



AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

JULY 11, 2016

FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. CALL TO ORDER: 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZEN'S COMMENTS

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. REGULAR ITEMS

1. *Minutes of June 27, 2016*

Consider approval of the minutes of the June 27, 2016, Planning and Zoning Commission Regular Session.

2. *SP16-0006 – LG River Walk Apartments*

Consider a request for a Site Plan to develop an apartment complex. The property is generally located south of 1st Avenue and east of River Walk Drive. *(This item was tabled at the June 27, 2016, Planning and Zoning Commission meeting.)*

3. *Z16-0003 – Ivy Estates, Lot 2, Block A*

Public Hearing

Public Hearing to consider a request for rezoning from Single-Family District-30 (SF-30) uses to Single-Family District-10 (SF-10) uses. The property is generally located south of Rembert Drive and north of Lismore Drive.

E. ADJOURNMENT

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: July 7, 2016, at 2:55 pm, at least 72 hours prior to the scheduled time of said meeting.



Cindi Price, Executive Assistant

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350.
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THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 27TH DAY OF JUNE, 2016, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Claudio Forest	Chair
Perfecto Solis	Vice Chair
Sandeep Sharma	Commissioner, Place 2
Mike McCall	Commissioner, Place 3
Emily Strittmatter	Commissioner, Place 5
Brian Smiley	Commissioner, Place 6
Al Linley	Commissioner, Place 8
Brad Ruthrauff	Commissioner, Place 9

Constituting a quorum with the following members absent:

Vacant	Commissioner, Place 1
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Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Chuck Russell	Town Planner
Brent Anderson	Senior Project Engineer
Richard Brown	Senior Planner
Cindi Price	Executive Assistant

- A. CALL TO ORDER: 6:30 P.M.**
- B. INVOCATION AND PLEDGE OF ALLEGIANCE**
- C. CITIZENS/VISITORS COMMENTS**

There were none.

- D. REGULAR ITEMS**

- 1. Consider approval of the minutes of the June 13, 2016, Planning and Zoning Commission Regular Session.**

Commission Deliberation

Commissioner McCall moved to approve the June 13, 2016, minutes as presented.
Vice Chair Solis seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Smiley, Solis, McCall, Strittmatter

NAYS: None

ABSTAIN: Sharma

ABSENT: None

The motion passed with a vote of 5-0-1.

2. Consider a request for a Site Plan (SP16-0006 – LG River Walk Apartments) to develop an apartment complex. The property is generally located south of 1st Avenue and east of River Walk Drive. *(This item was tabled at the June 13, 2016, Planning and Zoning Commission meeting.)*

Staff Presentation

Chuck Russell, Town Planner

Applicant Presentation

Bobby Dollak, G & A Consultants

Commission Deliberation

Vice Chair Solis moved to table SP16-0006 – LG River Walk Apartments to allow staff the opportunity to review the applicant's presentation and come back with their concurrence at the next meeting. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Strittmatter, Sharma, Solis, Smiley, Ruthrauff

NAYS: McCall

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 5-1.

3. Public Hearing to consider a request for a Replat (RP16-0018 – Franklin Hills Addition, Lot 7R, Block A-2) to create one residential lot. The property is generally located south of Sunnyview Lane, north of Shady Oaks Drive.

Staff Presentation

Richard Brown, Senior Planner

In Favor – None

In Opposition – None

Close Public Hearing

Commission Deliberation

Vice Chair Solis moved to approve RP16-0018 – Franklin Hills Addition, Lot 7R, Block A-2. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Smiley, Solis, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

4. Public Hearing to consider a request for a Replat (RP16-0005 – Lakeside Ranch Business Park, Lot 3R-4) to dedicate various easements. The property is generally located south of Lakeside Parkway and west of Enterprise Drive.
5. Consider a request for a Site Plan (SP16-0008 – Trinity Park) to develop two non-residential buildings. The property is generally located south of Lakeside Parkway and west of Enterprise Drive.

Staff Presentation

Chuck Russell, Town Planner

In Favor – None

In Opposition – None

Close Public Hearing

Commission Deliberation (RP16-0005)

Vice Chair Solis moved to approve RP16-0005 – Lakeside Ranch Business Park, Lot 3R-4. Commissioner Sharma seconded the motion.

VOTE ON THE MOTION (RP16-0005)

AYES: Strittmatter, Sharma, McCall, Solis, Smiley, Ruthrauff

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

Commission Deliberation (SP16-0008)

Vice Chair Solis moved to approve SP16-0008 – Trinity Park. Commissioner Smiley seconded the motion.

VOTE ON THE MOTION (SP16-0008)

AYES: Ruthrauff, Smiley, Solis, McCall, Sharma, Strittmatter

NAYS: None

ABSTAIN: None

ABSENT: None

The motion passed with a vote of 6-0.

E. ADJOURNMENT: 7:56 P.M.

TOWN OF FLOWER MOUND, TEXAS

DOUGLAS S. POWELL, AICP
Executive Director, Development Services

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: July 11, 2016

FROM: Chuck Russell, Town Planner

ITEM: Consider a request for a Site Plan (SP16-0006 - LG River Walk Apartments) to develop an apartment complex. The property is generally located south of 1st Avenue and east of River Walk Drive. *(This item was tabled at the June 13, 2016, and June 27, 2016, Planning and Zoning Commission meetings.)*

This item was tabled at the June 13, 2016, Planning and Zoning Commission (P&Z) meeting to allow the applicant additional time to address concerns raised about the amount of on-site parking being provided. The concerns were focused on whether the amount of on-site parking being proposed would be adequate to serve the proposed development.

The item was tabled again at the June 27, 2016, Planning and Zoning Commission to allow staff time to meet with the applicant and review parking data they provided for both the subject property and its contextual relationship with the remainder of the River Walk development. Staff met with the applicant on June 30, 2016. Updated parking information and analysis has been provided by the applicant (Attachment (B(1))).

The information provided indicates that the subject apartment project is not only compliant with the River Walk development regulations, but also that adequate measures have been taken to minimize inconvenience for the residents of the proposed apartments. Staff and the applicant will discuss in more detail on July 11, 2016.

The complete agenda item from the June 27, 2016, meeting has been attached as Attachment A(1).

ATTACHMENTS

- A. Background Information**
 - 1. June 27, 2016, P&Z Agenda Item
- B. Application Details**
 - 1. Applicant's Parking Analysis



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: June 27, 2016

FROM: Poornima Srinarasi, Planner

ITEM: Consider a request for a Site Plan (SP16-0006 - LG River Walk Apartments) to develop an apartment complex. The property is generally located south of 1st Avenue and east of River Walk Drive. *(This item was tabled at the June 13, 2016, Planning and Zoning Commission meeting.)*

This item was tabled at the June 13, 2016, Planning and Zoning Commission (P&Z) meeting to allow the applicant additional time to address concerns raised about the amount of on-site parking being provided. The concerns were focused on whether the amount of on-site parking being proposed would be adequate to serve the proposed development (see staff report below). At the time this staff report was being drafted, staff had not received any new information from the applicant.

Other than the reference to the companion replat application being approved by the Commission on June 13, 2016, the staff report below is unchanged.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

The companion replat application (RP16-0002) was approved by the Planning and Zoning Commission on June 13, 2016.

This application will require final action by the Planning and Zoning Commission.

II. APPLICATION ANALYSIS

The purpose of this request is to obtain site plan approval to develop the third phase of apartment buildings within The River Walk at Central Park. The site plan depicts seven buildings on Lot 1, Block G, totaling approximately 5.61 acres and containing 225 dwelling units. The site plan provides a breakdown of dwelling units by building type (Type 1 thru 7) and unit type (number of bedrooms and square footage of units).

The current language in the development standards limits the percentage of dwelling units with less than 700 square feet to 15% per single multi-family building. Proposed dwelling units within all seven buildings are 700 square feet and above in size. There are 171 single bedroom units, 44 two bedroom units and 10 three or more bedroom units with the size of each unit ranging from 700 square feet to 1,900 square feet.

The parking for the apartment buildings is located in the interior of the development with perimeter on-street parking along River Walk Drive, South Broadway Avenue, 1st Avenue and Community Drive. The required parking is 271 for this development. The site plan depicts 224 on-site parking spaces (146 interior surface parking spaces and 78 garage parking spaces) and 80 on-street parking spaces for a total of 304 parking spaces. The River Walk development standards allow on-street parking to be counted toward meeting the required parking. Although the proposed parking meets The River Walk standards, staff has some concern about the shortage of on-site parking spaces, since the on-street parking may be utilized by the general public. Staff has encouraged the applicant to provide more on-site parking spaces. As required by The River Walk development standards, a parking study has been provided by the applicant. (Attachment A(3)).

The concept building heights plan requires the buildings closer to River Walk Drive to be one or two stories in height and buildings further away from River Walk Drive to be a maximum of four stories. The proposed buildings are two to four stories in height and comply with the concept plan. The elevations, building materials, and colors comply with The River Walk development standards.

Park land dedication and park development fees for the developments within River Walk were addressed as part of a development agreement (DA) with the original zoning application (Z 15-07). Based on the DA, the developer owes the Town park development fees of \$1,388 per living unit in the amount of \$312,300.00 payable before a building permit is issued. These fees shall be retained by the Town. The developer also owes the Town a park dedication fee of \$3,549.45 per living unit in the amount of \$798,626.25 payable before a building permit is issued. A portion of these fees shall be deposited into The River Walk Escrow Account in accordance with the DA.

On August 4, 2008, the Town Council established The River Walk at Central Park Central Business District (CBD), which included unique development standards, zoning sub-districts, design standards, parking requirements, sign regulations, street sections and concept plans. On January 15, 2015, the Town Council approved several amendments to The River Walk at Central Park CBD development standards and concept plans. The proposed site plan is in conformance with the approved concept plan and development standards for The River Walk.

III. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Parking Study

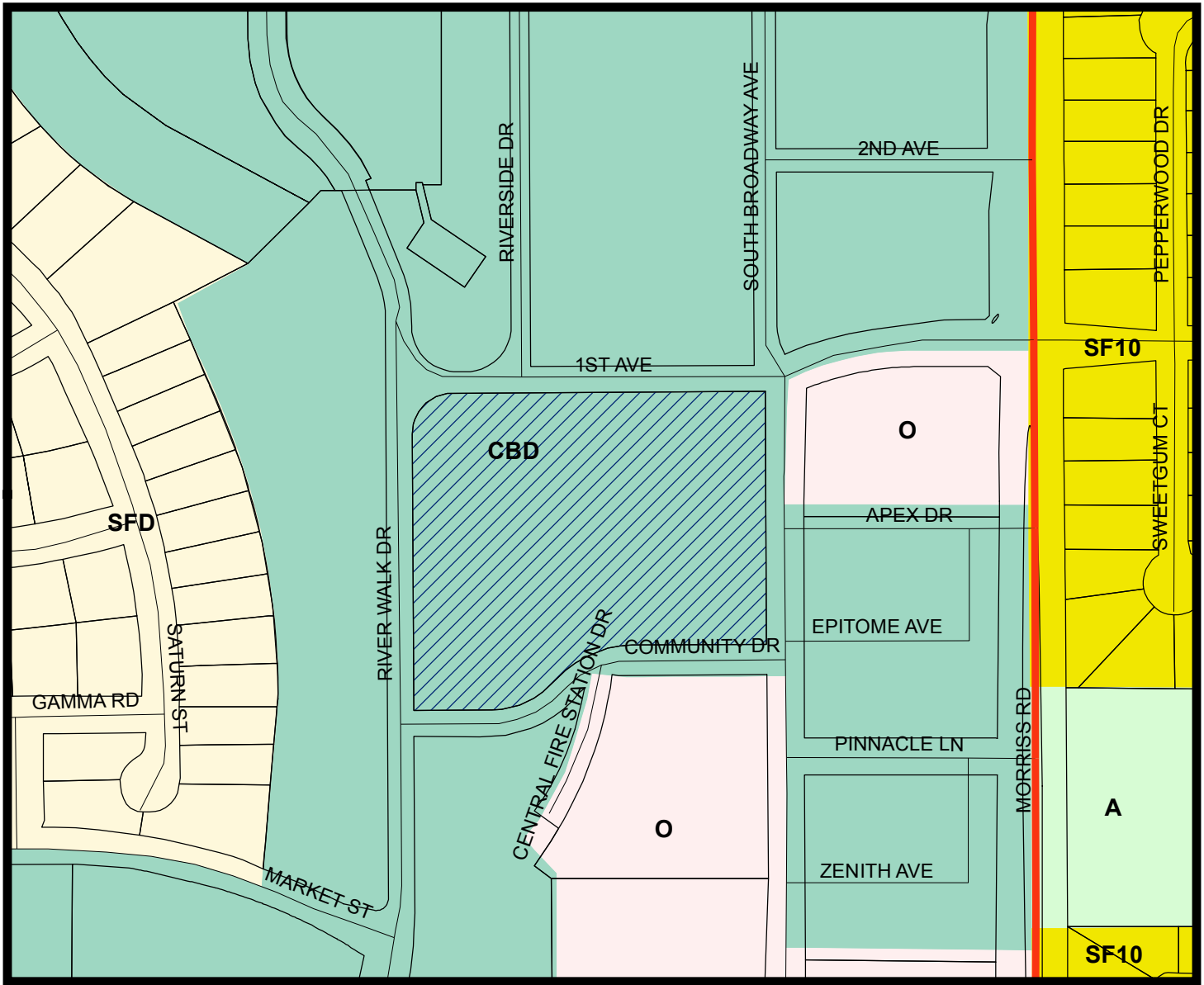
B. Application Details

1. Site Plan Package



Vicinity Map

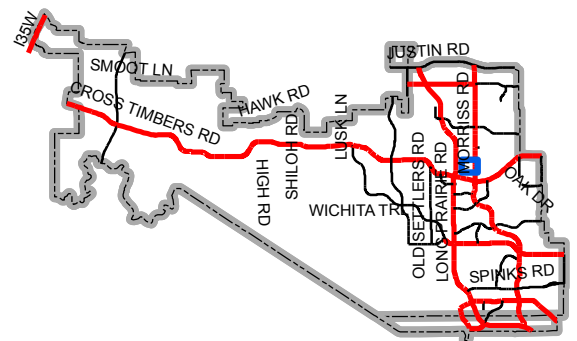
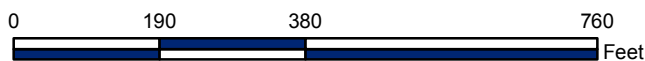
Reference Project: RP16-0002 & SP16-0006



LEGEND

- Central Business District
- Agriculture
- Office
- Single Family 10
- Single Family Density

..... Subject Property



Map Location



March 2, 2016

Mr. Doug Powell
Executive Director of Development Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

**RE: LG River Walk Apartments – Re-plat and Site Plan Applications
G&A Job Number 15260**

Dear Doug:

Please accept this letter, on behalf of our client, as an explanation of the proposed application. We are submitting, for review and approval, a Re-Plat and Site Plan Application for the LG River Walk Apartments. The property is lot 1, block G, within the River Walk and is approximately 5.6 acres. Lot 1, Block G is east of River Walk Drive between Community and 3rd Avenues.

The proposed improvements will consist of 7 buildings containing a mixture of one, two and three bedroom units. Two of the proposed buildings will appear to be more in line with townhomes but will be the three bedroom for rent units. The buildings, placed along the street frontages, will vary in height from two to four stories per the River Walk zoning. Two story buildings will be along River Walk Drive to keep per the request of the Forums Residential Subdivision during the initial zoning and the building heights will increase as you move into the development. Also, per the current zoning, there is a planned retail area within building 1, at the northwestern portion of the property. Building architecture will complement the existing apartments to the north.

There are a total of 225 units proposed with this phase of the River Walk. Taking into account all of the previous residential properties within River Walk, the current total of proposed or existing units will be 1,166, leaving 84 units for the proposed residential within the panhandle.

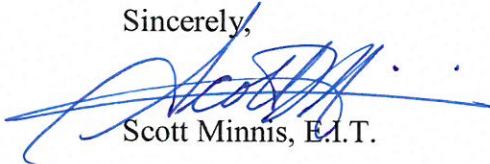
The proposed design for the River Walk LG Apartments will comply with the design principals and conceptual elevations as stated in the River Walk Ordinance.

The buildings are placed up near the streets to define the street edge and to help create the public realm. All surface parking that is not garaged is behind the buildings in the block interior. There is parallel parking along each of the four streets that will calm traffic and protect the pedestrian space. Street trees will be planted to further define the block edges. The retail in Building 1 is strategically placed at the corner of Riverwalk Drive and 1st Avenue to create a visual terminus to River Walk Park. Building 1 is also the most articulated building due to its prominent position in the site.

The buildings are designed to be compatible with the conceptual elevations. They vary in height from 2- story to 4-story and are highly detailed. The designs vary by building type in order to appear less like a project and more like a community developed over time. The variations in the masonry complement this approach. The façade designs have clearly defined bases and tops and use a combination of approved materials to create variety and interest. Elements such as canopies and steel balcony construction provide an additional layer of detail.

Please feel free to contact me if you have any questions or comments regarding this submittal.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Scott Minnis', with a long horizontal flourish extending to the left.

Scott Minnis, E.I.T.

cc. Mr. Robert J. Dollak, Jr, P.E.
Mr. Jason McLane, Leon Capital Group



February 25, 2016

TECHNICAL MEMORANDUM

TO: Mr. Jason McLane – Leon Capital Group

FROM: Robert J. Dollak, Jr. P.E. – G&A Consultants, LLC.

