12.1 of the Town's Urban Design standards states:

- Roofs of non-residential buildings 15,000 square feet or less are to reflect hip and/or gable styles that replicate residential scale and pitch, provided that the Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this requirement for buildings within SPA 1, SPA 5 or SPA 6, consistent with the requirements in Section 3.0(g) of SPA 1, Section 3.0(m) of SPA 6, and Section 3.0(a) and (o) of SPA 5. In designing a residential scaled roof for non-residential buildings 15,000 square feet or less, the goal shall be a roof that provides for characteristic roof pitches/slopes of residential homes in the Town of Flower Mound (6/12 to 9/12 slope) and high steeply-pitched and/or expansive roof pitches/slopes shall be avoided.

The subject property is designated for Neighborhood Retail uses within SPA 5 (See Attachment A(4)). Regarding roof pitch, the text in SPA 5 states:

- Roofs of commercial buildings 15,000 SF and under are to be hip, gable or a combination of the two. The Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this requirement for buildings within this SPA 5 provided that: (1) any such building(s) being considered for a waiver shall be part of a large-scale multi-building development of **25 acres** or larger; and, (2) possessing a meritorious Unified Design Theme. Structures larger than 15,000 SF should have no visible area of flat roof from any adjacent properties. A mansard parapet structure, in a combination of vertical and sloping sections, will be required along 100% of the roof perimeter.

The Hawks Hill development contains approximately 18.578 acres; therefore, it does not comply with the minimum 25-acre standard above. The applicant is seeking to amend both the Urban Design standards and the above section of SPA 5 to not require pitched roofs on buildings that are not directly adjacent to existing residential uses. This proposal would impact more than the subject site. The result would be that most new buildings within SPA 5 that are less than 15,000 square feet would not have to have a pitched roof.

The applicant's rationale for these requests is in the attached letter of intent (Attachment A(2)). Staff believes there is merit to consideration of this request as stated by the applicant given one of the "purposes of the pitched roof requirement is to protect adjacent residential uses by requiring an appropriate transition of architectural elements as the land use changes from non-residential to residential." In this case, the proposed building will be located approximately 550 feet from the nearest single family residential neighborhood and will be adjacent to office, retail and restaurant uses to the north, south and west. However, the impact the proposed amendment has on the remainder of SPA 5 must also be considered.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet

of the subject property for all Master Plan amendment requests. At the time this report was written, staff had received three correspondences in opposition and no correspondence in favor of the request.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Sections of the Urban Design Standards
4. SPA 5
5. Approved Conceptual Elevations

B. Application Details

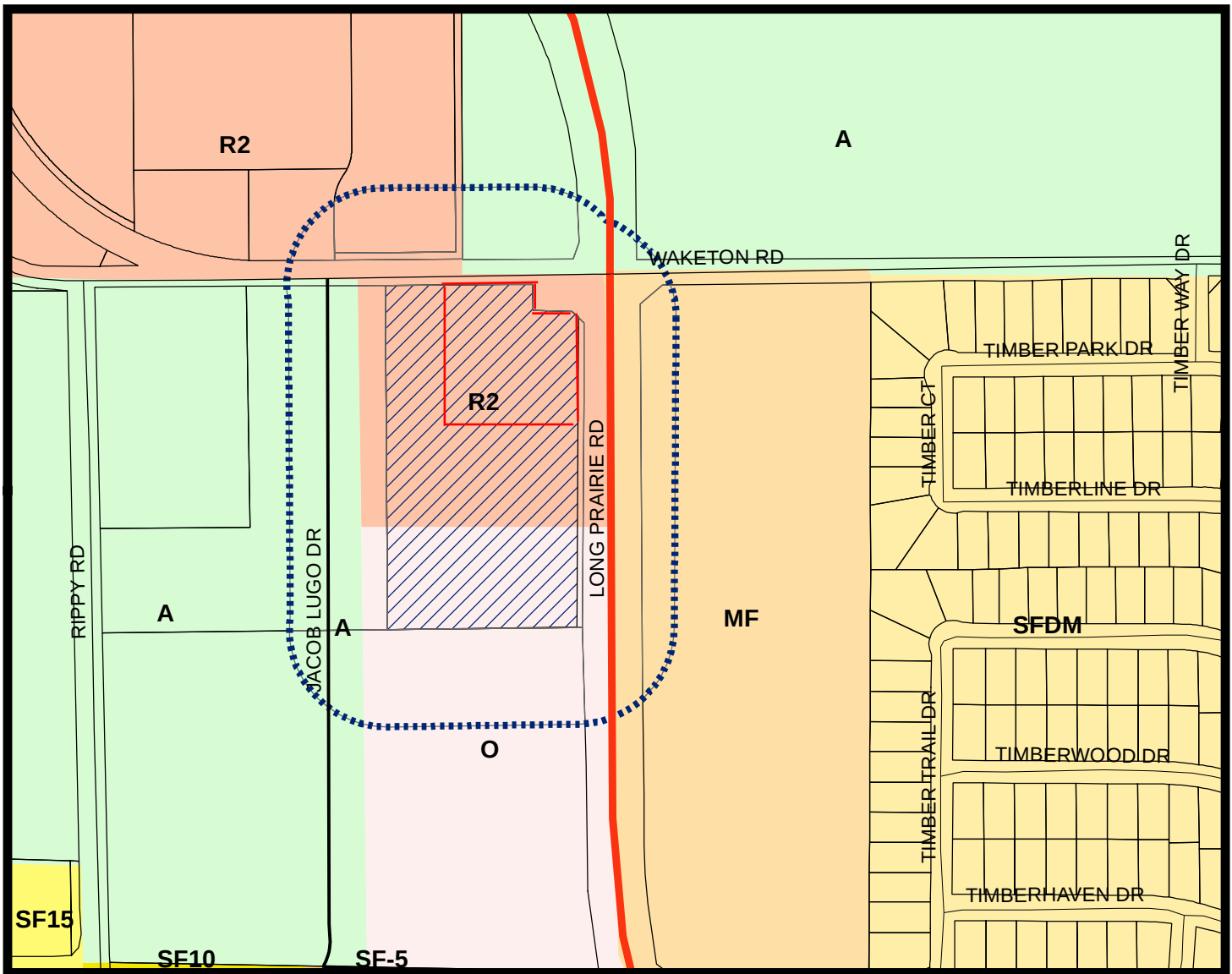
1. Proposed Elevations

C. Correspondence

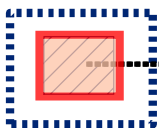
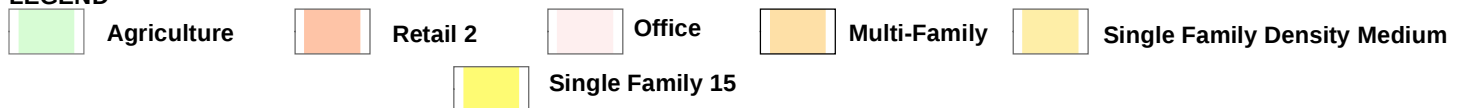
1. Correspondence in Opposition

Vicinity Map

Reference Project: MPA16-0001, SUP 16-0001

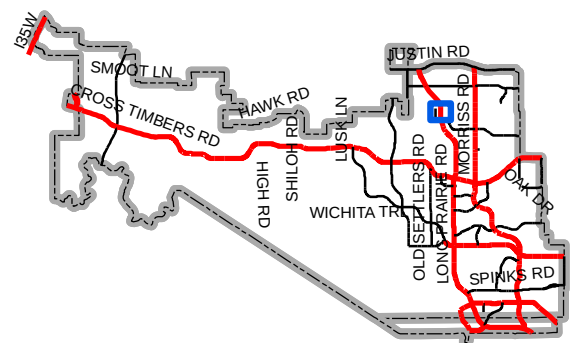


LEGEND

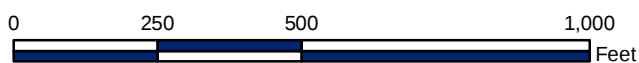


Subject Property

200 ft Notification Buffer around Property



Map Location





January 11, 2016

Mr. Doug Powell
Executive Director of Development Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

**RE: Master Plan Amendment Request
Letter of Intent
G&A Job No. 12188**

Mr. Powell:

Please accept this letter, on behalf of the (QuikTrip) QT Corporation, as an explanation of the proposed Master Plan Amendment Request for approximately 1.5 acres of land located at the southwest corner of the Waketon Road and F.M. 2499 intersection. This property is located within SPA 5 with a land use of Neighborhood Retail. In 2015, the property was rezoned from Agricultural (AG) to Planned Development - 141 (PD - 141), known as Hawks Hill, with an underlying zoning of Retail -2 (R-2).

The QT team has been actively working towards a new gas station and convenience store at this location for over three years. There has been a significant amount of commercial growth in this area within the past decade and over two million square feet of retail is located just a half mile north of this site. However, with all the commercial growth, the available fuel options are limited and the area is severely under-served. QT is proposing to construct a new facility with 10 fuel pumps and 5,773 square feet of convenience sales. Currently with this application, QT has also submitted an SUP request to be considered by the Town.

The purpose of this Master Plan Amendment application is to revise Sections 3.0, Specific Plan Areas, specifically SPA 5, and to revise Section 4.0, the Urban Design Plan, to allow for a waiver to the pitched roof requirement for buildings 15,000 square feet or less. These sections currently provide for waiver to the pitched roof requirement provided that the building is part of a larger multi-building development of at least 25 acres and is of meritorious design. We would like to add to the waiver criteria to not require pitched roofs on buildings that are not directly adjacent to existing residential uses. We feel that the following reasons support this request:

1. The purpose of the pitched roof requirement is to protect adjacent residential uses by requiring an appropriate transition of architectural elements as the land use changes from non-residential to residential. If a commercial, retail, or restaurant use is located directly adjacent to a residential use, then the building for the non-residential use would need to have a pitched roof, if less than 15,000 square feet in size, in order to minimize impact to the residential use.

The proposed QT building will be located at least 270 feet away from residential uses and will be surrounded by office/retail/restaurant uses as planned for in the Hawks Hill PD, which was approved last year. Since the building will not be directly adjacent to residential uses, we would like to request the waiver to the pitched roof requirement as stated above.

2. The location of the site is at the southwest corner of two thoroughfares – Waketon Road, which is an Urban Collector, and FM 2499, which is a Major Arterial. This intersection has over 39,000 cars per day travelling through it. It is an optimal location for a convenience/gas station especially since the area is already under-served. Requiring a pitched roof on a non-residential building that is a use which depends on a traffic volume at a heavily-used intersection would diminish the site visibility to passersby. The building architecture has been designed to maximize visibility for motorists with the use of parapets, horizontal/vertical articulation, and other elements. A canopy over the fuel islands is also proposed to increase visibility and protect patrons from the weather. This canopy will be located in front of the building and will block some views of the building from FM 2499. A pitched roof over the entire building/canopy is not necessary and would impact the visibility. Furthermore, since it is directly fronting onto Waketon and FM 2499, a non-pitched roof would have no negative impact on residential uses.
3. Another reason that pitched roofs are required is to prevent the roof equipment from being visible from residential uses. If the building is not directly adjacent to a residential use, as stated in number 1 above, the roof equipment would still be required to be screened to not be visible from a residential property. This is a standard already required in the Master Plan.
4. The QT Corporation has redesigned the exterior elevations to fit in with the uniqueness of Flower Mound. These proposed elevations do not exist for any other QT store and are tailor-made for this project.

For the reasons stated above, we believe the amendment to the Master Plan is favorable since there will be no negative impact to residential uses and is in keeping with the spirit and intent of the Master Plan. We respectfully request that the Town approve this amendment based on the provided reasons. Thank you in advance for your consideration. Please do not hesitate to contact me with any questions or comments regarding this application.

Sincerely,



Robert J. Dollak Jr., P.E.

cc: J.D. Dudley, QT Corporations

4.0 URBAN DESIGN PLAN

Introduction

The Town of Flower Mound Urban Design Plan provides for design direction for landscaping elements within and visible from public rights of way as well as architectural standards for non-residential buildings. The intent of the Urban Design Plan is to reinforce the Master Plan Vision Statement, provide linkage between the built and natural environment and acknowledge and sustain the unique nature of the Town's corporate-commercial, suburban and rural lifestyles.

The conceptual structure of the Urban Design Plan (UDP) and its components was developed as part of the Area Plan and Specific Plan elements of the Town of Flower Mound Master Plan. Through community involvement, focus groups provided direction for the UDP including review of the architectural and landscape design elements. The UDP discusses these elements in detail and provides illustrations of intent. Following the adoption of the Urban Design Plan by the Town Council, some of the design elements will be codified in the Land Development Regulations as appropriate.

In 2009, the firm of Teague Nall and Perkins worked with the Town to update the Town's landscape requirements for roadways. A new document, Median and Rights-of-Way Design Guidelines, was adopted to work in conjunction with the standards in the Urban Design Plan.

The Urban Design Plan is structured to establish community-wide architectural standards for non-residential projects and landscape, gateway and intersection treatments in each of the five districts established by the Land Use Plan:

- Lakeside Business District
- Long Prairie District
- Cross Timbers Conservation Development District
- Denton Creek District
- Prairie Vista District

Each of these Districts is distinct and in a differing stage of development. The predominantly commercial Lakeside Business District and Denton Creek District share the same guidelines. The extensively developed, suburban Long Prairie District has guidelines intended to strengthen and unify an overall community identity. The Cross Timbers District and the Prairie Vista District have guidelines that reinforce its country atmosphere and natural environment.

"...The intent of the Urban Design Plan is to reinforce the Master Plan Vision Statement, provide linkage between the built and natural environment and acknowledge and sustain the unique nature of the Town's corporate-commercial, suburban and rural lifestyles."

4.0 URBAN DESIGN PLAN

Definitions

Articulation: The use of varying depth of wall planes both in the vertical and horizontal dimension to create interest and an aesthetically pleasing appearance in a building facade.

Compatibility Buffer: A 60' min. width Landscape Buffer that includes the use of earthen berms, shrubs, trees and other plant screening elements without suggesting a walled structure. The 60' Compatibility Buffer is located on existing or proposed non-residential or multifamily property.

Curvilinear edge: A curvilinear edge is an undulating line where the planting bed and or groundcover/shrubs meet the lawn area. Curvilinear lines in a natural landscape are considered more aesthetically pleasing.

District Arterials: District Arterials mentioned in the Lakeside Business and Denton Creek Districts, refers to the four lane; 90' R.O.W. Urban minor arterials from the Thoroughfare Plan.

Drifts: A grouping of trees consisting of two to three different species. This condition is found in natural settings, large shade trees are to be randomly spaced (as a standard) at 15' minimum to 35' maximum.

Earthen Berm: An earthen berm is a small man made earth mound that is usually elongated and natural in shape and character, as a landscape element, a berms primary purpose is to both limit views in a natural way and to enhance the ground plane vegetation.

Gateways: Gateways are referred to the impression upon entering the town limits of Flower Mound. A statement of rural character is emphasized by the use of groves and/or drifts, a standard rural fence or other similar fencing and landscape elements, signage and plantings dependant on which district within which they occur. **Please see the Town's Median and Right of Way Design Guideline for additional information.*

Groves: A grouping of trees comprised of the same species. Large shade trees are to be randomly spaced (as a standard) at 15' minimum to a 35' maximum spacing distance.



Standard Rural Fence

Standard Rural Fence: A multi-railed or pipe fence, with a minimum of two rails or pipes, with the bottom rail/pipe at least twelve inches (12") above ground for a two-rail/pipe fence, in white, black, dark green, or an earth-tone color used to reinforce the rural and equestrian nature of the Cross Timbers Conservation Development District.

Street Buffer: A landscape screening element located on private property adjacent to the street right of way line.

Town Entrance Landscape: The Town Entrance Landscape is the R.O.W. area in principal arterials located in both Lakeside Business & Denton Creek districts.

4.0 URBAN DESIGN PLAN

Architectural Standards

The following standards for non-residential architecture throughout Flower Mound are intended to reflect the Town's Master Plan goal of creating development of "enduring and exemplary quality and design." Their purpose is to encourage building design of meritorious quality throughout the Town and prohibit franchise architecture.

The Central Business District (CBD) is a unique mixed use development, as such buildings within the CBD shall not be required to conform to the following standards, but rather buildings within the CBD shall be required to conform to the Mixed Use Architectural Standards set forth later in this section.

1. Design Review

- 1.1. Determination of a proposed building design's compliance with these standards will be made by the Town's staff and/or Planning and Zoning Commission and Town Council.
- 1.2. In considering conformance to these standards, the Town will evaluate the suitability of meritorious design that might not comply exactly with these standards, but that is of exceptional enough design quality that it would be a desirable addition to the Town.

2. Franchise Architecture

- 2.1. To ensure that the character and quality of retail and commercial buildings or structures contribute to desired community character objectives, franchise architecture is prohibited. The term "franchise architecture" means the design and construction of buildings for which the tenants and/or uses are readily recognizable solely by the buildings' architectural elevations, colors, materials, other architectural elements and/or the arrangement thereof.

Examples of Compliant Architecture:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Architecture:



3. Facade Articulation of Low-rise non-residential buildings (one to two stories)

3.1. Each building elevation of 80 linear feet or less may be a single plane.

Examples of Compliant Façade Articulation of non-residential buildings 80 linear feet or less:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Façade Articulation of non-residential buildings 80 linear feet or less:



3.2. Each building elevation greater than 80 linear feet up to a maximum of 250 linear feet, should have a minimum of two planes, offset by a minimum of two feet.

Examples of Compliant Façade Articulation of non-residential buildings between 80 and 250 linear feet:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Façade Articulation of non-residential buildings b/t 80 and 250 linear feet:



3.3. Each building elevation greater than 250 linear feet, should have a minimum of three planes, each offset by a minimum of two feet.

Examples of Compliant Façade Articulation of non-residential buildings greater than 250 linear feet:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Façade Articulation of non-residential buildings greater than 250 linear feet:



4. Façade Articulation of non-residential buildings of three stories or greater.

- 4.1. Each building elevation should have a minimum of two offsets in vertical and horizontal planes, with each plane being offset by a minimum of two feet.

Examples of Compliant Façade Articulation of non-residential buildings of three stories or greater:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Facade Articulation of non-residential buildings of three stories or greater:



5. Facade Materials

- 5.1. Elevations of low-rise non-residential buildings (one to two stories) should be a minimum of 50% masonry, excluding doors and windows, consisting of stone, brick or finished tilt-wall concrete, or a mixture of those materials.

