



AMENDED AGENDA

TOWN OF FLOWER MOUND PLANNING AND ZONING COMMISSION MEETING

AUGUST 8, 2016

**FLOWER MOUND TOWN HALL
2121 CROSS TIMBERS ROAD
FLOWER MOUND, TEXAS**

.....
AN AGENDA INFORMATION PACKET IS AVAILABLE FOR PUBLIC INSPECTION
ONLINE AT www.flower-mound.com/AgendaCenter
.....

A. CALL TO ORDER: 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZEN'S COMMENTS

The purpose of this item is to allow citizens an opportunity to address the Commission on issues that are not the subject of a public hearing. Items requiring a public hearing are clearly marked as such on the agenda, and citizens and visitors will be allowed to speak on those items during the public hearing.

D. REGULAR ITEMS

1. *Minutes of July 25, 2016*

Consider approval of the minutes of the July 25, 2016, Planning and Zoning Commission Regular Session.

2. *Z16-0004 – Franklin Hills, Lots 13, 14, portion Lot 12, Blk C* *Public Hearing*

Public Hearing to consider a request for rezoning from Single-Family District-10 (SF-10) uses to Single-Family Estate (SF-E) uses. The property is generally located west of Indian Trail and south of Rolling Hills.

3. *ZPD16-0010 – Parker Square Farmer's Market* *Public Hearing*

Public Hearing to consider a request for rezoning to amend Planned Development District-24 (PD-24) to allow for a farmer's market. The property is located at 1500 Cross Timbers Road.

4. *MPA16-0004 – Bradford Park* *Public Hearing*

Public Hearing to consider a request for a Master Plan Amendment to amend Section 1.0, Land Use Plan, and Section 3.0, Specific Plans, to change the land use designation from Low Density Residential and Village Retail to Medium Density Residential, High Density Residential, and Village Retail within Specific Plan Area 5 (SPA 5), and to amend certain development controls outlined within SPA 5 that apply to the subject property. The property is generally located south and west of the intersection of Waketon Road and Rippy Road. ***(The applicant has requested that this item be tabled to the August 22, 2016, Planning and Zoning Commission meeting.)***

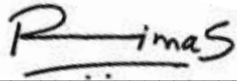
5. ZPD16-0006 – Bradford Park

Public Hearing

Public Hearing to consider a request for rezoning from Agricultural District (A) and Planned Development District No. 89 (PD-89) with Retail District-2 (R-2) uses to Planned Development District No. 148 (PD-148) with Single-Family District-10 (SF-10) and Single-Family District-5 (SF-5) uses with certain modifications to the Code of Ordinances. The property is generally located south and west of the intersection of Waketon Road and Rippy Road. ***(The applicant has requested that this item be tabled to the August 22, 2016, Planning and Zoning Commission meeting.)***

E. **ADJOURNMENT**

I do hereby certify that the Notice of Meeting was posted on the bulletin board in Town Hall of the Town of Flower Mound, Texas, a place convenient and readily accessible to the general public at all times, on the following date and time: August 5, 2016, at 4:45 pm, at least 72 hours prior to the scheduled time of said meeting.



Poornima Srinarasi, Senior Planner

Pursuant to Section 551.071 of the Texas Government Code, the Planning and Zoning Commission reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

The Flower Mound Town Hall and Council Chambers are wheelchair accessible. Requests for accommodations or interpretive services must be made at least 48 hours prior to this meeting by contacting Planning Services at (972) 874-6350 .
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THE FLOWER MOUND PLANNING & ZONING COMMISSION MEETING HELD ON THE 25TH DAY OF JULY, 2016, IN THE FLOWER MOUND TOWN HALL, LOCATED AT 2121 CROSS TIMBERS ROAD IN THE TOWN OF FLOWER MOUND, COUNTY OF DENTON, TEXAS, AT 6:30 PM

The Planning & Zoning Commission met in a regular session with the following members present:

Claudio Forest	Chair
Perfecto Solis	Vice Chair
Sandeep Sharma	Commissioner, Place 2
Mike McCall	Commissioner, Place 3
Brian Smiley	Commissioner, Place 6
Brad Ruthrauff	Commissioner, Place 9

Constituting a quorum with the following members absent:

Vacant	Commissioner, Place 1
Emily Strittmatter	Commissioner, Place 5
Al Linley	Commissioner, Place 8

Places 8 and 9 of the Commission do not vote on items unless they sit in place of one of the regular members, Places 1-7.)

And the following members of Town staff present:

Ashley Dierker	Town Attorney
Chuck Russell	Town Planner
Cindi Price	Executive Assistant

A. CALL TO ORDER: 6:30 P.M.

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZENS/VISITORS COMMENTS

Jim Pierson, 3209 High Road, Flower Mound

D. DIRECTOR'S REPORT

- a. Presentation and discussion regarding development activity over the past year (application statistics, major project approvals, and regulation amendments), with particular focus on activity during the past three months.

Presenter

Chuck Russell, Town Planner

E. REGULAR ITEMS

1. Consider approval of the minutes of the July 11, 2016, Planning and Zoning Commission Regular Session.

Commission Deliberation

Commissioner McCall moved to approve the July 11, 2016, minutes as presented. Vice Chair Solis seconded the motion.

VOTE ON THE MOTION

AYES: Ruthrauff, Solis, McCall, Sharma

NAYS: None

ABSTAIN: Smiley

ABSENT: Strittmatter, Linley

The motion passed with a vote of 4-0-1.

2. Consider a request for a Record Plat (RC16-0010 – Hillside of Flower Mound) to create a residential subdivision. The property is generally located south of Cross Timbers Road and west of Shiloh Road.

Staff Presentation

Chuck Russell, Town Planner

Commission Deliberation

Vice Chair Solis moved to approve RC16-0010 – Hillside of Flower Mound. Commissioner McCall seconded the motion.

VOTE ON THE MOTION

AYES: Sharma, McCall, Solis, Smiley, Ruthrauff

NAYS: None

ABSTAIN: None

ABSENT: Strittmatter, Linley

The motion passed with a vote of 5-0.

F. ADJOURNMENT: 6:50 P.M.

TOWN OF FLOWER MOUND, TEXAS

DOUGLAS S. POWELL, AICP
Executive Director, Development Services

ATTEST:

Cindi Price, Executive Assistant



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 2

DATE: August 8, 2016

FROM: Poornima Srinarasi, Senior Planner

ITEM: Public Hearing to consider a request for rezoning (Z16-0004 - Franklin Hills, Lots 13, 14 and a portion of Lot 12, Block C) from Single-Family District-10 (SF-10) uses to Single-Family Estate(SF-E) uses. The property is generally located west of Indian Trail and south of Rolling Hills.

I. ITEM SUMMARY

This application has been reviewed by DRC and has been found to be in conformance with all applicable Town regulations.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of the request is to rezone the subject property consisting of Lot 14, Lot 13, and a portion of Lot 12 from Single-Family District-10 (SF-10) to Single-Family Estate (SF-E) uses to allow construction of an approximately 1,000-square-foot accessory building that is permitted under the SF-E zoning district. Under the current SF-10 zoning, the maximum square footage allowed for an accessory building is 750 square feet. The requested SF-E zoning allows a maximum of 1,500 square feet for accessory buildings. Other than reducing the square footage of the accessory building to comply with SF-10 regulations, the only option for the property owner to construct a 1,000-square-foot accessory building is to rezone the property to a zoning district that allows the larger accessory building.

The combined acreage of all three lots is 1.51 acres and is over the minimum one acre required under the SF-E zoning. The property owner also owns approximately one acre of land zoned Water Recreation (WR) that is located to the west of Lots 13 and 14. If this rezoning request receives approval from the Town Council, a replat application to consolidate all the lots under common ownership will be brought forward for Planning and Zoning Commission consideration. The combined acreage after the replat will be approximately 2.5 acres which will be in conformance with the Master Plan.

The record plat for Franklin Hills was originally approved in 1959 by the Denton County Commissioner Court. The property located to the north of the subject

property and the lot located to the east of Indian Trail is a part of the Franklin Hills subdivision and zoned for SF-10 uses. The property located to the south of the subject property is a large tract of land zoned for Agricultural uses.

Due to unavailability of Town sewer service in the western part of the Town and State Law requirements to allow On-Site Sewage Facilities (OSSF) on existing lots less than two acres in size, residential lots in older subdivisions like Roanoke Hills and Franklin Hills are served by OSSF. Upon approval of the rezone and replat requests, the zoning cannot be reversed or the property be further subdivided as it would violate the Town's OSSF requirements.

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all rezoning requests. At the time this report was written, staff had not received any correspondence regarding the requested zoning amendment.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent

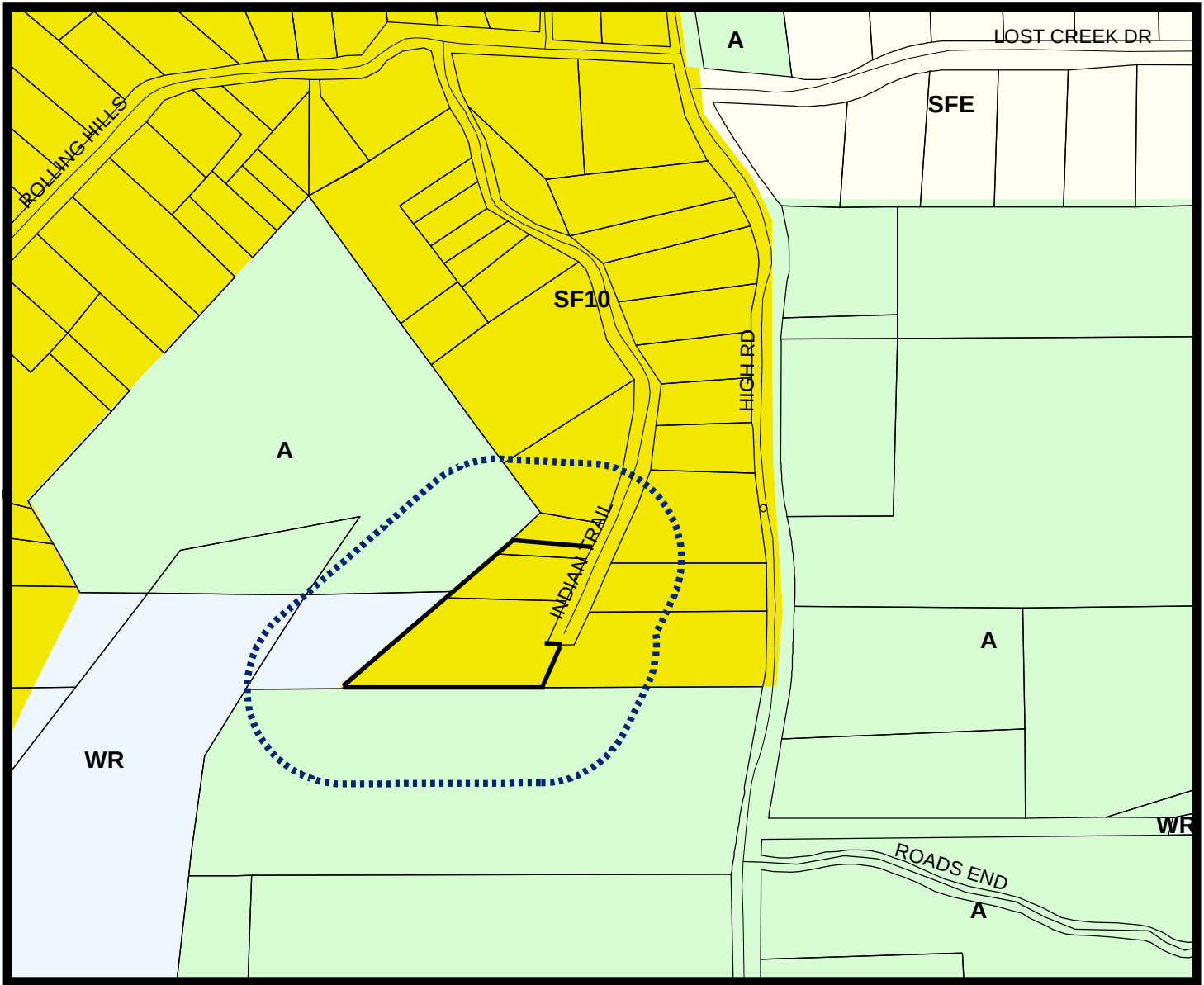
B. Application Details

1. Zoning Exhibit



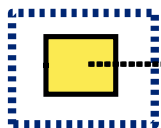
Vicinity Map

Reference Project: Z16-0004

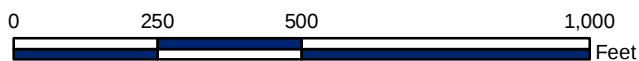
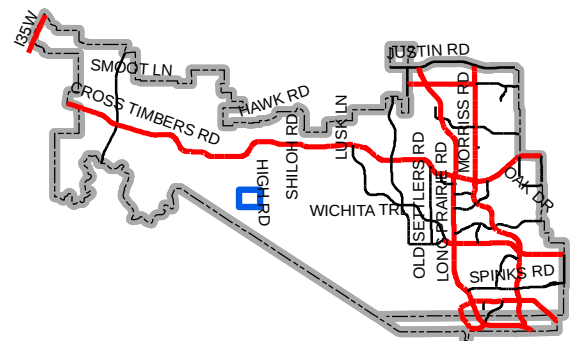


LEGEND

	Agriculture		Single Family 10		Single Family Estate		Water Recreation
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200 ft Notification Buffer around Property



Map Location



P.O. Box 54 ~ Lewisville, Texas 75067
Office: (972) 221-9439 ~ Fax: (972) 221-4675

7/18/2016

RE: Rezoning Application for 3205 Indian Trail

Please accept this letter, on behalf of our clients, as an explanation of the Rezoning application attached hereto. We are submitting for approval a Rezoning application of Lots 13, 14, and a portion of Lot 12, Block C, Franklin Hills Addition, an addition to the Town of Flower Mound, Denton County, Texas.

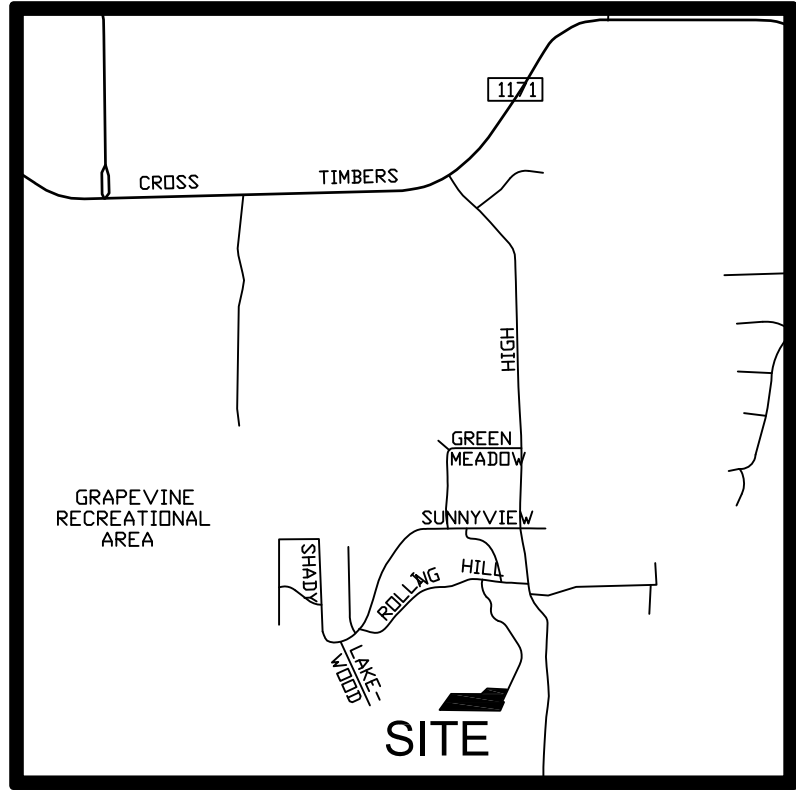
The subject property is currently zoned SF-10. Total acreage for the current site is 1.513 acres. The proposed zoning is SF-E. The purpose of the zoning change is to allow construction of an accessory building as permitted by SF-E standards.