RE: Parking Analysis – LG River Walk Apartments – G&A Job Number 15260

PROJECT DESCRIPTION:

The LG River Walk Apartments is a proposed multi-family development within The River Walk at Central Park development in the Town of Flower Mound. The proposed development, located between Community Drive and 1st Avenue between Riverside Drive and South Broadway Boulevard, will consist of 7 buildings housing a variety of single and multi-bedroom apartments. There are currently proposed 171 single bedroom apartments, 44 two bedroom apartments and 10 three bedroom apartments. The project is proposing 302 parking spaces spread in and around the development.

PARKING REQUIREMENTS:

The River Walk at Central Park's parking requirements are unique to Flower Mound. According to the River Walk ordinance, parking for multi-family projects is calculated as follows:

- 1 parking space per single bedroom apartment
- 1.8 parking spaces per two bedroom apartment
- 2.0 parking spaces per three bedroom apartment

Based on these requirements the following minimum parking should be provided:

- 171 Single bedroom apartments = 171 spaces required
- 44 Two bedroom apartments = 80 spaces required
- 10 Three bedroom apartments = 20 spaces required

Total Minimum Required = 271 spaces

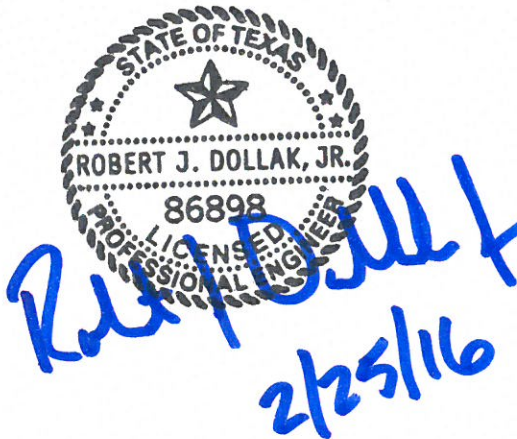
CONCLUSIONS:

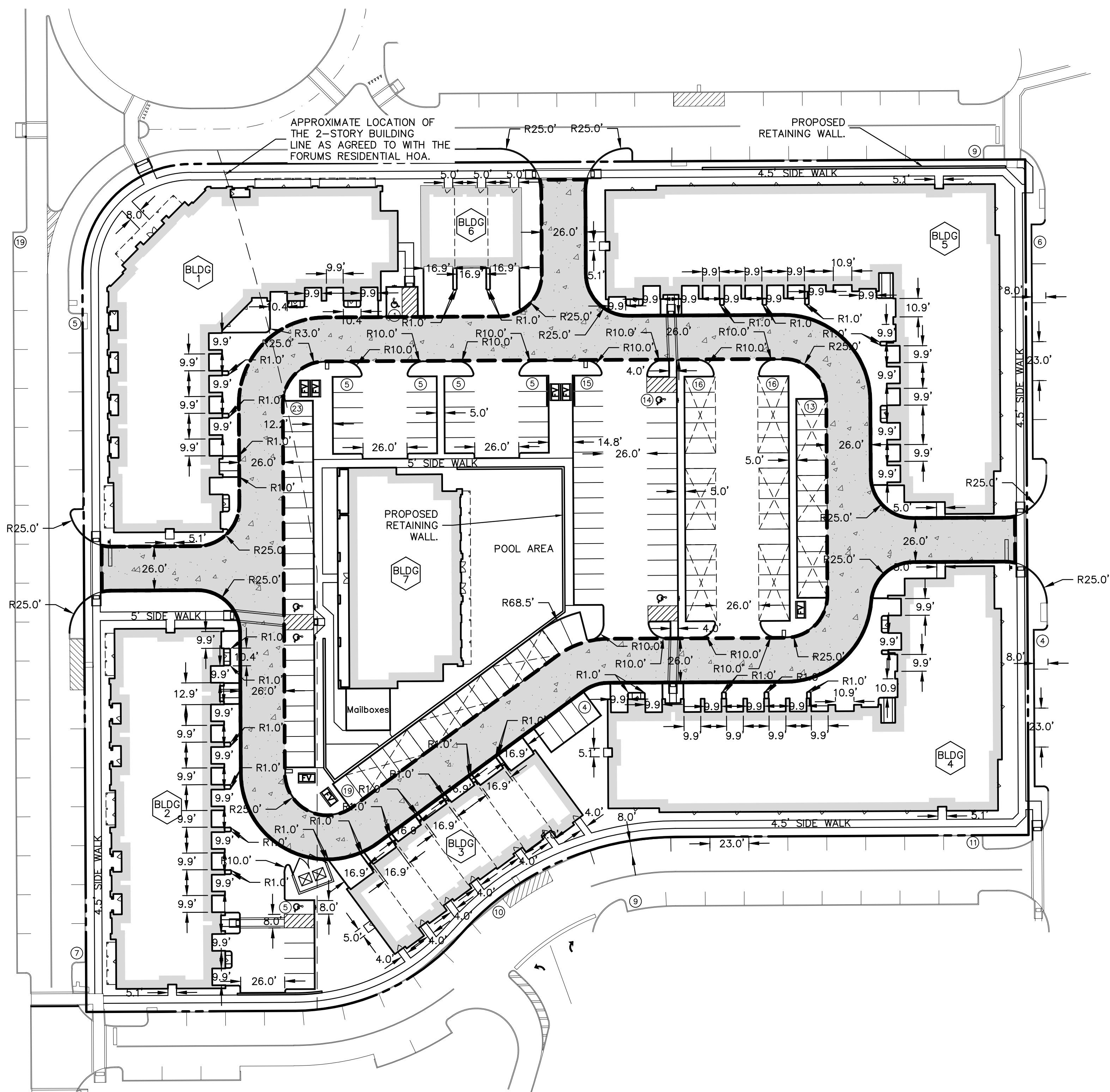
The proposed parking spaces consist of general parking spots, garages and adjacent public on street parking. For the purposes of this study, only those spots on the adjacent streets have been counted, these streets include Riverside Drive, 1st Avenue, Community Drive and South Broadway Boulevard. The breakdown of proposed parking is:

- Onsite parking = 144 parking spaces
- Garages = 78 spaces
- On Street Parking = 80 Spaces

Total Proposed Parking = 302 Parking Spaces

The proposed parking (302 spaces) is greater than the required parking (271 spaces) by 31 spaces, or approximately 10%. The additional parking will certainly be utilized by visitors and guests of the LG River Walk Apartment residents and a small number will be used daily by LG River Walk Apartment staff members.



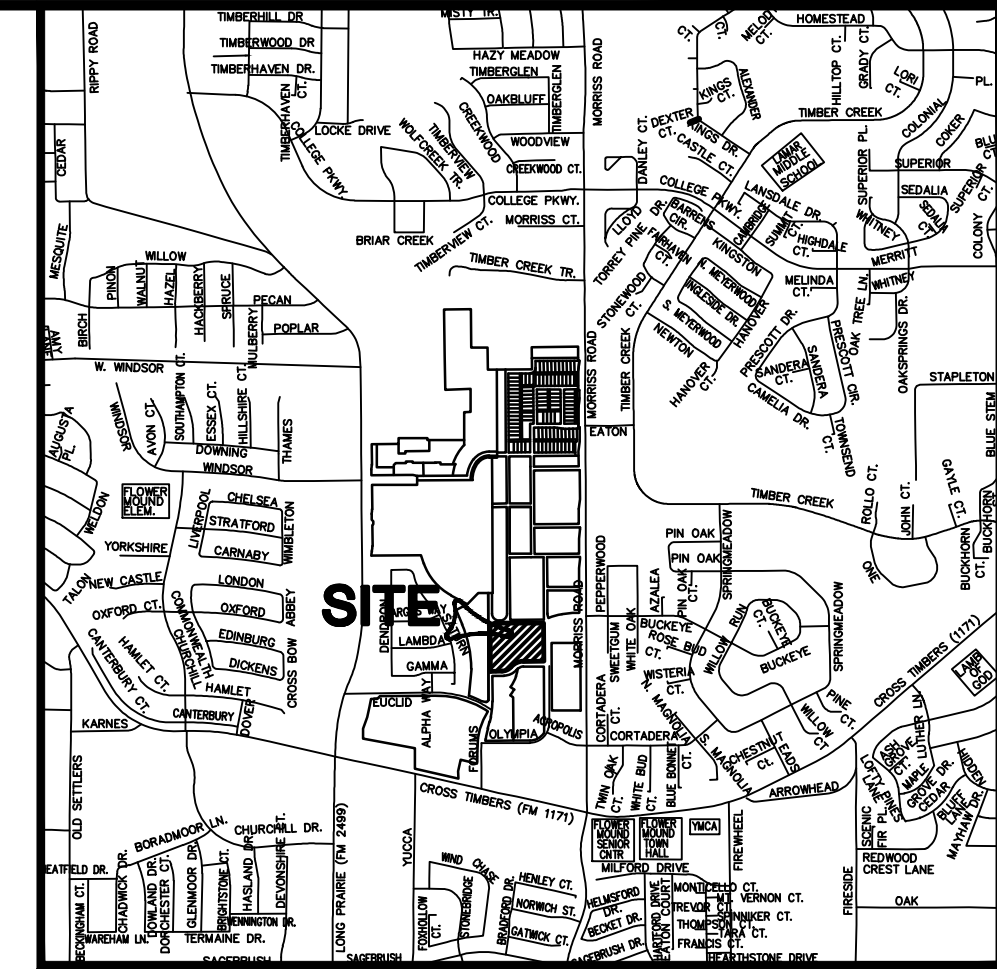
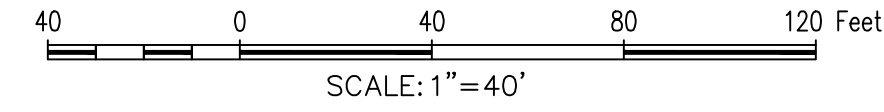


BM: TOFM 5 - 2" ALUMINUM CAP SET IN ON BUCKEYE DRIVE, EAST OF MORRIS ROAD, APPROXIMATELY 3' EAST OF THE TRAFFIC MEDIAN ELEV. 599.65 (CALLED 600.29)

TBM - MAG NAIL WITH WASHER STAMPED "JPH LAND SURVEYING" AT THE NOSE OF A CONCRETE MEDIAN NEAR THE APPROX. Q. OF LONG PRAIRIE ROAD, ~40' SOUTH OF THE APPROX. Q. OF CENTRAL PARK AVE. ELEV. 607.08 (CALLED 607.58)

TBM - MAG NAIL WITH WASHER STAMPED "JPH LAND SURVEYING" ON THE BACK OF CURB AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF LONG PRAIRIE ROAD AND EUCLID AVE. ELEV. 639.01 (CALLED 639.51)

TBM - "c" CUT ON ON THE TOP OF CURB ALONG THE CENTERLINE OF THE MEDIAN NOSE ON EATON DRIVE; EAST OF MORRIS ROAD ELEV. 576.15



Vicinity Map 1"=2000'

SITE DATA TABLE LG RIVER WALK			
Physical Address	VARIABLE – TBD		
Gross Site Area	5,618 A; 244,720 SF		
Net Site Area	5,618 A; 244,720 SF		
Sub-District	Sub-District "B"		
Current Use	Vacant Property		
Lot Coverage			
Building Coverage			
ALL BUILDINGS (1st Floors)	94,785 SF; ±38.7%		
Impervious Coverage	±90%		
Pervious Area	±10%		
Parking Summary – TRWCP or Town □			
	Required	Provided	
Surface Parking			
Single Bedroom/Efficiency Units – One spot per unit			
Two Bedroom Units – 1.8 spots per unit			
Three or More Bedroom Units – 2 spots per unit			
LG River Walk – Proposed			
Single Bedroom/Efficiency Units (171)	171	76	
Two Bedroom Units (44)	80	50	
Three or More Bedroom Units (10)	20	20	
Garages	N/A	78	
Existing On Street Parking	N/A	65	
Proposed On Street Parking	N/A	15	
Total Parking	271	304	
Accessible Parking	7	8*	
Building Data (Building #1)			
Height Zone	One-Two and Four Story		
Height (story/feet)	2 Story/40' & 4 Story/60'		
Peak Height	53' 11"		
Mean Height	48' 2"		
Total Square Footage	43,020 SF		
Building Data (Building #2)			
Height Zone	Two Story		
Height (story/feet)	2 Stories; 40' 0"		
Peak Height	36' 7"		
Mean Height	33' 3 1/2"		
Total Square Footage	28,236 SF		
* Two of the proposed garages are designated as accessible parking spaces			

Building Data (Building #3)	
Height Zone	Three Story
Height (story/feet)	3 Stories; 50' 0"
Peak Height	46' 5"
Mean Height	40' 11"
Total Square Footage	19,092 SF
Building Data (Building #4)	
Height Zone	Four Story
Height (story/feet)	4 Stories; 60' 0"
Peak Height	55' 1"
Mean Height	51' 0"
Total Square Footage	78,436 SF
Building Data (Building #5)	
Height Zone	Four Story
Height (story/feet)	4 Stories; 60' 0"
Peak Height	55' 1"
Mean Height	51' 0"
Total Square Footage	91,700 SF
Building Data (Building #6)	
Height Zone	Three Story
Height (story/feet)	3 Stories; 50' 0"
Peak Height	50' 11"
Mean Height	43' 2"
Total Square Footage	8,187 SF
Building Data (Building #7)	
Height Zone	Two Story
Height (story/feet)	2 Stories; 40' 0"
Peak Height	00' 0"
Mean Height	00' 0"
Total Square Footage	26,472 SF

Indicates Covered Parking Locations (refer to Arch. Plans for additional information)

NOTES:

- CONTRACTOR IS TO CONTACT THE TOWN'S TREE ARBORIST PRIOR TO THE START OF CONSTRUCTION TO OBTAIN TREE PRESERVATION REQUIREMENTS DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 1.5 FEET UNLESS OTHERWISE NOTED.
- THE LOCATION OF THE EXISTING UTILITIES SHOWN IS APPROXIMATE, THE CONTRACTOR IS TO FIELD VERIFY LOCATION AND DEPTH PRIOR TO CONDUCTING ANY WORK.
- THE SITE PLAN IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONCEPTUAL PLAN FOR THE CENTRAL BUSINESS DISTRICT.
- REFER TO SHEET XX FOR PAVING HATCH LEGEND. THE HATCHED AREAS ON THIS SHEET REPRESENT THE PROPOSED FIRE LANES.
- ALL RETAINING WALLS ARE TO BE CLAD IN A MATERIAL THAT MATCHES THE PROPOSED BUILDINGS.
- THE TOWN OF FLOWER MOUND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- ALL BUILDING MOUNTED UTILITY OR EQUIPMENT BOXES SHALL BE SCREENED FROM A STREET VIEW BY A MINIMUM SIX FOOT HIGH SCREENING DEVICE WHETHER SHOWN IN THESE PLANS OR NOT. SUCH SCREENING DEVICE SHALL CONSIST EITHER OF PLANT MATERIAL OR A SCREENING WALL CONSTRUCTED OF OR FINISHED WITH A MATERIAL TO MATCH THE BUILDING, PROVIDED HOWEVER THAT WOOD FENCING OR SCREENING SHALL BE PROHIBITED. THIS RELATES TO ONLY THE NORTHERN, SOUTHERN AND WESTERN BUILDING FACADES, SINCE THESE ARE THE ONLY FACADES ABUTTING A STREET.
- SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SITE PLAN OR ELEVATIONS ARE NOT APPROVED AS PART OF THIS REVIEW AND MUST COMPLY WITH THE RIVER WALK SIGNAGE REGULATIONS.
- THE DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.
- ALL PARKING SPACES ARE 9.0' WIDE AND 17.5' LONG UNLESS OTHERWISE NOTED.
- ALL INTERNAL CROSSWALKS ARE TO BE 4.0' WIDE; ALL CROSSWALKS ADJACENT TO A STREET ARE TO BE 4.5' WIDE, UNLESS OTHERWISE NOTED. THE WIDTH IS MEASURED FROM THE INSIDE OF STRIPE TO INSIDE OF STRIPE.