Examples of Compliant Façade Materials:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Façade Material:



- 5.2. Elevations of non-residential buildings of three stories or greater should be a minimum of 40% masonry, excluding doors and windows, consisting of stone, brick or finished tilt-wall concrete, or a mixture of those materials.

Examples of Compliant Façade Material of non-residential buildings three stories or greater:



4.0 URBAN DESIGN PLAN

Examples of Compliant Façade Material of non-residential buildings three stories or greater:



- 5.3. At least 80% of each building elevation, excluding doors and windows, should be primary masonry, consisting of hand-laid brick or stone, or of finished tilt-wall concrete. Up to 20% of each building elevation may be secondary masonry, consisting of concrete block, e.i.f.s., or stucco.

Examples of Compliant Primary Façade Material:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant Primary Façade Material:



5.4. Outward facing mirrored glass may not be used.



6. Façade Colors

6.1. Colors comprising at least 80% of each elevation of the building should be primarily natural and **earth** tone colors. The range of tones include, but are not limited to: ochre, brown, umber, rust, olive, beige, taupe, sepia, white, off-white and slight variations. Further definition of building colors is provided in the Town's Land Development Regulations.

4.0 URBAN DESIGN PLAN

Examples of Compliant Façade Colors:



Examples of Non-Compliant Façade Colors:

4.0 URBAN DESIGN PLAN

- 6.2. Accent colors may comprise the remaining 20% of each building elevation, and should relate to the base tones. Decorative canopies, special elements, including patio umbrellas and signage can be more contrasting in color as appropriate.

Examples of Compliant Façade Accent Colors:



Examples of Non-Compliant Façade Accent Colors:



7. Pedestrian Scale

- 7.1. A pedestrian scale is desired near entry points of buildings to relate to the users. This scale can be achieved through the use of arcades, porte-cocheres, loggias and entry gardens which help buildings transition to a pedestrian scale environment.

4.0 URBAN DESIGN PLAN

Examples of Compliant Pedestrian Scale:



Examples of Non-Compliant Pedestrian Scale:



4.0 URBAN DESIGN PLAN

8. Building Entry Points

- 8.1. Buildings should have a recognizable main entry, which should directly relate to the primary street address of that building .

Examples of Compliant Building Entry Points:



Examples of Non-Compliant Building Entry Points:



4.0 URBAN DESIGN PLAN

8.2. These entry points should have an identifiable design presence through a change of materials, variation of wall planes and roof features.

Examples of Compliant Building Entry Points:



Examples of Non-Compliant Building Entry Points:



4.0 URBAN DESIGN PLAN

- 8.3. Building entry points should have site design features such as special paving, landscaping, pedestrian lights, pedestrian benches, earth forms, water fountains / displays and other furnishings.

Examples of Compliant Building Entry Points:



Examples of Non-Compliant Building Entry Points:



4.0 URBAN DESIGN PLAN

9. Unified Design Theme

- 9.1. A grouping of buildings (3 or more) should have a unified design theme for all buildings within the development. This design theme may be unique to the development, but should maintain a standard of high-quality construction and should respect the contextual setting of the development within its district.

Examples of Compliant Unified Design Theme:



Examples of Non-Compliant Unified Design Theme:



4.0 URBAN DESIGN PLAN

10. Building Orientation

10.1. Highly visible locations from major and minor arterials need to reflect an architectural prominence, with particular attention being paid to architectural quality on the facades, rooflines and elevations visible from these thoroughfares.

Examples of Compliant Building Orientation:



Examples of Non-Compliant Building Orientation:



4.0 URBAN DESIGN PLAN

10.2. Buildings near natural features and view sheds should respond to them in a manner that respects and preserves the feature, in such a way that the environment can be a marketable element of the development.

Examples of Compliant Building Orientation:



Examples of Non-Compliant Building Orientation:



4.0 URBAN DESIGN PLAN

11. Massing and Form

11.1. Building massing (elevations & floor plate configurations) should vary to avoid monotony and linear forms. Strip or linear retail development is not desirable.

Examples of Compliant Massing and Form:



Examples of Non-Compliant Massing and Form:



4.0 URBAN DESIGN PLAN

11.2. Building floor plans should be sited in order to create definable pedestrian spaces: courtyards, pocket areas, larger sidewalks, variations of outdoor space, etc., which are all desirable design attributes that should be taken into consideration in the overall site design plan.

Examples of Compliant Massing and Form:



Examples of Non-Compliant Massing and Form:



4.0 URBAN DESIGN PLAN

11.3. Building Form (articulation, scale and proportion) should be contextual. Buildings should be in a harmonious relationship to each other to promote an atmosphere of consistency of form rather than style relationships only.

Examples of Compliant Massing and Form:



Examples of Non-Compliant Massing and Form:



4.0 URBAN DESIGN PLAN

12. Roofs and Parapets

12.1. Roofs of non-residential buildings 15,000 square feet or less are to reflect hip and/or gable styles that replicate residential scale and pitch, provided that the Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this requirement for buildings within SPA 1, SPA 5 or SPA 6, consistent with the requirements in Section 3.0(g) of SPA 1, Section 3.0(m) of SPA 6 and Section 3.0(a) and (o) of SPA 5. In designing a residential scaled roof for non-residential buildings 15,000 square feet or less, the goal shall be a roof that provides for characteristic roof pitches/slopes of residential homes in the Town of Flower Mound (6/12 to 9/12 slope) and high steeply-pitched and/or expansive roof pitches/slopes shall be avoided.

Examples of Compliant Pitch Roof:



Examples of Non-Compliant Roofs:



4.0 URBAN DESIGN PLAN

- 12.2. Buildings of one or two stories over 15,000 square feet may have a flat or low-slope roof, but should use a parapet wall or mansard roof along the building perimeter, so that the flat or low-slope roof and any roof top mounted mechanical equipment is not visible from the public right-of-way or from neighboring residential buildings.

Examples of Compliant Flat Roof:



Examples of Non-Compliant Roof:



13. "Big box" and warehouse/industrial development

- 13.1. The development of "Big box" retail, as defined by the Town's Land Development Regulations, and warehouse/industrial development shall follow the above architectural standards except as follows:

- 13.1.1. Generally, buildings should avoid long, monotonous, uninterrupted walls or roof planes. The location of required building wall offsets, including projections, and recesses should be in context with the length of the building and used to add architectural interest and variety, and to relieve the visual effect of a simple, long wall.

4.0 URBAN DESIGN PLAN

Roofline offsets should be provided in order to provide architectural interest and variety to the massing of the building and to break the roof into smaller scale components. Concentrating articulation for “big box” retail and large scale warehouse/industrial buildings at entry points and the corners of the building may be acceptable if other architectural details/accents and enhanced landscaping are used to mitigate the expansiveness of the wall.

Examples of Compliant “Big-box” and warehouse/industrial articulation:



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant “Big-box” and warehouse/industrial wall articulation:



13.1.2. Tilt-wall concrete that is used to meet the minimum masonry requirement of 80% on any elevation should include details and patterns that provide interest to the tilt-wall component. Such detail can be accomplished by patterned scoring, casting, texturing, or other finishing treatment.

Examples of Compliant “Big-box” and warehouse/industrial finished tilt-wall detail:



4.0 URBAN DESIGN PLAN



4.0 URBAN DESIGN PLAN

Examples of Non-Compliant “Big-box” and warehouse/industrial tilt-wall:



14. Open Space and Amenity Areas

14.1. Open space and amenity areas as required by the Master Plan or as proposed for a Planned Development District should have the following elements:

14.1.1. Open space and amenity areas should be integral to the development and include a plaza, park, linear greens, environmental preserves, or public square that serves as a prominent visual enhancement for the development, and provides amenities for employees and shoppers, is effective with the first phase of development, and adds value to nearby buildings;

Examples of Compliant Open Space and Amenity Areas:



4.0 URBAN DESIGN PLAN



4.0 URBAN DESIGN PLAN

14.1.2. Open space and amenity areas should include enhanced landscape plantings and landscaped features and may include water elements that are connected to the development by sidewalks;

Examples of Compliant Open Space and Amenity Area:



4.0 URBAN DESIGN PLAN



4.0 URBAN DESIGN PLAN



4.0 URBAN DESIGN PLAN

- 14.1.3. Open space and amenity areas may include the preservation of existing wooded areas, view sheds, water bodies, topography, and stream corridors in a natural and contiguous state.

Examples of Compliant Open Space and Amenity Area:



15. Redevelopment

- 15.1. Buildings / sites planned for redevelopment are subject to the above architectural standards of the Urban Design Plan. In each case, amendments to a building's elevations and/or site plan should meet each requirement above or be in substantial conformance thereto. If complete conformance to the above standards cannot be practically achieved, substantial conformance is demonstrated by illustrating that the proposed changes to the elevations and/or site plan have moved the building / site closer to conformance with the standards and increased the building's enduring quality and design as applicable within the Town's Master Plan.

3.0 SPECIFIC PLANS

Specific Plan Use and Interpretation

The Specific Plans within the previous Master Plan have been carried over to this Master Plan. The following Specific Plans accommodate the need for quality neighborhood and village retail development, areas appropriate for professional office use, low-density residential land use and safeguards for adjacent developed residential subdivisions. The images of buildings, parking, circulation and open space are a conceptual diagram only. They are intended to provide an understanding of building relationships to each other and to the street, parking relationships, circulation points of entry and exit, and the role of public open space.

The drawings illustrating each Specific Plan are not intended to be taken as literal designs, but as diagrams which illustrate the planning and design intent.

All portions of the Specific Plans fall under the control of Flower Mound's Land Development Regulations and the "SMARTGrowth" Program.

Definitions

Special Land Use and Development Types

Campus Commercial

Large-scale developments such as corporate offices, office parks, hotels, resorts and similar uses, in a planned campus settings. Retail and restaurant uses serving the campus commercial uses could be included, if they are planned as integral elements of the developments. Architecture should be uniform in style and character.

Campus Industrial

Large-scale developments such as corporate offices, office parks, service/repair, light industry, clean-assembly and similar uses, in a planned campus setting. Retail and restaurant uses serving the campus industrial uses could be included, if they are planned as integral elements of the developments. Architecture should be uniform in style and character.

Major Retail

Major Retail is commercial development that provides a regional attraction for customers. Land uses include retail, office and professional office. The buildings should be oriented around an open space amenity and parking should be divided into smaller sized areas. Architectural style should be uniform, minimizing the franchise appearance. Large pad retail is included in this category, but it should have less than typical visual exposure to the street, broken up visually by the open space, existing trees and/or the layout of related structures. Large pad retail is governed by the regulations of the Flower Mound Big Box Ordinance.

Village Retail

Village Retail is a commercial development similar in design intent as neighborhood retail but with a more active and larger scale emphasis. The retail level of service is designed to attract a broader demographic and larger amount of population than just the local neighborhood customers. Land uses include retail, office and professional office and will be organized around an open space amenity. The architecture will be uniform in style and should have double-sided access if appropriate. Building height may be more than one story.

Neighborhood Retail

Neighborhood Retail is a development that provides neighborhood level retail services. The development is to be organized around an open space amenity. Scale of buildings should be responsive to residential scale, roofs should be hipped or gabled and the architectural style should be

3.0 SPECIFIC PLANS

uniform. Parking should be broken into smaller sized areas and retail buildings should have double-sided access where appropriate.

Office

Office and services uses ranging from garden office developments for small professional practices to larger, multi-story facilities for large tenants. This category would not typically include retail uses, except for incidental service or convenience retail for the office-building tenants. In larger office districts, restaurants are encouraged within walking distance of the office buildings. Architecture should be uniform in style and character.

Flex Office

Office, distribution, warehouse, light industry, clean-assembly, possibly located within a single structure, with the street facing elevation having a typical office appearance and high-quality level of finish.

Mixed use

A variety of office, retail and residential uses within pedestrian oriented, vertical and horizontal mixed use environments. Components of a mixed use development include specialized street standards, open space and plazas and enhanced architectural standards. Mixed use developments are intended to accommodate a physical pattern of development often found in historic American downtown areas.

Site Plan Elements

Living Screen Buffer

A strong emphasis is given to the use of 30' wide landscape buffers to screen parking and dissimilar land uses. Living screen buffers to provide separations between retail and/or office uses from residential neighborhoods. These buffers are living screens made up of plant material only. The plant material should be an evergreen screen a minimum of six feet in height after two growing seasons. It should provide a soft, green and natural appearance while providing a secure barrier. If security is an issue, open fencing may be used in the center of the buffer such as wrought iron, steel, aluminum or green vinyl-clad chain link fence. These buffers must comply with the compatibility buffer and setback requirements of the Land Development Regulations.

Corridor Landscape

The corridor landscape concept is a sinuous landscape design inside and outside the right-of-way of US 377, FM 1171 and FM 2499 in the specific plan boundaries of plans 5, 6, and 8. The concept is to create an undulating landscape along these major corridors, establishing a vocabulary that is consistent in pattern for these two major gateways into Flower Mound. A curvilinear sidewalk should meander somewhere between the curb of the street and the limit of the 25' landscape buffer. Turf should occur between the curb of the street and the sidewalk. Plantings should occur between the sidewalk and the buffer limit line. The plantings should be a combination of groves of trees, separated by low shrubs, tall grasses and or wildflowers. Plantings and sidewalk should meander through the right-of-way line. Please refer to the Town's Median and Right-of-Way Design Guidelines for additional requirements.

Gateway

Definition for gateway treatments is defined in the Urban Design Plan element of the Master Plan .

3.0 SPECIFIC PLANS

Pedestrian Open Space

A pedestrian open space is an open area that can be composed of either hardscape or planting materials, or a combination of the two, offering visual and physical relief from the necessary parking and building environment. This pedestrian amenity should act as an organizing element around which structures and parking are placed. Open space could also include detention or retention ponds if they are integrated on the site in an aesthetically pleasing manner. Additional direction for Pedestrian Open Space is provided within the Urban Design Plan element of the Master Plan

Parking/Loading/Refuse

Future development must comply with the parking/loading/refuse area requirements of the Land Development Regulations.

Design Guidelines

Buildings within a single development should adhere to a common architectural style. Building heights should be in conformity with the Land Development Regulations or specific requirements of a Planned Development. Construction materials should adhere to the requirements of the Land Development Regulations. Additional recommendations are included in the Town of Flower Mound Urban Design Plan.

3.0 SPECIFIC PLANS

Specific Plan Area #5

Specific Plan Area #5 is bounded on its southern limit by Timber Creek and extends north to the intersection of FM 2499 and Dixon Road. Rippy Road, Waketon Road and Chinn Chapel Road form the western boundary of the plan area. The eastern element of the plan is a strip approximately five-hundred feet in depth that extends from Timber Creek to the south connecting to Dixon Road to the north.

The general land use concept for Specific Plan Area #5 is one that mixes low-density residential with neighborhood retail, village retail, and professional office. The locations for commercial were established from an analysis of the proposed transportation system and existing development patterns.

Within Specific Plan Area #5, College Parkway, Waketon Road and Dixon Road intersect with FM 2499. Possible development around these key intersections should serve to accommodate the Town's need for an expanded retail base.

In each of the neighborhood retail development areas emphasis is placed on orientation of buildings, creating public open space, landscape buffers and limited access to aid transportation and traffic flows.

On the west side of FM 2499 beyond the neighborhood retail and village retail land uses are segments of residential low density land use that extend to the limit of the plan area. Points of pedestrian access interconnect the neighborhood retail and residential developments.

A unique design element is the use of landscape screens that vary from 30' to 50' in width along both sides of FM 2499. Along the western and northern boundary abutting the roadways is the Town's pedestrian trail system extending through the plan area and linking with the trail system beyond.

Elements included in Specific Plan #5 are as follows:

- a. Neighborhood and village retail and/or professional office land uses are identified along the corridor with major retail at and about the southwest corner of Dixon Road and Long Prairie Road (FM 2499) (the "Robertson's Creek development"). The key concerns for planning these developments are as follows:
 - Development organized around public open space amenity.
 - Amenity can be a public square or other form.
 - Surface parking to be divided into units of 100 cars or less, and landscaped in accordance with the Town's Land Development Regulations, except for the Robertson's Creek development.
 - Only single double-sided bay of parking along FM 2499 frontage.
 - Limit curb cuts from major roads by coordinating curb cuts between adjoining properties.
 - Double-sided access to retail that faces public open space amenity element.
 - Uniform architectural design within contiguous areas.
- b. Realignment of Waketon Road with large radius curves for vehicular safety in two locations was Waketon Road transitions from a north-south alignment to an east-west alignment west of FM 2499. The intersection of Waketon and FM 2499 should be signalized at the time that it meets UMTCD warrants, as should other major intersections of public streets.
- c. Low density residential is recommended along the east side of Rippy Road south of Waketon Road. The depth of this land use is recommended to be 550' from Rippy Road, measured from the ROW line at Rippy Road and parallel to the Rippy Road ROW line.