If you have any other questions or concerns regarding this application please feel free to contact me.

Respectfully,

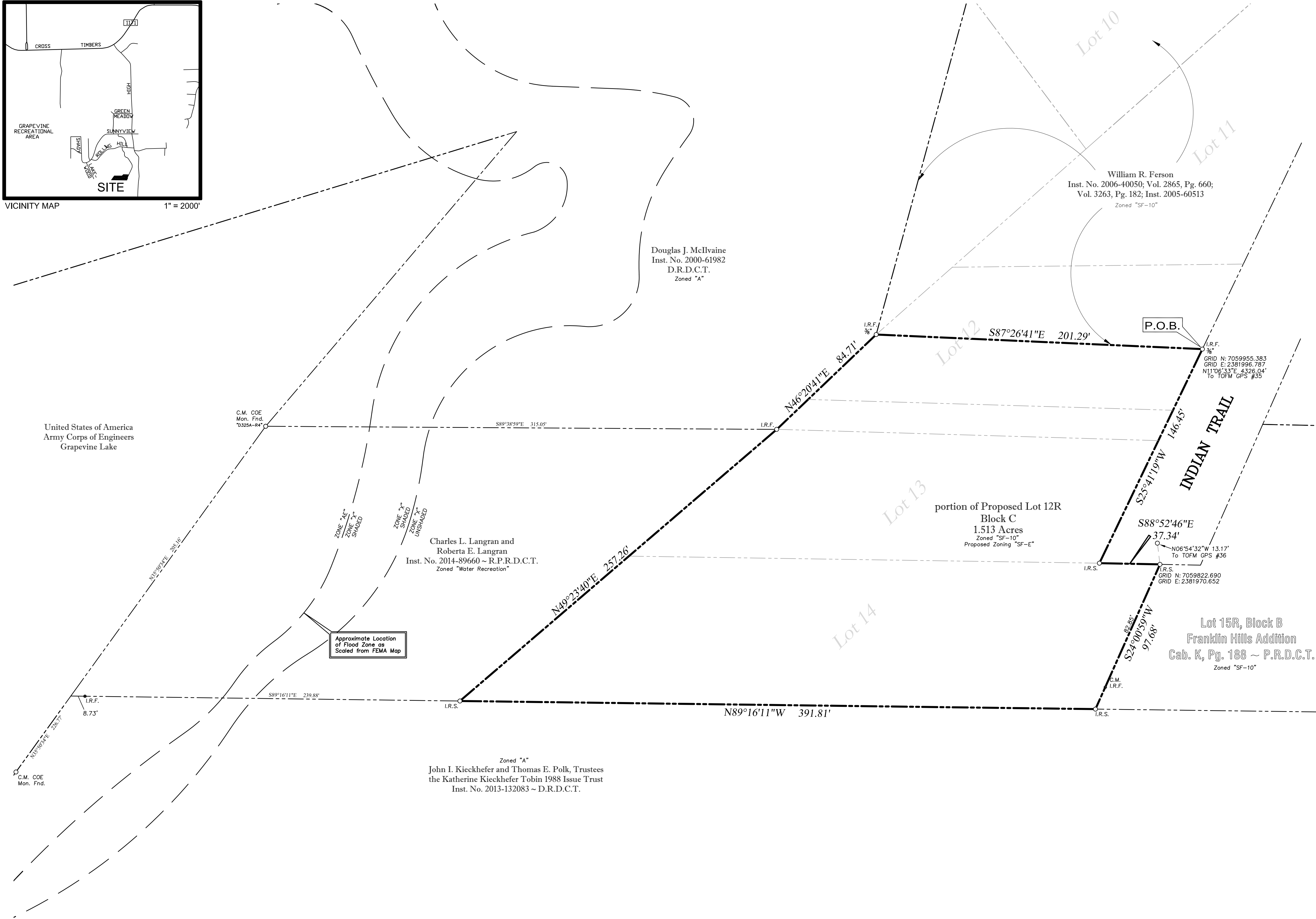


Jack Barton, S.I.T.
Arthur Surveying Company



VICINITY MAP

1" = 2000'



State of Texas §
County of Denton §
Owner's Certificate and Dedication

WHEREAS Charles and Roberta Langran are the owners of a 1.513 acre tract of land situated in the J. Phillips Survey, Abstract Number 10019, Town of Flower Mound, Denton County, Texas, being a portion of Block C (including all of Lots 13 and 14, and a portion of Lot 12), of Franklin Hills, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Volume 2, Page 114, of the Plat Records of Denton County, Texas (P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 3/8 inch iron rod found for the most northerly northeast corner of the herein described tract in the east line of said Lot 12, same being the southeast corner of a tract of land described by deed to William R. Ferson, as recorded under Instrument Number 2006-40050, D.R.D.C.T., also being in the northwest line of Indian Trail;

THENCE South 25 degrees 41 minutes 19 seconds West, with the northwest line of said Indian Trail and partially with the east line of said Lot 12, passing the southeast corner thereof, continuing on said course for a total distance of 146.45 feet to a 1/2 inch iron rod with yellow cap stamped "Arthur Surveying Company" set for corner, same being the southeast corner of said Lot 13, also being in the north line of said Lot 14;

THENCE South 88 degrees 52 minutes 46 seconds East, with the north line of said Lot 14 and the south line of said Indian Trail, a distance of 37.34 feet to a 1/2 inch iron rod with yellow cap stamped "Arthur Surveying Company" set for corner, same being the northeast corner of said Lot 14, also being the most westerly northwest corner of Lot 15R, in Block B, of Franklin Hills Addition, an addition to the Town of Flower Mound, Denton County, Texas, according to the plat thereof, as recorded in Cabinet K, Page 188, P.R.D.C.T.;

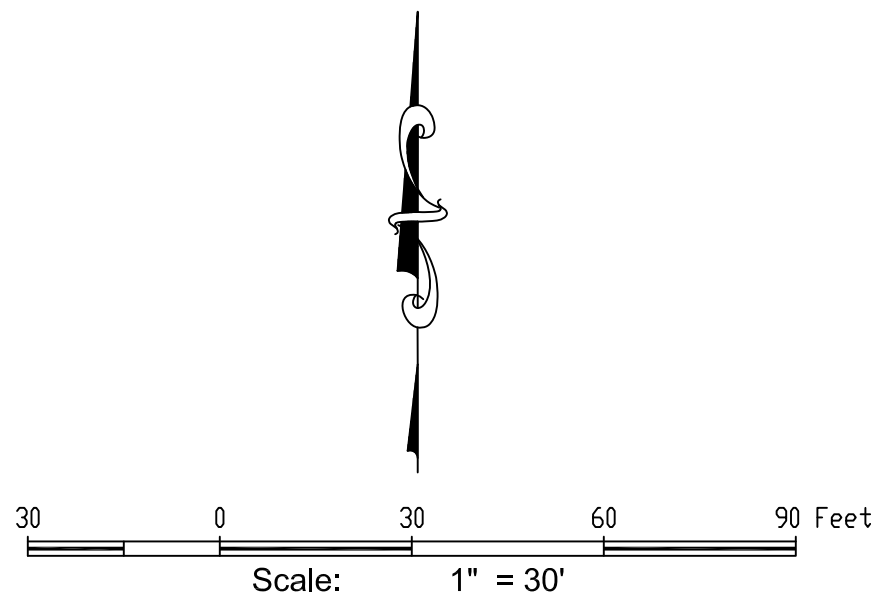
THENCE South 24 degrees 00 minutes 59 seconds West, with the east line of said Lot 14 and the west line of said Lot 15R, passing at a distance of 82.85 feet to a 1/2 inch iron rod found, continuing on said course for a total distance of 97.68 feet to a 1/2 inch iron rod with yellow cap stamped "Arthur Surveying Company" set for corner in the north line of a tract of land described by deed to John I. Kieckhefer and Thomas E. Polk, Trustees of the Katherine Kieckhefer Tobin 1988 Issue Trust, as recorded under Instrument Number 2013-132083, D.R.D.C.T., same being the common southerly corner of said Lots 14 and 15R;

THENCE North 89 degrees 16 minutes 11 seconds West, with the north line of said Kieckhefer tract and with the south line of said Lot 14, a distance of 391.81 feet to a 1/2 inch iron rod with yellow cap stamped "Arthur Surveying Company" set for corner, same being the southwest corner of said Lot 14;

THENCE North 49 degrees 23 minutes 40 seconds East, with the west line of said Block C, a distance of 257.26 feet to a 1/2 inch iron rod found for corner, same being the northwest corner of said Lot 13, also being the southeast corner of a tract of land described by deed to Douglas J. McIlvane, as recorded under Instrument Number 2000-61982, D.R.D.C.T.;

THENCE North 46 degrees 20 minutes 41 seconds East, with the east line of said McIlvane tract and the west line of said Block C, a distance of 84.71 feet to a 3/8 inch iron rod found for corner in the west line of said Block 12, same being the southwest corner of said Ferson tract;

THENCE South 87 degrees 26 minutes 41 seconds East, with the south line of said Ferson tract, a distance of 201.29 feet to the **POINT OF BEGINNING** and containing 1.513 acres of land, more or less.



MASTER PLAN FEATURES	
Land Use Plan	Cross Timbers Conserv. Dev. District
Specific Plans	None
Urban Design Plan	N/A
Parks and Trails	No required trail in proposed zoning area
Thoroughfare Plan	Cross Timbers Rd. (FM 1171 - Major Arterial) High Rd. (Rural Collector)
Water Plan	8" within High Rd.
Wastewater	Unsewered Area

RESIDENTIAL LOT CRITERIA		
	EXISTING (SF-10)	SF-E
Min. Lot Area	10,000 sq. ft.	43,560 sq. ft.
Min. Lot Width	70'	150'
Min. Front Yard BL	25'	40'
Min. Rear Yard BL	25'	20'
Min. Side Yard BL	10'	20'
Max. Lot Coverage	40%	25%
Min. Floor Area	1,800 sq. ft.	2,400 sq. ft.
Max. Building Height	3 Stories or 35'	3 Stories or 35'

NOTES

- No portion of subject property appears to lie within a Special Flood Hazard Area according to the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel No. 480777 0520 G, present effective date of map April 18, 2011, herein property is situated within Zone "AE", Zone "X" (Shaded), and Zone "X" (Unshaded).
- All iron rods found are 1/2 inch unless otherwise noted. All iron rods set are 1/2 inch with a yellow cap stamped "Arthur Surveying Company".
- Bearings shown hereon are based on Texas State Plane Coordinate System, North Central Zone, NAD83 (US Feet) with a combined scale factor of 1.00015063.

OWNER
Charles and Roberta Langran
3205 Indian Trail
Flower Mound Texas, 75022

Arthur Surveying Co., Inc.
Professional Land Surveyors
(972) 221-9439 ~ Fax (972) 221-4675
220 Elm Street, Suite 200 ~ P.O. Box 54
Lewisville, Texas 75057 ~ TFRN No: 10063800
Established 1986
www.arthursurveying.com

ZONING EXHIBIT
3205 Indian Trail
Being Lots 13, 14, and a portion of
Lot 12, Block C, Franklin Hills, an addition to the
Town of Flower Mound, Denton County, Texas
as recorded in Vol. 2, Pg. 114, P.R.D.C.T.



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 3

DATE: August 8, 2016

FROM: Doug Powell, Executive Director of Development Services

ITEM: **Public Hearing to consider a request for rezoning (ZPD16-0010 - Parker Square Farmer's Market) to amend Planned Development District-24 (PD-24) to allow for a farmer's market. The property is located at 1500 Cross Timbers Road.**

I. ITEM SUMMARY

There are no outstanding issues associated with this request.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to amend the Planned Development (PD) standards for Parker Square to allow for a farmer's market. Earlier this year, the Town of Flower Mound amended the Land Development Regulations in order to allow a farmer's market to operate on any Town-owned property and to amend the definition to match state regulations. The Town Council directed staff to proceed with this amendment to allow for establishing a farmer's market at the Town Hall site. This market was intended to only be temporary until the planned farmer's market site at The River Walk at Central Park was opened.

The overwhelming success of the Town Hall farmer's market has led to efforts to find a bigger site with adequate parking. The majority owners of the Parker Square development have offered a location (attached) to enable the existing use to move. Currently, the PD for Parker Square does not allow the use of a farmer's market on site. This request will amend the zoning of the development to allow for a farmer's market in keeping with the provisions of Section 98-980 of the Code of Ordinances.

Finally, a farmer's market located at Parker Square is intended to be temporary in nature, and the use will have to be appropriately licensed by the Town staff.

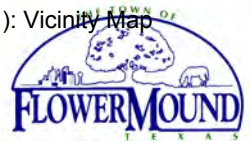
III. CORRESPONDENCE

The Town Code requires public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning amendments. At the time this report was written, staff had received no correspondence regarding the request.

IV. ATTACHMENTS

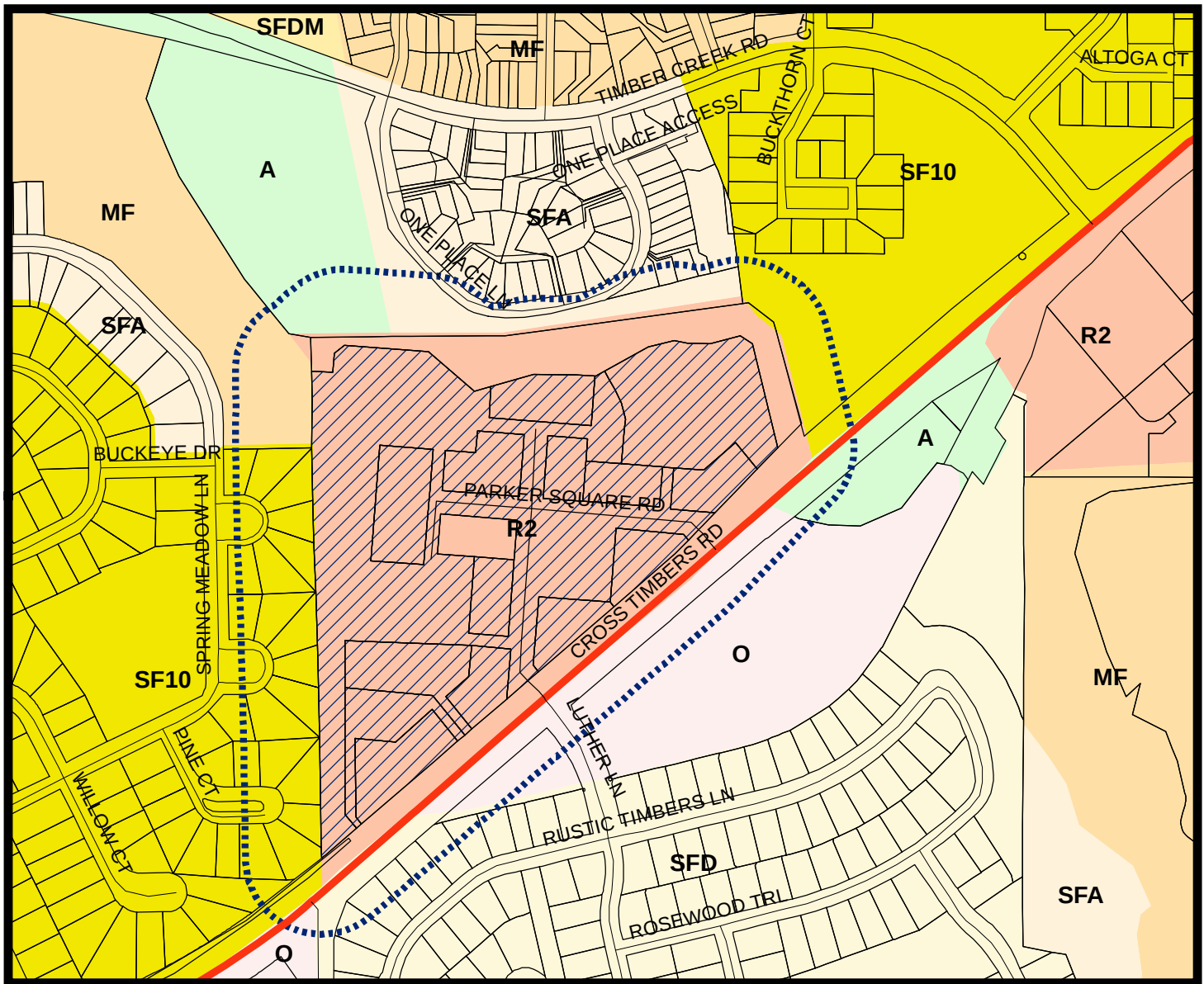
A. Background Information

1. Vicinity Map
2. Letter of Intent



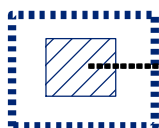
Vicinity Map

Reference Project: ZPD16-0010



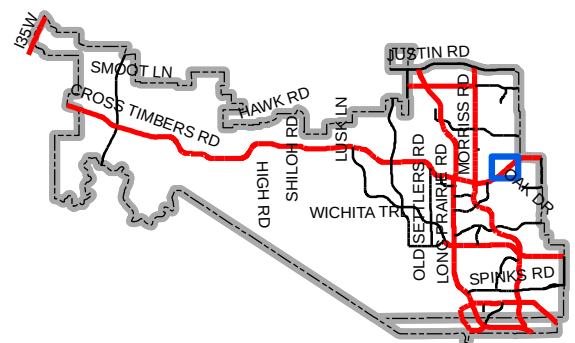
LEGEND

Agriculture	Retail 2	Single Family 10	Office	Multi-Family
Mixed Use	Single Family Attached	Single Family Density Medium	Single Family Density	