Unit Type	Square Footage	Number	Percentage	Total S.F.
A1	700	45	20%	31,500
A2	732	14	6%	10,248
A3	800	89	40%	71,200
A4	801	4	2%	3,204
A5	926	19	8%	17,594
B1	1,008	12	5%	12,096
B2	1,216	10	4%	12,160
B3	1,303	22	10%	28,666
TH	1,900	10	4%	19,000
Average Unit Size				
Totals	914.1	225		205,668
Total Percentage of One bedrooms			76%	
Total Percentage of Two bedrooms			20%	
Total Percentage of Three bedrooms			4%	

Building 1										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
4	6	0	4	5		0	6	2	0	27	1	24,928	24,928
Building 2										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
7	8	0	0	2		0	0	4	0	21	1	17,820	17,820
Building 3										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
0	0	0	0	0		0	0	0	7	7	1	13,300	13,300
Building 4										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
9	0	40	0	6		6	0	8	0	69	1	60,328	60,328
Building 5										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
15	0	48	0	6		6	0	8	0	83	1	70,928	70,928
Building 6										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
0	0	0	0	0		0	0	0	3	3	1	5,700	5,700
Building 7										Total Units Per Building	Total Number of Buildings	Net S.F. Per Bldg	Net S.F. of Bldgs
A1	A2	A3	A4	A5		B1	B2	B3	TH				
10	0	1	0	0		0	4	0	0	15	1	12,664	12,664

OWNER/DEVELOPER
LEON CAPITAL GROUP
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TEXAS 75201
Ph. 214-866-7949
Contact: MR. JASON MCLANE



LG RIVER WALK APARTMENTS

SITE PLANNING CIVIL ENGINEERING PLATING
CONSULTANTS, LLC
LAND SURVEYING LANDSCAPE ARCHITECTURE

111 Hillside Drive • Lewisville, TX 75057 • P: 972-488,9712 • F: 972-488,9715
144 Old 107 Road • Lewisville, TX 75067 • P: 972-462,2401 • F: 972-462,2401
TSPS Form No. 1798 TSPS Form No. 10047700

LG RIVER WALK APARTMENTS
Lot 1, Block G
THE RIVER WALK AT CENTRAL PARK 08/2014
5.618 Acres
in the
TOWN OF FLOWER MOUND
J.T. STEWART SURVEY, ABSTRACT NO. 1161
DENTON COUNTY, TEXAS

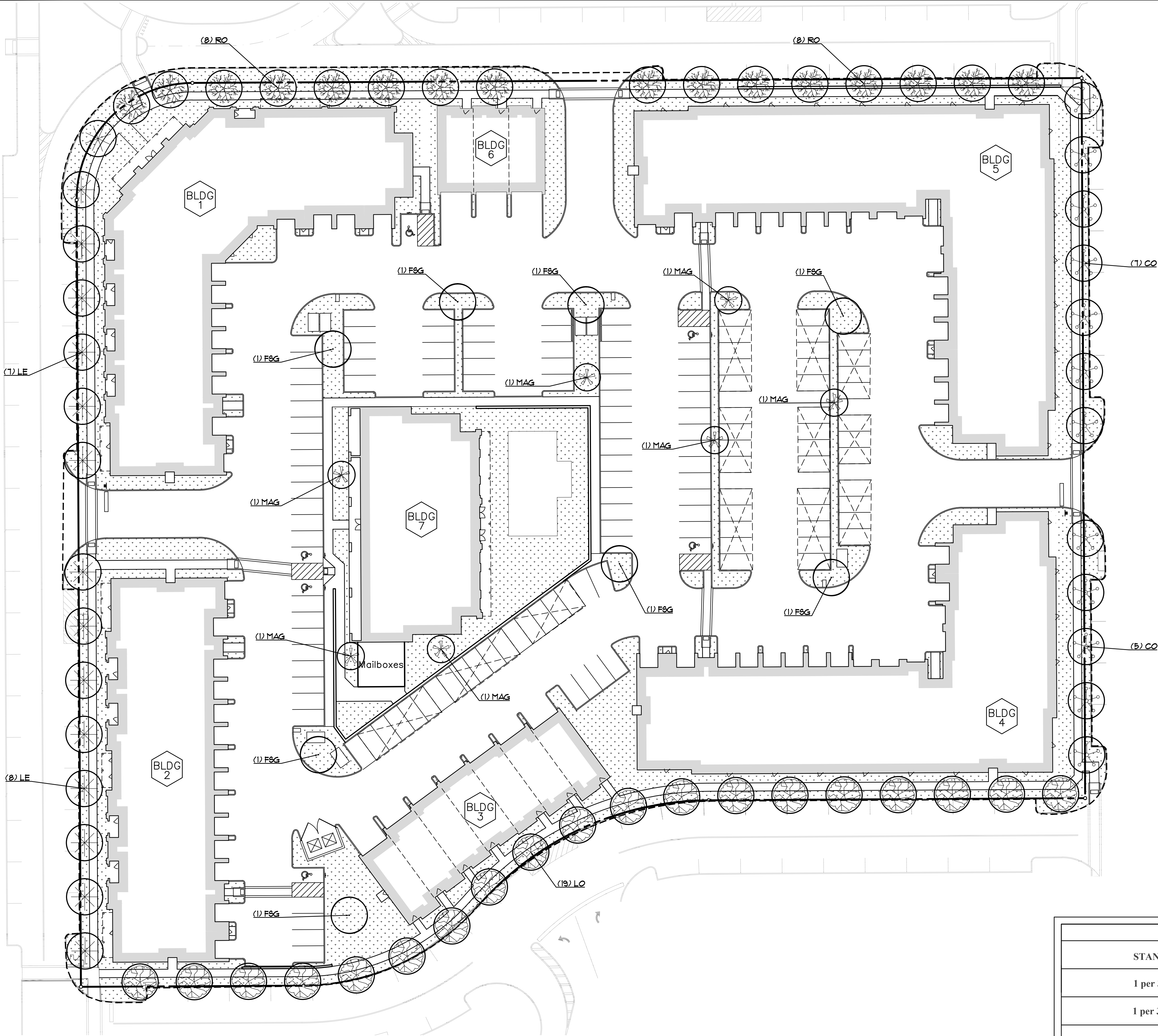
**SITE PLAN AND
DIMENSIONAL CONTROL
PLAN**

PRELIMINARY PLANS
THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.
G&A CONSULTANTS, F-1798
ROBERT JOHN DOLLAH, JR.,
P.E. #86898
DATE 5/13/2016

Drawn By: SM
Date: 02/08/2016
Scale: 1"=40'
Revisions:
03/02/2016
03/28/2016

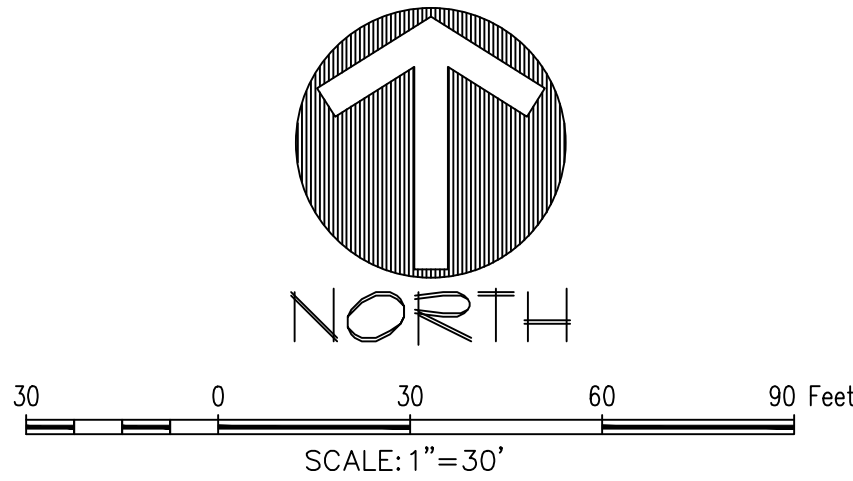
15260

C3



PLANT LEGEND

- (LE) LACEBARK ELM
Ulmus parvifolia
- (LO) LIVE OAK
Quercus virginiana
- (RO) RED OAK
Quercus shumardii
- (CO) CHINGUAPIN OAK
Quercus muhlenbergii
- (F&G) FESTIVAL SWEETGUM
Liquidambar styraciflua 'Festival'
- (MAG) LITTLE GEM MAGNOLIA
Magnolia grandiflora 'Little Gem'
- BERMUDA SOD

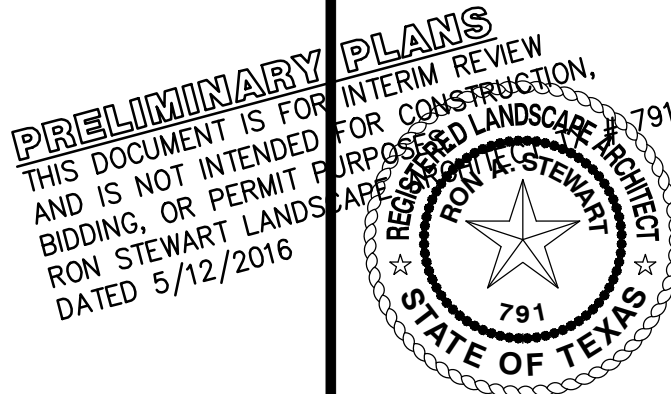


PLANT LIST

QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	MIN. HT.	SPACE	REMARKS
15	LACEBARK ELM	<i>Ulmus parvifolia</i>	6"	10'-12'	Per Plan	Single Trunk
19	LIVE OAK	<i>Quercus virginiana</i>	6"	10'-12'	Per Plan	Single Trunk
16	RED OAK	<i>Quercus shumardii</i>	6"	10'-12'	Per Plan	Single Trunk
12	CHINGUAPIN OAK	<i>Quercus muhlenbergii</i>	6"	10'-12'	Per Plan	Single Trunk
8	FESTIVAL SWEETGUM	<i>Liquidambar styraciflua 'Festival'</i>	3"	10'-12'	Per Plan	Single Trunk
7	LITTLE GEM MAGNOLIA	<i>Magnolia grandiflora 'Little Gem'</i>	6-8gal	7'-8'	Per Plan	Full

LANDSCAPE REQUIREMENT COMPLIANCE
TOWN OF FLOWER MOUND
LG River Walk Apartments

STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LINEAR FEET)	REQUIRED	PROVIDED
1 per 30 l.f.	RIVER WALK DRIVE	15 Trees (6" cal.)	15 Trees (min. 6" cal.)
1 per 30 l.f.	1st AVENUE	16 Trees (6" cal.)	16 Trees (min. 6" cal.)
1 per 30 l.f.	OLYMPIA DRIVE	12 Trees (6" cal.)	12 Trees (min. 6" cal.)
1 per 30 l.f.	COMMUNITY DRIVE	19 Trees (6" cal.)	19 Trees (min. 6" cal.)
NEW PARKING AREA LANDSCAPING			
STANDARD	# OF PARK. SPACES	REQUIRED	PROVIDED
1 per 10 parking spaces	Total Parking 142 Spaces Interior Lot Parking 203 Spaces	142/10 = 14.2 15 Trees (3" cal.)	(15)New Trees (3" cal.)
**All parking spaces to be located within 50ft. of shade tree.			



Drawn By: MC
Date: 02/08/2016
Scale: 1"=30'
Revisions:
03/02/2016
03/28/2016

OWNER/DEVELOPER
LEON CAPITAL GROUP
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TEXAS 75201
Ph. 214-866-7949
Contact: MR. JASON MCCLANE

ENVIRONS GROUP
LANDSCAPE ARCHITECTURE
a division of G & A Consultants, LLC
111 Hillside Drive • Lewisville, TX 75067
P: 972.317.0226 • F: 972.538.9715

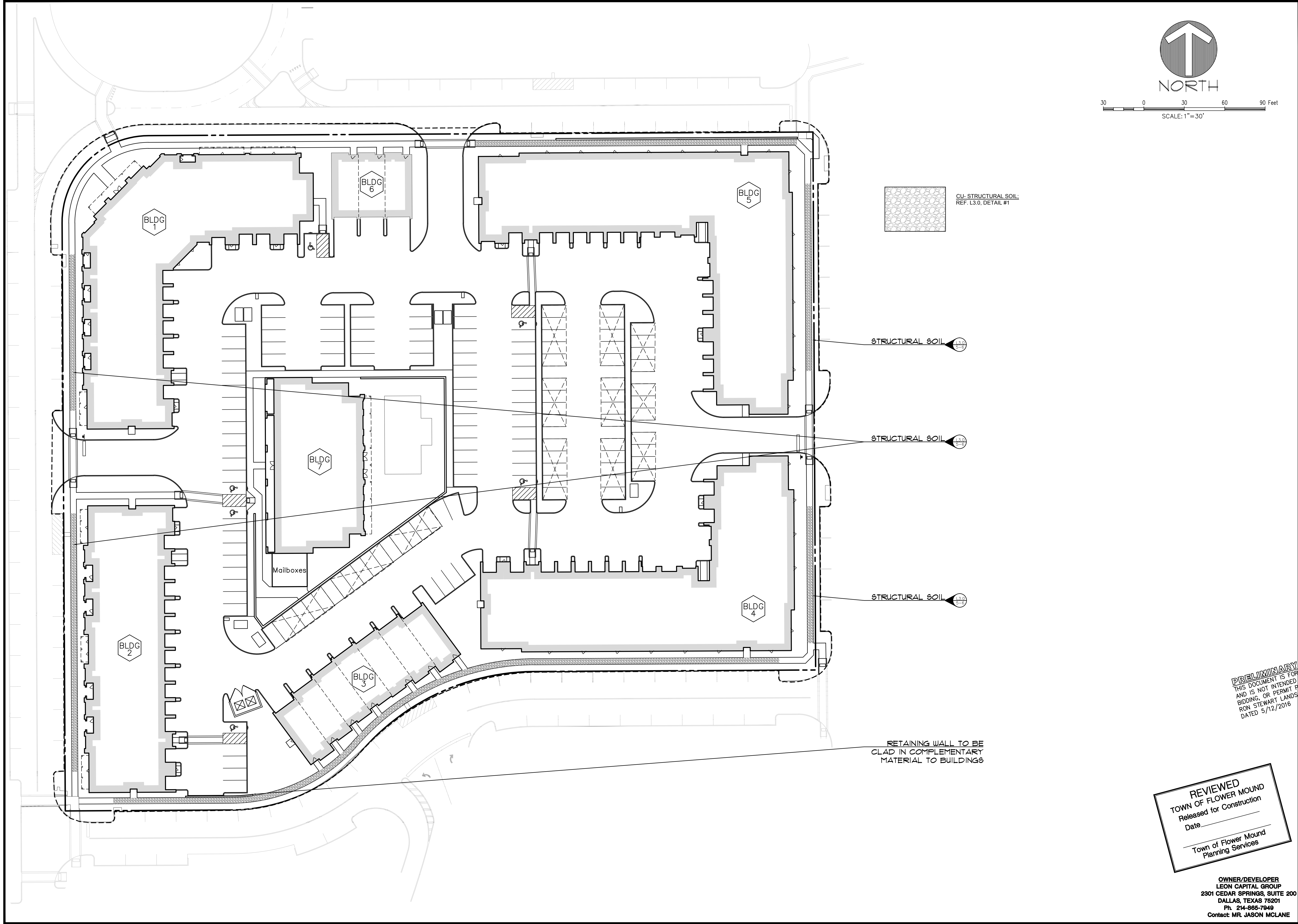
LG RIVER WALK APARTMENTS
Lot 1, Block G
THE RIVER WALK AT CENTRAL PARK 08/2014
5618 Acres
in the
TOWN OF FLOWER MOUND
J.T. STEWART SURVEY, ABSTRACT NO. 1461
DENTON COUNTY, TEXAS

LANDSCAPE PLAN

15260

L1.0

File: 2.12010.15260.dwg (PLOT & COPY) Plot Date: 05/11/2016 10:50 AM
Plotter: 3/12/2016 12:01 PM, by: Marios Economou, Sheet: 3/22/2016 1:08 PM, by: mario



REVIEWED
TOWN OF FLOWER MOUND
Released for Construction
Date _____
Town of Flower Mound
Planning Services

OWNER/DEVELOPER
LEON CAPITAL GROUP
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TEXAS 75201
Ph: 214-865-7949
Contact: MR. JASON MCCLANE

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
RON STEWART LANDSCAPE ARCHITECT
DATED 5/12/2016