3.0 SPECIFIC PLANS

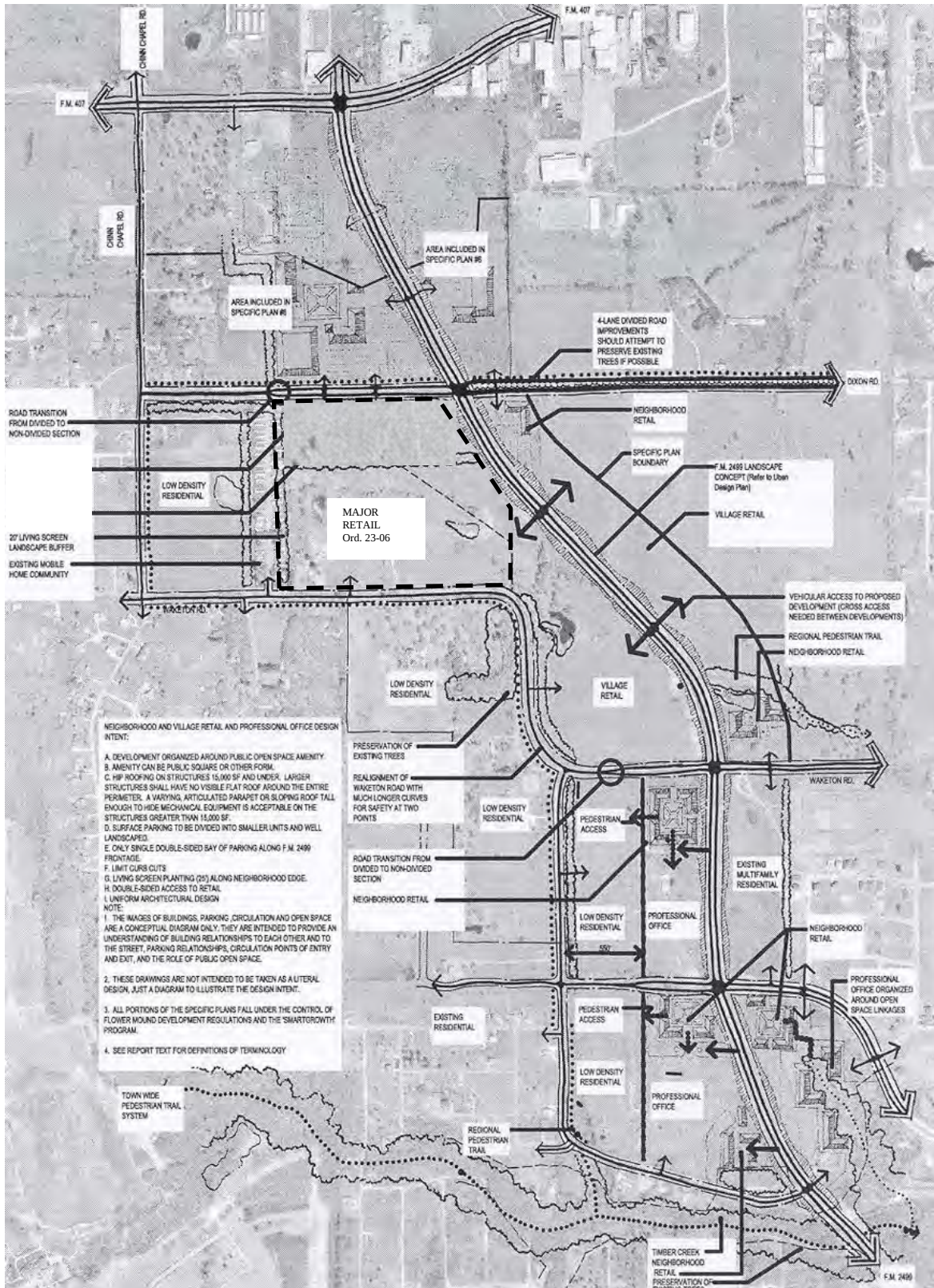
- d. Low density residential also is recommended along the west side of Rippy Road to the limits of Specific Plan Area #5.
- e. Village retail is recommended along FM 2499, as indicated on the plan, to increase economic development opportunities and commercial land uses along FM 2499.
- f. Neighborhood retail is recommended along Dixon Road in the northern limits of this Specific Plan. The vehicular access to this retail should be coordinated with the access for the Major Retail north of Dixon Road in Specific Plan Area #6.
- g. FM 2499 should have a landscape treatment of long sweeping curves of plantings that vary between 20' and 35' from the maximum ROW line.
- h. Pedestrian linkages should be provided between neighborhood retail/professional office land uses and the adjacent residential uses. These pedestrian linkages are to be integrated into all site planning for development proposals in the identified areas.
- i. Dixon Road, Waketon Road and College Road respectively, west of FM 2499 as indicated on the plan, are proposed to transition from a divided road section to an undivided section with a more rural character. This character should include no median and consideration of a swale drainage system instead of concrete curb and gutter.
- j. The existing trees along Dixon Road are to be integrated and preserved as Dixon Road is improved and/or widened, as much as is fiscally possible. If preservation of the trees is to occur, additional ROW will need to be acquired for roadway improvements.
- k. A Town-wide pedestrian trail system has been adopted as part of the Town's Parks and Trails Master Plan. Its location in this Specific Plan is indicated by the dots linking neighborhoods together. The system should follow creek alignments and existing tree stands as much as possible.
- l. A 30' wide living screen landscape buffer is recommended between commercial developments adjacent to all residential land uses. These buffers would also be required to include masonry walls between dissimilar land uses, as required by the Town's Land Development Regulations.
- m. Limited curb cuts will be allowed along FM 2499. Access drives should be coordinated so that they allow cross-vehicular movement for more than one property.
- n. Buildings should incorporate human-scale proportions at entries and front facades through the use of arcades, porte-cocheres, and other shade producing elements.
- o. Roofs of commercial buildings 15,000 SF and under are to be hip, gable or a combination of the two. The Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this requirement for buildings within this SPA 5 provided that: (1) any such building(s) being considered for a waiver shall be part of a large-scale multi-building development of 25 acres or larger; and, (2) possessing a meritorious Unified Design Theme. Structures larger than 15,000 SF should have no visible area of flat roof from any adjacent properties. A mansard parapet structure, in a combination of vertical and sloping sections, will be required along 100% of the roof perimeter.

3.0 SPECIFIC PLANS

- p. The black arrows connecting roadways with development areas identify primary curb cuts for vehicular access. The location of property access will be dependent on adjacent property circulation, final site plan design and projected traffic data as defined by a transportation planner.
- q. No development shall occur in the Timber Creek 100-year floodplain.

3.0 SPECIFIC PLANS

Specific Plan Area #5



Attachment A(5): Approved Conceptual Elevations

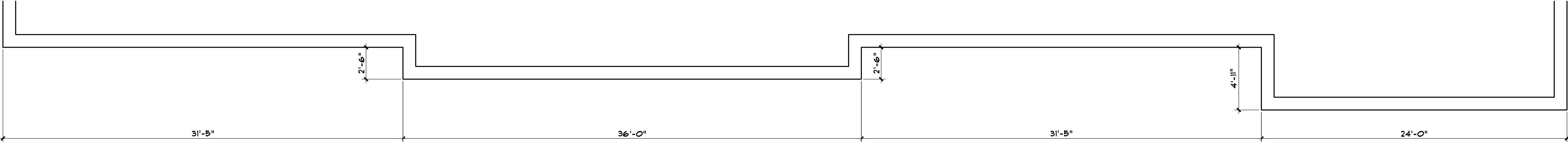
		North	South	East	West
1.	Total Facade S.F.	1454 s.f.	1481 s.f.	2575 s.f.	2554 s.f.
2.	Facade S.F. (exclusive of doors and windows)	1068 s.f.	1004 s.f.	1605 s.f.	1882 s.f.
3.	Doors and Windows S.F.	341 s.f.	472 s.f.	970 s.f.	671 s.f.
4.	Primary Masonry totals (Min. 80%)	965 s.f. and 90% of 2.	935 s.f. and 93% of 2.	1424 s.f. and 84% of 2.	1572 s.f. and 84% of 2.
	• Brick s.f. (as applicable)	126 s.f. and 12% of 2.	16 s.f. and 2% of 2.	181 s.f. and 11% of 2.	345 s.f. and 18% of 2.
	• Stone s.f. (as applicable)	286 s.f. and 27% of 2.	474 s.f. and 47% of 2.	561 s.f. and 35% of 2.	272 s.f. and 15% of 2.
	• Tilt Wall s.f. (as applicable)	553 s.f. and 51% of 2.	440 s.f. and 44% of 2.	687 s.f. and 43% of 2.	955 s.f. and 51% of 2.
5.	Secondary Masonry totals (max. 20%)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Stucco s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• EIFS s.f. (as applicable)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Hardiplank s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• Split-Face Brick s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.



		North	South	East	West
1.	Total Facade S.F.	1454 s.f.	1481 s.f.	2575 s.f.	2554 s.f.
2.	Facade S.F. (exclusive of doors and windows)	1068 s.f.	1004 s.f.	1605 s.f.	1882 s.f.
3.	Doors and Windows S.F.	341 s.f.	472 s.f.	970 s.f.	671 s.f.
4.	Primary Masonry totals (Min. 80%)	965 s.f. and 90% of 2.	935 s.f. and 93% of 2.	1424 s.f. and 84% of 2.	1572 s.f. and 84% of 2.
	• Brick s.f. (as applicable)	126 s.f. and 12% of 2.	16 s.f. and 2% of 2.	181 s.f. and 11% of 2.	345 s.f. and 18% of 2.
	• Stone s.f. (as applicable)	226 s.f. and 21% of 2.	474 s.f. and 47% of 2.	561 s.f. and 35% of 2.	272 s.f. and 15% of 2.
	• Tilt Wall s.f. (as applicable)	553 s.f. and 51% of 2.	440 s.f. and 44% of 2.	687 s.f. and 43% of 2.	955 s.f. and 51% of 2.
5.	Secondary Masonry totals (max. 20%)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Stucco s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• EIFS s.f. (as applicable)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Hardiplank s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• Split-Face Brick s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.



NORTH ELEVATION SCALE 1/4"=1'-0"



WEST ELEVATION SCALE 1/4"=1'-0"

Attachment B(1): Proposed Elevations



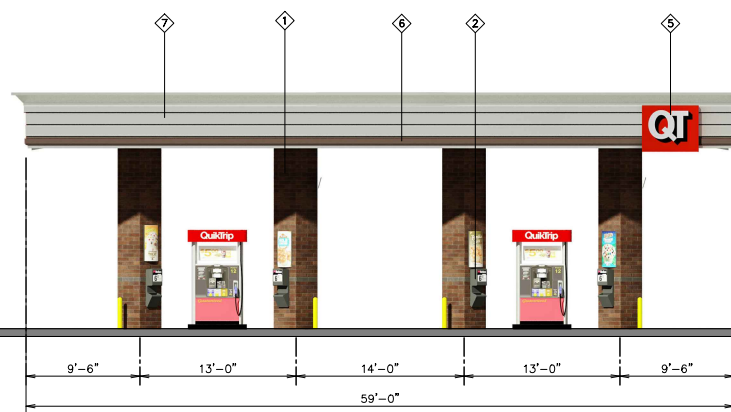
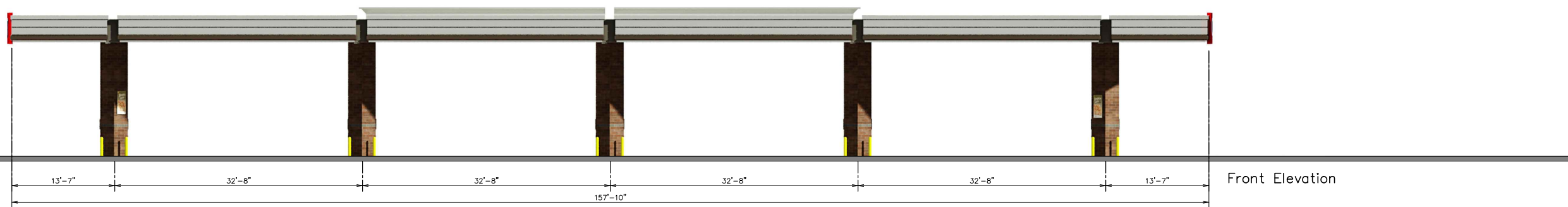
		North	South	East	West
1.	TOTAL Facade S.F.	1238 SF	1238 SF	2428 SF	2293 SF
2.	Facade S.F. (exclusive of doors and windows)	976 SF	976 SF	1744 SF	2027 SF
3.	Doors and Windows S.F.	262 SF	262 SF	684 SF	266 SF
4.	Primary Masonry totals (Min. 80%)	778 SF and 80% of 2	778 SF and 80% of 2	1392 SF and 80% of 2	1890 SF and 93% of 2
5.	• Brick S.F.	470 SF and 56% of 2	470 SF and 56% of 2	908 SF and 52% of 2	1552 SF and 88% of 2
	• Stone S.F.	307 SF and 24% of 2	307 SF and 24% of 2	484 SF and 28% of 2	338 SF and 7% of 2
	• Tilt Wall S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	Secondary Masonry totals (Min. 20%)	190 SF and 20% of 2	190 SF and 20% of 2	519 SF and 20% of 2	109 SF and 7% of 2
	• Stucco S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• EIFS S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• Hardiplank S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• Facia/ Canopy	191 SF and 20% of 2	191 SF and 20% of 2	352 SF and 20% of 2	139 SF and 7% of 2



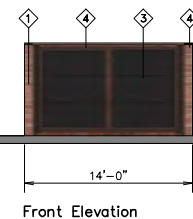
4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #	0944	Angle Entry w/Custom Hip Roof – Building Elevations	Address:	SWC FM 2499 & Waketon Road	City, State:	Flower Mound, TX
Serial #	08-0944-BSST	Scale: 1/8"=1'-0"	Issue Date:	02.25.16	Drawn By:	JK
		Rev/Notes:	COPYRIGHT © 2011 QUIKTRIP CORPORATION DESIGN PATENTS QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.			

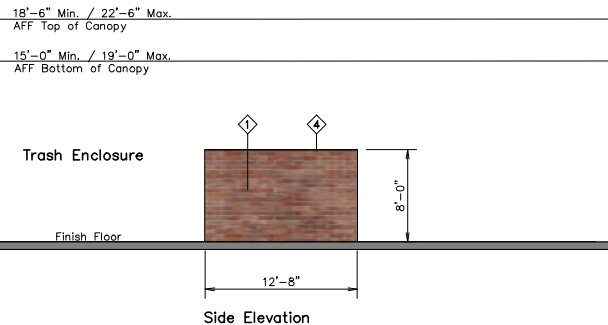
#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	ALZ ALUMINUM	ALPOLIC	PASCIA
4	QT RED	LANE	STANDING SEAM AWNING
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	DARK BRONZE	LANE	METAL PAINT
7	QT BROWN	SHERWIN WILLIAMS	PAIN
8	CL-SGR	ALLEN INDUSTRIES	SIGNAGE
9	BUCKINGHAM	LANDMARK STONE	STACKED STONE
10	108-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE



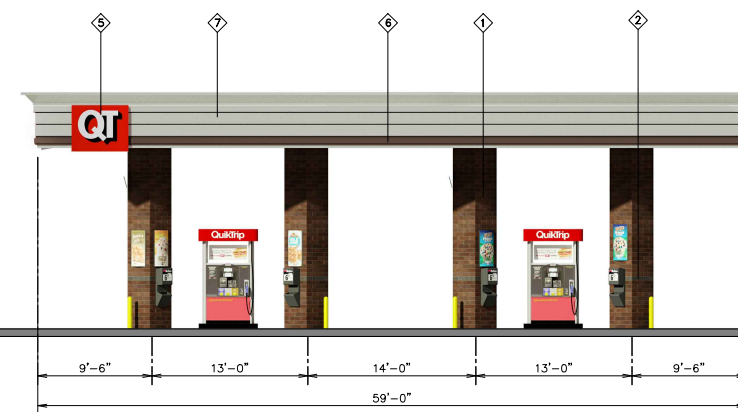
Left Elevation



Front Elevation



Side Elevation



Right Elevation



QuikTrip

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 0944 GD10 Gas Canopy Elevations

Serial # 08-0944-GD10

Scale: 1/16"=1'-0"

Issue Date: 12.21.15

Address: SWC FM 2499 & Waketon Road

Drawn By: JK

Rev/Notes:

City, State: Flower Mound, TX

COPYRIGHT © 2011 QUIKTRIP CORPORATION DESIGN PATENTS
QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA,
OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND
INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION,
PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT BLACK	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
4	DARK BRONZE	LANE	METAL/PART
5	IDC-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
6	QT Brown	LANE	NON-ILLUMINATED BAND
7	HLZ-ALUMINUM	ALPOLIC	CANOPY

From: Kerstin Boodee

Sent: Saturday, March 19, 2016 5:24 PM

To: Mayor - Tom Hayden; Place1 - Mark Wise; Place3 - Kevin Bryant; Place2 - Bryan Webb; Place4 - Steve Dixon; Place5 - Itamar Gelbman; planning

Subject: Hawks Hill QT SUP16-0001 and MPA16-0001 Third Round Comments

Dear City Council & Planning & Zoning Committee,

With regards to the upcoming applications for Hawk Hills QT gas station scheduled for the March 28 P&Z and April 4 Town Council meetings, please record my opposition to the current QT architectural design proposal.

The current QT design proposal is not in line with the Town's Architecturally Standards and should therefor not be approved.

Please stand firm to the Flower Mound design standards as this is what makes our city so special.

It will only take one case to set an example for future applications to by pass town design standards.

Thank you very much

Kerstin Boodee
5316 Sining Brook Road
Flower Mound

From: Judy Cortinas

Sent: Wednesday, March 23, 2016 2:34 PM

To: Chuck Russell; Doug Powell; planning; Town Council; Town Secretary's Office; Jimmy Stathatos

Subject: INSIST QUIKTRIP MAINTAINS FLOWER MOUND EXCELLENCE IN DESIGN

First, I would like to commend our Town's Planning Department insistence to QT that they maintain the exemplary design that has always been required of Flower Mound's commercial/retail developments.

Please do not let QT build the designs they have submitted. The Planning Department disagrees with the designs they have brought forward, and we do, too. They do not match the designs of the PD, and do not meet the Town's criteria for exemplary design. It does not seem right that they (the Developer) can chose to override this as a Master Plan Amendment.

Driving from 407 down 2499, I take pride in all the retail developments attention to Flower Mound's building and design requirements. They worked with the Town to build amazing designs and exemplary buildings. QT should be required to do the same.

I am sending pictures of Southlake's QT and it seems to be of much better design than the one they are presenting to Flower Mound. The gas pump canopies even have a stone work look to them.

While we have been reluctant to accept such a huge gas station at this corner, it is much easier to accept it with a design that will match the existing requirements of the PD, and Flower Mound's requirement of excellence in design.

Please do not approve their designs and the SUP until they bring a design plan that belongs in Flower Mound. I feel sure they can do this.

Thank you,

Rudy and Judy Cortinas
3301 Pecan Meadows Dr
Flower Mound, TX 75028

QuikTrip





From: Missy Grant
Sent: Wednesday, March 23, 2016 9:40 PM
To: planning
Subject: Opposition to QT as proposed

Dear Planning & Zoning Commission,

Thank you for your continued efforts to hold in high regard the standards for business development in our town.

I am writing to express my concern over the Quik Trip (QT) as proposed for part of the Hawks Hill development. Unfortunately, I will not be able to make the March 28 or April 4 TC meetings. Please accept this letter in lieu of my personal appearance and include it in the record as if I were there in person. My concerns are as follows:

Size of QT - the size of the convenience store/gas station seems disproportionate to the Town's need. While I am sure QT has demographic data to justify such an expansive service station, I do not believe it is in the Town's best interest to have a gas station of that magnitude in as close proximity as it is to the other existing stations along 2499 and 407/Cross Timbers. Twenty pumps seems like overkill, where half that would likely be sufficient. Just because the developer can justify it doesn't mean the Town should approve it as is.