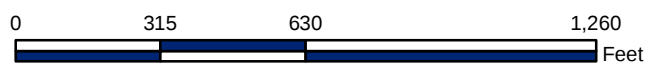


Subject Property

200 ft Notification Buffer around Property



Map Location



PARKER ASSETS I, LLC

2050 Hall Johnson Road, Suite 210
Grapevine, Texas 76051
Phone (817)442-5039

July 23, 2016

Town of Flower Mound
Planning Services
1001 Cross Timbers Road, Suite 2330
Flower Mound, TX 75028

RE: Farmers Market at Parker Square - Buildings 300, 400, 600, 800, and 900 Consent Letter

To Whom It May Concern:

Parker Assets I, LLC, property owner of buildings 300, 400, 600, 800, and 900 and of future building site 100 and eastern parking site at Parker Square in Flower Mound, Texas, is requesting an amendment to the existing planned development zoning to include the ability to host a temporary, weekly farmers market on the Parker Square property. The site is presently zoned PD24 and is approximately 3 acres in total. The market will not come in phases. An attached tentative site layout plan is included in this letter of intent.

A third-party will be responsible for the management of the event; however, the property owner, Parker Assets I, LLC, has done and will continue to do due diligence in seeking support and consensus with tenants operating on the property and acknowledges to subscribe to the ordinances and regulations of the Town of Flower Mound in its operation.

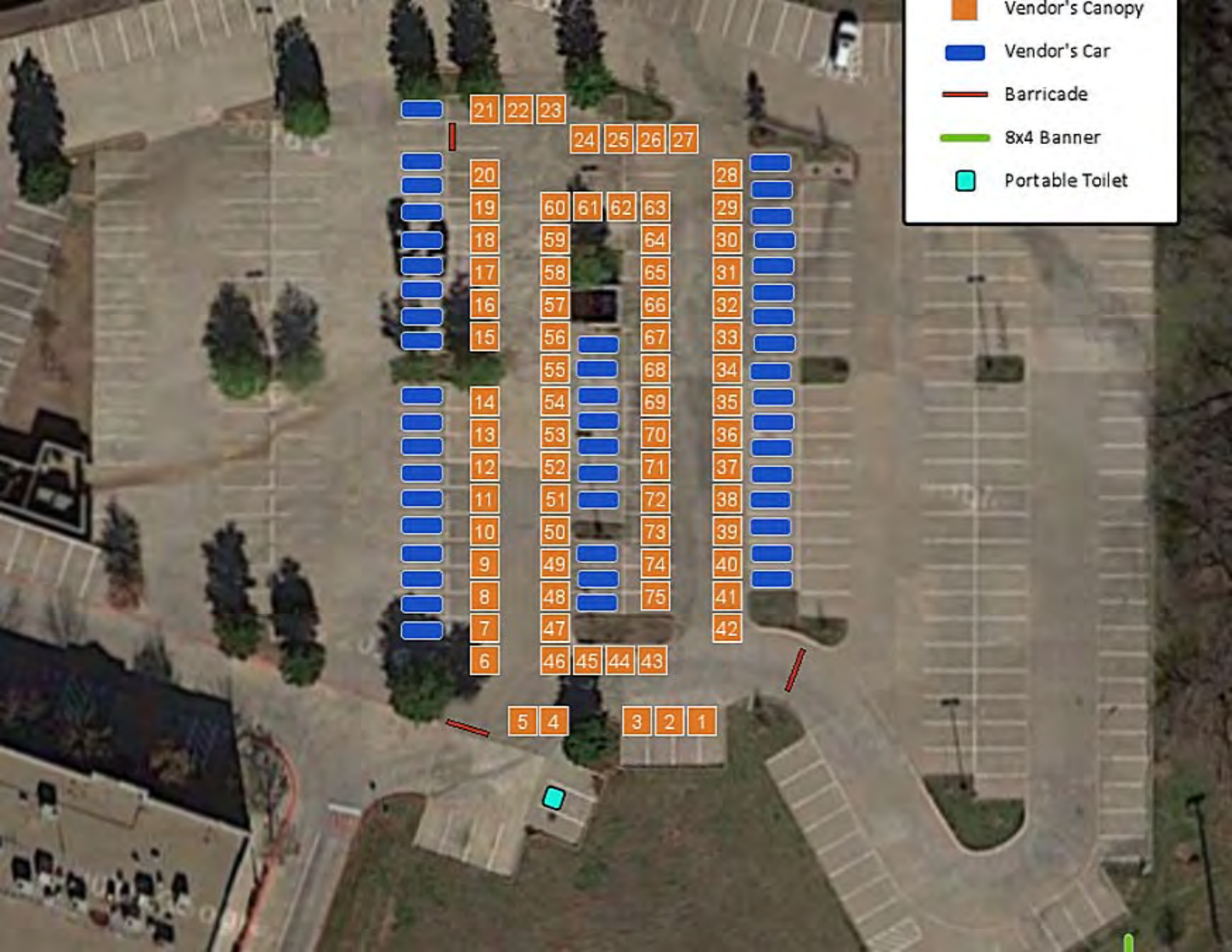
Parker Assets I, LLC
2050 Hall Johnson Road, Suite 210
Grapevine, TX 76051



By: Curtis H. Shore, Manager/Partner

07/23/2016

Date



-  Vendor's Canopy
-  Vendor's Car
-  Barricade
-  8x4 Banner
-  Portable Toilet



5 4 3 2 1



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 4

DATE: August 8, 2016

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for a Master Plan Amendment (MPA16-0004 – Bradford Park) to amend Section 1.0, Land Use Plan, and Section 3.0, Specific Plans, to change the land use designation from Low Density Residential and Village Retail to Medium Density Residential, High Density Residential, and Village Retail within Specific Plan Area 5 (SPA 5), and to amend certain development controls outlined within SPA 5 that apply to the subject property. The property is generally located south and west of the intersection of Waketon Road and Rippy Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and found to be in conformance with all applicable Town regulations. Specifically, this application has been reviewed under the SMARTGrowth program and has met all applicable criteria.

The project has a companion Zoning Planned Development application (ZPD16-0006) for consideration on the same agenda.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to amend Specific Plan Area 5 (SPA 5) of the Town's Master Plan to permit the applicant to proceed with the companion zoning application to develop a medium density and high density, single-family residential subdivision on the site. The current SPA 5 land use designation for the site is Low Density Residential. The subject property contains approximately 49.6 acres and is partially developed with single family dwellings and various accessory structures.

The Town's Master Plan establishes and defines the land use categories for the site as follows:

Low Density Residential-Residential development, typically being single family detached residential development with minimum 15,000 square foot lots or greater.

Medium Density Residential-Residential development, typically being single family detached residential development with minimum 10,000 square foot lots or greater.

High Density Residential-Residential development with five dwelling units per net acre or greater. Single family detached residential development with 5,000 to 8,000 square foot lots falls with this category, as do zero lot line houses, duplexes, townhouses, and

garden apartments.

Village Retail-Village Retail is a commercial development similar in design intent as neighborhood retail but with a more active and larger scale emphasis. The retail level of service is designed to attract a broader demographic and larger amount of population than just the local neighborhood customers. Land uses include retail, office, and professional office and will be organized around an open space amenity. The architecture will be uniform in style and should have double-sided access if appropriate. Building height may be more than one story.

The property is located along the frontages of Waketon Road (northernmost west-to-east and north-to-south alignments to Rippy Road, respectively) and the west line of Rippy Road. Surrounding land use designations (in a clockwise direction) include Village Retail uses to the north [PD-95 for Commercial District-2 (C-2) uses] and to the east [PD-89 for Retail-2 (R-2) uses] above Waketon Road's existing west-to-east alignment to its intersection with Long Prairie Road/FM 2499. Transitioning south of this section of Waketon Road and continuing east of the site is undeveloped property designated for Low Density Residential uses. A recent Master Plan Amendment (from Low Density Residential uses, Professional Office uses, and Neighborhood Retail uses to Medium Density and High Density Residential uses) provides for a mixture of medium density and high density residential uses being developed on property to the southeast (PD-137, Highland Court). Low Density Residential uses developed with single family detached dwellings (SF-15) abut the site's southern property line and wrap the site's western boundary to within approximately 1,100 feet of the south line of Waketon Road. The remaining adjacency is developed with Estate Residential uses and single family detached dwellings (SF-E).

The applicant has proposed the medium density component of the request to facilitate a transition from the adjacent residential to the high density component on the balance of the site. For illustrative purposes, the medium density land area within the development [see attachment B(1)] encompasses approximately 14.5 acres, which includes various open space areas. Within these areas, care has been given to establish physical boundaries that provide for the greatest opportunity to retain existing specimen trees while providing for a design that will lessen the impact of the proposed density at the site's western and southern perimeter. In summary, while the medium density allows for four dwelling units per acre, the actual density equates to approximately 1.93 dwelling units per acre. Furthermore, much of the site's open space is situated so as to provide for view corridors through the property as viewed from the site's perimeter, thereby creating a more relaxed built environment.

The development controls and associated exhibit for SPA 5 can be found in Attachment A(3). The specific elements of SPA 5 that are relevant to this site are listed below:

- Realignment of Waketon Road with large radius curves for vehicular safety in two locations as Waketon Road transitions from a north-south alignment to an east-west alignment to FM 2499. The intersection of Waketon Road and FM 2499 should be signalized at the time that it meets Manual on Uniform Traffic Control Devices (MUTCD) warrants, as should other major intersections of public streets.
- Low density residential is recommended along the west side of Rippy Road to

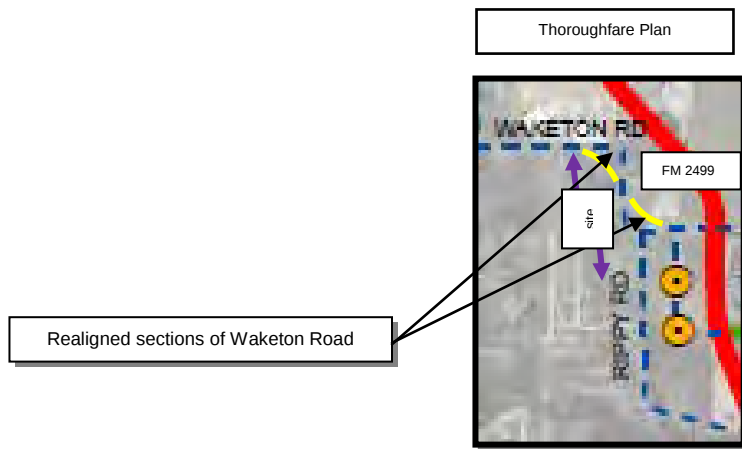
the limits of Specific Plan Area 5.

- Within the SPA 5 exhibit, notation is made in the northeast quadrant for the, 'Preservation of existing trees'.

It should be noted that the SPA 5 exhibit (as are the other respective SPA Exhibits) is conceptual in nature and provides general direction and addresses sensitivities. Specifically,

1. The images of buildings, parking, circulation, and open space are a conceptual diagram only. They are intended to provide an understanding of building relationships to each other and to the street, parking relationships, circulation points of entry and exit, and the role of public open space.
2. These drawings are not intended to be taken as a literal design, just a diagram to illustrate the design intent.

As noted in the companion application, ZPD16-0006, the Waketon Road and Rippy Road realignment is being accounted for in the applicant's design for the proposed residential subdivision (realignment shown for illustrative purposes only). The realignment will require the removal of existing trees to provide for adequate sight lines. Waketon Road and Rippy Road are designated as Urban Collectors, requiring a 60-foot right-of-way. The applicant will be dedicating (during future consideration of a record plat application) required additional right-of-way along each respective frontage.



It should be noted that the respective parcels required for the realignment will require a land use designation that mirrors where each 'lands' after the realignment is completed; see table, below.

LAND PARCEL LOCATION	LAND AREA (APPROXIMATE)	EXISTING LAND USE	REQUESTED LAND USE
WAKETON AT WAKETON, NEC OF SITE	1.53 ACRES	LOW DENSITY	VILLAGE RETAIL
WAKETON AT RIPPY	1.38 ACRES	VILLAGE RETAIL	HIGH DENSITY

III. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all Master Plan amendment requests. At the time this report was written, staff had received two phone calls regarding the project and three letters in support and four letters in opposition of the project.