Drawn By: MC
Date: 02/08/2016
Scale: 1"=30'
Revisions:
03/02/2016
03/28/2016

15260

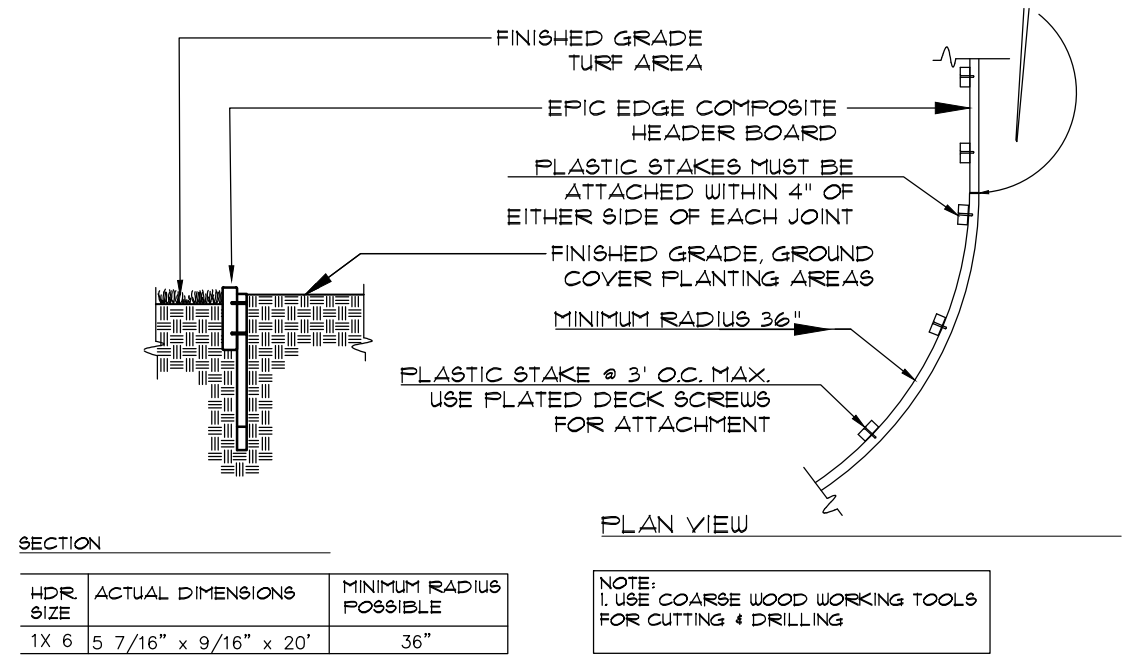
L2.0

HARDSCAPE PLAN

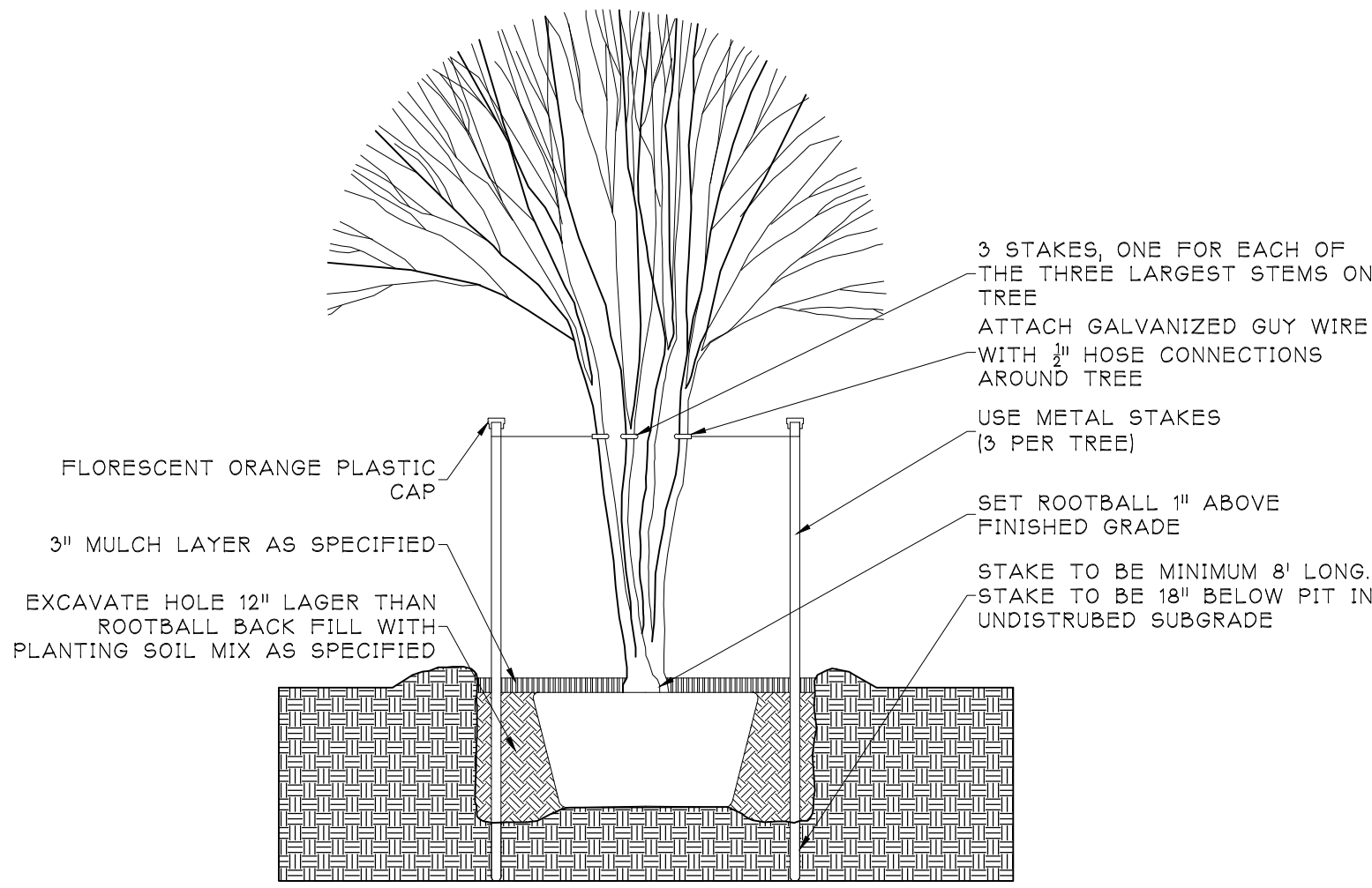
LG RIVER WALK APARTMENTS
Lot 1, Block G
THE RIVER WALK AT CENTRAL PARK 08/2014
5618 Acres
in the
TOWN OF FLOWER MOUND
J.T. STEWART SURVEY, ABSTRACT NO. 1161
DENTON COUNTY, TEXAS

ENVIRONS GROUP
LANDSCAPE ARCHITECTURE
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111 Hillside Drive • Lewisville, TX 75067
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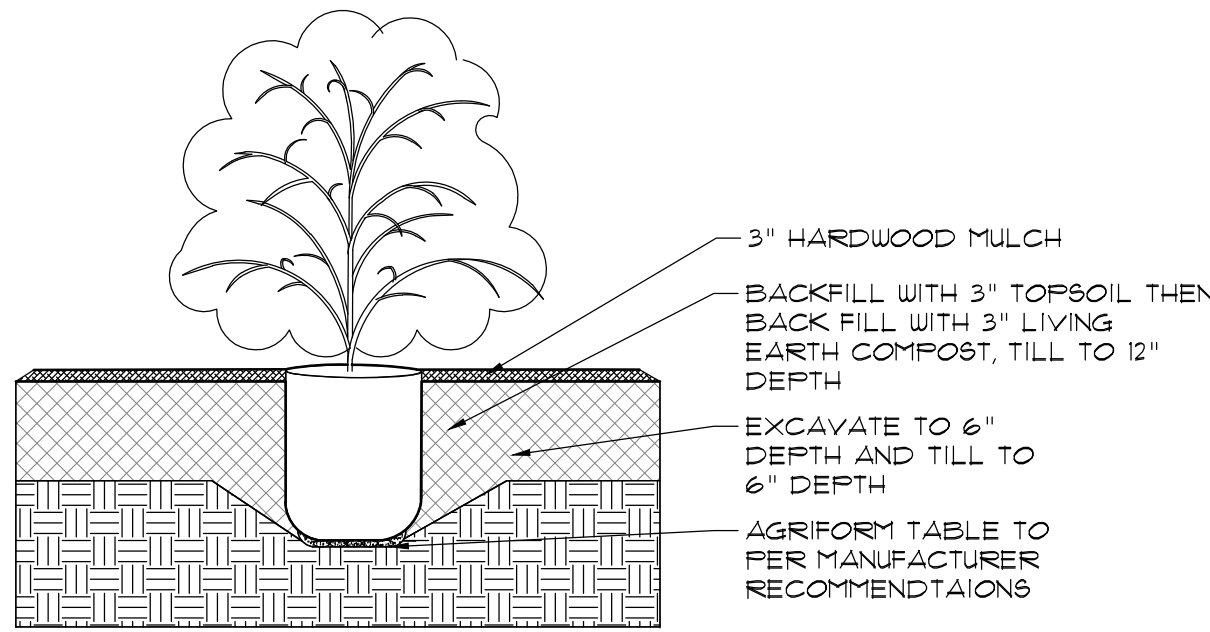
LG RIVER WALK APARTMENTS



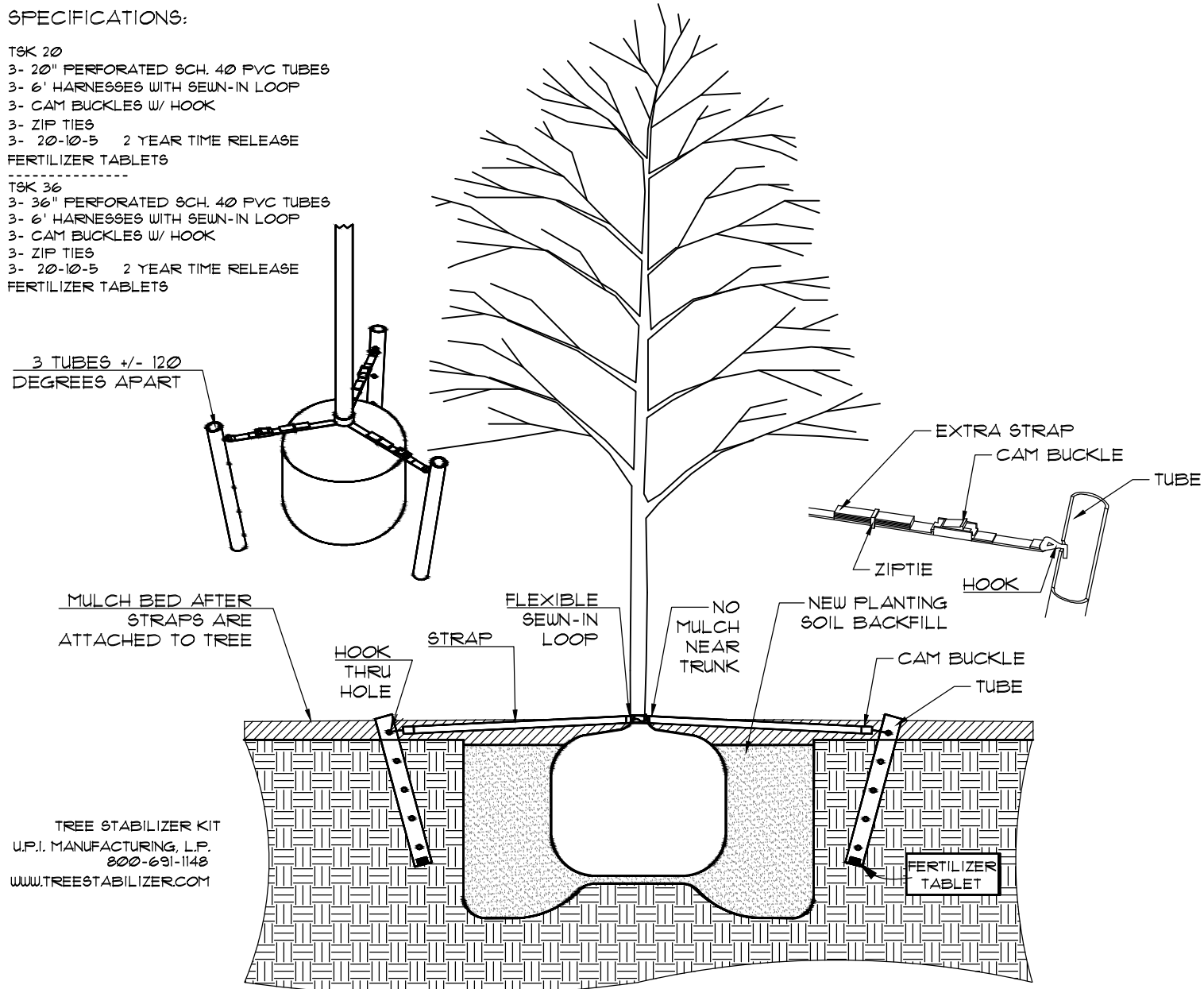
1 EPIC EDGE DETAIL
SCALE: NOT TO SCALE



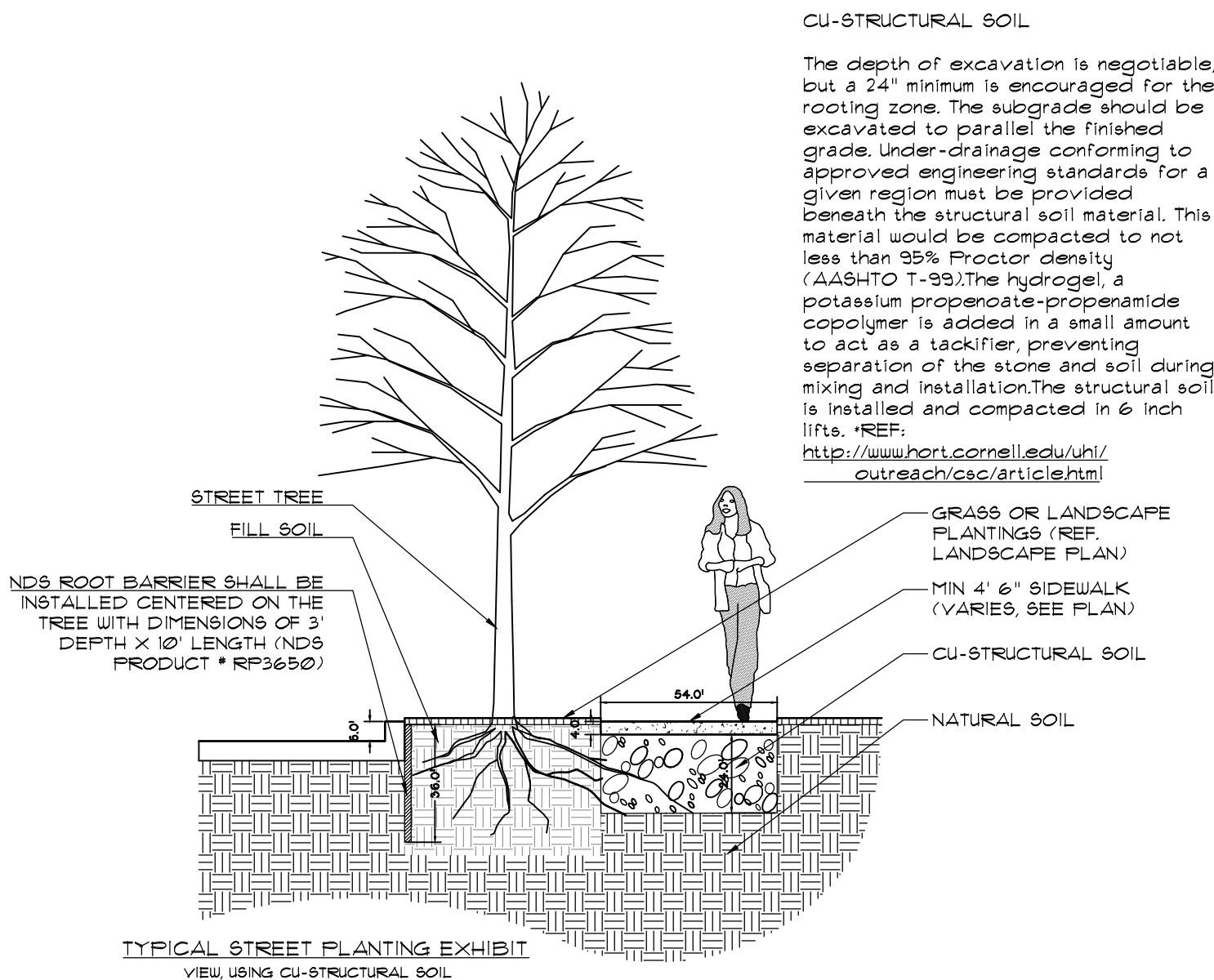
2 MULTI-TRUNK STAKING DETAIL
SCALE: NOT TO SCALE



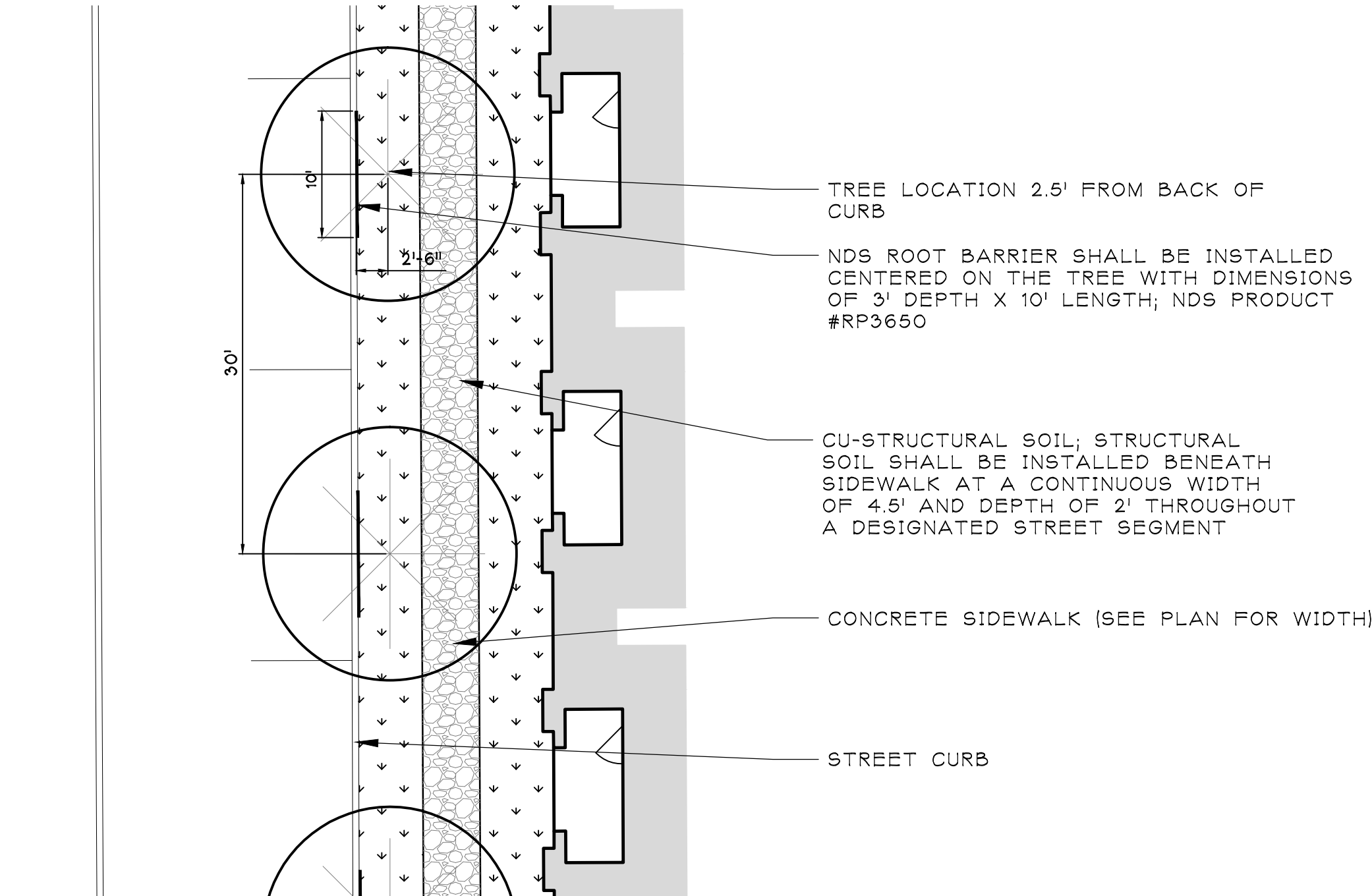
3 SHRUB DETAIL
SCALE: NOT TO SCALE



4 TREE STAKING DETAIL
SCALE: NOT TO SCALE



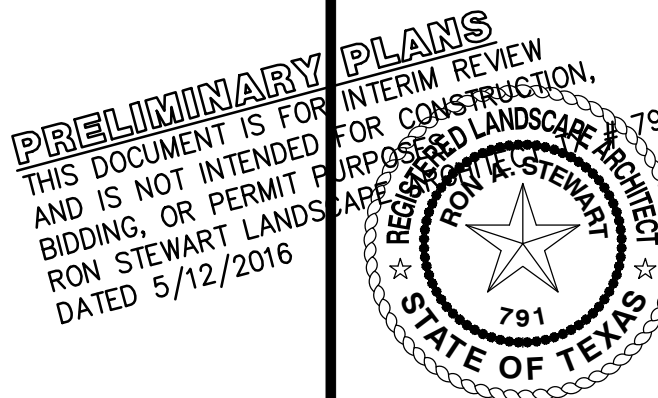
5 STRUCTURAL SOIL DETAIL
SCALE: NOT TO SCALE



6 TYPICAL STRUCTURAL SOIL DETAIL
SCALE: 1"=10'

LANDSCAPE NOTES:

1. Plant material shall be measured and sized according to the latest edition of the Texas Nursery and Landscape Association (TNLA) grades and standards.
2. All plant beds shall be top-dressed with a minimum of 3 inches of hardwood or other mulch.
3. Trees shall be planted at least 4 feet from utility line, curb, walk, fire connection, and outside all utility easements.
4. Trees overhanging walks and parking shall have a minimum clear trunk height of 7 feet.
5. A visibility triangle must be provided at all intersections. Shrubs are not to exceed 30 inches in height. Trees shall have a minimum clear trunk height of 9 feet.
6. The owner, tenant, and/or their agents, if any, shall be jointly and severally responsible for the maintenance, establishment, and performance of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
7. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days unless otherwise approved in writing by the Town of Flower Mound.
8. Before construction, landscape contractor and general contractor shall verify and locate all existing utilities in areas of excavation.
9. Please refer to all landscape and irrigation specifications.
10. All landscape beds and turf areas to be separated with edging.
11. All landscape beds to be 6" below finished floor.
12. All hydramulch or sod areas to be brought to +/- 1/4" by site grading contractor. Landscape contractor to bring all areas to final grade and remove all clod, rocks or debris >1" in diameter.
13. All landscape to be 100% irrigated. All Irrigation within Drip lines of existing trees to be hand dug, and line to be installed in a radial fashion toward the trunk.
14. Please note that the permeable areas under the drip line of specimen and protected trees should be left at natural grade. No cutting or filling are to occur in these areas.
15. All areas of grading disturbance are to have grass reestablished at 75% coverage prior to letter of acceptance from the Town of Flower Mound. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.



OWNER/DEVELOPER
LEON CAPITAL GROUP
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TEXAS 75201
Ph. 214-885-7949
Contact: MR. JASON MCCLANE

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111 Hillside Drive • Lewisville, TX 75067
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LG RIVER WALK APARTMENTS
Lot 1, Block G
THE RIVER WALK AT CENTRAL PARK 08/2014
5618 Acres
in the
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS
J.T. STEWART SURVEY, ABSTRACT NO. 161

LANDSCAPE DETAILS

Drawn By: RLS
Date: 02/08/2016
Scale:
Revisions:
03/02/2016
03/28/2016

15260

L3.0

	ACME BRICK - OLD WORLD
	4" SMOOTH FACED BURNISHED BLOCK - COLOR TO MATCH EXISTING RIVERWALK STONE
	CAST STONE - BUFF COLOR
	PAINT - DRY DOCK (SW7502)
	PAINT - PERFECT GREIGE (SW6073)
	STEEL - IRON ORE (SW7069)



- 1 BRICK VENEER SYSTEM
- 2 STONE FINISH SYSTEM
- 3 STUCCO FINISH SYSTEM
- 4 FIBER CEMENT PANEL SYSTEM
- 5 BALCONY SYSTEM
- 6 TUBE STEEL RAILING SYSTEM
- 7 VINYL WINDOW SYSTEM
- 8 EXT. DOOR SYSTEM
- 9 STOREFRONT SYSTEM
- 10 GARAGE DOOR
- 11 CANOPY SYSTEM W/ METAL ROOF
- 12 COMPOSITE SHINGLE ROOF SYSTEM
- 13 FLAT ROOF SYSTEM
- 14 PARAPET WALL METAL FLASHING CAP
- 15 SCUPPER AND DOWNSPOUT SYSTEM
- 16 GUTTER AND DOWNSPOUT SYSTEM
- 17 BRICK ROWLOCK
- 18 BRICK SOLDIER
- 19 CAST STONE
- 20 SIGNAGE
- 21 STEEL COLUMN
- 22 FASCIA BOARD
- 23 STUCCO FOAM TRIM
- 24 OPEN ROOF TRELLIS
- 25 WOOD SCREEN GATE
- 26 SLAT SCREEN
- 27 STEEL LINTEL

1. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

MATERIAL LEGEND - BLDGS 1 & 2

-  ACME BRICK - OLD WORLD
-  4" SMOOTH FACED BURNISHED BLOCK - COLOR TO MATCH EXISTING RIVERWALK STONE
-  CAST STONE - BUFF COLOR
-  PAINT - DRY DOCK (SW7502)
-  PAINT - PERFECT GREIGE (SW6073)
-  STEEL - IRON ORE (SW7069)

MATERIAL ELEVATION LEGEND

- 1
- BRICK VENEER SYSTEM
- 2
- STONE FINISH SYSTEM
- 3
- STUCCO FINISH SYSTEM
- 4
- FIBER CEMENT PANEL SYSTEM
- 5
- BALCONY SYSTEM
- 6
- TUBE STEEL RAILING SYSTEM
- 7
- VINYL WINDOW SYSTEM
- 8
- EXT. DOOR SYSTEM
- 9
- STOREFRONT SYSTEM
- 10
- GARAGE DOOR
- 11
- CANOPY SYSTEM W/ METAL ROOF
- 12
- COMPOSITE SHINGLE ROOF SYSTEM
- 13
- FLAT ROOF SYSTEM
- 14
- PARAPET WALL METAL FLASHING CAP
- 15
- SCUPPER AND DOWNSPOUT SYSTEM
- 16
- GUTTER AND DOWNSPOUT SYSTEM
- 17
- BRICK ROWLOCK
- 18
- BRICK SOLDIER
- 19
- CAST STONE
- 20
- SIGNAGE
- 21
- STEEL COLUMN
- 22
- FASCIA BOARD
- 23
- STUCCO FOAM TRIM
- 24
- OPEN ROOF TRELLIS
- 25
- WOOD SCREEN GATE
- 26
- SLAT SCREEN
- 27
- STEEL LINTEL



NOTES:

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2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.



HENSLEY LAMKIN RACHEL, INC.
DALLAS • HOUSTON • SEATTLE
WWW.HLRINC.NET
PH: 972.726.9400

Revisions
03.02.16 - City Comments
04.26.16 - City Comments

ROBERT W. LAMKIN, AIA
TX LICENSE NO. 12495

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Project Title:

THE
RIVERWALK
FLOWER MOUND
TEXAS



Issue Set: 02.08.16

Project ID
15305
Drawing No.
A2
BUILDING 2
ELEVATIONS

NOTES:

1. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

MATERIAL LEGEND - BLDGS 3 & 6

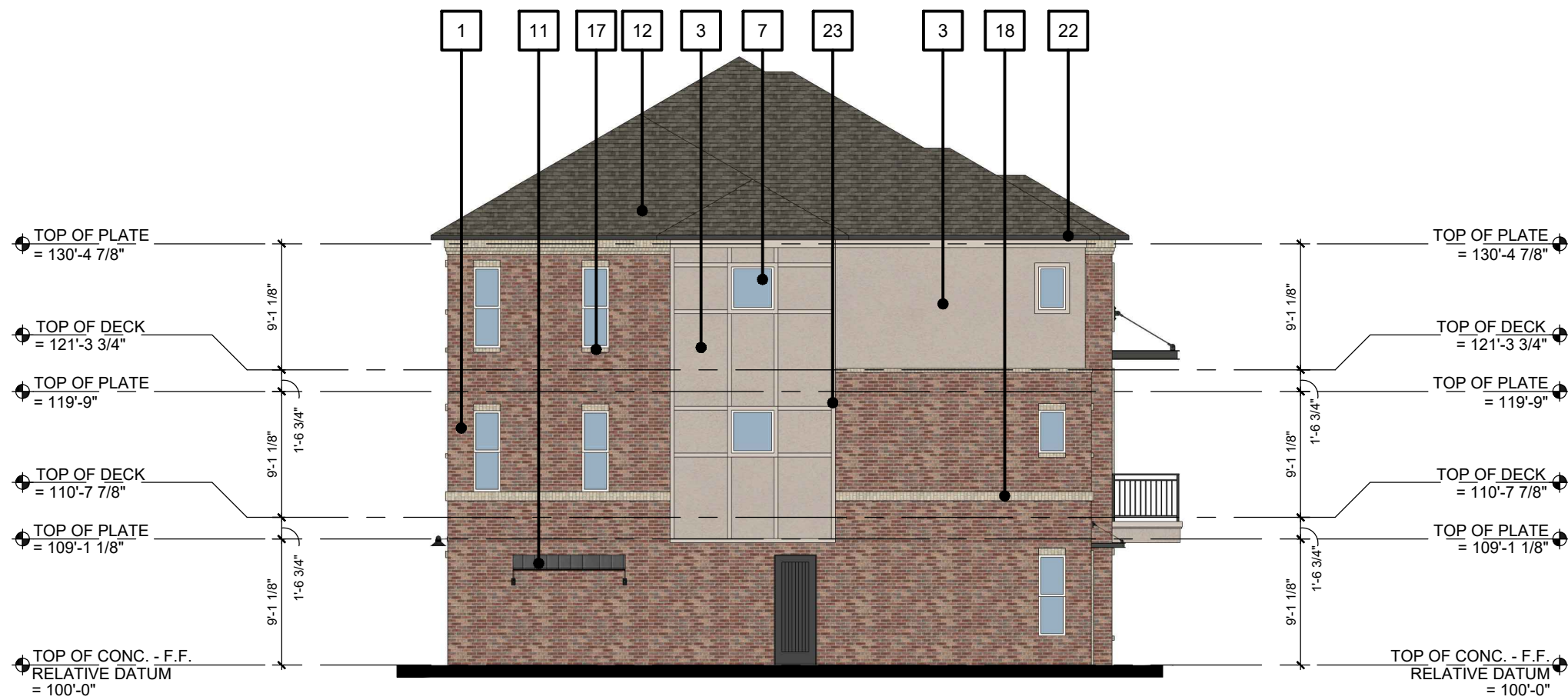
- ACME BRICK - SHENANDOAH
- ACME BRICK - CASTLE MIST
- PAINT - WORLDLY GRAY (SW7043)
- PAINT - INTELLECTUAL GRAY (SW7045)
- STEEL - IRON ORE (SW7069)

MATERIAL ELEVATION LEGEND

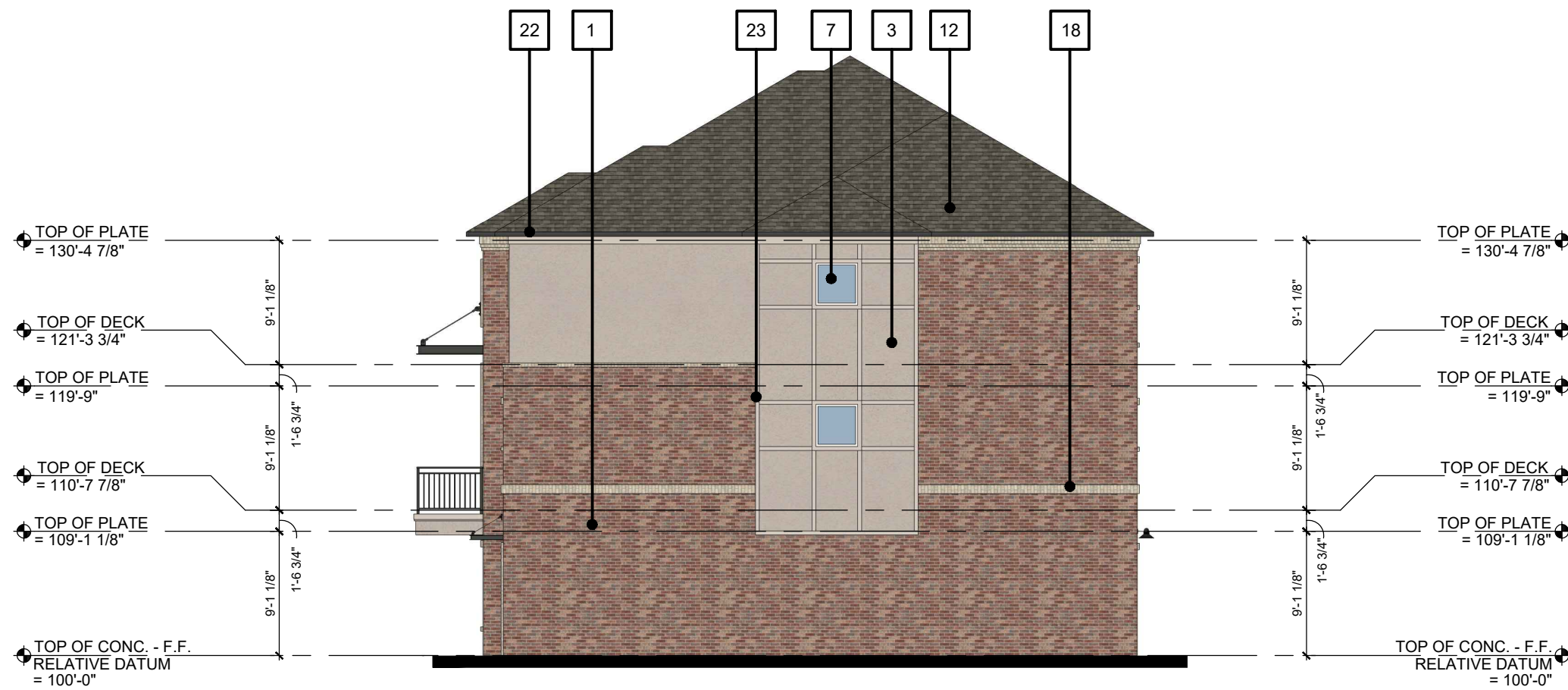
- BRICK VENEER SYSTEM
- STONE FINISH SYSTEM
- STUCCO FINISH SYSTEM
- FIBER CEMENT PANEL SYSTEM
- BALCONY SYSTEM
- TUBE STEEL RAILING SYSTEM
- VINYL WINDOW SYSTEM
- EXT. DOOR SYSTEM
- STOREFRONT SYSTEM
- GARAGE DOOR
- CANOPY SYSTEM W/ METAL ROOF
- COMPOSITE SHINGLE ROOF SYSTEM
- FLAT ROOF SYSTEM
- PARAPET WALL METAL FLASHING CAP
- SCUPPER AND DOWNSPOUT SYSTEM
- GUTTER AND DOWNSPOUT SYSTEM
- BRICK ROWLOCK
- BRICK SOLDIER
- CAST STONE
- SIGNAGE
- STEEL COLUMN
- FASCIA BOARD
- STUCCO FOAM TRIM
- OPEN ROOF TRELLIS
- WOOD SCREEN GATE
- SLAT SCREEN
- STEEL LINTEL



04 INTERIOR LOT ELEVATION (NORTH)
SCALE: 3/32" = 1'-0"
BLDG #3



03 SIDE ELEVATION (WEST)
SCALE: 3/32" = 1'-0"
BLDG #3



02 SIDE ELEVATION (EAST)
SCALE: 3/32" = 1'-0"
BLDG #3



01 COMMUNITY DRIVE ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0"
BLDG #3



HENSLEY LAMKIN RACHEL, INC.
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PH: 972.726.9400

Revisions
03.02.16 - City Comments
04.26.16 - City Comments

MATERIAL ELEVATION LEGEND

- 1

BRICK VENEER SYSTEM
- 2

STONE FINISH SYSTEM
- 3

STUCCO FINISH SYSTEM
- 4

FIBER CEMENT PANEL SYSTEM
- 5

BALCONY SYSTEM
- 6

TUBE STEEL RAILING SYSTEM
- 7

VINYL WINDOW SYSTEM
- 8

EXT. DOOR SYSTEM
- 9

STOREFRONT SYSTEM
- 10

GARAGE DOOR
- 11

CANOPY SYSTEM W/ METAL ROOF
- 12

COMPOSITE SHINGLE ROOF SYSTEM
- 13

FLAT ROOF SYSTEM
- 14

PARAPET WALL METAL FLASHING CAP
- 15

SCUPPER AND DOWNSPOUT SYSTEM
- 16

GUTTER AND DOWNSPOUT SYSTEM
- 17

BRICK ROWLOCK
- 18

BRICK SOLDIER
- 19

CAST STONE
- 20

SIGNAGE
- 21

STEEL COLUMN
- 22

FASCIA BOARD
- 23

STUCCO FOAM TRIM
- 24

OPEN ROOF TRELLIS
- 25

WOOD SCREEN GATE
- 26

SLAT SCREEN
- 27

STEEL LINTEL

NOTES:

1. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

MATERIAL LEGEND - BLDGS 4 & 5

- ACME BRICK - VILLAGE
- ACME BRICK - HENSLEY GRAY
- PAINT - ACCESSIBLE BEIGE (SW7036)
- PAINT - TONY TAUPE (SW7038)
- STEEL - IRON ORE (SW7069)

02 SOUTH BROADWAY AVENUE ELEVATION (EAST)
SCALE: 3/32" = 1'-0" BLDG #4



01 COMMUNITY DRIVE ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0" BLDG #4



ROBERT W. LAMKIN, AIA
TX LICENSE NO. 12495
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Project Title:

THE
RIVERWALK
FLOWER MOUND
TEXAS

LEON CAPITAL GROUP

Issue Set: 02.08.16

Project ID
15305

Drawing No.