24-hour operation - the placement of the QT as the "hallmark" of Hawks Hill (i.e., at the top with no wind breaks or natural barriers on the south and west sides of the property since the trees in this development and in Highland Court will be significantly smaller and/or removed) risks significant light and noise pollution to the surrounding neighborhoods 24/7. I would respectfully request an earlier close time. Even if pumps are available 24/7, the store itself could be constrained to more appropriate business hours commensurate with other businesses in that same tract, with constraints that would help reduce the impact of light and noise.

Design standards - based on the comments in the most recent documents, it appears QT is not willing to sufficiently subscribe to Flower Mound's rigorous design standards. Although it appears some concessions have been made, changes to a franchise brand that are not in keeping with the Town's standards should not constitute meritorious design just because *some* changes have been made, especially when direction from Town staff has been clear and consistent.

Thank you for your careful deliberation on this project to protect the design and commercial development standards that make Flower Mound unique.

Regards,
Melissa S. Grant
3303 Sycamore Dr.
Flower Mound, TX 75028



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 5

DATE: March 28, 2016

FROM: Chuck Russell, Town Planner

ITEM: **Public Hearing to consider a request for a Specific Use Permit No. 443 (SUP16-0001 - Hawks Hill QT) to permit a convenience store with gasoline sales. The property is generally located west of Long Prairie Road and south of Waketon Road.**

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations except as described below.

The project has a companion Master Plan Amendment application (MPA16-0001) for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this application is to request approval of a Specific Use Permit (SUP-443) for a 5,858-square-foot convenience store with gasoline sales. The site is currently undeveloped and is approximately 1.5 acres in size.

The subject property is located within the Hawks Hill Planned Development District No. 141 (PD-141) with Retail District-2 (R-2), Office District (O), and Agricultural District (A) uses. The Town Council approved the request for a change in zoning from an (A) zoning district to PD-141 on October 5, 2015 (See Attachment A(5)). PD-141 requires Town Council approval of a Specific Use Permit (SUP) for a convenience store with gasoline sales.

The proposed concept plan depicts a one-story building and a fuel island canopy with 10 pumps. Access to the lot will be from Long Prairie Road and Waketon Road via mutual access drive easements that serve several lots within the development. The proposed store will have 40 parking spaces which is consistent with the approved PD-141 concept plan.

PD-141 requires a minimum landscape buffer width of 15 feet along Waketon Road and 30 feet along Long Prairie Road. Staff received a revised site and

landscape plan late Wednesday, March 23, 2016, and we have quickly reviewed the new plans in order to incorporate comments for this staff report.

The proposed conceptual landscape plan now provides the required 30-foot-wide buffer along Long Prairie Road and indicates the specimen pecan tree at the corner of Waketon Road and Long Prairie Road will be preserved, since the proposed detention at the corner will be moved underground. The plan now depicts a 15-foot-wide buffer along Waketon Road, which complies with the minimum width requirement in PD-141. In lieu of the nine canopy trees shown on the approved concept plan along Waketon Road, the applicant has shown eight groupings of wax myrtle and crepe myrtle trees (three trees per grouping for a total of 24). The applicant has indicated the smaller trees are necessary due to the close proximity of overhead power lines.

Staff is also concerned about the quantity and type of landscaping proposed around the perimeter of the dumpster located adjacent to Waketon Road. The applicant has indicated a row of pink muhly grass adjacent to the masonry screen wall for the dumpster. Sec. 82-272 of the Town Code states:

- Enhanced landscaping is required for any dumpster that is located within 50 feet of a public roadway. Enhanced landscaping should include aesthetically designed perimeter shrubs, natural grasses, and canopy and ornamental trees as appropriate to soften and screen the dumpster enclosure.

Staff has reviewed the applicant's submittal including three rounds of revisions and there are still fundamental points of disagreement that remain between the applicant and staff regarding the request as described below. The applicant has "agreed to disagree" with staff and has requested the application move forward to P&Z and Council for their consideration.

A. Unified Design Theme

Section 9.1 of the Urban Design standards states:

- A grouping of buildings (3 or more) should have a unified design theme for all buildings within the development. This design theme may be unique to the development, but should maintain a standard of high-quality construction and should respect the contextual setting of the development within its district.

The specific standards for SPA 5 state in part:

- Elements included in Specific Plan #5 are as follows:
Neighborhood and village retail and/or professional office land uses are identified along the corridor with major retail at and about the southwest corner of Dixon Road and Long Prairie Road (FM 2499) (the "Robertson's

Creek development"). The key concerns for planning these developments are as follows:

- **Uniform architectural design within contiguous areas.**

The standards for PD-141 state in part:

- The unified design theme depicted on the Concept Elevations shall be required within the development.

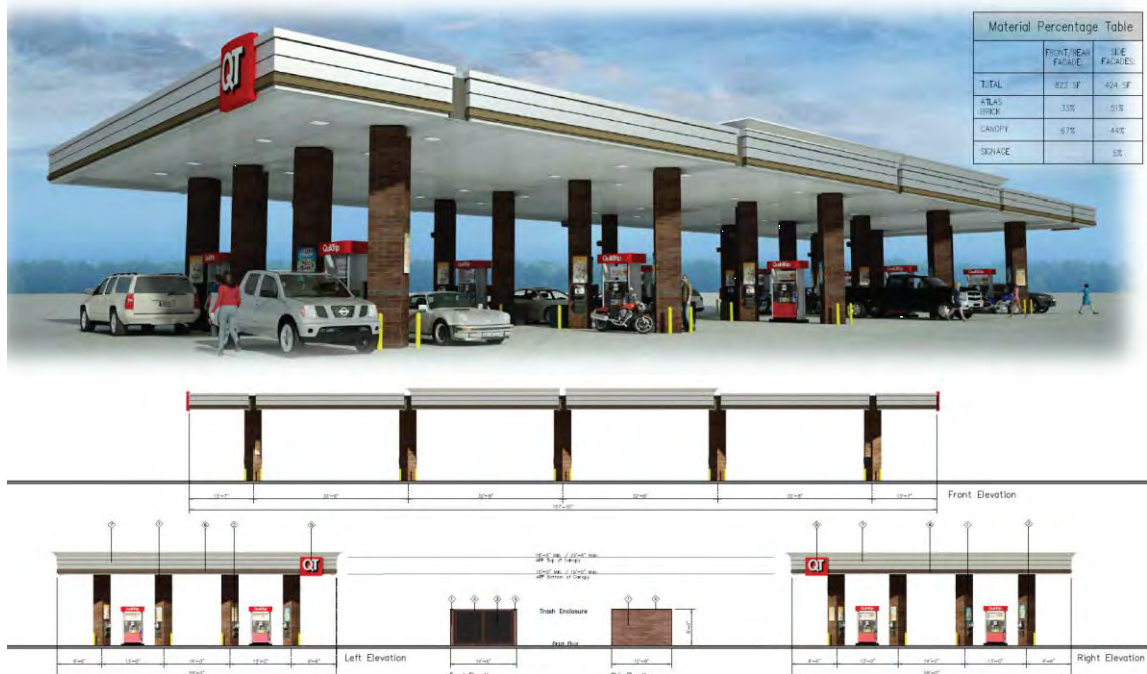
The approved conceptual elevations for Hawks Hill are attached and depicted below:





The applicant’s proposed elevations are attached and depicted below:





The approved concept plan for the Hawks Hill development depicts a total of nine commercial buildings, including the subject convenience store with gas sales. While it is not the intent for all nine of the Hawks Hill buildings to appear exactly as they are depicted above, they must contain common architectural elements (e.g. colors, materials, articulation).

It is staff's opinion that the applicant has not demonstrated the proposed elevations provide enough common architectural elements to be consistent with approved conceptual elevations above, nor do they establish a unified design theme for Hawks Hill, and are not in compliance with the stated sections of the Urban Design standards, SPA-5 or PD-141.

B. Franchise Architecture

Section 2.1 of the Urban Design standards state:

- To ensure that the character and quality of retail and commercial buildings or structures contribute to desired community character objectives, franchise architecture is prohibited. The term "franchise architecture" means the design and construction of buildings for which the tenants and/or uses are readily recognizable **solely by the buildings' architectural elevations, colors, materials, other architectural elements and/or the arrangement thereof.**

It is staff's opinion that the applicant has not demonstrated the proposed elevations do not constitute franchise architecture. There are multiple elements on the proposed elevations that share common characteristics with the newer "Generation 3" QT stores throughout North Texas. The

distinctive corporate red banding, front entrance features, number and spacing of pilasters and roof elements do not distinguish the proposed elevations from the standard corporate store (see below):

Proposed elevation:



Typical "GEN 3" QT elevation:



Furthermore, the QT corporation has constructed other stores that comply with local design standards in a unique way that separate them from the standard corporate design. It is staff's opinion that the applicant can incorporate more unique architectural elements that comply with PD-141 and SPA-5. Additionally, the applicant must comply with the stated intent of the Architectural Standards in the Urban Design Plan that reflect the Town's Master Plan goal of creating development of "enduring and exemplary quality and design" and to encourage building design of meritorious quality throughout the Town and prohibit franchise architecture.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Specific Use Permit requests. At the time this report was written, staff had received three correspondences in opposition and no correspondence in favor of the request.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map

2. Letter of Intent
3. Approved Conceptual Elevations
4. Approved Conceptual Site and Landscape Plans
5. Planned Development District No. 141

B. Application Details

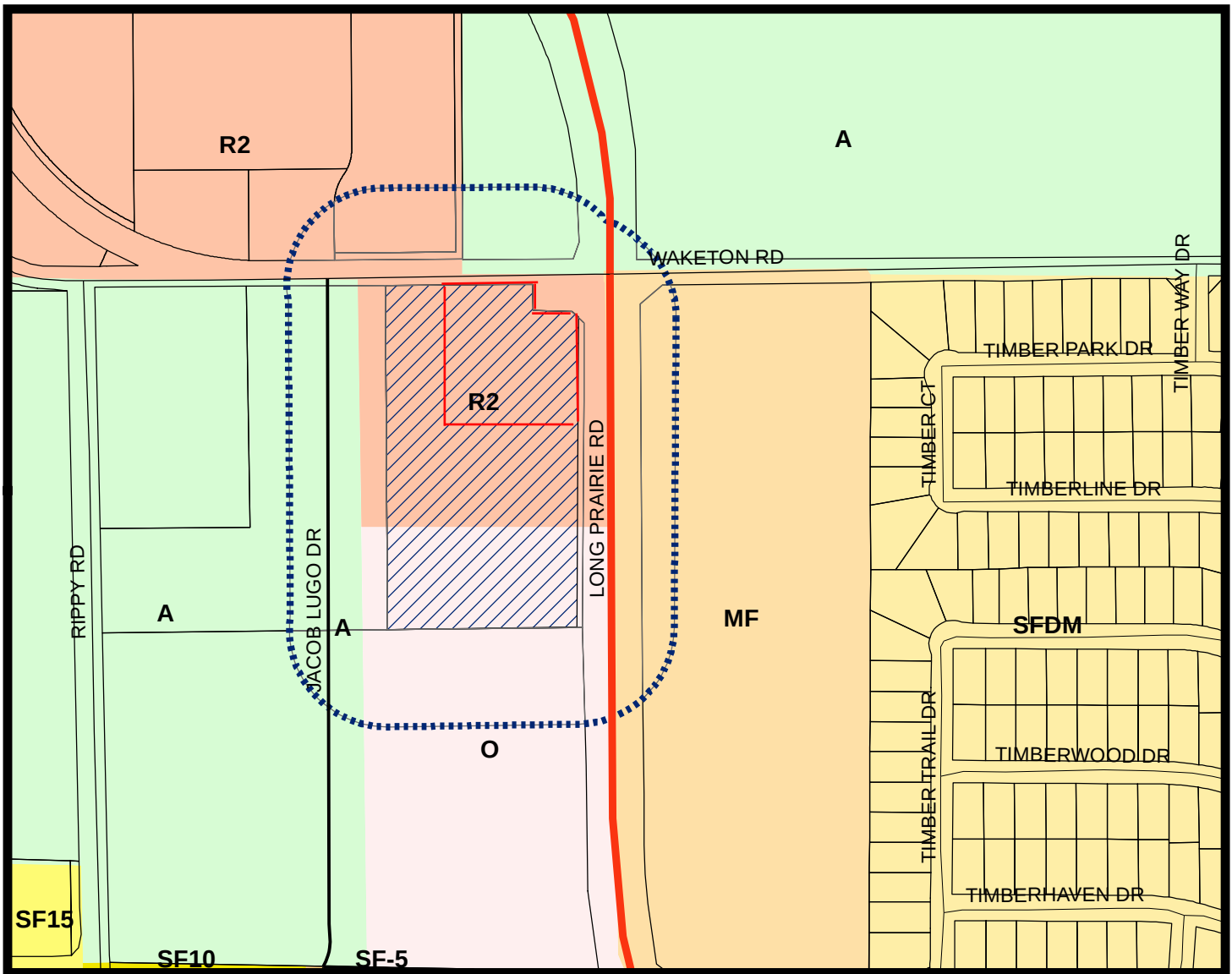
1. Specific Use Permit Package

C. Correspondence

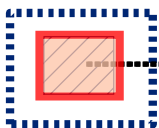
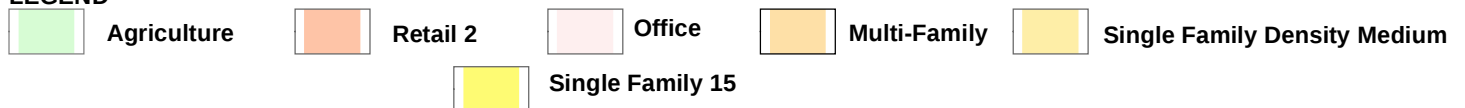
1. Correspondence in Opposition

Vicinity Map

Reference Project: MPA16-0001, SUP 16-0001

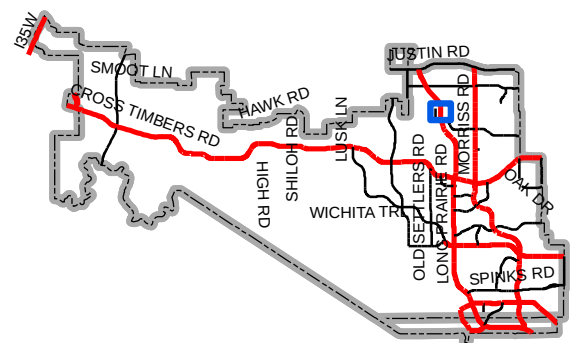


LEGEND

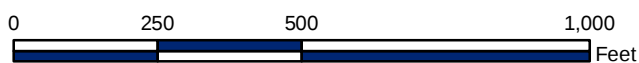


Subject Property

200 ft Notification Buffer around Property



Map Location





January 11, 2016

Mr. Doug Powell
Executive Director of Development Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

**RE: Hawks Hill SUP Request
Letter of Intent
G&A Job No. 12188**

Mr. Powell:

Please accept this letter, on behalf of the QT (QuikTrip) Corporation, as an explanation of the proposed SUP Request for approximately 1.5 acres of land generally located off of Waketon Road and F.M. 2499. This property is located within SPA 5 with a land use of Neighborhood Retail. In 2015, the property was rezoned from Agricultural (AG) to Planned Development - 141 (PD – 141), known as Hawks Hill, with an underlying zoning of Retail -2 (R-2). The Hawks Hill PD requires an SUP for a Convenience Store with Gasoline Sales, which is proposed for this project.

The QT team has been actively working towards a new gas station and convenience store at this location for over three years. There has been a significant amount of commercial growth in this area within the past decade and over two million square feet of retail is located just a half mile north of this site. However, with all the commercial growth, the available fuel options are limited and the area is severely under-served. This new development will fill that void and provide the residents with a necessary commodity. QT is proposing to construct a new facility with 10 fuel pumps and 5,773 square feet of convenience sales.

A conceptual site plan has been submitted as part of the SUP requirements and it illustrates the proposed location of the canopy and fuel islands and the convenience store. It also shows the location of the two access drive to serve the site, one on Waketon and another on FM 2499. These will be shared access points for the Hawks Hill development as well. A detention facility is proposed at the northeast corner of the property. There is an existing specimen tree located where the detention pond is proposed. A Tree Removal Permit is being submitted to request removal of this tree by the ECC and Town Council.

Conceptual Building Elevations have also been submitted with this application. The QT Corporation has redesigned the exterior elevations to fit in with the uniqueness of Flower Mound. These proposed elevations do not exist for any other QT store and are tailor-made for this project. Signage is also shown on the elevations. The signage includes the QT logo and the red stripe and the canopy has a brown

stripe. We believe these elevations are complimentary to the approved conceptual elevations in Hawks Hill with the inclusion of similar colors and materials.

Thank you in advance for your consideration. Please do not hesitate to contact me with any questions or comments regarding this application.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. J. Dollak Jr.", with a stylized flourish at the end.

Robert J. Dollak Jr., P.E.

cc: J.D. Dudley, QT Corporations

Attachment A(3): Approved Conceptual Elevations

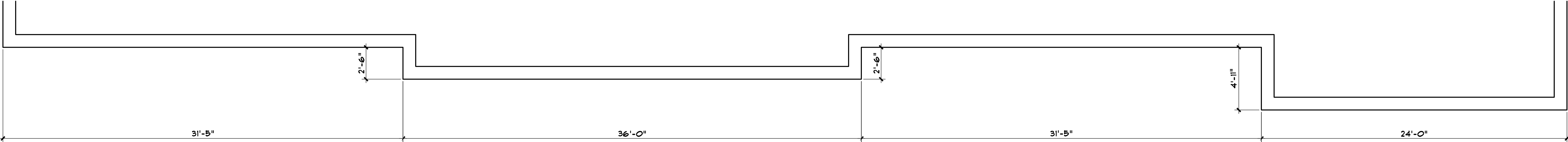
		North	South	East	West
1.	Total Facade S.F.	1454 s.f.	1481 s.f.	2575 s.f.	2554 s.f.
2.	Facade S.F. (exclusive of doors and windows)	1068 s.f.	1004 s.f.	1605 s.f.	1882 s.f.
3.	Doors and Windows S.F.	341 s.f.	472 s.f.	970 s.f.	671 s.f.
4.	Primary Masonry totals (Min. 80%)	965 s.f. and 90% of 2.	935 s.f. and 93% of 2.	1424 s.f. and 84% of 2.	1572 s.f. and 84% of 2.
	• Brick s.f. (as applicable)	126 s.f. and 12% of 2.	16 s.f. and 2% of 2.	181 s.f. and 11% of 2.	345 s.f. and 18% of 2.
	• Stone s.f. (as applicable)	286 s.f. and 27% of 2.	474 s.f. and 47% of 2.	561 s.f. and 35% of 2.	272 s.f. and 15% of 2.
	• Tilt Wall s.f. (as applicable)	553 s.f. and 51% of 2.	440 s.f. and 44% of 2.	687 s.f. and 43% of 2.	955 s.f. and 51% of 2.
5.	Secondary Masonry totals (max. 20%)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Stucco s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• EIFS s.f. (as applicable)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Hardiplank s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• Split-Face Brick s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.