IV. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. SPA 5

B. Application Details

1. Master Plan Exhibit

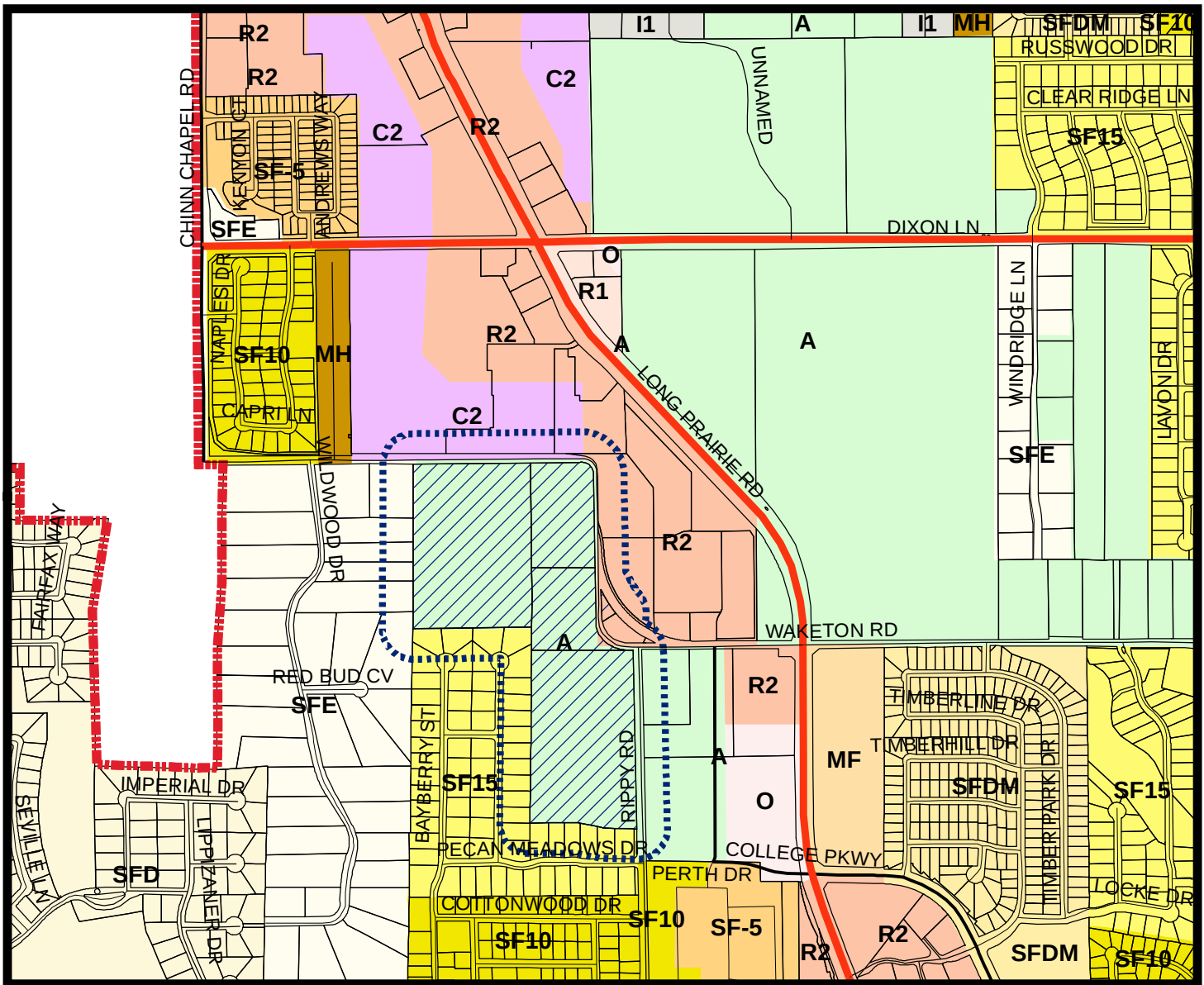
C. Correspondence

1. Correspondence in Support
2. Correspondence in Opposition

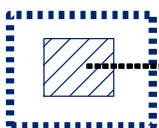
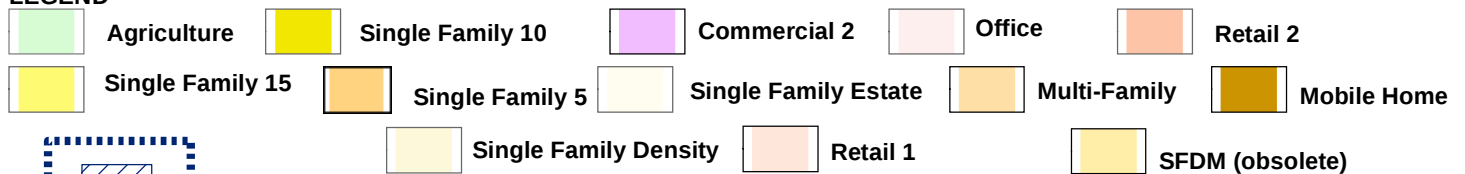


Vicinity Map

Reference Project: MPA16-0004 & ZPD16-0006

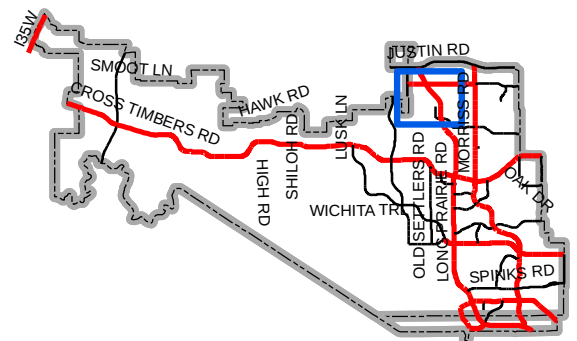


LEGEND

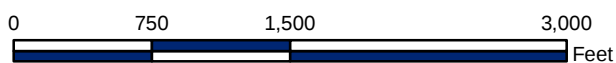


Subject Property

200 ft Notification Buffer around Property



Map Location



Attachment A(2): Letter of Intent



July 18, 2016

Mr. Doug Powell
Executive Director of Planning Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75022

Dear Mr. Powell,

Applications have been submitted on behalf of my client, CalAtlantic Homes, for the proposed residential subdivision, Bradford Park. The applications include MPA 16-0004 and ZPD 16-0006. The subject property is approximately 50.5 acres and is generally located west of Rippy Road and south of Waketon Road.

The proposed Bradford Park residential development is bordered on the south and west by existing low density and estate density residential subdivisions. The proposed development is bordered on the north by a two lane urban collector, Waketon Road, and a major retail shopping center. The property is heavily treed, including 85 specimen trees and this creates unique value to both the community and the proposed development.

Flower Mound has consistently planned for single family residential development on the property. Gross density planned for the property has varied from 3.3 to 2 units per acre.

Request and Development Design Details

The request is to amend the Town's Master Plan from low density residential to medium density residential for the portion of the property that directly adjoins the existing subdivisions of Pecan Meadows and Wildwood Estates. The request for the majority of the remaining property is to amend the master plan to allow for high density, single family, detached residential. There is approximately 1 acre of property that after the future realignment of Waketon Road will be north of Waketon Road. The request for this 1 acre is to amend the master plan so that it is reclassified as SPA 5 (Commercial).

Bradford Park's design utilizes a clustering technique to provide orderly transitions from the existing residential and major retail developments and provide superior tree preservation. The

design includes over 12 acres of open space, specifically located to maximize tree preservation of the most significant specimen trees and is less impactful to the existing subdivisions than a design that would meet the requirements of low density residential.

To transition from the existing residences and preserve existing trees, open space buffers of 5.5 acres and lots that comply with Flower Mound's current medium density residential designation are proposed. To transition from the major retail and the urban collector and preserve protected and specimen trees, smaller lots and 6.7 acres of open space is proposed (total open space is 12.2 acres or almost 25% of the site). Gross density for the proposed subdivision is approximately 3.2 units per acre and equivalent to the average yield from Flower Mound's medium density residential designation.

Tree Preservation

As previously mentioned, portions of the property are heavily treed. There are approximately 85 specimen trees and hundreds more protected trees on the property. The proposed design of Bradford Park was developed to maximize the number of existing trees, especially specimen trees, preserved. This plan enables the preservation of 56 of those specimen trees. A previously prepared low density plan only preserved approximately 20.

Master Plan History

Significant changes to the Flower Mound's Master Plan have occurred on adjacent properties. In the 2001 Master Plan, the adjacent property to the north (current site of the major retail shopping center, Robertson Creek) was designated as neighborhood retail and low density residential. This was intended to provide a transition zone from the major retail located at FM2499 and FM407. The transition zone was eliminated in 2005 when the Master Plan was changed to allow Robertson Creek to be developed.

The 2006 Master Plan Update Committee recognized the land use for the remaining property in the area had been impacted and a Master Plan amendment would be required. Various proposals for increased density and retail were reviewed at the time. After lengthy discussion, the Committee, the Planning and Zoning Commission and the Town Council decided that the master plan amendments for the subject property were best made by evaluating specific applications made on behalf of the land owners.

The concerns raised in 2006 are still relevant today. CalAtlantic carefully planned Bradford Park to address those concerns to the greatest extent possible. The resulting design provides superior land use transitions and tree preservation.

Please let me know if there are additional questions I can answer.

Sincerely,

Kendra Stephenson

Kendra Stephenson,
Principal, Portmanteau Consulting

3.0 SPECIFIC PLANS

Specific Plan Area #5

Specific Plan Area #5 is bounded on its southern limit by Timber Creek and extends north to the intersection of FM 2499 and Dixon Road. Rippy Road, Waketon Road and Chinn Chapel Road form the western boundary of the plan area. The eastern element of the plan is a strip approximately five-hundred feet in depth that extends from Timber Creek to the south connecting to Dixon Road to the north.

The general land use concept for Specific Plan Area #5 is one that mixes low-density residential with neighborhood retail, village retail, and professional office. The locations for commercial were established from an analysis of the proposed transportation system and existing development patterns.

Within Specific Plan Area #5, College Parkway, Waketon Road and Dixon Road intersect with FM 2499. Possible development around these key intersections should serve to accommodate the Town's need for an expanded retail base.

In each of the neighborhood retail development areas emphasis is placed on orientation of buildings, creating public open space, landscape buffers and limited access to aid transportation and traffic flows.

On the west side of FM 2499 beyond the neighborhood retail and village retail land uses are segments of residential low density land use that extend to the limit of the plan area. Points of pedestrian access interconnect the neighborhood retail and residential developments.

A unique design element is the use of landscape screens that vary from 30' to 50' in width along both sides of FM 2499. Along the western and northern boundary abutting the roadways is the Town's pedestrian trail system extending through the plan area and linking with the trail system beyond.

Elements included in Specific Plan #5 are as follows:

- a. Neighborhood and village retail and/or professional office land uses are identified along the corridor with major retail at and about the southwest corner of Dixon Road and Long Prairie Road (FM 2499) (the "Robertson's Creek development"). The key concerns for planning these developments are as follows:
 - Development organized around public open space amenity.
 - Amenity can be a public square or other form.
 - Surface parking to be divided into units of 100 cars or less, and landscaped in accordance with the Town's Land Development Regulations, except for the Robertson's Creek development.
 - Only single double-sided bay of parking along FM 2499 frontage.
 - Limit curb cuts from major roads by coordinating curb cuts between adjoining properties.
 - Double-sided access to retail that faces public open space amenity element.
 - Uniform architectural design within contiguous areas.
- b. Realignment of Waketon Road with large radius curves for vehicular safety in two locations was Waketon Road transitions from a north-south alignment to an east-west alignment west of FM 2499. The intersection of Waketon and FM 2499 should be signalized at the time that it meets UMTCD warrants, as should other major intersections of public streets.
- c. Low density residential is recommended along the east side of Rippy Road south of Waketon Road. The depth of this land use is recommended to be 550' from Rippy Road, measured from the ROW line at Rippy Road and parallel to the Rippy Road ROW line.

3.0 SPECIFIC PLANS

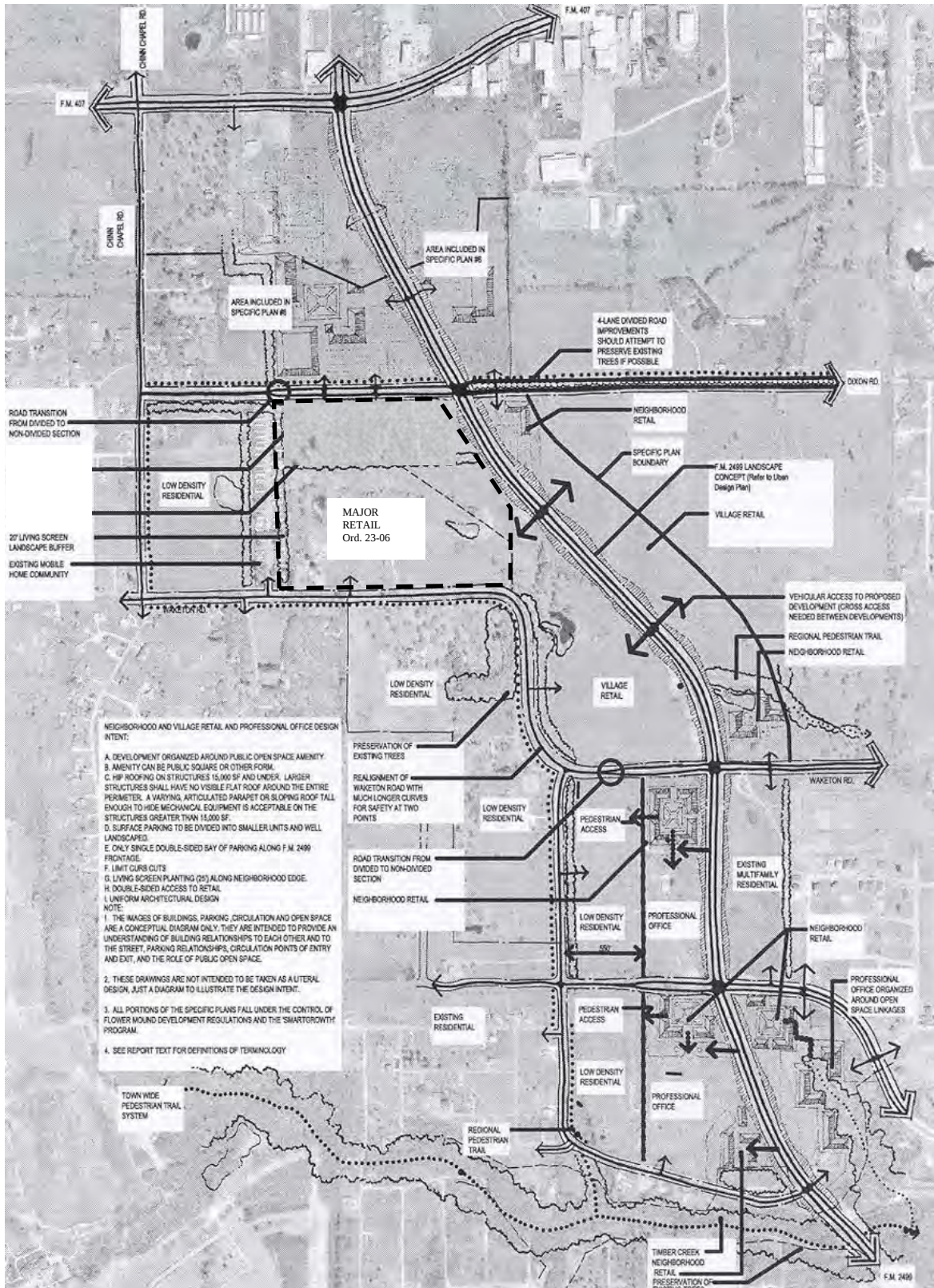
- d. Low density residential also is recommended along the west side of Rippy Road to the limits of Specific Plan Area #5.
- e. Village retail is recommended along FM 2499, as indicated on the plan, to increase economic development opportunities and commercial land uses along FM 2499.
- f. Neighborhood retail is recommended along Dixon Road in the northern limits of this Specific Plan. The vehicular access to this retail should be coordinated with the access for the Major Retail north of Dixon Road in Specific Plan Area #6.
- g. FM 2499 should have a landscape treatment of long sweeping curves of plantings that vary between 20' and 35' from the maximum ROW line.
- h. Pedestrian linkages should be provided between neighborhood retail/professional office land uses and the adjacent residential uses. These pedestrian linkages are to be integrated into all site planning for development proposals in the identified areas.
- i. Dixon Road, Waketon Road and College Road respectively, west of FM 2499 as indicated on the plan, are proposed to transition from a divided road section to an undivided section with a more rural character. This character should include no median and consideration of a swale drainage system instead of concrete curb and gutter.
- j. The existing trees along Dixon Road are to be integrated and preserved as Dixon Road is improved and/or widened, as much as is fiscally possible. If preservation of the trees is to occur, additional ROW will need to be acquired for roadway improvements.
- k. A Town-wide pedestrian trail system has been adopted as part of the Town's Parks and Trails Master Plan. Its location in this Specific Plan is indicated by the dots linking neighborhoods together. The system should follow creek alignments and existing tree stands as much as possible.
- l. A 30' wide living screen landscape buffer is recommended between commercial developments adjacent to all residential land uses. These buffers would also be required to include masonry walls between dissimilar land uses, as required by the Town's Land Development Regulations.
- m. Limited curb cuts will be allowed along FM 2499. Access drives should be coordinated so that they allow cross-vehicular movement for more than one property.
- n. Buildings should incorporate human-scale proportions at entries and front facades through the use of arcades, porte-cocheres, and other shade producing elements.
- o. Roofs of commercial buildings 15,000 SF and under are to be hip, gable or a combination of the two. The Town Council may approve, upon recommendation from the Planning and Zoning Commission, a waiver request to this requirement for buildings within this SPA 5 provided that: (1) any such building(s) being considered for a waiver shall be part of a large-scale multi-building development of 25 acres or larger; and, (2) possessing a meritorious Unified Design Theme. Structures larger than 15,000 SF should have no visible area of flat roof from any adjacent properties. A mansard parapet structure, in a combination of vertical and sloping sections, will be required along 100% of the roof perimeter.