A4.1
BUILDING 4
ELEVATIONS

MATERIAL ELEVATION LEGEND

- | | | | | | | | | | |
|---|---------------------------|----|-------------------------------|----|---------------------------------|----|-------------------|----|------------------|
| 1 | BRICK VENEER SYSTEM | 7 | VINYL WINDOW SYSTEM | 13 | FLAT ROOF SYSTEM | 19 | CAST STONE | 25 | WOOD SCREEN GATE |
| 2 | STONE FINISH SYSTEM | 8 | EXT. DOOR SYSTEM | 14 | PARAPET WALL METAL FLASHING CAP | 20 | SIGNAGE | 26 | SLAT SCREEN |
| 3 | STUCCO FINISH SYSTEM | 9 | STOREFRONT SYSTEM | 15 | SCUPPER AND DOWNSPOUT SYSTEM | 21 | STEEL COLUMN | 27 | STEEL LINTEL |
| 4 | FIBER CEMENT PANEL SYSTEM | 10 | GARAGE DOOR | 16 | GUTTER AND DOWNSPOUT SYSTEM | 22 | FASCIA BOARD | | |
| 5 | BALCONY SYSTEM | 11 | CANOPY SYSTEM W/ METAL ROOF | 17 | BRICK ROWLOCK | 23 | STUCCO FOAM TRIM | | |
| 6 | TUBE STEEL RAILING SYSTEM | 12 | COMPOSITE SHINGLE ROOF SYSTEM | 18 | BRICK SOLDIER | 24 | OPEN ROOF TRELLIS | | |

NOTES:

- ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
- REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

MATERIAL LEGEND - BLDGS 4 & 5

- | | |
|--|-----------------------------------|
| | ACME BRICK - VILLAGE |
| | ACME BRICK - HENSLEY GRAY |
| | PAINT - ACCESSIBLE BEIGE (SW7036) |
| | PAINT - TONY TAUPE (SW7038) |
| | STEEL - IRON ORE (SW7069) |



02 SIDE / INTERIOR LOT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"
BLDG #4



01 SIDE / INTERIOR LOT ELEVATION (NORTH)
SCALE: 3/32" = 1'-0"
BLDG #4

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Project Title:

THE
RIVERWALK
FLOWER MOUND
TEXAS

LEON CAPITAL GROUP

Issue Set: 02.08.16

Project ID
15305

Drawing No.

A4.2
BUILDING 4
ELEVATIONS

MATERIAL ELEVATION LEGEND

- 1

BRICK VENEER SYSTEM
- 2

STONE FINISH SYSTEM
- 3

STUCCO FINISH SYSTEM
- 4

FIBER CEMENT PANEL SYSTEM
- 5

BALCONY SYSTEM
- 6

TUBE STEEL RAILING SYSTEM
- 7

VINYL WINDOW SYSTEM
- 8

EXT. DOOR SYSTEM
- 9

STOREFRONT SYSTEM
- 10

GARAGE DOOR
- 11

CANOPY SYSTEM W/ METAL ROOF
- 12

COMPOSITE SHINGLE ROOF SYSTEM
- 13

FLAT ROOF SYSTEM
- 14

PARAPET WALL METAL FLASHING CAP
- 15

SCUPPER AND DOWNSPOUT SYSTEM
- 16

GUTTER AND DOWNSPOUT SYSTEM
- 17

BRICK ROWLOCK
- 18

BRICK SOLDIER
- 19

CAST STONE
- 20

SIGNAGE
- 21

STEEL COLUMN
- 22

FASCIA BOARD
- 23

STUCCO FOAM TRIM
- 24

OPEN ROOF TRELLIS
- 25

WOOD SCREEN GATE
- 26

SLAT SCREEN
- 27

STEEL LINTEL

NOTES:

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MATERIAL LEGEND - BLDGS 4 & 5

- ACME BRICK - VILLAGE
- ACME BRICK - HENSLEY GRAY
- PAINT - ACCESSIBLE BEIGE (SW7036)
- PAINT - TONY TAUPE (SW7038)
- STEEL - IRON ORE (SW7069)

02 SOUTH BROADWAY AVENUE ELEVATION (EAST)
SCALE: 3/32" = 1'-0" BLDG #5

01 1ST AVENUE ELEVATION (NORTH)
SCALE: 3/32" = 1'-0" BLDG #5

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Project Title:

THE RIVERWALK
FLOWER MOUND
TEXAS

LEON CAPITAL GROUP

Issue Set: 02.08.16

Project ID 15305
Drawing No.

A5.1
BUILDING 5
ELEVATIONS

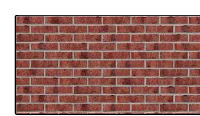
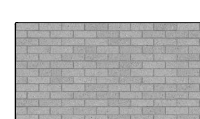
MATERIAL ELEVATION LEGEND

- | | | | | | | | | | |
|---|---------------------------|----|-------------------------------|----|---------------------------------|----|-------------------|----|------------------|
| 1 | BRICK VENEER SYSTEM | 7 | VINYL WINDOW SYSTEM | 13 | FLAT ROOF SYSTEM | 19 | CAST STONE | 25 | WOOD SCREEN GATE |
| 2 | STONE FINISH SYSTEM | 8 | EXT. DOOR SYSTEM | 14 | PARAPET WALL METAL FLASHING CAP | 20 | SIGNAGE | 26 | SLAT SCREEN |
| 3 | STUCCO FINISH SYSTEM | 9 | STOREFRONT SYSTEM | 15 | SCUPPER AND DOWNSPOUT SYSTEM | 21 | STEEL COLUMN | 27 | STEEL LINTEL |
| 4 | FIBER CEMENT PANEL SYSTEM | 10 | GARAGE DOOR | 16 | GUTTER AND DOWNSPOUT SYSTEM | 22 | FASCIA BOARD | | |
| 5 | BALCONY SYSTEM | 11 | CANOPY SYSTEM W/ METAL ROOF | 17 | BRICK ROWLOCK | 23 | STUCCO FOAM TRIM | | |
| 6 | TUBE STEEL RAILING SYSTEM | 12 | COMPOSITE SHINGLE ROOF SYSTEM | 18 | BRICK SOLDIER | 24 | OPEN ROOF TRELLIS | | |

NOTES:

- ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
- REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

MATERIAL LEGEND - BLDGS 4 & 5

- | | |
|--|-----------------------------------|
|  | ACME BRICK - VILLAGE |
|  | ACME BRICK - HENSLEY GRAY |
|  | PAINT - ACCESSIBLE BEIGE (SW7036) |
|  | PAINT - TONY TAUPE (SW7038) |
|  | STEEL - IRON ORE (SW7069) |



02 SIDE / INTERIOR LOT ELEVATION (WEST)
SCALE: 3/32" = 1'-0" BLDG #5



01 SIDE / INTERIOR LOT ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0" BLDG #5

ROBERT W. LAMKIN, AIA
TX LICENSE NO. 12495
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION
NOT FOR GOVERNMENTAL REVIEW

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Project Title:

THE
RIVERWALK
FLOWER MOUND
TEXAS

LEON CAPITAL GROUP

Issue Set: 02.08.16

Project ID
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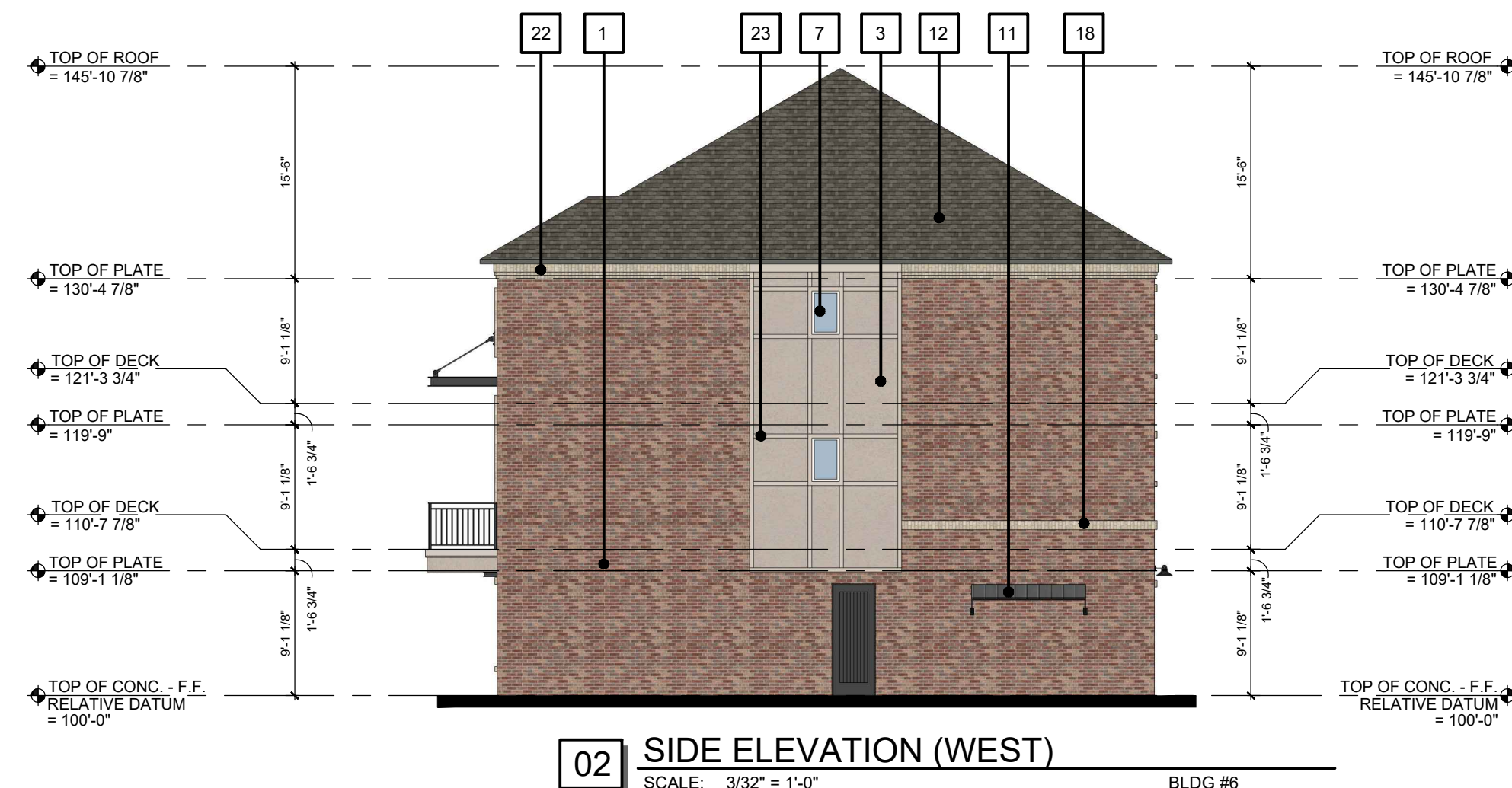
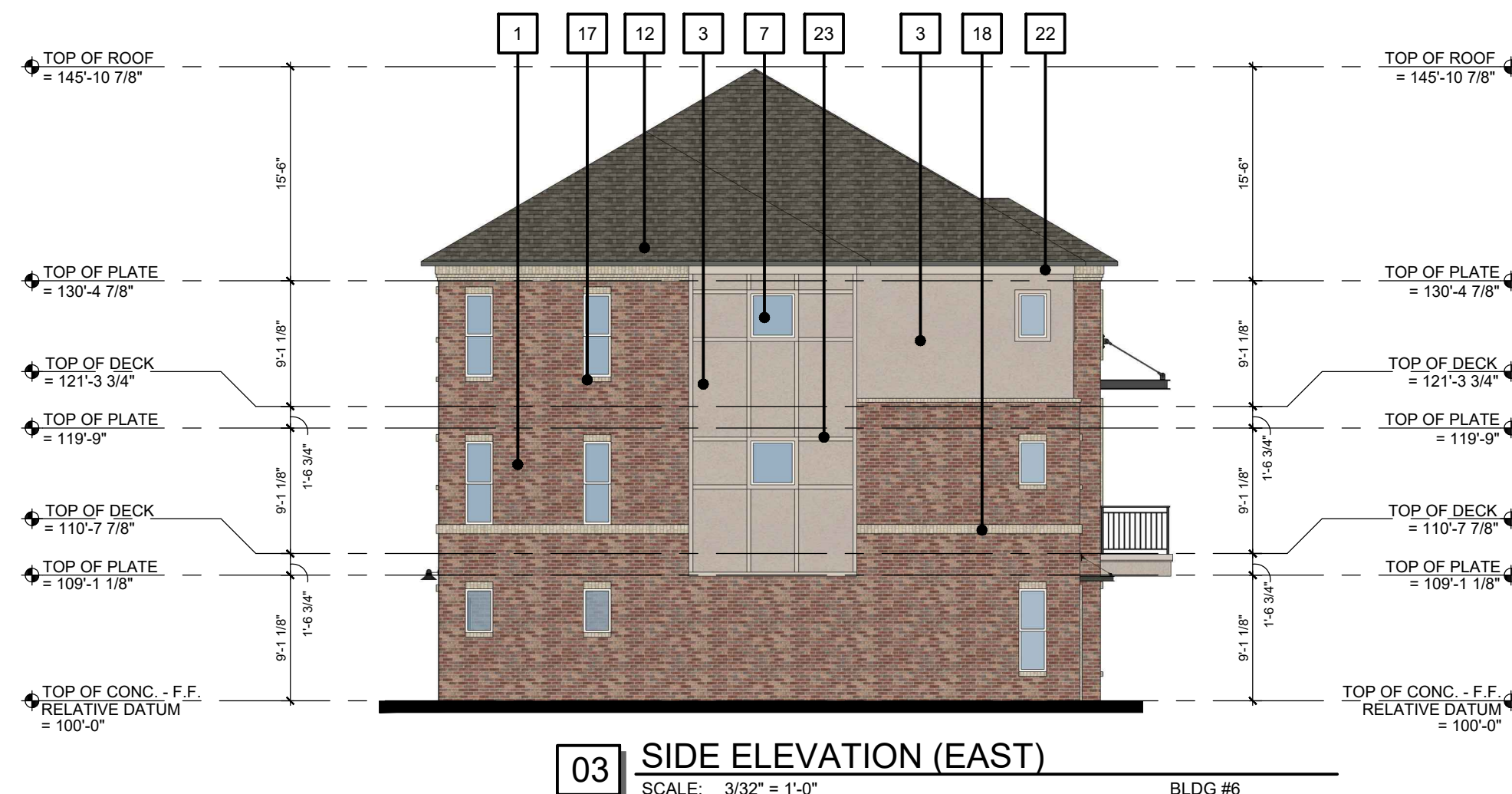
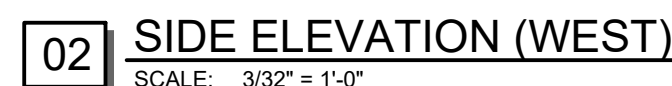
Drawing No.
A5.2
BUILDING 5
ELEVATIONS

	ACME BRICK - SHENANDOAH
	ACME BRICK - CASTLE MIST
	PAINT - WORLDLY GRAY (SW7043)
	PAINT - INTELLECTUAL GRAY (SW7045)
	STEEL - IRON ORE (SW7069)

- 1 BRICK VENEER SYSTEM
- 2 STONE FINISH SYSTEM
- 3 STUCCO FINISH SYSTEM
- 4 FIBER CEMENT PANEL SYSTEM
- 5 BALCONY SYSTEM
- 6 TUBE STEEL RAILING SYSTEM
- 7 VINYL WINDOW SYSTEM
- 8 EXT. DOOR SYSTEM
- 9 STOREFRONT SYSTEM
- 10 GARAGE DOOR
- 11 CANOPY SYSTEM W/ METAL ROOF
- 12 COMPOSITE SHINGLE ROOF SYSTEM
- 13 FLAT ROOF SYSTEM
- 14 PARAPET WALL METAL FLASHING CAP
- 15 SCUPPER AND DOWNSPOUT SYSTEM
- 16 GUTTER AND DOWNSPOUT SYSTEM
- 17 BRICK ROWLOCK
- 18 BRICK SOLDIER
- 19 CAST STONE
- 20 SIGNAGE
- 21 STEEL COLUMN
- 22 FASCIA BOARD
- 23 STUCCO FOAM TRIM
- 24 OPEN ROOF TRELLIS
- 25 WOOD SCREEN GATE
- 26 SLAT SCREEN
- 27 STEEL LINTEL

1. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.