		North	South	East	West
1.	Total Facade S.F.	1454 s.f.	1481 s.f.	2575 s.f.	2554 s.f.
2.	Facade S.F. (exclusive of doors and windows)	1068 s.f.	1004 s.f.	1605 s.f.	1882 s.f.
3.	Doors and Windows S.F.	341 s.f.	472 s.f.	970 s.f.	671 s.f.
4.	Primary Masonry totals (Min. 80%)	965 s.f. and 90% of 2.	935 s.f. and 93% of 2.	1424 s.f. and 84% of 2.	1572 s.f. and 84% of 2.
	• Brick s.f. (as applicable)	126 s.f. and 12% of 2.	16 s.f. and 2% of 2.	181 s.f. and 11% of 2.	345 s.f. and 18% of 2.
	• Stone s.f. (as applicable)	286 s.f. and 27% of 2.	474 s.f. and 47% of 2.	561 s.f. and 35% of 2.	272 s.f. and 15% of 2.
	• Tilt Wall s.f. (as applicable)	553 s.f. and 51% of 2.	440 s.f. and 44% of 2.	687 s.f. and 43% of 2.	955 s.f. and 51% of 2.
5.	Secondary Masonry totals (max. 20%)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Stucco s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• EIFS s.f. (as applicable)	103 s.f. and 10% of 2.	74 s.f. and 7% of 2.	176 s.f. and 11% of 2.	310 s.f. and 16% of 2.
	• Hardiplank s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.
	• Split-Face Brick s.f. (as applicable)	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.	0 s.f. and 0% of 2.

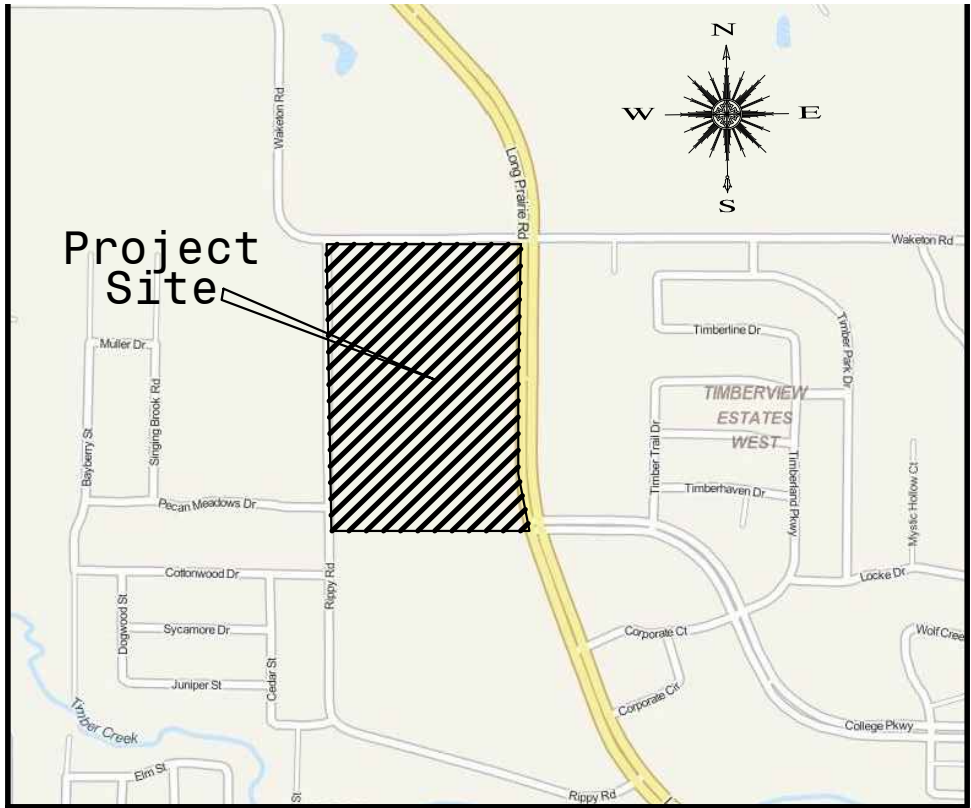
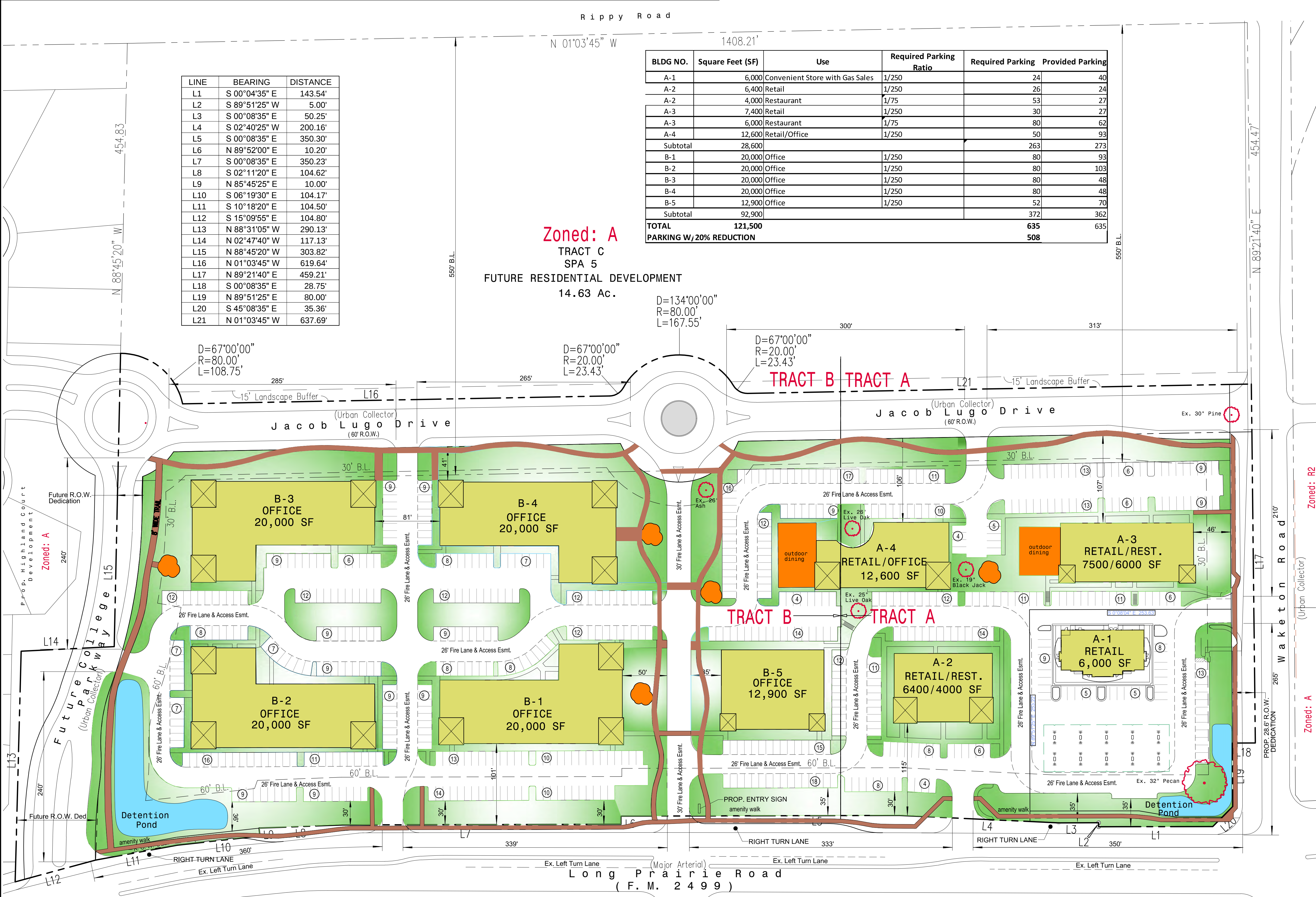


NORTH ELEVATION SCALE 1/4"=1'-0"

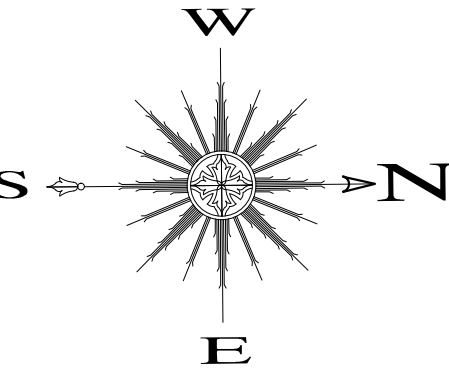


WEST ELEVATION SCALE 1/4"=1'-0"

Attachment A(4): Approved Conceptual Site and Landscape Plans



Vicinity Map
n. t. s.



Scale: 1" = 60'

BUILDING SETBACKS	
FM 2499	- 60'
WAKETON	- 30'
COLLEGE	- 30' WITH NO PARKING, 60' WITH PARKING

A convenience store with gasoline sales requires Town Council approval of a Specific Use Permit (SUP). Approval of this Concept Plan does not constitute approval of an SUP for this use.

MASTER PLAN FEATURES	
LAND USE PLAN	PROF. OFFICE/VILLAGE RETAIL/RESTAURANT
SPECIFIC PLANS	SPA 5
URBAN DESIGN PLAN	LONG PRAIRIE DISTRICT
PARKS AND TRAILS	SHARED LANE ON WAKETON AND COLLEGE
OPEN SPACE PLAN	REFER TO OPEN SPACE PLAN
THOROUGHFARE PLAN	F.M. 2499 VARIABLE WIDTH R.O.W.
WATER PLAN	12-INCH MAIN IN F.M. 2499
WASTEWATER PLAN	18-INCH MAIN IN F.M. 2499

Tract A
Exist. Zoning - A
Prop. Zoning - PD Retail
Area - 5.06 Ac.

Tract B
Exist. Zoning - A
Prop. Zoning - PD Office
Area - 13.52 Ac.

Concept Plan
HAWKS HILL ADDITION

BEING A 18.578 ACRE TRACT OUT OF THE
JESSE WATKINS SURVEY, ABST. NO. A-1341
IN THE
TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

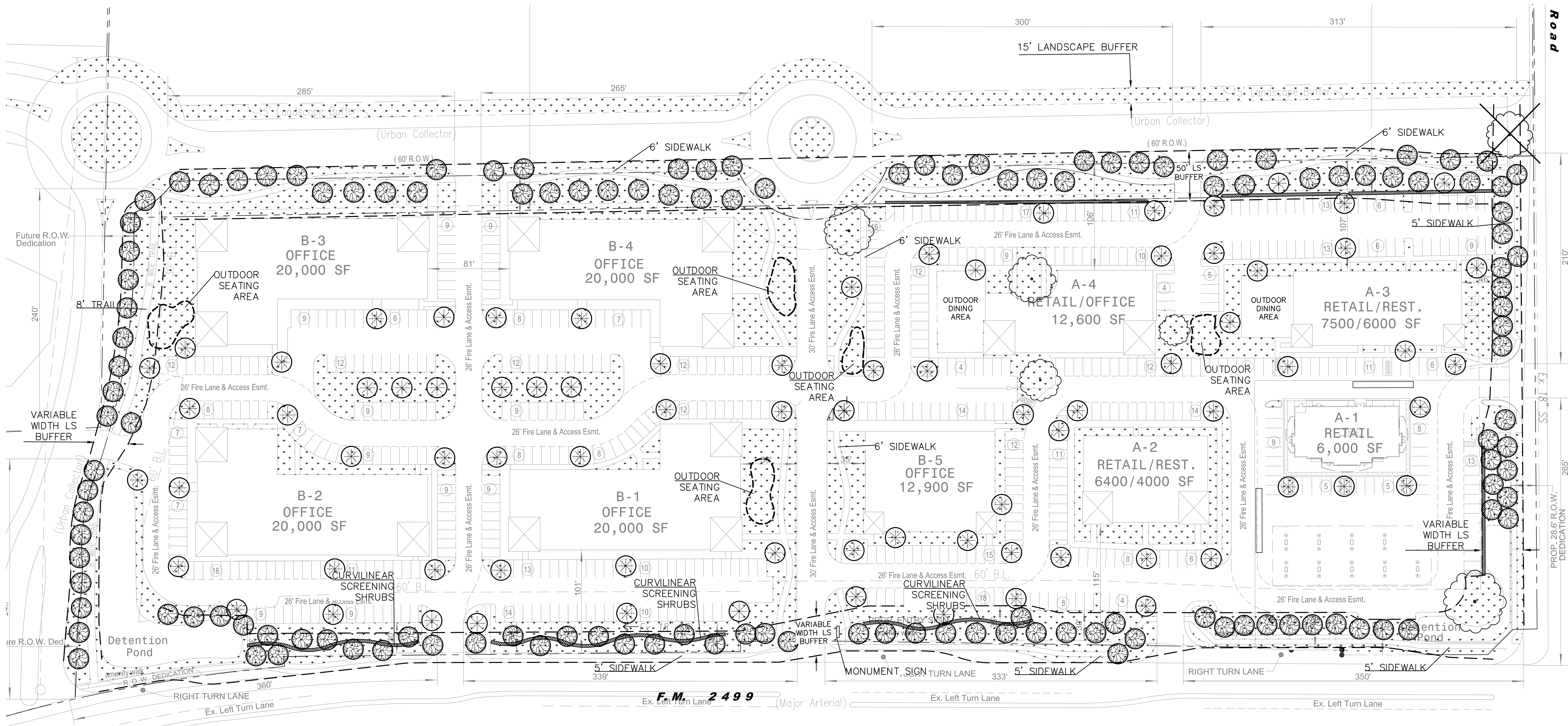
Developer Representative:
WEAVER COMMERCIAL REAL ESTATE, LTD.
3505 Yucca Drive, S. 100
Flower Mound Texas 75028
Contact: Todd Weaver

Engineer:
CRANNELL, CRANNELL & MARTIN ENG.
2570 F.M. 407, S. 209
Highland Village, Texas 75077
972.691.6633
Contact: Jeff Crannell, P.E.

NOTES:
Driveway locations and right turn lane configurations will require approval of TxDOT.
Any sidewalk on private property will require a Pedestrian access easement.
Any sidewalk less than 5' wide will require a 5'x5' passing zone every 200'.
All buildings will be connected by a sidewalk system internal to the site.
At Site Plan both roundabouts will be designed to meet modern standards.
Exact number of parking spaces to be reviewed at time of Site plan.

This symbol indicates an open space feature consisting of a shaded sitting area with landscaping, trash can and sidewalks. Four or more of these will be installed in the public open spaces throughout the site.

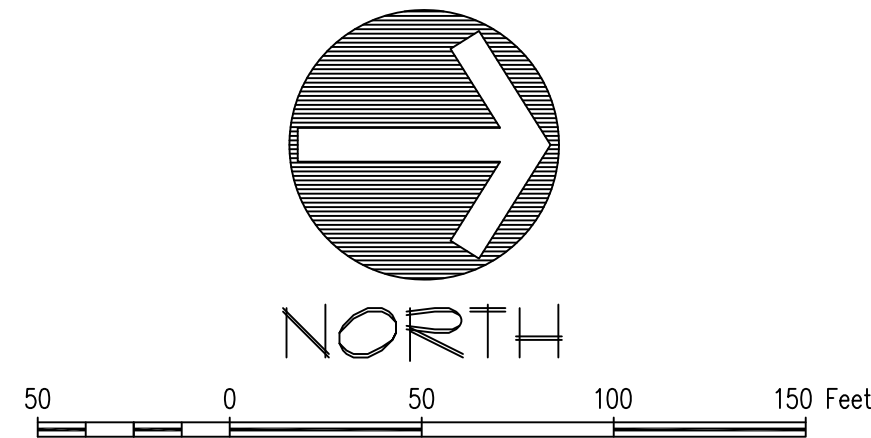
Zoned: MF
The Meadows



LANDSCAPE REQUIREMENTS COMPLIANCE
TOWN OF FLOWER MOUND
SPA-5

LEGEND	
	PARKING TREE
	BUFFER TREE
	SCREENING SHRUBS
	GRASS AREA

LANDSCAPE BUFFERS	
Required	There shall be a variable width buffer between 20' and 35' from the maximum ROW line along FM 2499, and 1 tree for every 30 l.f.
Provided	Variable width (20' minimum) buffer and 48 trees FM 2499 - 1432 l.f. / 30 = 48 trees
Required	There shall be a minimum landscape buffer of 15' along Waketon Road, College Parkway and the west property line and 1 tree for every 30 l.f.
Provided	Waketon Road - 565 l.f. / 30 = 19 trees College Parkway - 563 l.f. / 30 = 19 trees West Property line - 1423 l.f. / 30 = 47 trees
Required	Waketon Road - Variable width (15' minimum) buffer and 19 trees
Provided	College Parkway - Variable width (15' minimum) buffer and 19 trees West Property line - Variable width (15' minimum) buffer and 47 trees
PARKING AREA LANDSCAPE	
Required	Landscape areas shall be provided within off street parking areas at a minimum 90 s.f. per 12 parking spaces.
Provided	615 / 12 = 51.25 x 90 = 4,613 required s.f. of landscaping 22,614 s.f.
Required	All parking spaces to be located within 50' of a tree
Provided	Parking spaces within 50' of a tree
Required	All head parking to be screened from street view with minimum 3' high shrubs
Provided	3' high screening shrubs on head parking.