3.0 SPECIFIC PLANS

- p. The black arrows connecting roadways with development areas identify primary curb cuts for vehicular access. The location of property access will be dependent on adjacent property circulation, final site plan design and projected traffic data as defined by a transportation planner.
- q. No development shall occur in the Timber Creek 100-year floodplain.

3.0 SPECIFIC PLANS

Specific Plan Area #5



Proposed Use
Land Use Plan
Specific Plans
Urban Design Plan
Parks & Trails
Thoroughfare Plan

Water Plan
Wastewater Plan
Economic Impact

Master Plan Features
PD for Medium & High Density Single Family Residential
Long Prairie District
SPA 5
Long Prairie District
There is a trail along the north line of Waketon & east line of Rippy.
Waketon Rd. - Urban Collector 60' R.O.W.
Rippy Rd. - Urban Collector 60' R.O.W.
16" line on east side of Waketon Rd.
12" line along Waketon R.O.W.
N/A

Owner:
William E. Bradford
5301 Rippy Rd.
Flower Mound, TX 75028
972-539-8685
Contact: Bill Bradford

Owner:
Rick & Lisa Cain
5410 Waketon Rd
Flower Mound, TX 75028
214-212-4187
Contact: Rick Cain

Owner:
Donald Parks
3433 Waketon Rd.
Flower Mound, TX 75028
214-763-0903
Contact: Don Parks

Owner:
Hawks Ramsey, LLC
2648 F.M. 407 East, Suite 200
Argyle, TX 76226-7010
214-674-4013
Contact: Todd Weaver

Engineer / Surveyor:
J. Volk Consulting
830 Central Parkway East, Suite 300
Plano, TX 75074
972-201-3100
Contact: Jay Volk

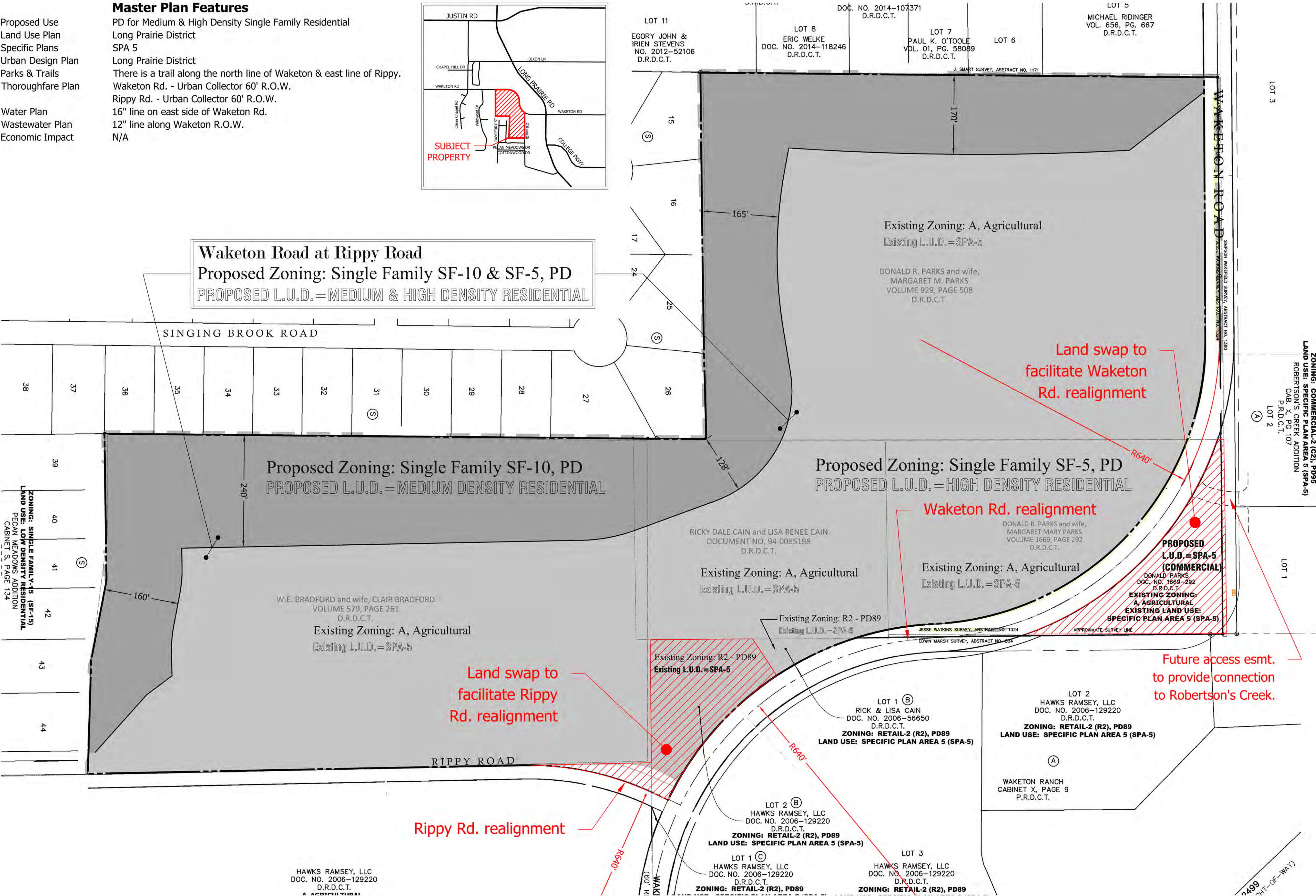
Applicant:



CalAtlantic Homes of Texas, Inc.
2600 Network Blvd., Suite 600
Frisco, TX 75034
469-731-3126



SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL. 817-424-2626



49.60 Acres - 156 Residential Lots, 9 Open Space X Lots (12.13 ac.)

Master Plan Exhibit

Bradford Park

From: Brice Perkins
Sent: Monday, August 01, 2016 3:07 PM
To: Town Council
Cc: Richard Brown
Subject: Braford Park Development

Mayor, Council and Planning and Zoning Members,

I'm am in support of the proposed Bradford Park development. This development has been designed to preserve the existing beauty of the property including the topography, protected and specimen trees and the privacy enjoyed by the existing neighbors to the greatest extent possible.

Saving existing trees is important to Flower Mound residents and this proposal does a superior job of that over 65% of the 85 specimen trees will be preserved. This is not common in a development of this size.

Lastly, this development address the issues related to the changes that allowed Robertson Creek to be built instead of single family residential. These issues have been recognized by council and other boards and committees since 2006. Essentially making Bradford Park a transitional area.

I urge you to vote in favor of the proposed Bradford Park development.

Thank you in advance!

Brice Perkins

1414 Stapleton Ln
Flower Mound TX 75028

From: Russell Webb
Sent: Monday, August 01, 2016 5:28 PM
To: Richard Brown
Subject: I am FOR Bradford Park Residential Waketon
Importance: High

Please vote FOR the Bradford Park residential subdivision off Waketon. I feel like we need single families in that area to go along with the retail growth.

Thank you,

Russell B. Webb
4112 Marbella Drive
Flower Mound, TX 75022

From: George Beach
Sent: Wednesday, August 03, 2016 12:20 PM
To: Richard Brown; Town Council
Cc: Linda Beach
Subject: Zoning for Bradford Parks Subdivision

My wife and I live at 4717 Youpon in the Pecan Meadows subdivision and we support the creation of the Bradford Parks Subdivision. Please approve the zoning request.

George & Linda Beach

-----Original Message-----

From: Norma Kline]

Sent: Thursday, July 28, 2016 3:14 PM

To: Richard Brown

Subject: CalAtlantic Site Plan Waketon and Rippy Road

Richard,

I wanted to express my opinion regarding the site plan that comes before the P & Z committee slated near or around August 8th and the Town Council on or around August 15th.

I do think that CalAtlantic did a very nice job respecting the concerns for the low density homes home sites along the neighboring Pecan Meadows homes both on Pecan Meadows Drive, Singing Brook Drive and Bayberry. They also did a very agreeable green scape entering the property. The transition to medium density and keeping the older oaks and solid wood trees and root systems is appreciated.

While we can all learn to live with the traffic, I must express my greatest concerns:

Those are:

High density plan along Rippy Road and drainage. If the builder would place at least half of the high density homes to medium density homes along Rippy Road we have more of a continuation of medium to low density homes along this corridor. I could live with that. This allows any development on the east side of Rippy Road to better conform to a transition of property size for future builds. It also transitions well aesthetically.

I live at 5104 Singing Brook and have had the city out twice in 18 years to review the dog leg corner of my property where we are not allowed to build anything because of right of way and drainage. This is something that was in place when we purchased the home. The city engineers brought out satellite photos to show me there wasn't an issue, but they came when we had had very little rain. There is an issue because of the build up of dirt from flowing waters and because the flow is not correct, the water sits in my yard for weeks following the final rains. A previous neighbor north of me blocked his drainage right of way with bricks and soil which has made an issue for those people down hill from him. The water doesn't dissipate correctly as designed. I don't know what is built east of me or what blocks any of the fencing. I was told that I would have to pay to have this corrected, as would all of the neighbors north of me.

Next, it looks like the overflow movement of the changed pond on the site will now flow into Pecan Meadows. Please let me know if I am wrong.

Our drainage on the streets has handled the excess drainage okay now in high rains, but am very concerned that they will now flood our streets from any drainage flowing south from the north on Singing Brook. Will all water flow be directed toward Waketon Road north of Pecan Meadows. Moving on how will the drainage pipe size being proposed help make sure that rain water flows openly and freely so that my back yard and those along Pecan Meadows drive aren't dealing with flooded back yards worse than they already are because it drains so slowly.

I do plan to be at the P & Z Meeting. Please make sure that all committee members are aware of both the likes and dislikes of the plan prior to the August 8th meeting. Please let the builder know of my concerns as well so that they can be shared with all involved.

Norma Kline
5104 Singing Brook Road
Flower Mound, Texas 75028

Patricia O'Toole
5560 Wildwood dr.
Flower Mound, TX 75028

June 20, 2016

RE: Rezoning Waketon and Rippy Road

Dear Zoning Board Commissioners,

I would like to comment on the Zoning of the property on Waketon Road and Rippy. My family moved to Flower Mound in 1994. We picked Flower Mound for the unique country atmosphere. We could have moved to an area in Flower Mound where the houses were close together, but we wanted to spread out and have land to breath, grow plants and enjoy. We like the fact that Flower Mound protects trees and has a master plan in place to keep from over building. Now our neighbors who borders us wants to rezone to high and medium density lots. They will move and we will live with the results.

- One of my concerns is drainage. I am afraid all the water which will not be able to drain in the ground, due to all the cement will end up in my back yard.
- Another concern is the traffic that 156 houses would bring to the neighborhood. Even if the S curve on Waketon was fixed there would be too many cars for the 2 lane country road which runs into Double Oak.
- There are old beautiful trees on the property that must be kept alive. Trees help keep our air fresh and helps alleviate the traffic noise.

Please help us keep the integrity of our country living, save our trees, wildlife and peace and keep the agricultural or very low density zoning. We want to keep Flower Mound an unique living area, not like overly populated areas like Frisco and Plano.

- ◆ Please vote no on the high and medium density lots on Waketon and Rippy Road.

Thank you for your time and keeping our town unique.

Patrica O'Toole



From: Judy Cortinas
Sent: Wednesday, August 03, 2016 8:40 PM
To: Richard Brown; planning; Town Council
Subject: Bradford

Richard,

We are writing to request that the requested Master Plan amendment on the Bradford Park development be denied.

We feel there should not be any high density residential lots/homes in the project that backs up to existing Low Density and Estate residential neighborhoods.

We are looking for the protection of the Master Plan that recommends the Land be used for Low Density single family housing. When we moved into Pecan Meadows 17 years ago, we counted on the surrounding properties to reflect the continuity of our neighborhood. Pecan Meadows are all approximately 1/2 acre lots.

This is the same battle we fought with Highland Court. However, Highland Court did convert retail/commercial land into residential on FM2499. There was a little more reasoning to the need to build high density. The Bradford project is off of Waketon and behind Robertson Creek Shopping Center. There is no benefit to creating high density there. The small entry to the shopping center is very quiet, and poses nothing detrimental to homes being built. Once Waketon is improved that would pose nothing harmful for a neighborhood either.

We have no problem with the land use being Medium Density Residential single family homes. We were presented with a wonderful plan by David Weekly but evidently, due to the sales price of the land, that became obsolete. We do welcome a neighborhood there, just not a congested high density one as is proposed.

While I understand a landowner wanting to get the best price for his land, one must also consider the reasoning of it. The high density homes that will be built under this plan will start around \$550,000. That serves none of the needs of Flower Mound for reasonable affordable housing for young families or seniors.

You must also consider the effect it will have on the value of our homes. The homeowners surrounding the project, just like the land owners of Bradford Park, would like to get a fair value for our home, too. I know that a Pecan Meadows homeowner was able to get their Tax Value adjusted down \$50,000 this year, using the upcoming high density housing near us as the reason. So, for the benefit of a few land owners, it will not benefit the existing homeowners in Pecan Meadows adjacent/back up to the project.

Please deny the requested Master Plan change.

Thank you.

Rudy and Judy Cortinas
3301 Pecan Meadows Dr
Flower Mound

From: sjms4877 .
Sent: Thursday, August 04, 2016 1:37 PM
To: Richard Brown
Subject: Cal Atlantic Homes - Rippy Road Constrution

Dear Mr. Brown:

My name is John Irish, and I live at 3405 Pecan Meadows, Flower Mound TX 75028. I have lived in Flower Mound for over three years and plan to live in Flower Mound for many years to come.

I chose to live in Flower Mound, and specifically **Pecan Acres Addition/Pecan Meadows** because:

1. **Serenity:** The area is quiet with low density housing.
2. **Low Traffic:** Since the area consists of low density housing, the traffic is manageable.
3. **Lots of old trees:** There are a lot of trees that are decades old.
4. **Country feel:** There is a country side feel to this neighborhood.

I recently learned of a potential rezoning effort proposed by Cal Atlantic Homes, for the property located between Rippy Road and Waketon Rd. The rezoning would include a Master Plan amendment transitioning the land use from Neighborhood Low Density Residential, to High Density Residential.

I am **strongly opposed** to rezoning that would allow for High Density Residential land use. My main reasons for the opposition are:

1. **Increased Traffic:** A high density residential will increase the traffic on the existing roads by a large factor.
2. **Current Zoning:** One of the top reasons I moved to this area.
3. **Decreased Property value:** Our property value may decrease by rezoning the low density zone as a high density zone as no one would prefer to have a high density zone, right beside their neighborhood.
4. **Decreased Safety:** Our neighborhood may be less safer due to the rezoning, because, occupants of high density residential have very little stake and responsibility for their dwelling when compared to single family home dwellers, thereby, they might not care for the neighborhood they live in, as much as single family home owners do.
5. **Loss of trees:** Trees that have been growing for decades would be lost. We (the town) have already lost a huge number of trees due to the Riverwalk project and the Lakeside project. We need to preserve as many trees as we can.
6. **Other High Density areas:** There are already high density residential projects (in the form of Riverwalk and Lakeside) going on. The town doesn't need more high density residential projects.
7. **Additional Traffic Lights:** One or more traffic lights at Rippy Rd and College Parkway may need to be added onto FM 2499 in the future, creating even more stop-and-go traffic between 407 and 3040.
8. **Schools will be impacted.**

9. **There already is a shortage of single family homes.**

I am very concerned with how a High Density Residential development would affect not just my neighborhood, but the Town of Flower Mound. I kindly ask for your support in opposition to rezoning & any Master Plan amendments that would include High Density Residential development. Please uphold the current zoning which is low density residential. Thank you for your time.