BUILDING 6 & CARPORT ELEVATIONS



MATERIAL LEGEND - BLDG 7

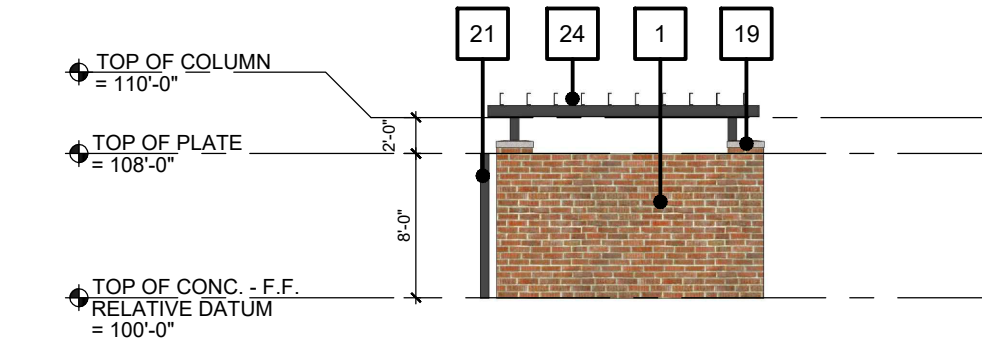
- ACME BRICK - CHILTON CREEK
- CAST STONE - BUFF COLOR
- PAINT - DOVETAIL (SW7018)
- PAINT - POPULAR GRAY (SW6071)
- PAINT - PERFECT GREIGE (SW6073)
- STEEL - IRON ORE (SW7069)

MATERIAL ELEVATION
LEGEND

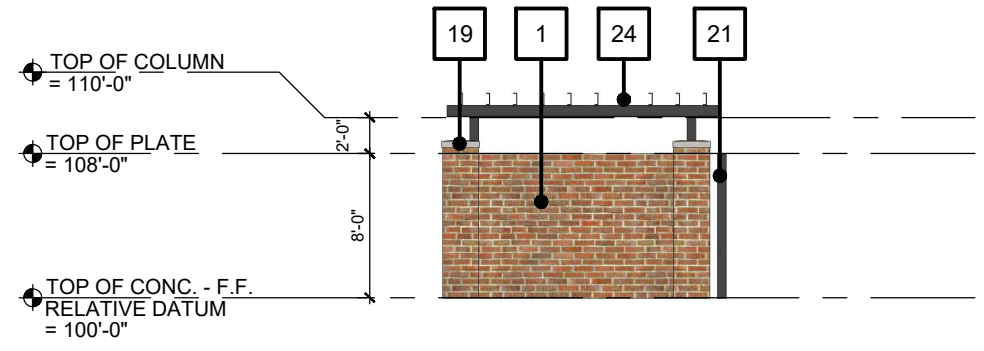
- 1 BRICK VENEER SYSTEM
- 2 STONE FINISH SYSTEM
- 3 STUCCO FINISH SYSTEM
- 4 FIBER CEMENT PANEL SYSTEM
- 5 BALCONY SYSTEM
- 6 TUBE STEEL RAILING SYSTEM
- 7 VINYL WINDOW SYSTEM
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- 23 STUCCO FOAM TRIM
- 24 OPEN ROOF TRELLIS
- 25 WOOD SCREEN GATE
- 26 SLAT SCREEN
- 27 STEEL LINTEL

NOTES:

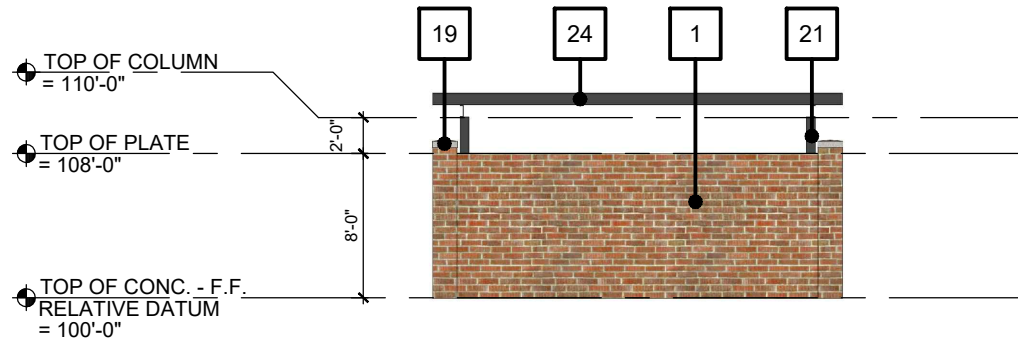
- 1. ANY EXTERNAL ELECTRICAL PANELS WILL BE PAINTED/TEXTURED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
- 2. REFER TO SHEET A8 FOR MATERIAL CALCULATIONS.



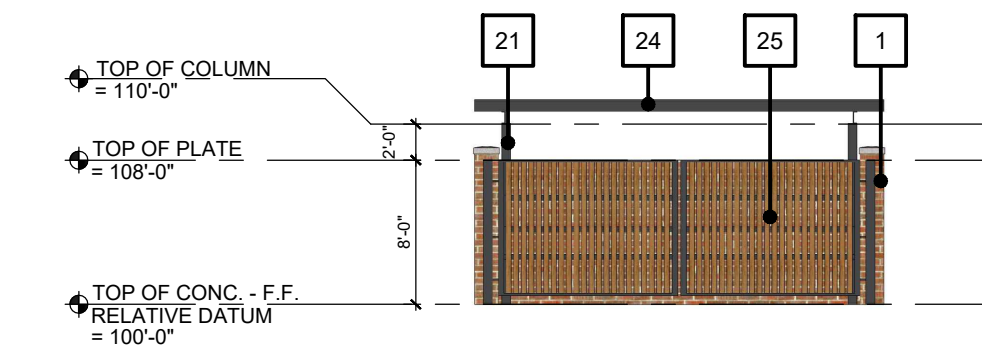
08 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/32" = 1'-0" TRASH ENCLOSURE



07 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/32" = 1'-0" TRASH ENCLOSURE



06 TRASH ENCLOSURE BACK ELEVATION
SCALE: 3/32" = 1'-0" TRASH ENCLOSURE



05 TRASH ENCLOSURE GATE ELEVATION
SCALE: 3/32" = 1'-0" TRASH ENCLOSURE



04 INTERIOR LOT POOL ELEVATION (EAST)
SCALE: 3/32" = 1'-0" BLDG #7



03 INTERIOR LOT SIDE ELEVATION (NORTH)
SCALE: 3/32" = 1'-0" BLDG #7



02 INTERIOR LOT SIDE ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0" BLDG #7



01 INTERIOR LOT ENTRY ELEVATION (WEST)
SCALE: 3/32" = 1'-0" BLDG #7



July 7, 2016

Mr. Chuck Russell, Town Planner
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75028

RE: The River Walk at Central Park – Parking Exhibit
G&A Job No. 15260

Dear Chuck,

The parking numbers shown within the attached exhibits were taken from the construction plans or Record Plats for each of the approved projects within the overall River Walk property. Going through each approved project, we found the required vs. proposed parking counts, and then broke those down to onsite parking spaces and street parking spaces. We have utilized the most current site plan known to us. Parking spaces within future projects, or projects currently under review by the Town, have not been included in the parking numbers presented.

Some of the projects do not have any required parking, the East and West Infrastructure plans for example. For these projects we looked at the adjacent properties and removed any of the proposed on-street parking spaces that have been counted by the adjacent property as a required or proposed space.

The attached exhibit intends to show the various types of parking and their locations throughout the River Walk Property. The information indicated on the plans shows the amount of parking provided and how many of those space are “extra” or above and beyond the minimum parking for that project. As an example, the LG River Walk Apartments are providing 304 parking spaces, which is 33 spaces above the minimum required. Taking into account the tandem spaces, these numbers are 361 provided and 90 extra. The West Infrastructure information shows 112 street spaces and 112 extra spaces. This indicates that there are 112 spaces not accounted for by any of the adjacent projects.

Throughout the entire River Walk property there are only 46 shared parking spaces, these spaces were indicated within the approved Chapel and Reception Hall site plan. Of these 46 shared spaces, 18 are actually above the required minimum spaces, therefore there are really only 28 shared spaces.

Hopefully the attached exhibit, along with the information provided at the last Planning and Zoning Commission meeting, shows that there is sufficient parking within the River Walk. Taken together, all approved sites require 3,442 parking spaces. All projects, including the LG Apartments, have provided an additional 1374 spaces or ~40% extra spaces

Please feel free to contact me if you have any questions.

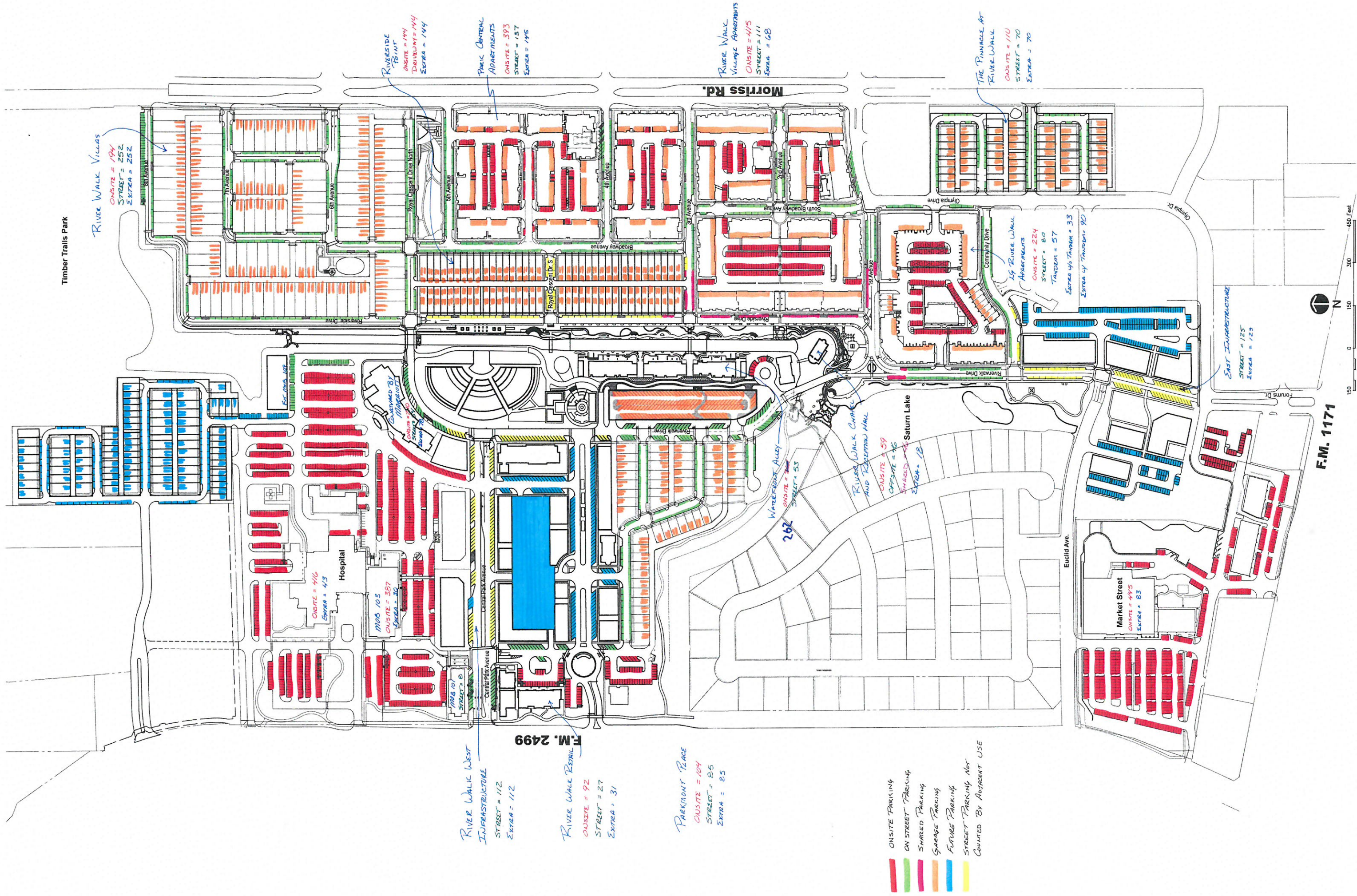
Sincerely,

A handwritten signature in blue ink, appearing to read "R. J. Dollak, Jr.", with a stylized flourish at the end.

Robert J. Dollak, Jr., PE
Project Engineer

PROJECT	REQUIRED	PROVIDED	TOTAL
PRESBYTERIAN HOSPITAL	373	ONSITE = 416	416
PARK CENTRAL APARTMENTS	385	ONSITE = 393	530
		STREET = 137	
MOB 103 & MOB 101	365	ONSITE = 387	395
		STREET = 8	
MARKET STREET	362	ONSITE = 445	445
RIVER WALL EAST INFRASTRUCTURE	0	STREET = 125	125
RIVER WALK VILLAS	194	ONSITE = 194	446
		STREET = 252	
RIVER WALK VILLAGE APARTMENTS	458	ONSITE = 415	526
		STREET = 111	
RIVER WALK WEST INFRASTRUCTURE	0	STREET = 112	112
COURTYARD BY MARRIOTT (WITH MOB 109; 18 ADDN FUT. SPACES	186	ONSITE = 210	264
		STREET = 54	
RIVERSIDE POINT	144	ONSITE = 144	288
		DRIVEWAYS = 144	
WATERFRONT ALLEY	315	ONSITE = 262	315
		STREET = 53	
RIVER WALK CHAPEL AND RECEPTION HALL	87	ONSITE = 59	105
		OFFSITE = 46	
THE PINNACLE AT RIVER WALK	110	ONSITE = 110	180
		STREET = 70	
RIVER WALK RETAIL (INC. FUTURE BUILDING)	88	ONSITE = 92	119
		STREET = 27	
PARKMONT PLACE	104	ONSITE = 104	189
		STREET = 85	
LG RIVER WALK APARTMENTS	271	ONSITE = 224	361
		STREET = 80	
		TANDEM = 57	
TOTALS	3442		4816

~40% OR 1374 SPACES OVER PARKED



Flower Mound

Planning and Zoning Commission

TO: Town of Flower Mound Planning and Zoning Commissioners

RE: Leon Capital Group - River Walk Apartment Development

DATE: July 6, 2016

This memo is being provided in direct response to the request of the Commissioners to provide clarity on the impact of the parking plan for the Leon Capital Group (LCG) development of 225 units to the overall parking availability in the River Walk development. The information included was discussed in a meeting with Doug Powell, Chuck Russell and Tommy Dalton on June 30, 2016 and was later provided to them directly by email on July 1, 2016. The analysis is based on the total parking spaces provided by each individual development in comparison to what is required by the current zoning ordinance. While the LCG development meets or exceeds all zoning requirements, we are providing this information in cooperation with the Flower Mound town staff to address the indicated concerns of the Planning and Zoning Commissioners. In addition to this information, we have provided the below commentary on the physical and operational aspects of our project and how they relate to the parking.

Site and Project Characteristics

1. The property dimensions do not allow for additional parking to be provided on-site. Given the requirement for street facing buildings, minimum setbacks from the street, two story maximum height on the west side of the property, building dimensions necessary to accommodate full units, fire lane widths and statutorily compliant parking space dimensions, we have provided the maximum number of parking spaces that can physically be accommodated on the site and must rely on on-street parking as permitted and contemplated by the ordinance and plans governing the River Walk development.
2. The LCG project incorporates a higher percentage of one bedroom units than other apartment projects in the River Walk and reduces the overall parking burden per unit that would be necessary if more two and three bedroom units were incorporated into the plan. This unit mix also allows for us to provide garage parking spaces and sacrifice potential net rentable square footage to reduce the number of needed on-street parking spaces.
3. Although tandem parking spaces are not counted in the overall parking requirement per the current zoning ordinance, our project has the ability to accommodate tandem parking spaces directly in front of each of the 57 garages, providing a relief valve for the on-site parking. We recognize there will be an

unknown percentage of residents who will use garage space for storage, however we believe the residents will also utilize this convenient option for resident visitor parking.

Operational Considerations

1. The increasing demand for high density and walkable apartments in suburban areas is changing the perception of how much parking should be required for these types of projects. We are seeing a trend to parking ratios closer to 1 per bedroom in urban developments. Residents seeking apartments in these higher density projects that are part of a larger development with multiple uses and amenities are aware of the availability of parking and management sets the expectation when a prospective resident visits the property.
2. Stoop access will be provided for the ground level street-facing units. The street parking spaces provided along all 4 streets surrounding the LCG project will provide quick and convenient access to those units and we anticipate a high percentage of the residents in those units will utilize the street parking option.
3. Most parking requirements look at the project as if it will always be 100% occupied. However, most apartment communities operate between 93% and 95% occupancy on a consistent basis. Of that occupancy, it is rare that more than 90-95% of the residents are all home and parked at the property at the same time. Peak use times for other River Walk attractions will not likely coincide with peak at-home times for the residents. This dynamic reduces the potential conflict between resident parking and parking available for River Walk patrons.