Watkins Road Concept
18,578 Acres
in the
Jesse Watkins Survey, Abstract No. A-1841
Town of Flower Mound
DENTON COUNTY, TEXAS

CONCEPTUAL LANDSCAPE
PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
RON STEWART LANDSCAPE ARCHITECT
DATED 9/1/2015

Drawn By:
Date: 4/6/15
Scale: 1"=50'
Revisions:
9/1/15

15043

L1.0

TOWN OF FLOWER MOUND, TEXAS

ORDINANCE NO. 57-15

AN ORDINANCE OF THE TOWN OF FLOWER MOUND, TEXAS, AMENDING THE OFFICIAL ZONING MAP, EXHIBIT "A" OF SUBPART B, LAND DEVELOPMENT REGULATIONS, OF THE CODE OF ORDINANCES OF THE TOWN OF FLOWER MOUND, TEXAS, BY CHANGING THE ZONING ON APPROXIMATELY 18.578 ACRES OF LAND SITUATED IN THE JESSE WATKINS SURVEY, ABSTRACT NUMBER A-1341, DENTON COUNTY, TEXAS, FROM AGRICULTURAL DISTRICT (A) TO PLANNED DEVELOPMENT DISTRICT NO. 141 (PD-141) WITH RETAIL DISTRICT-2 (R-2), OFFICE DISTRICT (O) AND AGRICULTURAL DISTRICT (A) USES IN ACCORDANCE WITH THE TOWN'S MASTER PLAN AND SPECIFIC REQUIREMENTS AND EXHIBITS INCORPORATED HEREIN; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF IN ACCORDANCE WITH SECTION 1-13 OF THE CODE OF ORDINANCES OF THE TOWN OF FLOWER MOUND; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Flower Mound is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the Town Council of the Town of Flower Mound heretofore adopted the Land Development Regulations of the Town of Flower Mound, as amended, which Ordinance regulates and restricts the location and use of buildings, structures and land for trade, industry, residence and other purposes, and provides for the establishment of zoning districts of such number, shape and area as may be best suited to carry out these regulations; and,

WHEREAS, in accordance with Chapter 78 of the Land Development Regulations, the owners of the property described as approximately 18.578 acres of land situated in the Jesse Watkins Survey, Abstract Number A-1341, Denton County, Texas, have filed an application to change the zoning from Agricultural District (A) to Planned Development District No. 141 (PD-141) with Retail District-2 (R-2), Office District (O) and Agricultural District (A) uses; and,

WHEREAS, the Planning and Zoning Commission of the Town of Flower Mound, Texas held a public hearing on September 28, 2015, and the Town Council of the Town of Flower Mound, Texas, held a public hearing on October 5, 2015, with respect to the proposed planned development district as described herein; and,

WHEREAS, the Town has complied with all requirements of Chapter 211 of the Local Government Code, Chapter 78 of the Land Development Regulations, and all other laws dealing with notice, publication and procedural requirements for the approval of a planned development district on the property; and

WHEREAS, the Town Council finds that amendment of the Zoning map as outlined herein is in the best interest of the Town of Flower Mound and will promote the health, safety and general welfare of the citizens of the Town of Flower Mound and the general public.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, THAT:

SECTION 1

The Land Development Regulations of the Town of Flower Mound, Texas, as amended, are hereby amended on the hereinafter described property and area to establish a planned development district as shown below:

18.578 acres of land situated in the Jesse Watkins Survey, Abstract Number A-1341, Denton County, Texas, and more fully described in Exhibit "A" hereto.

Planned Development District No. 141 (PD-141) with Retail District-2 (R-2), Office District (O) and Agricultural District (A) uses.

SECTION 2

The development standards, concept plan, concept landscape plan, and conceptual elevations of the proposed Planned Development District No. 141 (PD-141), attached hereto as Exhibits "B," "C," "D" and "E," each incorporated herein for all purposes, are hereby approved as the development standards, concept plan, concept landscape plan, and conceptual elevations for this Planned Development District No. 141 (PD-141).

SECTION 3

The official map of the Town of Flower Mound is amended and the Executive Director of Development Services is directed to revise the official zoning map to reflect the approved Planned Development District No. 141 (PD-141), as set forth above.

SECTION 4

The use of the property described above shall be subject to all restrictions, terms and conditions contained in Exhibits "B," "C," "D" and "E" attached hereto, as well as the applicable regulations contained in the Land Development Regulations and all other applicable and pertinent ordinances of the Town of Flower Mound.

SECTION 5

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the Town of Flower Mound, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 6

It is hereby declared to be the intention of the Town Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the Town Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.

SECTION 7

Any person, firm, or corporation who violates any provision of this Ordinance as adopted by the Town Council of the Town of Flower Mound shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine as provided in Section 1-13 of the Code of Ordinances of the Town of Flower Mound. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 8

All rights and remedies of the Town of Flower Mound are expressly saved as to any and all violations of the provisions of the Land Development Regulations or any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 9

The Town Secretary of the Town of Flower Mound is hereby directed to publish the caption in the official newspaper of the Town of Flower Mound as required by Section 3.07 of the Charter of the Town of Flower Mound.

SECTION 10

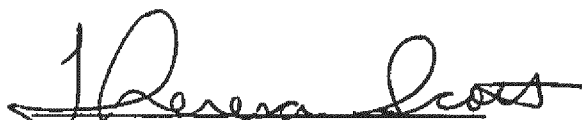
This Ordinance shall be in full force and effect from and after the date of its passage and publication as required by law, and it is so ordained.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, BY A VOTE OF 5 TO 0, ON THIS THE 5 DAY OF OCTOBER, 2015.

APPROVED:


Thomas E. Hayden, MAYOR

ATTEST:


Theresa Scott, TOWN SECRETARY

ORDINANCE NO. 57-15

Page 4

APPROVED AS TO FORM AND LEGALITY:


Bryn Meredith, TOWN ATTORNEY

Exhibit "A"
Legal Description

Being all that certain lot, tract or parcel of land situated in the Jesse Watkins Survey, Abstract Number 1324 in the Town of Flower Mound, Denton County, Texas and being a part of a tract of land described in a deed to Hawks Ramsey, LLC., as recorded in County Clerk's File Number 2007-51767 of the Real Property Records, Denton County, Texas; the subject tract being more particularly described as follows:

BEGINNING at a point being the most Easterly Northeast corner of said Ramsey and being in the Westerly Right of Way of FM 2499 (a.k.a. Long Prairie Road);

Thence along the Westerly line of said FM 2499 and the East line of said Ramsey tract the following 12 calls;

Thence South 00 degrees 04 minutes 35 seconds East a distance of 143.54 feet to a point;

Thence South 89 degrees 51 minutes 25 seconds West a distance of 5.00 feet to a point for corner;

Thence South 00 degrees 08 minutes 35 seconds East a distance of 50.25 feet to a point for corner;

Thence South 02 degrees 40 minutes 25 seconds West a distance of 200.18 feet to a point for corner;

Thence South 00 degrees 08 minutes 35 seconds East a distance of 350.30 feet to a point for corner;

Thence North 89 degrees 52 minutes 00 seconds East a distance of 10.20 feet to a point for corner;

Thence South 00 degrees 08 minutes 35 seconds East a distance of 350.23 feet to a point for corner;

Thence South 02 degrees 11 minutes 20 seconds East a distance of 104.82 feet to a point for corner;

Thence North 85 degrees 45 minutes 25 seconds East a distance of 10.00 feet to a point for corner;

Thence South 06 degrees 19 minutes 30 seconds East a distance of 104.17 feet to a point for corner;

Thence South 10 degrees 18 minutes 20 seconds East a distance of 104.50 feet to a point for corner;

Thence South 15 degrees 09 minutes 55 seconds East a distance of 104.80 feet to a point for corner for the Southeast corner of said Ramsey tract and the northeast corner of Lot X, Block A of North Point Center, an addition to the Town of Flower Mound, Denton County, Texas as recorded in Cabinet X, Page 332 of the Plat Records of Denton County, Texas;

Thence North 88 degrees 31 minutes 05 seconds West with the common line thereof a distance of 290.13 feet to a point for corner in the South line of said Ramsey tract and being in a Northerly line of a tract of land described in a deed to Borchardt Partners, LTD., as recorded in County Clerk's File Number 1999-59183 of the Real Property Records, Denton County, Texas;

Thence North 02 degrees 47 minutes 40 seconds West with the common line thereof a distance of 117.13 feet to a point for corner;

Thence North 88 degrees 45 degrees 20 minutes West with the South line of said Ramsey tract and a Northerly line of said Borchardt tract a distance of 303.82 feet to a point for corner for the Southwest corner of the herein described tract;

Thence North 01 degrees 03 minutes 45 seconds West a distance of 819.64 feet to a point for said point being the beginning of a curve to the left with a radius of 20.00 feet and a arc length of 23.43 feet to a point, said point be the beginning of a reverse curve to the right with a radius of 70.00 feet and a arc length of 183.99 feet to a point, said point being the beginning of a reverse curve to the left with a radius of 20.00 feet and a arc length of 23.43 feet to a point.

THENCE North 01 degrees 03 minutes 45 seconds a distance of 837.89 feet to a point for the Northwest corner of herein described tract and being in North line of said Ramsey tract and the South line of Wakelon Road;

Thence with the common line thereof the following 4 calls;

Thence North 89 degrees 21 minutes 40 seconds East a distance of 459.21 feet to a point for corner;

Thence South 00 degrees 08 minutes 35 seconds East a distance of 28.75 feet to a point for corner;

Thence North 89 degrees 51 minutes 25 seconds East a distance of 80.00 feet to a point for corner;

Thence South 45 degrees 08 minutes 35 seconds East a distance of 35.38 feet to the PLACE OF BEGINNING and enclosing 18.578 acres of land more or less.

Exhibit "B"**DEVELOPMENT STANDARDS****Planned Development District No. 141 (PD-141)
Hawks Hill**

The development on the property comprising approximately 18.578 acres of land within the corporate limits of the Town of Flower Mound ("Town") and as described on Exhibit "A" to this Zoning Ordinance adopting PD-141 shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements:

- A. **PERMITTED USES.** The following uses shall be permitted in Tracts A and B as depicted in Exhibit C "Concept Plan" except as stated in Section 2 below.

1. Tracts A and B:

- a. Accessory retail and service uses (Tracts A and B)
- b. Accessory use, general, subject to section 98-972 (Tracts A and B)
- c. Antique shop (Tract A)
- d. Art gallery or handicraft sales (Tract A)
- e. Arts supply store (Tracts A and B)
- f. Bait and sporting goods sales (Tract A)
- g. Bakery or confectionary shop, retail (Tract A)
- h. Bank or savings and loan (with or without drive-thru) (Tracts A and B)
- i. Book or stationary store or newsstand (Tracts A and B)
- j. Church or rectory (Tracts A and B)
- k. Custom personal service (Tracts A and B)
- l. Cleaning shop or laundry pickup station (Tract A)
- m. Cleaning/laundry shop with pickup station (Tract A)
- n. Cleaning/laundry shop, pickup station only (Tract B)
- o. Community Center (public) (Tracts A and B)
- p. Convenience store (Tract A)
- q. Drugstore or pharmacy (with or without drive thru) (Tract A)
- r. Dancing, drama, or music school or studio (Tract A)
- s. Fire Station (Tracts A and B)
- t. Florist (Tracts A and B)
- u. Hardware store (Tract A)
- v. Health club or athletic club (Tract A)
- w. Laboratory, medical or dental (Tract A)
- x. Off street parking, accessory (Tracts A and B)
- y. Office, general business and professional (Tracts A and B)
- z. Office, medical or dental (Tracts A and B)
- aa. Optical Sales (Tracts A and B)
- bb. Park or playground, public (Tracts A and B)
- cc. Parking lot, commercial (Tracts A and B)
- dd. Personal improvement services (Tracts A and B)
- ee. Pet store, subject to section 98-988 (Tract A)
- ff. Plant nursery or garden shop (Tract A)

- gg. Public building, shop or yard (Tracts A and B)
 - hh. Restaurant, single tenant or part of a multi-tenant building with drive thru (Tract A)
 - ii. Restaurant, general (Tracts A and B)
 - jj. Restaurant, fast food (with or without a drive thru) (Tract A)
 - kk. Retail, general (indoors)(R-2)
 - ll. Retail, single Tenant (less than 25,000 square feet) (Tract A)
 - mm. Travel bureau or consultant (Tract A)
2. Residential Low Density uses. The area 550 feet east of the eastern right-of-way line of Rippy Road is restricted to Low Density residential uses per the Town's Master Plan as of the date of passage of this ordinance and shall retain the base zoning district of Agricultural (A). The sole use of this area within the boundary of the subject property is to provide for landscape buffers and the right-of-way for the north-south Urban Collector and associated roundabouts per the Town's Thoroughfare Plan as shown on Exhibit C.

B. SPECIFIC USES

The following uses may be permitted in this Planned Development District with a Specific Use Permit (SUP):

- a. Assembly Hall (Tract A)
- b. Amusement and recreation (indoors) (Tract A and B)(subject to section 98-973)
- c. Auto parts and accessory sales (indoors) (Tract A)
- d. Car wash, full service (Tract A)
- e. Car wash, self service (Tract A)
- f. Car wash, automatic (Tract A)
- g. Cleaning/laundry shop with on-site plant (Tract A)
- h. College or university (Tract B)
- i. Convenience store with gasoline sales (Tract A)
- j. Communication tower, commercial, subject to 98-977 (Tracts A and B)
- k. Day care center (Tracts A and B)
- l. Drugstore or pharmacy (with or without drive thru) (Tract B)
- m. Electrical line/substation, high-voltage, subject to section 98-979 (Tracts A and B)
- n. Fraternal club or lodge (Tract B)
- o. Hospital (Tracts A and B)
- p. Hotel (Tract B)
- q. Institution, drug or psychiatric treatment (Tract B)
- r. Laboratory, scientific and research (Tract B)
- s. Lithographic, print shop (Tracts A and B)
- t. Local utility line (Tracts A and B)
- u. Mortuary or funeral home (Tract B)
- v. Motor vehicle fuel service station (Tract A)
- w. Museum, library or art gallery, public (Tracts A and B)
- x. Nursing or congregate care facility (Tract B)
- y. Private franchise utility, not listed (Tracts A and B)
- z. Recreation center (Tracts A and B)
- aa. Repair service, limited (Tract A)

- bb. Retail, single tenant (25,000 square feet but less than 50,000 square feet) (Tract A)
- cc. School, business (Tract B)
- dd. School, elementary or secondary (Tract B)
- ee. Studio, television or radio (Tract B)
- ff. Swimming pool, public (Tracts A and B)
- gg. Transmission Pipeline, subject to section 98-997 (Tracts A and B)
- hh. Theater (Tracts A and B)
- ii. Water well, storage or pump station (Tracts A and B)

C. PROHIBITED USES

The following uses shall not be permitted in this Planned Development District:

- a. Animal control facility
- b. Aviary
- c. Bus station, terminal
- d. Kennel, subject to section 98-986
- e. Kennel, enclosed in building only
- f. Railroad track
- g. Sewage pump station
- h. Telephone equipment station
- i. Veterinary hospital (inside pens)
- j. Veterinary hospital (inside pens) subject to section 98-998

D. TEMPORARY USES

The following temporary uses shall be permitted in this Planned Development District:

- a. Asphalt/concrete batch plant, temporary, subject to section 98-974
- b. Building material yard and construction office
- c. Field office, temporary
- d. Sales, temporary, subject to section 98-992
- e. Temporary special event, subject to section 98-976

E. DIMENSIONAL REGULATIONS

The dimensional regulations for this Planned Development shall comply with Retail District (R-2) for Tract A and Office District for Tract B as depicted in exhibit C except as otherwise expressed herein:

1. There shall be a 30-foot building setback on Waketon Road and the proposed Lugo Drive and a 60-foot building setback on FM 2499 and College Parkway.
2. Fuel island canopies, if approved by an SUP, shall be a minimum of 50 feet from the existing right-of-way at the time of approval of this Planned Development.

F. ARCHITECTURAL STANDARDS

Building Elevation Profiles and Roof Form shall substantially conform with the approved Concept Elevations and have the following components:

1. All building elevations will be articulated to meet or exceed the Town of Flower Mound Urban Design Plan and the requirements of Specific Plan Area 5. Buildings need to reflect an architectural prominence, with particular attention being paid to architectural quality on the facades, rooflines, and elevations visible from major arterials.
2. Buildings shall incorporate human-scale proportions at the entries and front facades through the use of arcades, porte-cocheres, and other shade producing elements.
3. The unified design theme depicted on the Concept Elevations shall be required within the development.
4. Franchise utility panels and connection points shall be painted and textured to match the color and texture of the building and located so that they are not visible from public roadways, except that Franchise utility panels and connection points facing Waketon Road or College Parkway will be kept at a minimum and adequately screened, with additional landscaping or other approved material during the Site Plan approval process, to obstruct visibility from Waketon Road and College Parkway.
5. Colors shall be consistent with the surrounding development and should be earth tones, copper or bronze colors, or members of the brown, white, gold scale. Accent colors shall be used in accordance with the urban design guidelines
6. All retaining walls shall be decorative in nature and shall be constructed of stone or stone clad. Where practical walls over 4 feet should be incorporated in public open space. Retaining walls shall not exceed a maximum height of 8 feet.

G LANDSCAPE BUFFER AND SCREENING REQUIREMENTS

1. There shall be a minimum landscape buffer of 30 feet along FM 2499 and 15 feet along Waketon Road, from the existing right-of-way, and College Parkway.
2. A landscape buffer of at least 30 feet shall be provided along the east line of proposed Jacob Lugo Drive, exclusive of access drives and roundabouts, as shown on the approved Concept Plan.
3. All loading areas shall be completely screened from public right-of-ways by a screen wall, which is of adequate length and height to completely enclose a delivery vehicle parked in a loading area. Additionally, berms and landscaping may be used to enhance screening and soften screen walls.

H. MISCELLANEOUS STANDARDS

1. The development shall include multiple public open space amenities that are integrated into the development as depicted in Exhibit C.. At least 4 areas with seating, shade and landscaping will be incorporated into the public open space.
2. Pedestrian linkages shall be provided throughout the site to connect the future residential area to the west and may be comprised of crushed granite, brick pavers, concrete, or patterned concrete.
3. The required Town Trail along the north side of College Parkway will be a 8 foot concrete multi-use trail as required by 90-443(g).
4. Storm water storage facilities may include detention and/or retention ponds provided that retention ponds shall include aeration. Detention or retention ponds may include either sloped edges or hard edges comprised of stacked stone, stone veneer, cut stone or faux stone that complement the development.
5. The development will be subject to an overall reciprocal easement agreement granting cross-access and cross-parking for the entire development. A copy of said agreement will be provided to the Town of Flower Mound with the Record Plat for the development.
6. The proposed buildings of this Planned Development shall be no closer than 550' to the existing eastern right-of-way line of Rippy Road, at the time of approval of this Planned Development.
7. Right decel lanes may be placed in 'Public Access Easements' where there is not sufficient right-of-way subject to approval of the Town Engineer.
8. Any use utilizing a drive through facility shall be subject to Section 82-82 of the Town's Land Development Regulations as amended, at the time of site plan submittal.
9. Signs depicted on Exhibit C are not deemed to be approved until a sign permit has been issued by the Town.