Best regards,
John Irish



PLANNING AND ZONING COMMISSION AGENDA ITEM NO: 5

DATE: August 8, 2016

FROM: Richard Brown, Senior Planner

ITEM: Public Hearing to consider a request for rezoning (ZPD16-0006 – Bradford Park) from Agricultural District (A) and Planned Development District No. 89 (PD-89) with Retail District-2 (R-2) uses to Planned Development District No. 148 (PD-148) with Single-Family District-10 (SF-10) and Single-Family District-5 (SF-5) uses with certain exceptions and modifications to the Code of Ordinances. The property is generally located south and west of the intersection of Rippy Road and Waketon Road.

I. ITEM SUMMARY

This application has been reviewed by DRC and found to be in conformance with all applicable Town regulations. Specifically, this application has been reviewed under the SMARTGrowth program and has met all applicable criteria.

The project has a companion application, Master Plan Amendment MPA16-0004, for consideration on the same agenda. Approval of this rezoning request is contingent upon approval of the Master Plan Amendment.

This application will require final action by the Town Council.

II. APPLICATION ANALYSIS

The purpose of this request is to rezone approximately 49.6 acres of land in order to develop residential lots in conformance with the proposed Master Plan designations of Medium Density (western and southern property boundary) and High Density (balance of the property to the Rippy Road and Waketon Road frontages, respectively).

The existing Agricultural zoning requires residential lots containing a minimum two acres in size, while the property zoned as Planned Development District No. 89 (PD-89) with Retail District-2 (R-2) uses is undeveloped. It should be noted this small parcel (approximately 1.38 acres) currently within PD-89 is part of the land area assembled with this request so as to facilitate a section of the proposed realignment of Waketon Road as recommended in SPA 5 (see Waketon Road/Rippy Road Realignment, below). The entire 49.6 acres is largely undeveloped with the exception of scattered single family and accessory structures, all of which will be removed to provide for the applicant's development vision.

The property is located along the frontages of Waketon Road (northernmost west-to-east and north-to-south alignments to Rippy Road, respectively) and the west line of Rippy Road. The development will provide for three points of ingress/egress (two along

Waketon Road and one along Rippy Road).

The accompanying conceptual site plan [Attachment B(1)] provides for a two-phase residential development consisting of single-family, detached dwellings and approximately 12.13 acres of open space and common areas (24.46% of the site). The applicant is proposing a maximum of 156 single-family dwellings; 128 single-family dwellings each constructed on a minimum 6,000-square-foot lot and 28 single-family dwellings each constructed on a minimum 10,125-square-foot lot. A table showing the details for each type of lot is provided further in this material.

On December 16, 2013, the Town Council approved a Land Development Regulations amendment (LDR13-0004) to modify the development standards related to Planned Development (PD) Districts. This amendment allows flexibility and creativity to encourage a more creative, efficient, and aesthetically desirable design of developments within the Town. Provided in the table below are the requested modifications to the SF-10 and SF-5 zoning districts that will be incorporated into the proposed PD standards [see Attachment B(2)].

III. Requested Modifications

As a part of the proposed PD standards, the applicant is requesting the following modifications to the minimum and maximum dimensional regulations of the SF-10 and SF-5 zoning districts, respectively:

Single-Family District-10 (28 lots)

1. Increase the minimum lot area from 10,000 square feet to 10,125 square feet;
2. Increase the lot width at the front building line from 70 feet to 75 feet;
3. Increase the minimum floor area per dwelling unit from 1,800 square feet to 2,400 square feet;
4. Reduce the front yard setback from 25 feet to 20 feet;
5. Reduce the side yard setback from 10 feet to 7.5 feet;
6. Increase lot coverage from 40 percent to 55 percent; and,
7. Reduce number of stories and structure height from 3/35 feet to 2/35 feet.

Single-Family District-5 (128 lots)

1. Increase the minimum lot area from 5,000 square feet to 6,000 square feet;
2. Increase the minimum floor area per dwelling unit from 1,500 square feet to 2,000 square feet; and,
3. Reduce number of stories and structure height from 3/35 feet to 2/35 feet.

TOWN STANDARD	REQUIRED SF-5	PROPOSED SF-5 (PD-148)	REQUIRED SF-10	PROPOSED SF-10 (PD-148)
MINIMUM LOT AREA	5,000 SF	6,000 SF	10,000 SF	10,125 SF
MINIMUM LOT WIDTH	50 FEET	50 FEET	70 FEET	75 FEET
MINIMUM FLOOR AREA/DWELLING UNIT	1,500 SF	2,000 SF	1,800 SF	2,400 SF
MINIMUM FRONT YARD	20 FEET	20 FEET	25 FEET	20 FEET
MINIMUM SIDE YARD	5 FEET	5 FEET	10 FEET	7.5 FEET
MINIMUM REAR YARD	20 FEET	20 FEET	25 FEET	25 FEET
MAXIMUM LOT COVERAGE	55 PERCENT	55 PERCENT	40 PERCENT	55 PERCENT
MAXIMUM STORIES/ STRUCTURE HEIGHT	3 STORIES/35 FEET	2 STORIES/35 FEET	3 STORIES/35 FEET	2 STORIES/35 FEET
MISCELLANEOUS • PORCHES MAY ENCROACH INTO THE REQUIRED FRONT YARD A MAXIMUM OF EIGHT FEET • FENCES MAY NOT EXTEND INTO THE FRONT YARD BEYOND THE FRONT FAÇADE • ALTERNATE FENCING DESIGN FOR CERTAIN LOCATIONS OF OPEN SPACE (SEE NARRATIVE, BELOW)				

Lastly, the applicant is requesting a modification to screening requirements for open space for some of the lots that abut a particular open space area within the subdivision [see Attachment B(1), Conceptual Landscape Plan]. Town regulations require fences constructed adjacent and parallel to dedicated park, trail, or open space areas consist of wrought-iron or tubular steel. Such fences shall be a minimum of four feet in height and shall be of consistent color throughout a development. Vertical or horizontal spacing of members of wrought-iron or tubular steel fencing shall not allow passage of a four-inch sphere.

Generally, open space areas tend to be irregularly shaped parcels with varying depth so as to allow separation of improvements, provide for the retention of certain environmental assets, and create unimproved buffers when located at a site's perimeter.

The applicant has requested this modification be considered for two different applications within the subdivision:

1. With respect to the two strips of open space each located along the two ingress/egress points on Waketon Road, six-foot-tall solid screening is being proposed. Due to the narrowness of each respective section (approximately ten feet and 14 feet along the northern and eastern ingress/egress drives, respectively) as well as these respective areas abutting main access ways within the subdivision, staff is supportive of this modification.
2. Four areas are being proposed to utilize a design incorporating a two-foot-tall masonry base with a four-foot-tall wrought iron or decorative fence section affixed to the masonry base. This design will serve a dual purpose in that it provides for a sense of security for the respective homeowner while maintaining the openness to open space areas as required by Town regulations.

A. Exception to Access Management Policy and Criteria

The Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances require a minimum centerline radius of 275 feet for the Local Residential Urban designation (that which is required by this development). The applicant is requesting this exception in two locations so as to save 12 specimen trees, totaling 346 caliper inches. The Town's Engineering staff has worked with the applicant to address this exception and has no objections for the specific street sections as provided on the conceptual site plan [See attachment B(1)].

On August 2, 2016, the Environmental Conservation Commission (ECC) reviewed a tree removal permit request for 26 specimen trees. The ECC recommended approval for the removal of the requested specimen trees, which will be forwarded to the Town Council for consideration at the same time as the subject Zoning Planned Development amendment and companion Master Plan Amendment (MPA16-0004). The following link will provide additional detail related to the ECC public meeting:

<http://flowermoundtx.swagit.com/play/08022016-1127>

On August 3, 2016, the Parks, Arts and Library Services (PALS) Board voted to recommend acceptance of cash in lieu of land of \$660,441.60 in the place of otherwise required Park Land dedication and Park Development Fees in the amount of \$216,528, with the stipulation that they will include benches and meet with Town staff to discuss gazebos or any other amenities that may contribute to more of a park setting. After the Board action, the applicant provided the framework for these recommended improvements, which are found in Attachment B(2).

This recommendation will be forwarded to the Town Council for consideration at the same time as the subject Zoning Planned Development amendment and companion Master Plan Amendment (MPA16-0004). The following link will provide additional detail related to the PALS Board public meeting:

<http://flowermoundtx.swagit.com/play/08032016-838/#7>

Specific Plan Area 5 (SPA 5) identifies one of its elements as being the 'realignment of

Waketon Road with large radius curves for vehicular safety in two locations as Waketon Road transitions from a north-south alignment to an east-west alignment west of FM 2499. The intersection of Waketon and FM 2499 should be signalized at the time that it meets UMTCD warrants, as should other major intersections of public streets.'

The two above referenced locations are situated at the northeast corner of the site and approximately midpoint where the existing north/south alignment of Waketon Road turns eastward towards Long Prairie Road, at a point where Rippy Road terminates into this roadway. In order to provide for the required land area to facilitate the above referenced realignment, both the applicant and adjacent property owner have agreed to enter into a 'land swap'. On a parallel track and as part of this process, the existing ingress/egress point into Robertson's Creek will be maintained (by recorded access easement) at the time these parties provide for the referenced land transaction.

IV. CORRESPONDENCE

The Town Code requires both public notice in a newspaper of general circulation (Denton Record Chronicle) and notification of the property owners within 200 feet of the subject property for all zoning change requests. At the time this report was written, staff had received two phone calls regarding the project and three letters in support and four letters in opposition of the project.

V. ATTACHMENTS

A. Background Information

1. Vicinity Map
2. Letter of Intent
3. Executive TIA Summary

B. Application Details

1. Planned Development Zoning Package
2. Draft Planned Development (PD) Standards

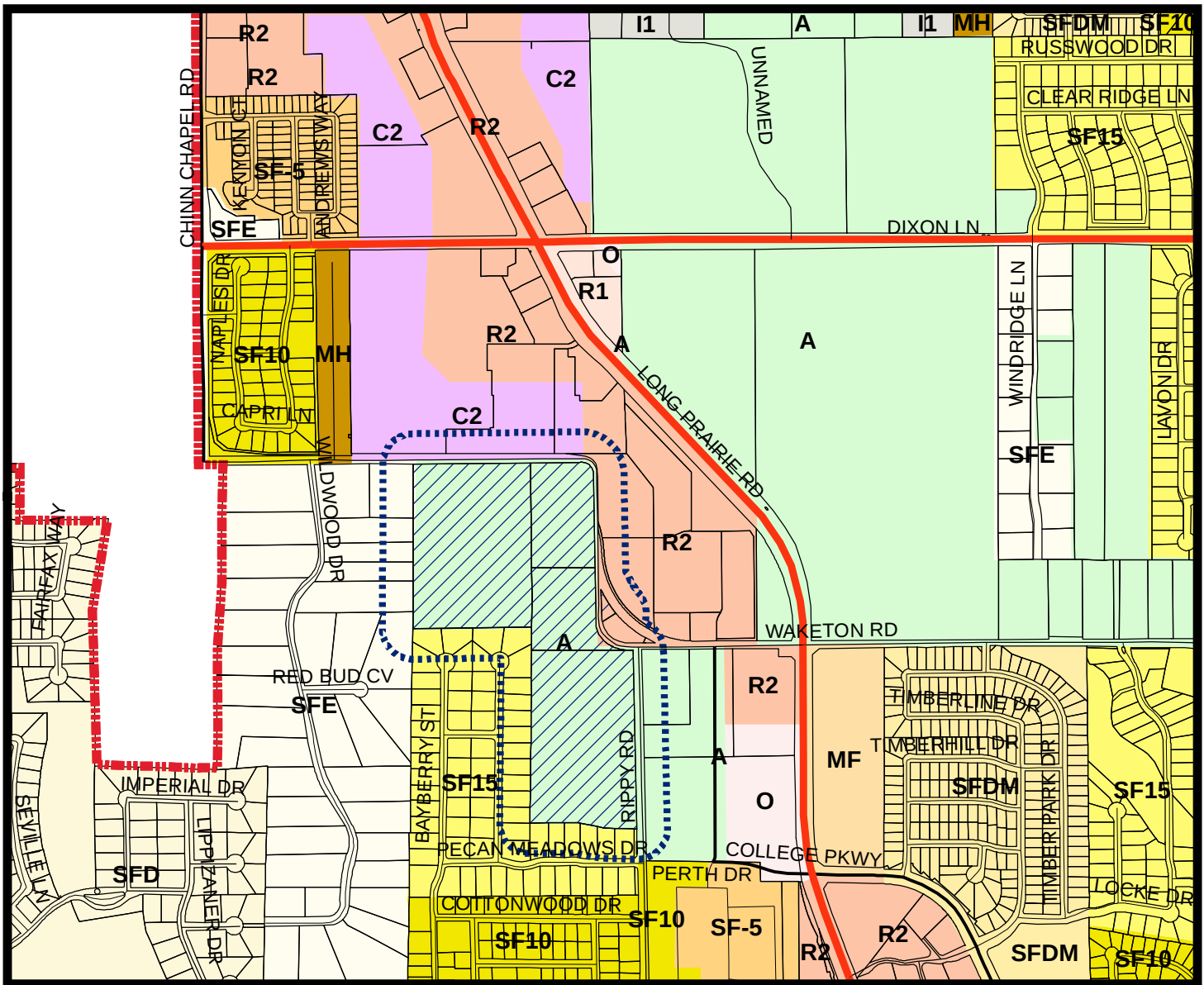
C. Correspondence

1. Correspondence in Support
2. Correspondence in Opposition

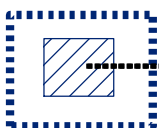
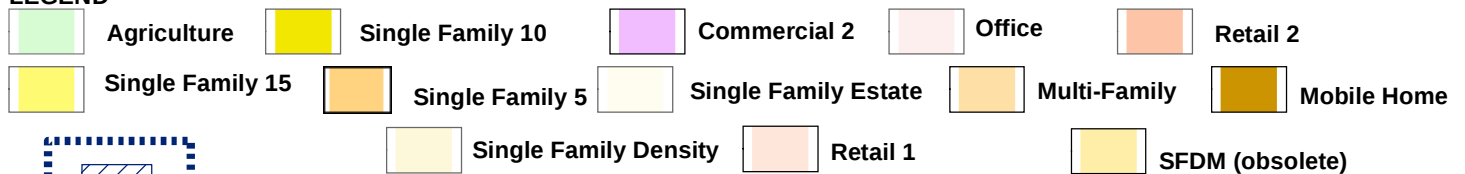


Vicinity Map

Reference Project: MPA16-0004 & ZPD16-0006

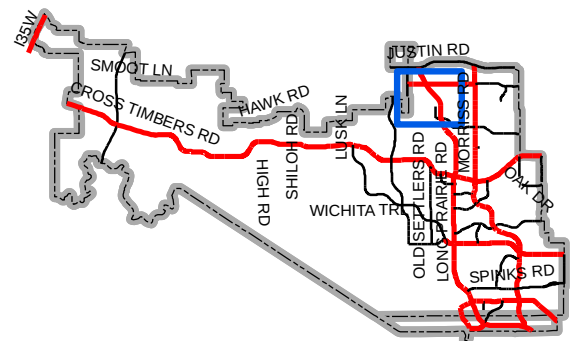


LEGEND

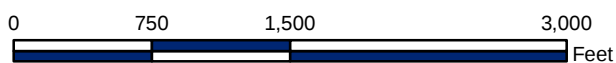


Subject Property

200 ft Notification Buffer around Property



Map Location



Attachment A(2): Letter of Intent



July 18, 2016

Mr. Doug Powell
Executive Director of Planning Services
Town of Flower Mound
2121 Cross Timbers Road
Flower Mound, TX 75022

Dear Mr. Powell,

Applications have been submitted on behalf of my client, CalAtlantic Homes, for the proposed residential subdivision, Bradford Park. The applications include MPA 16-0004 and ZPD 16-0006. The subject property is approximately 50.5 acres and is generally located west of Rippy Road and south of Waketon Road.