We hope that these points and prior discussions about the project specific parking and River Walk parking as a whole answers the outstanding questions of the commissioners and provides a level of comfort that the parking provided by the LCG project is appropriate considering the intent of the standards provided for in the governing ordinance, the site and project characteristics, and the operational realities of the project. As owner and developer, we would not move forward building and operating the project unless we believed the parking plan to be adequate for our residents. We have provided the information in this memo based on Leon Capital's experience and operating other similar projects.

Thank you for the opportunity to present this material and we ask that the commissioners vote to approve this site plan.

Sincerely,



David Cocanougher
Managing Director
Leon Capital Group



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: July 11, 2016

FROM: Poornima Srinarasi, Senior Planner

ITEM: Public Hearing to consider a request for rezoning (Z16-0003 - Ivy Estates, Lot 2, Block A) from Single-Family District-30 (SF-30) uses to Single-Family District-10 (SF-10) uses. The property is generally located south of Rembert Drive and north of Lismore Drive.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the request is to rezone approximately 1.073 acres of land to Single-Family District-10 (SF-10) zoning district to allow future subdivision of land to create one new residential lot. There is an existing residence on the subject property which will remain. The zoning request is in conformance with the Master Plan designation of Medium Density Residential which requires minimum 10,000-square-foot lots.

The lot configuration for the proposed residential lots will be provided at the time of replat application. The existing residential developments to the north, west and south are all master-planned for Medium Density Residential uses and zoned for Single-Family District-30 (SF-30) uses (minimum lot size of 30,000 square feet), PD-46 with Single-Family Density Medium (SFDM) uses (minimum lot size of 6,000 square feet), and Single-Family District-10 (SF-10) uses (minimum lot size of 10,000 square feet) respectively.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all rezoning requests. At the time this report was written, staff had not received any correspondence regarding the requested zoning amendment.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

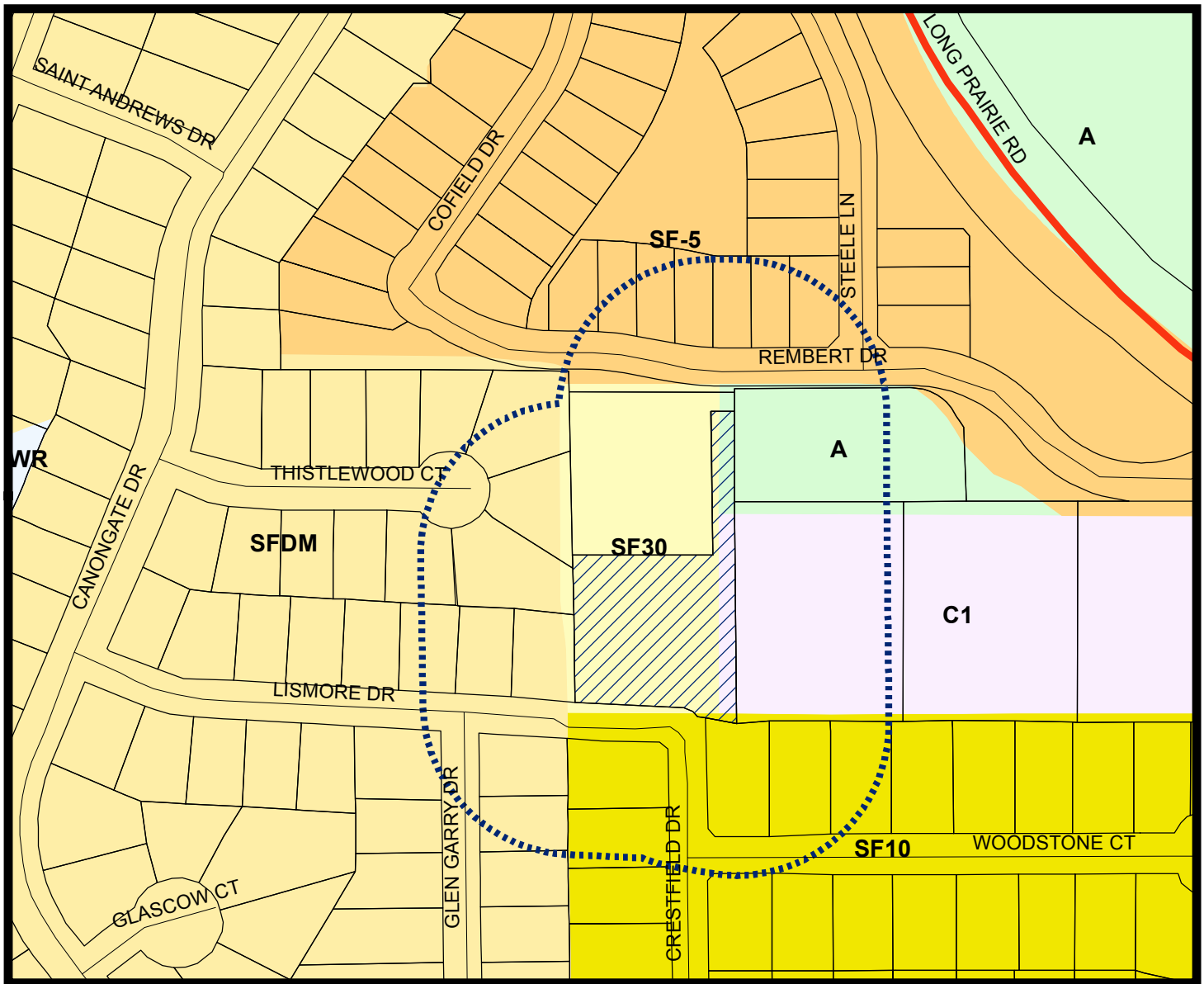
B. Application Details

1. Zoning Exhibit



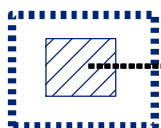
Vicinity Map

Reference Project: Z16-0003



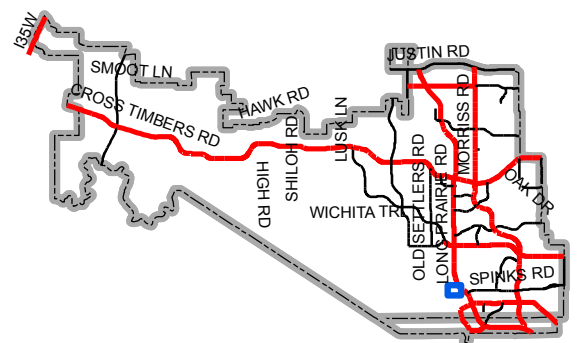
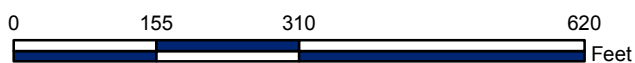
LEGEND

	Agriculture		Commercial 1		SFDM (obsolete)		Single Family 5
	Water Recreation		Single Family 10		Single Family 30 & 1 (obsolete)		

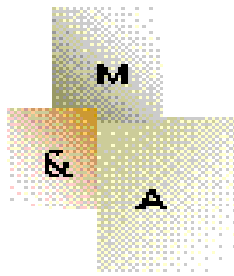


Subject Property

200 ft Notification Buffer around Property



Map Location



MIDDLETON & ASSOCIATES, LLC

CONSULTING CIVIL ENGINEERS, SURVEYORS AND LAND PLANNERS

June 15, 2016

Ms. Poornima Srinarasi
Planner
Town of Flower Mound
1001 Cross Timbers, Ste. 2330
Flower Mound, TX 75028

RE: Letter of Intent
Rezoning for Ivy Estates
Z16-0003
Flower Mound, Texas

Dear Poornima:

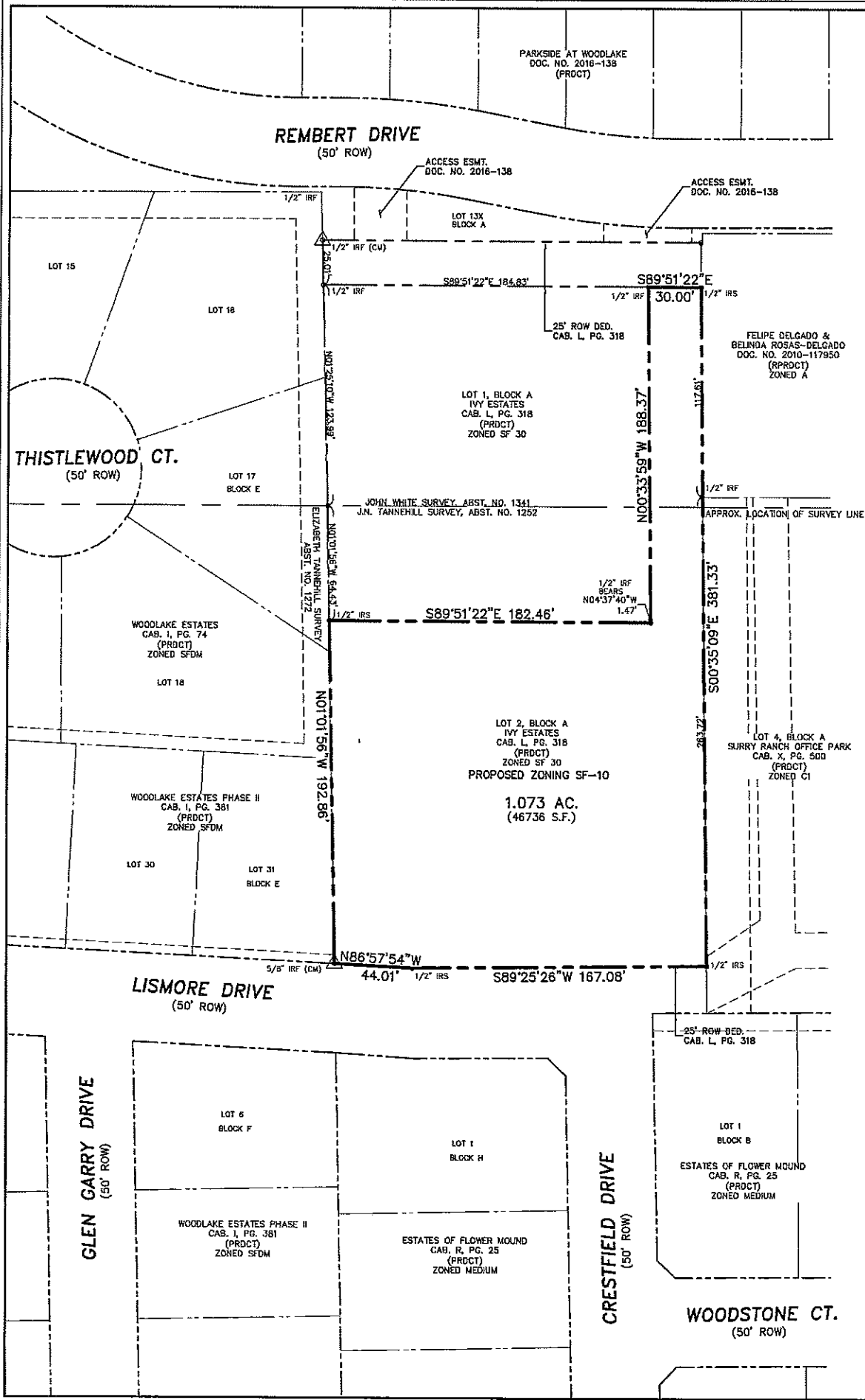
Please accept this Letter of Intent for the rezoning of 2620 Lismore Drive, Lot 2, Block A of Ivy Estates in Flower Mound. The lot is currently 1.073 acres in size with an existing home on the northeasterly section.

The purpose of this request is to change the zoning from existing SF-30 to SF-10, which would allow for the re-platting of this lot into two separate parcels and the construction of a new single family home along Lismore Drive. No waivers or variances will be needed.

If you have any other questions or would like additional information regarding our submittal, please contact me at 972-393-9800.

Sincerely,
MIDDLETON & ASSOCIATES, LLC.

Eugene Middleton, P.E.
President



STATE OF TEXAS
COUNTY OF DENTON

BEING a tract of land situated in the John White Survey, Abstract No. 1341 and the J. N. Tannehill Survey, Abstract No. 1252, Denton County, Texas and being all of Lot 2, Block A of Ivy Estates Addition, an addition to the Town of Flower Mound as recorded in Cabinet L, Page 318 of the Plat Records of Denton County, Texas (PRDCT) and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for the most southeasterly corner of Lot 31, Block E of Woodlake Estates, Phase II, an addition to the Town of Flower Mound as recorded in Cabinet L, Page 381 (PRDCT);

THENCE along the easterly line of said Woodlake Estates, Phase II North 01° 01' 56" West a distance of 192.85 feet to a 1/2 inch iron rod set for the most southwesterly corner of Lot 1, Block A of said Ivy Estates;

THENCE along the southerly line of said Lot 1, Block A South 89° 51' 22" East a distance of 182.46 feet to a point for the most southeasterly corner of said Lot 1, Block A (from which a 1/2 inch iron rod found bears North 04° 37' 40" West a distance of 1.47 feet);

THENCE along the westerly line of said Lot 1, Block A North 00° 33' 59" West a distance of 188.37 feet to a 1/2 inch iron rod found for the most northwesterly corner of said Lot 1, Block A, said iron rod also being in the southerly line of a 25 foot right-of-way dedication for Splinks Road as recorded in said Ivy Estates Addition;

THENCE departing the westerly line of said Lot 1, Block A and along the southerly line of said 25 foot right-of-way dedication South 89° 51' 22" East a distance of 30.00 feet to a 1/2 inch iron rod set for the most southeasterly corner of said 25 foot right-of-way dedication, said iron rod also being in the westerly line of a tract of land as described in a deed to Felipe and Belinda Rosas-Delgado and recorded in Document No. 2010-117950 of the Real Property Records of Denton County, Texas (RPRDCT);

THENCE departing the southerly line of said 25 foot right-of-way dedication and along the westerly line of said Delgado tract South 00° 35' 09" East the following distances;

Passing a 1/2 inch iron rod found for the most northwesterly corner of Lot 4, Block A of Surry Ranch Office Park, an addition to the Town of Flower Mound as recorded in Cabinet X, Page 500 (PRDCT) at 117.61 feet;

Continuing along the westerly line of said Surry Ranch Office Park for 263.72 feet for a total distance of 381.33 feet to a 1/2 inch iron rod set for the northwesterly corner of a 25 foot right-of-way dedication for Lismore Drive as recorded in said Ivy Estates Addition;

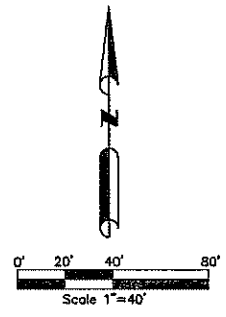
THENCE departing the westerly line of said Surry Ranch Office Park and along the northerly line of said 25 foot right-of-way dedication for Lismore Drive as follows;

South 89° 25' 26" West a distance of 167.08 feet to a 1/2 inch iron rod set for corner;

North 86° 57' 54" West a distance of 44.01 feet to the Point of Beginning;

Containing within these metes and bounds 1.073 acres or 46,736 square feet of land more or less.

The bearings contained herein are based on GPS measurements taken at the time of survey.



MASTER PLAN FEATURES	
LAND USE PLAN	MEDIUM DENSITY RESIDENTIAL
SPECIFIC PLANS	NA
URBAN DESIGN PLAN	NA
PARKS AND TRAILS	NA
OPEN SPACE PLAN	NA
THOROUGHFARE PLAN	LISMORE DRIVE (50' ROW) RESIDENTIAL
WATER PLAN	EX. 8" SEWER ON SOUTH SIDE OF LISMORE
WASTEWATER PLAN	EX. 8" WATER ON NORTH SIDE OF LISMORE
ECONOMIC IMPACT	NA

RESIDENTIAL LOT CRITERIA		
	EXISTING (SF-30)	PROP. (SF-10)
MIN. LOT AREA	30,000 S.F.	10,000 S.F.
MIN. LOT WIDTH	100'	70'
MIN. FRONT SETBACK	25'	25'
MIN. REAR SETBACK	30'	25'
MIN. SIDE SETBACK	15'	10'
MAX. LOT COVERAGE	35%	40%
MIN. FLOOR AREA	2,100 S.F.	1,800 S.F.
MAX. BUILDING HEIGHT	3 STORIES OR 35'	3 STORIES OR 35'

OWNERS:
JOSE & SALAMMA VARGHESE
10022 STONE HARBOR WAY
IRVING, TEXAS 75063

No.	DATE	REVISION	APPROV.

Middleton PROJECT ENGINEER:
& Associates, LLC.

CONSULTING CIVIL ENGINEERS, SURVEYORS &
LAND PLANNERS
TBPE #F-10800 TBPLS #10157700
1111 SOUTH MAIN ST., SUITE 123 GRAPEVINE,
TEXAS 76051 (972) 393-9800

ZONING EXHIBIT

2620 LISMORE DRIVE

LOT 2, BLOCK A - IVY ESTATES

FLOWER MOUND, TEXAS

Drawing File: 0077001ZONE.DWG	DATE: 8-14-16	SCALE: 1"=40'	SHEET NO: 1
Project No. 0077001			