I. WAIVERS

The following waivers shall be granted with the approval of the Planned Development District:

1. Section 82-302 – Compatibility Buffer and Section 82-303 Compatibility Setback: A sixty foot (60') compatibility setback and twenty-five foot (25') landscape buffer shall not be required as shown on Exhibit C.
2. Driveway access along Waketon Road, College Parkway and Long Prairie Road is approved as shown in Exhibit C.

Exhibit "C"
CONCEPT PLAN

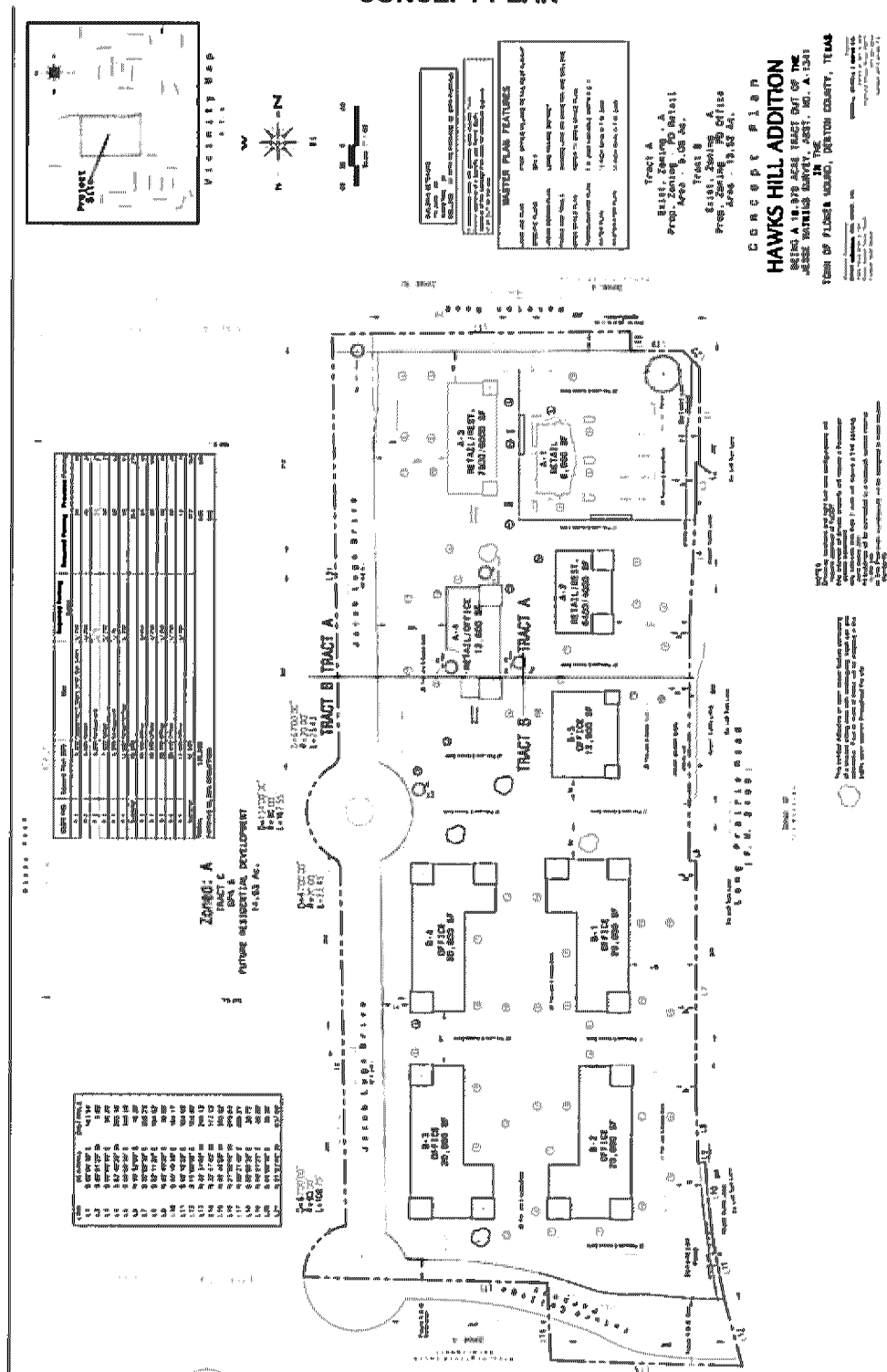
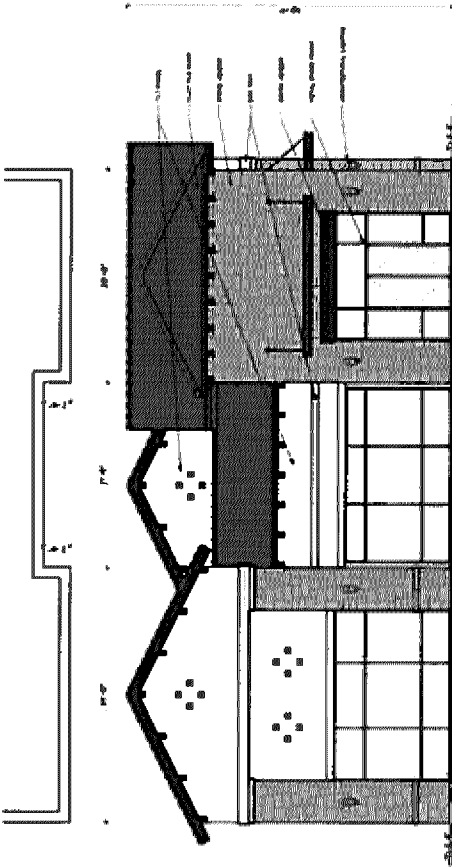
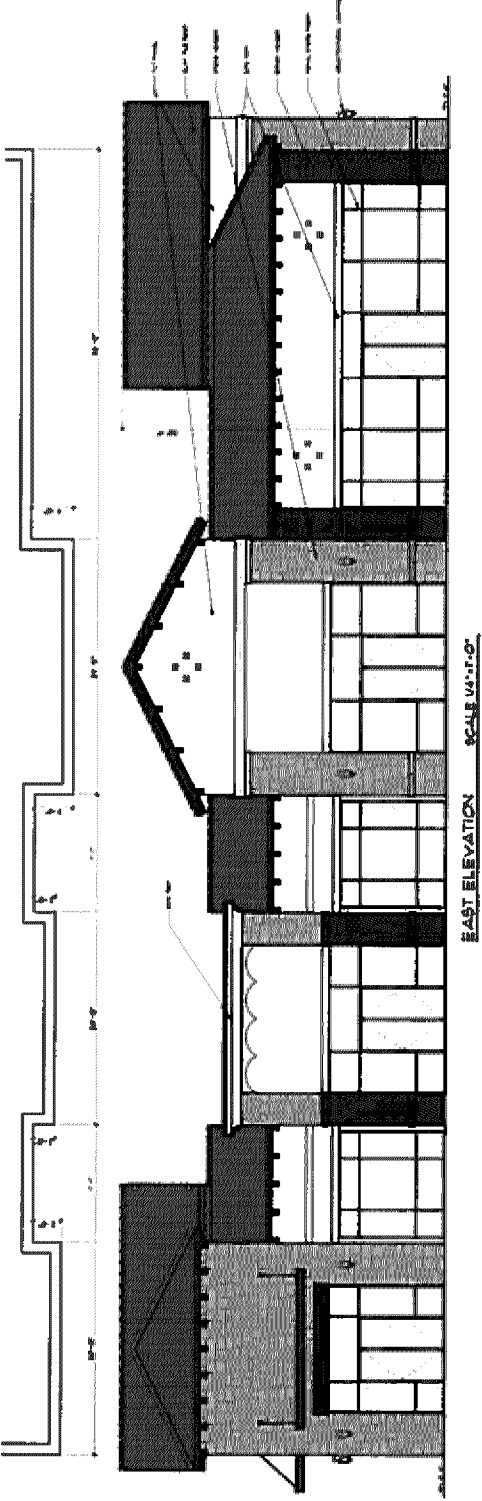
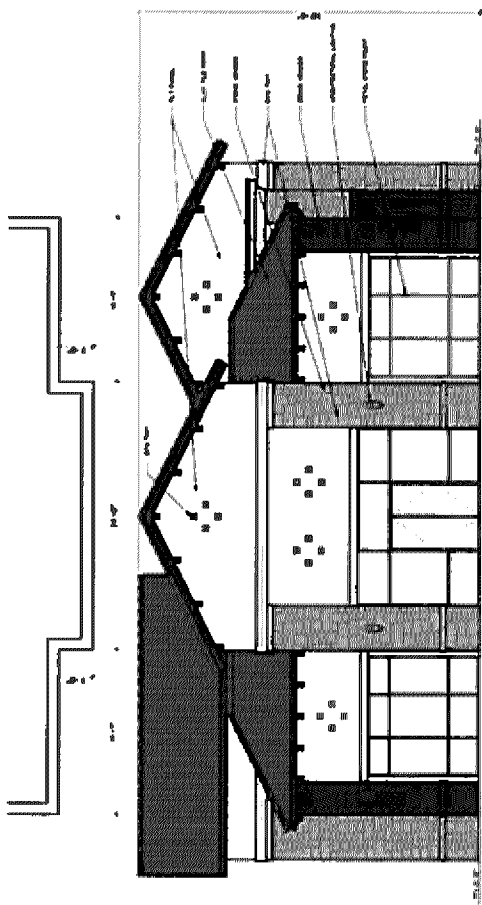


Exhibit "E"
CONCEPTUAL ELEVATIONS



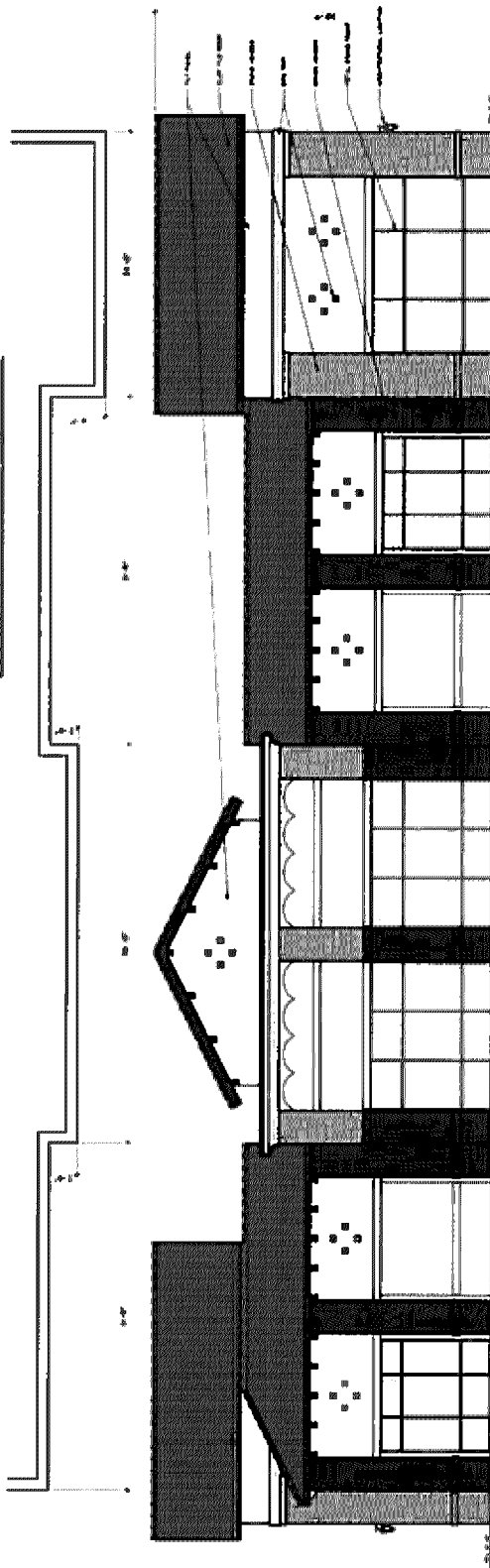
Item	Quantity	Unit	Material	Notes
1. Concrete Foundation	100	SF	4" Thick	
2. Concrete Floor	200	SF	4" Thick	
3. Concrete Wall	100	SF	8" Thick	
4. Concrete Roof	100	SF	4" Thick	
5. Brickwork	100	SF	8" Thick	
6. Windows	10	SF	6" x 8"	
7. Doors	1	SF	3' x 6"	
8. Siding	100	SF	1/2" Thick	
9. Guttering	100	LF	4" x 6"	
10. Downspout	1	SF	4" x 6"	
11. Paint	100	SF	1/2" Thick	
12. Landscaping	100	SF	1/2" Thick	
13. Fencing	100	SF	1/2" Thick	
14. Driveway	100	SF	1/2" Thick	
15. Walkway	100	SF	1/2" Thick	
16. Stairs	100	SF	1/2" Thick	
17. Deck	100	SF	1/2" Thick	
18. Porch	100	SF	1/2" Thick	
19. Balcony	100	SF	1/2" Thick	
20. Terrace	100	SF	1/2" Thick	





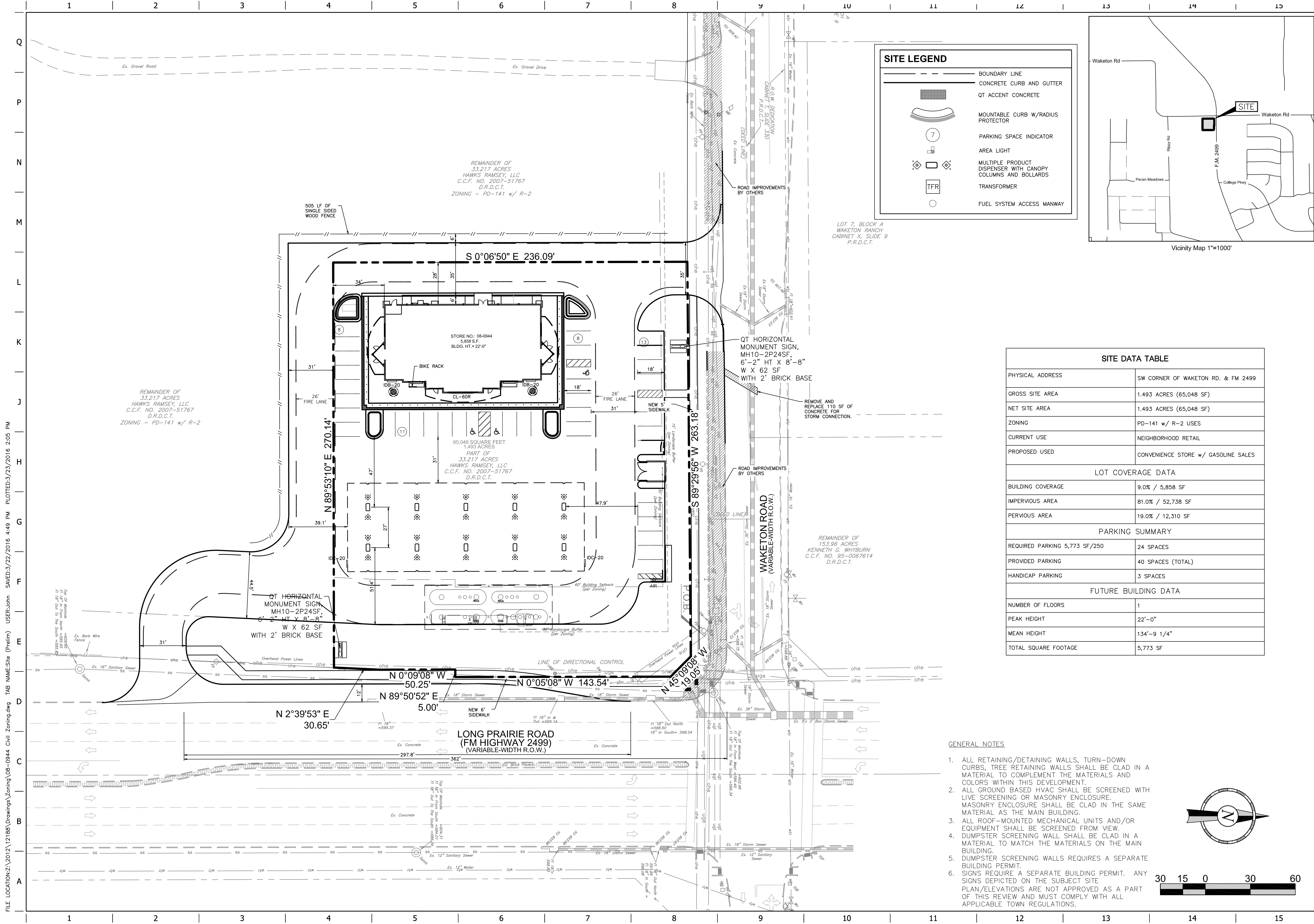
NORTH ELEVATION SCALE 1/4\"/>

Item	Description	Quantity	Unit	Price	Total
1	Excavation and foundation work	1000	SF	10.00	10000.00
2	Foundation walls and footings	1000	SF	10.00	10000.00
3	Foundation reinforcement	1000	SF	10.00	10000.00
4	Foundation waterproofing	1000	SF	10.00	10000.00
5	Foundation drainage	1000	SF	10.00	10000.00
6	Foundation inspection	1000	SF	10.00	10000.00
7	Foundation repair	1000	SF	10.00	10000.00
8	Foundation sealing	1000	SF	10.00	10000.00
9	Foundation painting	1000	SF	10.00	10000.00
10	Foundation cleaning	1000	SF	10.00	10000.00
11	Foundation maintenance	1000	SF	10.00	10000.00
12	Foundation monitoring	1000	SF	10.00	10000.00
13	Foundation testing	1000	SF	10.00	10000.00
14	Foundation repair	1000	SF	10.00	10000.00
15	Foundation sealing	1000	SF	10.00	10000.00
16	Foundation painting	1000	SF	10.00	10000.00
17	Foundation cleaning	1000	SF	10.00	10000.00
18	Foundation maintenance	1000	SF	10.00	10000.00
19	Foundation monitoring	1000	SF	10.00	10000.00
20	Foundation testing	1000	SF	10.00	10000.00