The proposed Bradford Park residential development is bordered on the south and west by existing low density and estate density residential subdivisions. The proposed development is bordered on the north by a two lane urban collector, Waketon Road, and a major retail shopping center. The property is heavily treed, including 85 specimen trees and this creates unique value to both the community and the proposed development.

Flower Mound has consistently planned for single family residential development on the property. Gross density planned for the property has varied from 3.3 to 2 units per acre.

Request and Development Design Details

The request is to amend the Town's Master Plan from low density residential to medium density residential for the portion of the property that directly adjoins the existing subdivisions of Pecan Meadows and Wildwood Estates. The request for the majority of the remaining property is to amend the master plan to allow for high density, single family, detached residential. There is approximately 1 acre of property that after the future realignment of Waketon Road will be north of Waketon Road. The request for this 1 acre is to amend the master plan so that it is reclassified as SPA 5 (Commercial).

Bradford Park's design utilizes a clustering technique to provide orderly transitions from the existing residential and major retail developments and provide superior tree preservation. The

design includes over 12 acres of open space, specifically located to maximize tree preservation of the most significant specimen trees and is less impactful to the existing subdivisions than a design that would meet the requirements of low density residential.

To transition from the existing residences and preserve existing trees, open space buffers of 5.5 acres and lots that comply with Flower Mound's current medium density residential designation are proposed. To transition from the major retail and the urban collector and preserve protected and specimen trees, smaller lots and 6.7 acres of open space is proposed (total open space is 12.2 acres or almost 25% of the site). Gross density for the proposed subdivision is approximately 3.2 units per acre and equivalent to the average yield from Flower Mound's medium density residential designation.

Tree Preservation

As previously mentioned, portions of the property are heavily treed. There are approximately 85 specimen trees and hundreds more protected trees on the property. The proposed design of Bradford Park was developed to maximize the number of existing trees, especially specimen trees, preserved. This plan enables the preservation of 56 of those specimen trees. A previously prepared low density plan only preserved approximately 20.

Master Plan History

Significant changes to the Flower Mound's Master Plan have occurred on adjacent properties. In the 2001 Master Plan, the adjacent property to the north (current site of the major retail shopping center, Robertson Creek) was designated as neighborhood retail and low density residential. This was intended to provide a transition zone from the major retail located at FM2499 and FM407. The transition zone was eliminated in 2005 when the Master Plan was changed to allow Robertson Creek to be developed.

The 2006 Master Plan Update Committee recognized the land use for the remaining property in the area had been impacted and a Master Plan amendment would be required. Various proposals for increased density and retail were reviewed at the time. After lengthy discussion, the Committee, the Planning and Zoning Commission and the Town Council decided that the master plan amendments for the subject property were best made by evaluating specific applications made on behalf of the land owners.

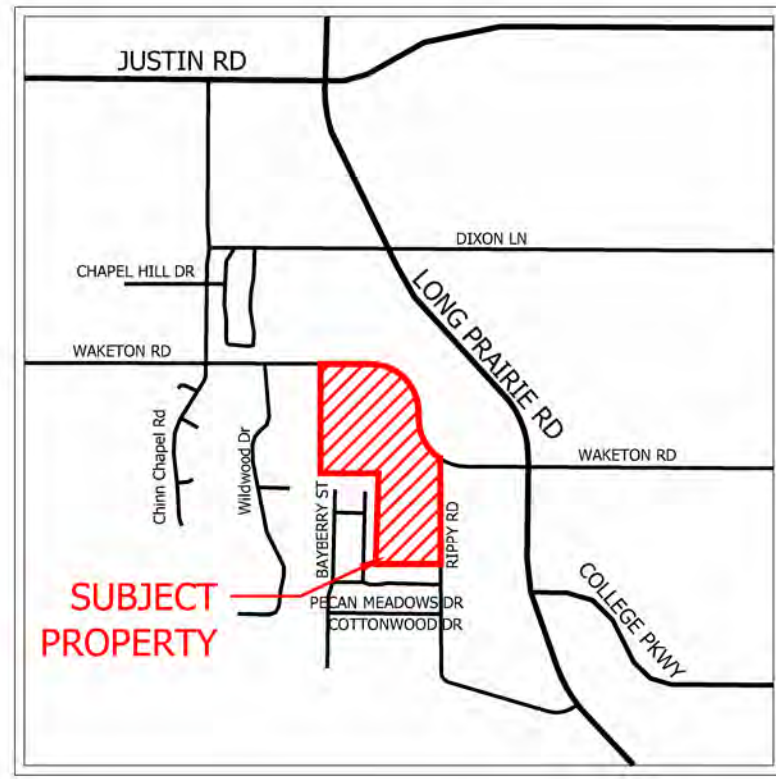
The concerns raised in 2006 are still relevant today. CalAtlantic carefully planned Bradford Park to address those concerns to the greatest extent possible. The resulting design provides superior land use transitions and tree preservation.

Please let me know if there are additional questions I can answer.

Sincerely,

Kendra Stephenson

Kendra Stephenson,
Principal, Portmanteau Consulting



Proposed Use
Land Use Plan
Specific Plans
Urban Design Plan
Parks & Trails
Thoroughfare Plan

Water Plan
Wastewater Plan
Economic Impact

Lot Type	SF-5 50'x120' (min size)	SF-10 75'x135' (min size)
Garage	Front loaded; 20' min. setback	Front loaded; 20' min. setback
Front Setback	20' min.	20' min.
Side Setback	5' min.	7.5' min.
Rear Setback	20' min.	25' min.
Porch	May encroach on front setback line 8'	May encroach on front setback line 8'
Corner Lots	Setbacks match front yard setback for key lots. 15' min. for non- key lots.	Setbacks match front yard setback for key lots. 15' min. for non- key lots.
Fences (front yard)	No privacy fence closer to setback line than the front wall of the home. 2,000 s.f	No privacy fence closer to setback line than the front wall of the home. 2,400 s.f
Min. Dwelling Unit Size	55%	55%
Max. Lot Coverage	2 stories or 35'	2 stories or 35'
Max. Building Height		

Engineer / Surveyor:

J. Volk Consulting
830 Central Parkway East, Suite 300
Plano, TX 75074
972-201-3100
Contact: Jay Volk

Applicant:



CalAtlantic Homes of Texas, Inc.
2600 Network Blvd., Suite 600
Frisco, TX 75034
469-731-3126

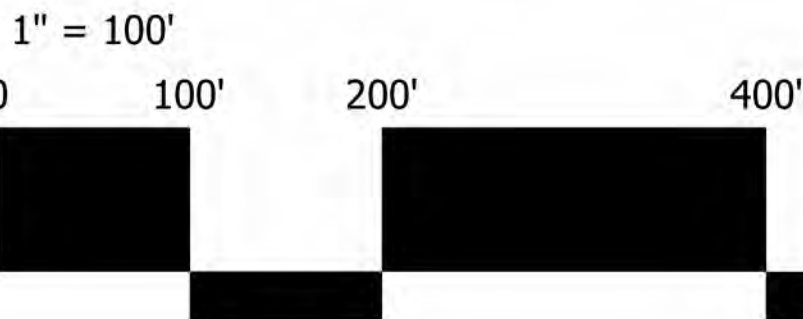
Planner:



SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture

1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL. 817-424-2626

3 AUG 16



Master Plan Features

PD for Medium & High Density Single Family Residential
Long Prairie District
SPA 5
Long Prairie District
There is a trail along the north line of Waketon & east line of Rippy.
Waketon Rd. - Urban Collector 60' R.O.W.
Rippy Rd. - Urban Collector 60' R.O.W.
16" line on east side of Waketon Rd.
12" line along Waketon R.O.W.
N/A

Detention:

Two detention ponds are located on Block A, Lot 32. The southernmost pond will be expanded/retained & the other pond will be new. The existing pond that is located on Block A, Lots 34 & 35 will be removed. See Drainage Plan.

Existing Use:

Residential and open space.

Phasing:

The project will be built in two phases. See division line below.

Notes:

-Median X Lots will be maintained by the H.O.A.
-Some internal centerline street radii (as noted on plan) are less than the normal minimum dimension of 275', to enable the preservation of additional Specimen & Protected Trees.

Owner:

William E. Bradford
5301 Rippy Rd.
Flower Mound, TX 75028
972-539-8685
Contact: Bill Bradford

Owner:

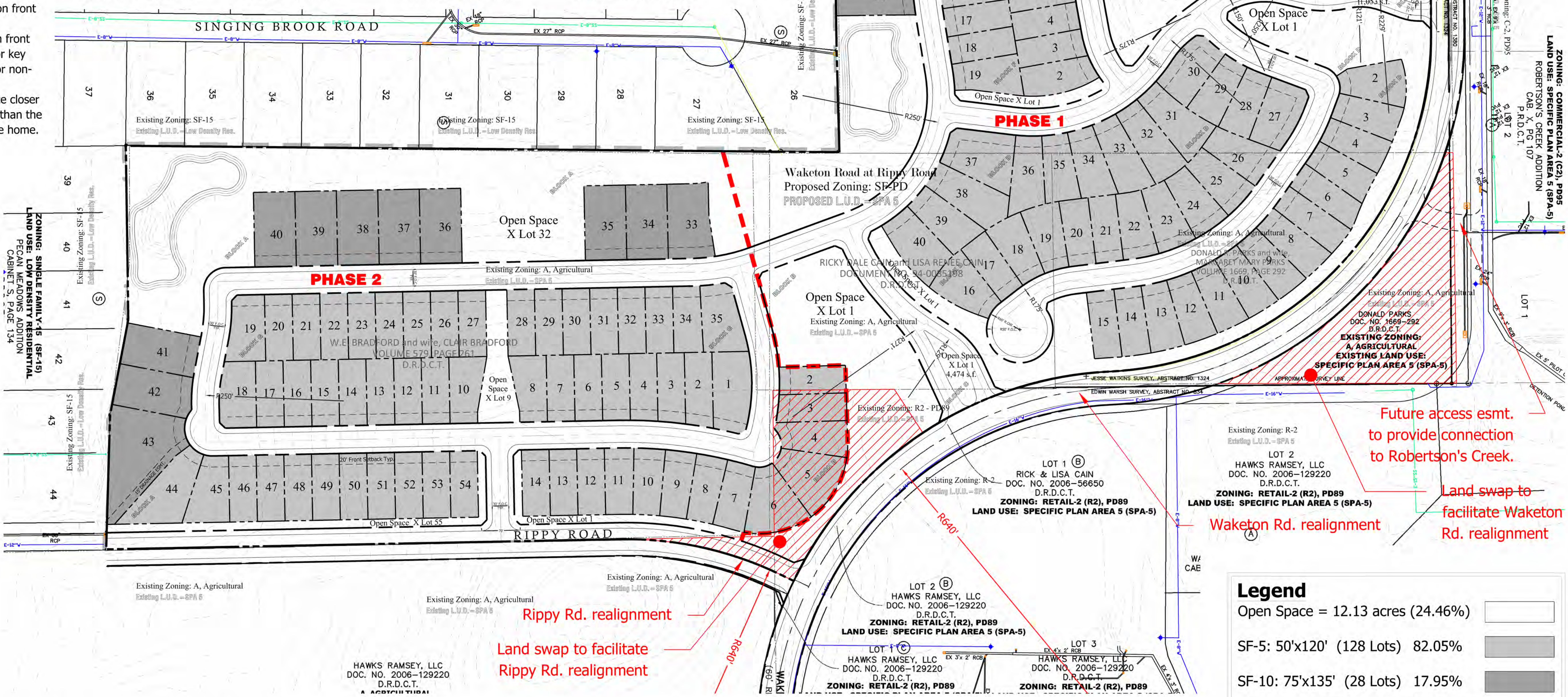
Rick & Lisa Cain
5410 Waketon Rd
Flower Mound, TX 75028
214-212-4187
Contact: Rick Cain

Owner:

Donald Parks
3433 Waketon Rd.
Flower Mound, TX 75028
214-763-0903
Contact: Don Parks

Owner:

Hawks Ramsey, LLC
2648 F.M. 407 East, Suite 200
Argyle, TX 76226-7010
214-674-4013
Contact: Todd Weaver



49.60 Acres - 156 Residential Lots, 9 Open Space X Lots (12.13 ac.)

Conceptual Site Plan

Bradford Park

Flower Mound, Denton County, Texas

Landscape Requirement Compliance Town of Flower Mound

STREET BUFFER LANDSCAPING		
	Required Buffer Width	Provided Width
Rippy Road	15'	15'
Waketon Road	15'	25' min.

STREET BUFFER TREES			
Standard	Street Frontage (linear feet)	Required	Provided
1 per 30 l.f.	Rippy Road = 1,205 l.f.	41 trees (3" cal.)	18 x 3 = 54 new ornamental trees instead of large trees due to overhead utilities.
1 per 30 l.f.	Waketon Road = 1,980 l.f.	66 trees (3" cal.)	34 new trees from the Flower Mound <i>Large Tree List</i> .
		107 trees required	
		-55 existing trees from the Flower Mound <i>Large Tree List</i> exist in the identified landscape buffer	
		52 trees required	

NOTE:
The credit received for existing trees within the landscape buffer is subject to change depending on the most recent revised tree survey.

Owner:
William E. Bradford
5301 Rippy Rd.
Flower Mound, TX 75028
972-539-8685
Contact: Bill Bradford

Owner:
Hawks Ramsey, LLC
2648 F.M. 407 East, Suite 200
Argyle, TX 76226-7010
214-674-4013
Contact: Todd Weaver

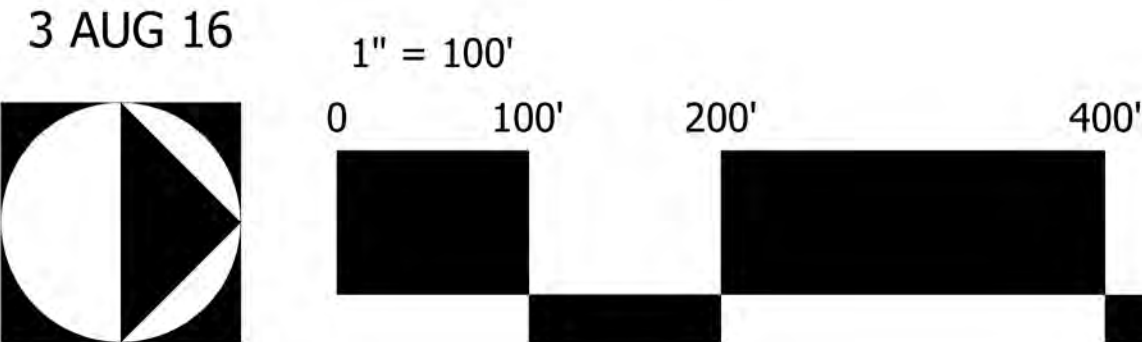
Engineer / Surveyor:
J. Volk Consulting
830 Central Parkway East, Suite 300
Plano, TX 75074
972-201-3100
Contact: Jay Volk

Applicant:



CalAtlantic Homes of Texas, Inc.
2600 Network Blvd., Suite 600
Frisco, TX 75034
469-731-3126

Planner:
SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL. 817-424-2626



Legend

6' Decorative Metal Fence

6' Masonry Wall

6' Masonry Wall or 6' Decorative Metal or Combination

Decorative Metal Fence with optional 2' Masonry Base. 6' Maximum Height.

Retain Existing Fence, or Replace or install 6' Wood Fence

6' Decorative Metal Fence

6' Masonry Wall

Decorative Metal Fence with optional 2' Masonry Base. 6' Maximum Height.