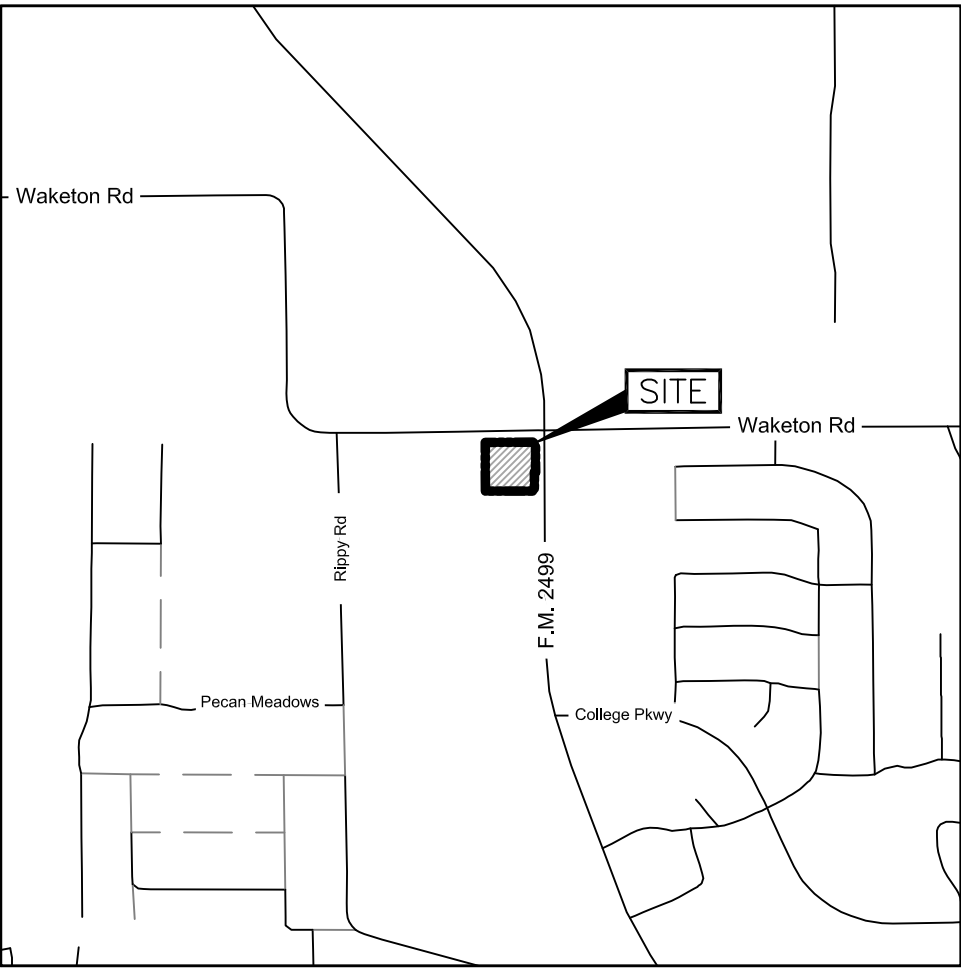
WEST ELEVATION SCALE 1/4\"/>

Attachment B(1): Specific Use Permit Package



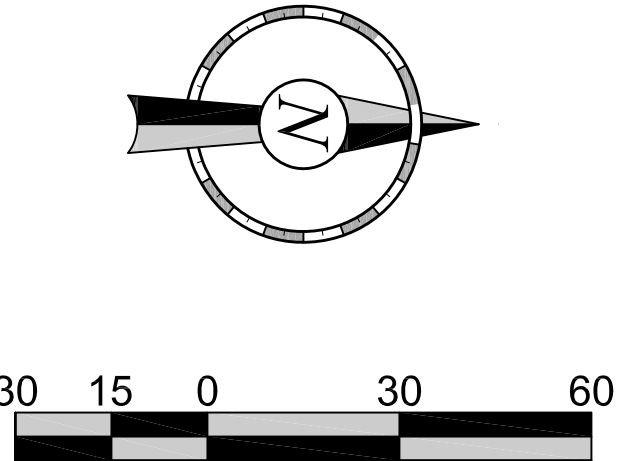
SITE LEGEND

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- QT ACCENT CONCRETE
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY



SITE DATA TABLE	
PHYSICAL ADDRESS	SW CORNER OF WAKETON RD. & FM 2499
GROSS SITE AREA	1.493 ACRES (65,048 SF)
NET SITE AREA	1.493 ACRES (65,048 SF)
ZONING	PD-141 w/ R-2 USES
CURRENT USE	NEIGHBORHOOD RETAIL
PROPOSED USED	CONVENIENCE STORE w/ GASOLINE SALES
LOT COVERAGE DATA	
BUILDING COVERAGE	9.0% / 5,858 SF
IMPERVIOUS AREA	81.0% / 52,738 SF
PERVIOUS AREA	19.0% / 12,310 SF
PARKING SUMMARY	
REQUIRED PARKING 5,773 SF/250	24 SPACES
PROVIDED PARKING	40 SPACES (TOTAL)
HANDICAP PARKING	3 SPACES
FUTURE BUILDING DATA	
NUMBER OF FLOORS	1
PEAK HEIGHT	22'-0"
MEAN HEIGHT	13'-9 1/4"
TOTAL SQUARE FOOTAGE	5,773 SF

- GENERAL NOTES**
- ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT.
 - ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.
 - ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.
 - DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
 - DUMPSTER SCREENING WALLS REQUIRES A SEPARATE BUILDING PERMIT.
 - SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS.



PRELIMINARY PLANS

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. G&A CONSULTANTS, F-1798 ROBERT JOHN DOLAK, JR., P.E. #96898 DATE 3/23/2016

PROJECT NO.:12188

G&A CONSULTANTS, LLC

111 Hillside Drive • Lewisville, TX 75057
P: 972.436.9712 • F: 972.436.9715
144 Old Town Blvd. North, Suite 2
Arlene, TX 76226
P: 940.240.1012 • F: 940.240.1028
TBPUS Firm No. 10047700
TBPE Firm No. 1798

QuikTrip No. 0944

2499 & WAKETON

TOWN OF FLOWER MOUND, DENTON COUNTY, TEXAS

QT

© COPYRIGHT QUIKTRIP CORPORATION 2011
ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION, OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-86 (2/02/16)
DIVISION: DAL
VERSION: 001
DESIGNED BY: DED
DRAWN BY: DED
REVIEWED BY: JD

REV	DATE	DESCRIPTION

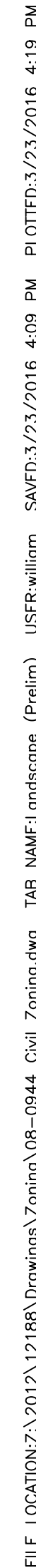
ORIGINAL ISSUE DATE:

SHEET TITLE:

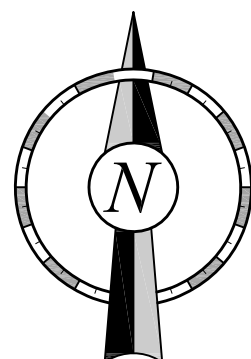
CONCEPTUAL SITE PLAN

SHEET NUMBER:

1



LANDSCAPE REQUIREMENTS		
	REQUIRED ORDINANCE	PROVIDED
PARKING AREA LANDSCAPE	Landscaped areas shall be provided within off street parking areas at a minimum 90 s.f. per 12 parking spaces. 41 Parking spaces = 307 s.f.	1,264 s.f. of interior landscape area
	All parking spaces must be located within 50' of a tree.	All spaces located within 50' of tree
	All head in parking to be screened from street view with minimum 3' high shrubs.	3' high screening shrubs screening head in parking
	1 tree for ever 10 parking spaces 41 parking spaces = 5 trees	5 (3" cal) trees
BUFFER REQUIREMENTS	LONG PRAIRIE ROAD (2499)	
	There shall be a minimum landscape buffer of 30' from the ROW line along FM 2499 and 1 tree for every 30 l.f. 330' = 11 trees	Minimum 30' width landscape buffer and 11 (3" cal.) trees provided
	WAKETON RD.	
	There shall be a minimum landscape buffer 15' along Waketon road and 1 tree for every 30 l.f. 247' = 8 trees	15' buffer and 24 (ornamental) trees



SHEET NUMBER:
L100



		North	South	East	West
1.	TOTAL Facade S.F.	1238 SF	1238 SF	2428 SF	2293 SF
2.	Facade S.F. (exclusive of doors and windows)	976 SF	976 SF	1744 SF	2027 SF
3.	Doors and Windows S.F.	262 SF	262 SF	684 SF	266 SF
4.	Primary Masonry totals (Min. 80%)	778 SF and 80% of 2	778 SF and 80% of 2	1392 SF and 80% of 2	1890 SF and 93% of 2
	• Brick S.F.	470 SF and 56% of 2	470 SF and 56% of 2	908 SF and 52% of 2	1552 SF and 88% of 2
	• Stone S.F.	307 SF and 24% of 2	307 SF and 24% of 2	484 SF and 28% of 2	338 SF and 7% of 2
	• Tilt Wall S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
5.	Secondary Masonry totals (Min. 20%)	190 SF and 20% of 2	190 SF and 20% of 2	519 SF and 20% of 2	109 SF and 7% of 2
	• Stucco S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• EIFS S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• Hardiplank S.F.	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2	0 SF and 0% of 2
	• Facia/ Canopy	191 SF and 20% of 2	191 SF and 20% of 2	352 SF and 20% of 2	139 SF and 7% of 2



QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 0944

Angle Entry w/Custom Hip
Roof – Building Elevations

Serial # 08-0944-BSST

Scale: 1/8"=1'-0"

Issue Date: 02.25.16

Address: SWC FM 2499 & Waketon Road

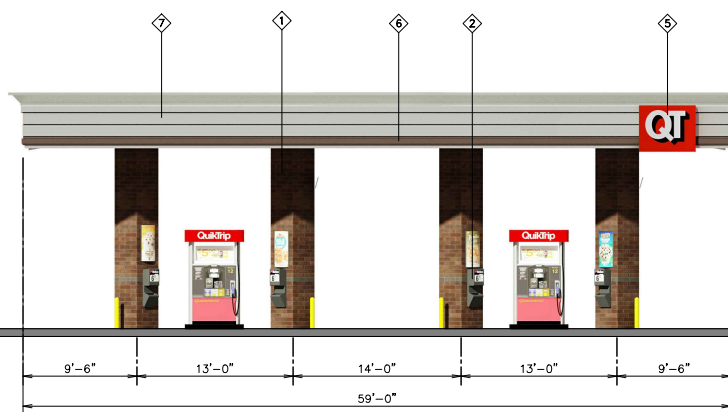
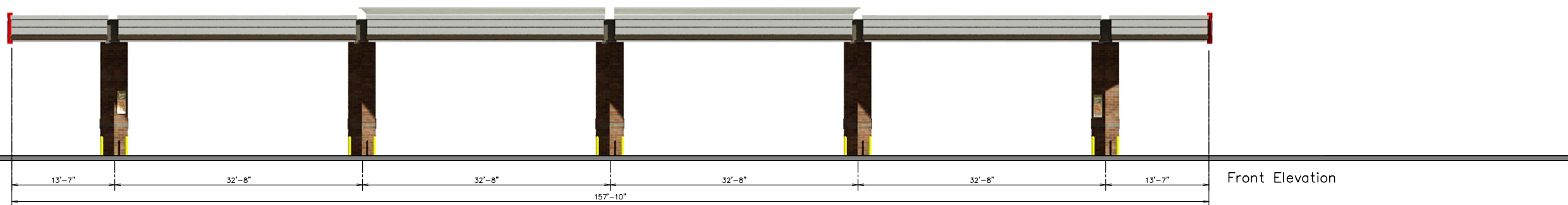
Drawn By: JK

Rev/Notes:

City, State: Flower Mound, TX

COPYRIGHT © 2011 QUIKTRIP CORPORATION DESIGN PATENTS
QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA,
OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND
INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION,
PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	HLZ ALUMINUM	ALPOLIC	PASCIA
4	QT RED	LANE	STANDING SEAM AWNING
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	DARK BRONZE	LANE	METAL PAINT
7	QT BROWN	SHERWIN WILLIAMS	PAIN
8	CL-SGR	ALLEN INDUSTRIES	SIGNAGE
9	BUCKINGHAM	LANDMARK STONE	STACKED STONE
10	108-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE



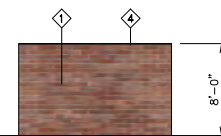
Left Elevation



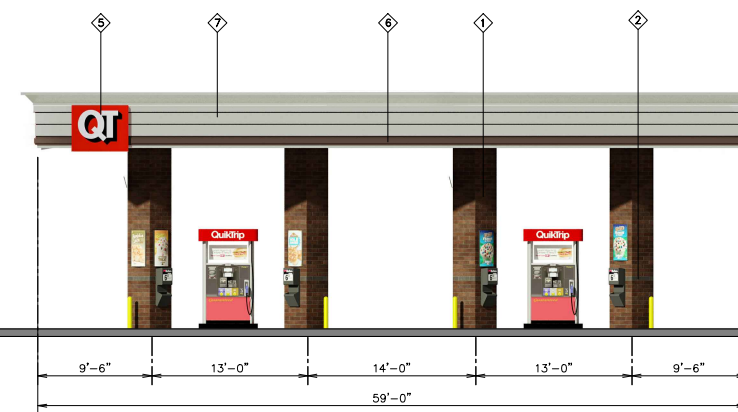
Front Elevation

18'-6" Min. / 22'-6" Max.
AFF Top of Canopy
15'-0" Min. / 19'-0" Max.
AFF Bottom of Canopy

Trash Enclosure



Side Elevation



Right Elevation



QuikTrip

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 0944 GD10 Gas Canopy Elevations

Serial # 08-0944-GD10

Scale: 1/16"=1'-0"

Issue Date: 12.21.15

Address: SWC FM 2499 & Waketon Road

Drawn By: JK

Rev/Notes:

City, State: Flower Mound, TX

COPYRIGHT © 2011 QUIKTRIP CORPORATION DESIGN PATENTS
QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA,
OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND
INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION,
PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT BLACK	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
4	DARK BRONZE	LANE	METAL/PART
5	IDC-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
6	QT BROWN	LANE	NON-ILLUMINATED BAND
7	HLZ-ALUMINUM	ALPOLIC	CANOPY

From: Kerstin Boodee

Sent: Saturday, March 19, 2016 5:24 PM

To: Mayor - Tom Hayden; Place1 - Mark Wise; Place3 - Kevin Bryant; Place2 - Bryan Webb; Place4 - Steve Dixon; Place5 - Itamar Gelbman; planning

Subject: Hawks Hill QT SUP16-0001 and MPA16-0001 Third Round Comments

Dear City Council & Planning & Zoning Committee,

With regards to the upcoming applications for Hawk Hills QT gas station scheduled for the March 28 P&Z and April 4 Town Council meetings, please record my opposition to the current QT architectural design proposal.

The current QT design proposal is not in line with the Town's Architecturally Standards and should therefor not be approved.

Please stand firm to the Flower Mound design standards as this is what makes our city so special.

It will only take one case to set an example for future applications to by pass town design standards.

Thank you very much

Kerstin Boodee
5316 Sining Brook Road
Flower Mound

From: Judy Cortinas

Sent: Wednesday, March 23, 2016 2:34 PM

To: Chuck Russell; Doug Powell; planning; Town Council; Town Secretary's Office; Jimmy Stathatos

Subject: INSIST QUIKTRIP MAINTAINS FLOWER MOUND EXCELLENCE IN DESIGN

First, I would like to commend our Town's Planning Department insistence to QT that they maintain the exemplary design that has always been required of Flower Mound's commercial/retail developments.

Please do not let QT build the designs they have submitted. The Planning Department disagrees with the designs they have brought forward, and we do, too. They do not match the designs of the PD, and do not meet the Town's criteria for exemplary design. It does not seem right that they (the Developer) can chose to override this as a Master Plan Amendment.

Driving from 407 down 2499, I take pride in all the retail developments attention to Flower Mound's building and design requirements. They worked with the Town to build amazing designs and exemplary buildings. QT should be required to do the same.

I am sending pictures of Southlake's QT and it seems to be of much better design than the one they are presenting to Flower Mound. The gas pump canopies even have a stone work look to them.

While we have been reluctant to accept such a huge gas station at this corner, it is much easier to accept it with a design that will match the existing requirements of the PD, and Flower Mound's requirement of excellence in design.

Please do not approve their designs and the SUP until they bring a design plan that belongs in Flower Mound. I feel sure they can do this.

Thank you,

Rudy and Judy Cortinas
3301 Pecan Meadows Dr
Flower Mound, TX 75028

QuikTrip





From: Missy Grant
Sent: Wednesday, March 23, 2016 9:40 PM
To: planning
Subject: Opposition to QT as proposed

Dear Planning & Zoning Commission,

Thank you for your continued efforts to hold in high regard the standards for business development in our town.

I am writing to express my concern over the Quik Trip (QT) as proposed for part of the Hawks Hill development. Unfortunately, I will not be able to make the March 28 or April 4 TC meetings. Please accept this letter in lieu of my personal appearance and include it in the record as if I were there in person. My concerns are as follows:

Size of QT - the size of the convenience store/gas station seems disproportionate to the Town's need. While I am sure QT has demographic data to justify such an expansive service station, I do not believe it is in the Town's best interest to have a gas station of that magnitude in as close proximity as it is to the other existing stations along 2499 and 407/Cross Timbers. Twenty pumps seems like overkill, where half that would likely be sufficient. Just because the developer can justify it doesn't mean the Town should approve it as is.

24-hour operation - the placement of the QT as the "hallmark" of Hawks Hill (i.e., at the top with no wind breaks or natural barriers on the south and west sides of the property since the trees in this development and in Highland Court will be significantly smaller and/or removed) risks significant light and noise pollution to the surrounding neighborhoods 24/7. I would respectfully request an earlier close time. Even if pumps are available 24/7, the store itself could be constrained to more appropriate business hours commensurate with other businesses in that same tract, with constraints that would help reduce the impact of light and noise.

Design standards - based on the comments in the most recent documents, it appears QT is not willing to sufficiently subscribe to Flower Mound's rigorous design standards. Although it appears some concessions have been made, changes to a franchise brand that are not in keeping with the Town's standards should not constitute meritorious design just because *some* changes have been made, especially when direction from Town staff has been clear and consistent.

Thank you for your careful deliberation on this project to protect the design and commercial development standards that make Flower Mound unique.

Regards,
Melissa S. Grant
3303 Sycamore Dr.
Flower Mound, TX 75028