6' Wood Fence

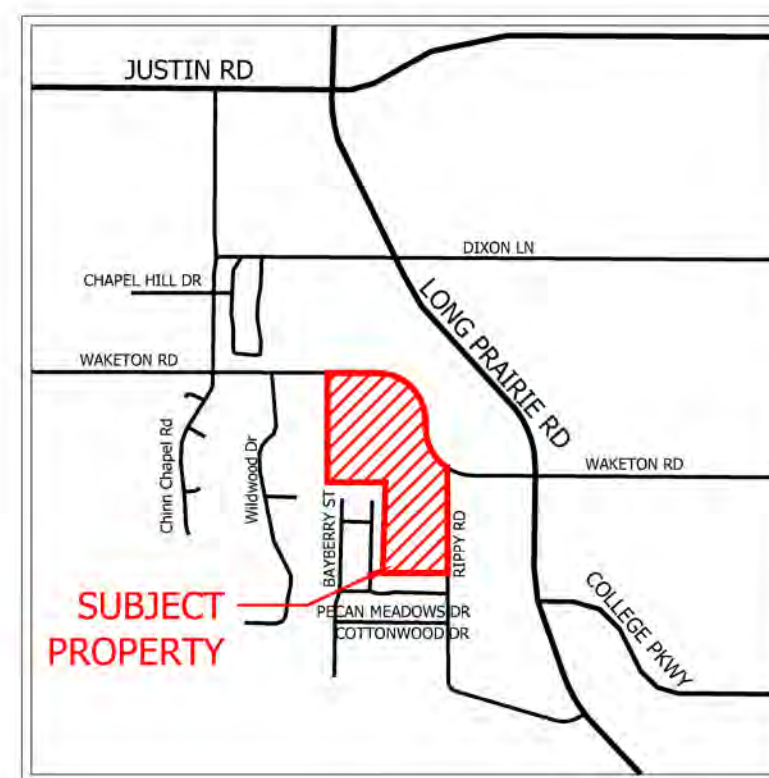


49.60 Acres - 156 Residential Lots, 9 Open Space X Lots (12.13 ac.)

Conceptual Landscape Plan

Bradford Park

Flower Mound, Denton County, Texas



Legend

Specimen Tree to Remain

Specimen Tree to be Removed

Engineer / Surveyor:

J. Volk Consulting
830 Central Parkway East, Suite 300
Plano, TX 75074
972-201-3100
Contact: Jay Volk

Applicant:



CalAtlantic Homes of Texas, Inc.
909 Lake Carolyn Parkway, Suite 1700
Irving, TX 75039
972-590-2400



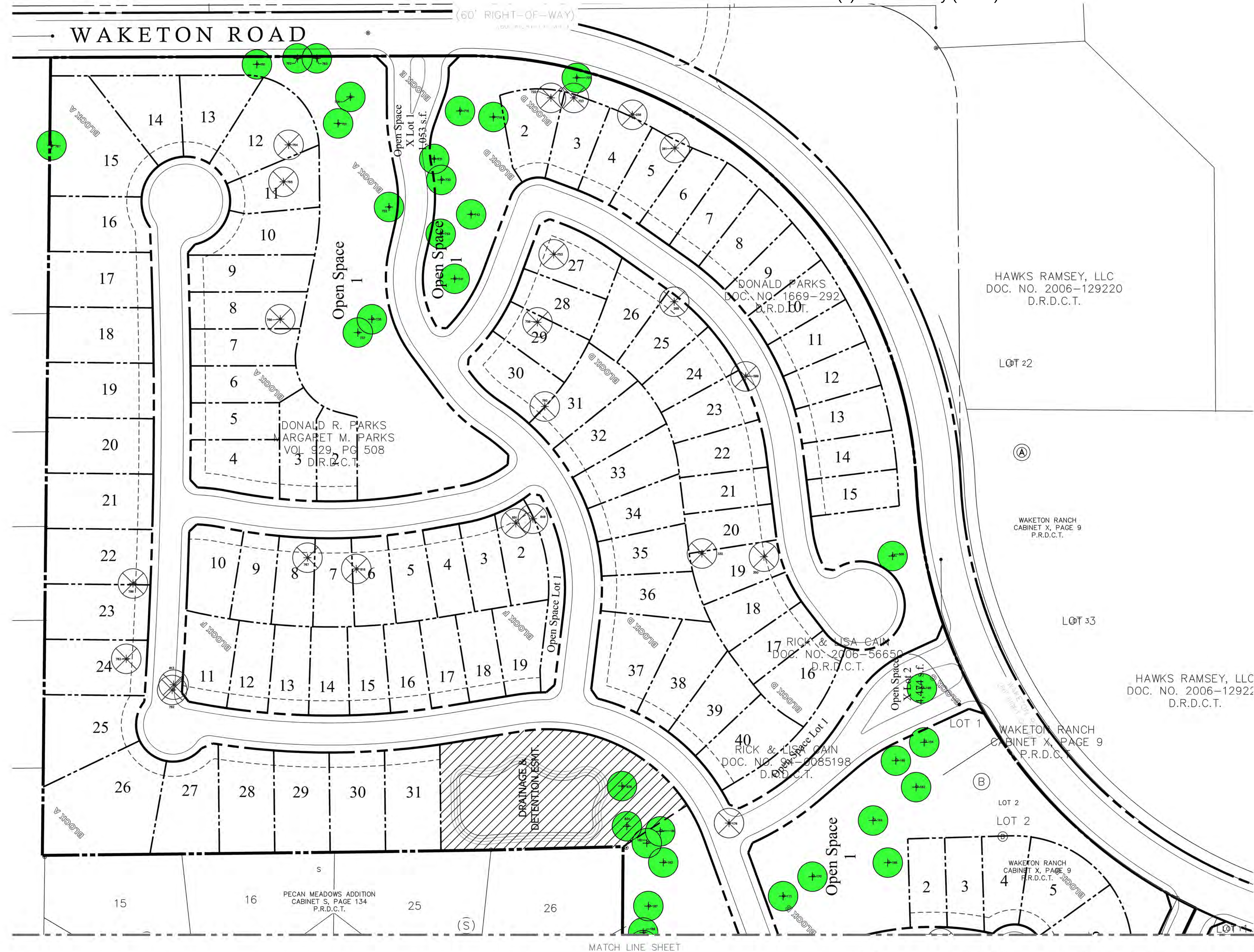
Planner:



SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL. 817-424-2626

28 JULY 16

1" = 60'
0 60' 120' 240'



MATCH LINE SHEET

Tree Survey - Preliminary Reference Plan (1 of 2) Bradford Park

Exhibit “B”

DEVELOPMENT STANDARDS

Planned Development District 148 (PD 148)

Bradford Park

The development on the property comprising approximately 49.6 acres of land within the corporate limits of the Town of Flower Mound (“Town”) and as described on Exhibit “A” to this Zoning Ordinance adopting PD-148 shall be in accordance with the Town of Flower Mound *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements:

A. PERMITTED USES

Development of Bradford Park, comprising approximately 49.6 acres shall comply with all regulations applicable to Single Family Residential District-10 (SF-10) and Single Family Residential District-5 (SF-5) contained in the Town’s Land Development Regulations, as amended, except as otherwise provided and/or limited herein.

The following uses shall be the only uses permitted in the Planned Development District.

1. Permitted Uses. The following uses shall be permitted in the Planned Development District, subject to compliance with all applicable conditions and provisions of the Town’s Land Development Regulations, as amended:
 - a. Dwelling, single-family detached;
 - b. Accessory use, general, subject to section 98-972;
 - c. Garage Sale, subject to section 98-982;
 - d. Home occupation, subject to section 98-984;
 - e. Model home; and
 - f. Swimming pool, private.
2. Specific Uses. No specific uses requiring the issuance of a specific use permit shall be permitted in PD-148.
3. Temporary Uses. Only the following temporary uses may be permitted in areas designated on Exhibit “C” as Single-Family Residential District-10 (SF-10) and Single-Family Residential District-5 (SF-5) uses subject to approval of a temporary use permit in accordance with the procedures and standards of section 78-87 of the Code, “Temporary Use Permits”:
 - a. Asphalt/concrete batch plant, temporary, subject to section 98-974.

ORDINANCE NO. _____

- b. Field office, temporary.

B. RESIDENTIAL DIMENSIONAL REGULATIONS

1. Single Family Residential District-10 (SF-10)

- a. Minimum lot area per dwelling. The minimum lot area shall be ten thousand one hundred twenty-five (10,125) square feet, subject to section 98-1023.
- b. Minimum lot width. The minimum lot width, measured at the permitted building line, shall be seventy-five feet (75').
- c. Minimum front yard.
 - i. The minimum front yard setback shall be twenty feet (20'), subject to section 98-1026.
 - ii. A front entry garage shall be set back twenty feet (20') from the front property line.
 - iii. Porches may encroach a maximum of eight feet (8') into the front yard.
 - iv. Fences may not extend into the front yard beyond the front façade of the residential dwelling.
- d. Minimum side yard. The minimum side yard shall be seven and one-half feet (7.5'), subject to section 98-1027.
- e. Minimum rear yard. The minimum rear yard shall be twenty-five feet (25'), subject to section 98-1027.
- f. Minimum floor area per unit. The minimum floor area per dwelling unit shall be 2,400 square feet.
- g. Maximum lot coverage. The maximum lot coverage shall be fifty-five percent (55%), subject to section 98-129.
- h. Maximum height. The maximum height of buildings and structures shall be two (2) stories or thirty-five feet (35'), subject to section 98-1031.

2. Single Family Residential District-5 (SF-5)

- a. Minimum lot area per dwelling. The minimum lot area shall be six thousand (6,000) square feet, subject to section 98-1023.
- b. Minimum lot width. The minimum lot width, measured at the permitted building line, shall be fifty feet (50'), subject to section 98-1024.

ORDINANCE NO. _____

- c. Minimum front yard.
 - i. The minimum front yard setback shall be twenty feet (20'), subject to section 98-1026.
 - ii. A front entry garage shall be set back twenty feet (20') from the front property line.
 - iii. Porches may encroach a maximum of eight feet (8') into the front yard.
 - iv. Fences may not extend into the front yard beyond the front façade of the residential dwelling.
- d. Minimum side yard. The minimum side yard shall be five feet (5'), subject to section 98-1027.
- e. Minimum rear yard. The minimum rear yard shall be twenty feet (20'), subject to section 98-1027.
- f. Minimum floor area per unit. The minimum floor area per dwelling unit shall be 2,000 square feet.
- g. Maximum lot coverage. The maximum lot coverage shall be fifty-five percent (55%), subject to section 98-129.
- h. Maximum height. The maximum height of buildings and structures shall be two (2) stories or thirty-five feet (35'), subject to section 98-1031.
- 3. THE DIMENSIONAL AND AREA REGULATIONS CONTAINED IN SUBPARAGRAPHS 1 AND 2 OF THIS PARAGRAPH B SHALL NOT APPLY TO COMMON AREAS OR LOTS OWNED BY THE HOMEOWNER'S ASSOCIATION FOR BRADFORD PARK ("HOA").

C. RESIDENTIAL LOT REQUIREMENTS

The following requirements shall apply to the residential lots within Bradford Park.

- 1. There shall be a maximum of 28 SF-10 residential lots and a maximum of 128 SF-5 residential lots.
- 2. SF-10 residential lots shall be located in the area abutting Pecan Acres and Pecan Meadows as designated on Exhibit C.
- 3. SF-5 residential lots shall be located as designated on Exhibit C.

ORDINANCE NO. _____

D. SUPPLEMENTAL STANDARDS

1. Required fencing where a residential lot abuts an open space area shall be installed in conformance with Exhibit D.
2. The minimum amount of open space for Bradford Park shall be twenty-four percent (24%) of the gross land area.
3. Improvements within open space areas should be provided with sensitivity to integrating in areas where specimen and protected trees exist. Examples of improvements generally can include such improvements as benches, seat walls, fountains, and shaded picnic areas. The development will include a minimum of 3 such areas that will be designated during consideration of the development plan.
4. All landscaping and open space shall be in conformance with Exhibit "D", the Conceptual Landscape Plan.
5. Protected trees in the landscape buffer and/or open space areas indicated on "Exhibit D" that are preserved will be considered trees required for buffering in accordance with 82-241 and 82-242.
6. The development of Bradford Park is subject to the Phasing Plan as shown on Exhibit "C".
7. The first phase of development shall include all of the improvements as depicted on Exhibit "C". Such improvements together with all other improvements necessary to serve the development shall be installed prior to the Town's acceptance of the subdivision.

E. WAIVERS

The following waiver shall be granted with the approval of the Planned Development District:

1. An exception to the Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances requiring a minimum centerline radius of 275 feet for the Local Residential Urban classification, in the locations as shown on "Exhibit C".

From: Brice Perkins
Sent: Monday, August 01, 2016 3:07 PM
To: Town Council
Cc: Richard Brown
Subject: Braford Park Development

Mayor, Council and Planning and Zoning Members,

I'm am in support of the proposed Bradford Park development. This development has been designed to preserve the existing beauty of the property including the topography, protected and specimen trees and the privacy enjoyed by the existing neighbors to the greatest extent possible.

Saving existing trees is important to Flower Mound residents and this proposal does a superior job of that over 65% of the 85 specimen trees will be preserved. This is not common in a development of this size.

Lastly, this development address the issues related to the changes that allowed Robertson Creek to be built instead of single family residential. These issues have been recognized by council and other boards and committees since 2006. Essentially making Bradford Park a transitional area.

I urge you to vote in favor of the proposed Bradford Park development.

Thank you in advance!

Brice Perkins

1414 Stapleton Ln
Flower Mound TX 75028

From: Russell Webb
Sent: Monday, August 01, 2016 5:28 PM
To: Richard Brown
Subject: I am FOR Bradford Park Residential Waketon
Importance: High

Please vote FOR the Bradford Park residential subdivision off Waketon. I feel like we need single families in that area to go along with the retail growth.

Thank you,

Russell B. Webb
4112 Marbella Drive
Flower Mound, TX 75022

From: George Beach
Sent: Wednesday, August 03, 2016 12:20 PM
To: Richard Brown; Town Council
Cc: Linda Beach
Subject: Zoning for Bradford Parks Subdivision

My wife and I live at 4717 Youpon in the Pecan Meadows subdivision and we support the creation of the Bradford Parks Subdivision. Please approve the zoning request.

George & Linda Beach

-----Original Message-----

From: Norma Kline]

Sent: Thursday, July 28, 2016 3:14 PM

To: Richard Brown

Subject: CalAtlantic Site Plan Waketon and Rippy Road

Richard,

I wanted to express my opinion regarding the site plan that comes before the P & Z committee slated near or around August 8th and the Town Council on or around August 15th.

I do think that CalAtlantic did a very nice job respecting the concerns for the low density homes home sites along the neighboring Pecan Meadows homes both on Pecan Meadows Drive, Singing Brook Drive and Bayberry. They also did a very agreeable green scape entering the property. The transition to medium density and keeping the older oaks and solid wood trees and root systems is appreciated.

While we can all learn to live with the traffic, I must express my greatest concerns:

Those are:

High density plan along Rippy Road and drainage. If the builder would place at least half of the high density homes to medium density homes along Rippy Road we have more of a continuation of medium to low density homes along this corridor. I could live with that. This allows any development on the east side of Rippy Road to better conform to a transition of property size for future builds. It also transitions well aesthetically.

I live at 5104 Singing Brook and have had the city out twice in 18 years to review the dog leg corner of my property where we are not allowed to build anything because of right of way and drainage. This is something that was in place when we purchased the home. The city engineers brought out satellite photos to show me there wasn't an issue, but they came when we had had very little rain. There is an issue because of the build up of dirt from flowing waters and because the flow is not correct, the water sits in my yard for weeks following the final rains. A previous neighbor north of me blocked his drainage right of way with bricks and soil which has made an issue for those people down hill from him. The water doesn't dissipate correctly as designed. I don't know what is built east of me or what blocks any of the fencing. I was told that I would have to pay to have this corrected, as would all of the neighbors north of me.

Next, it looks like the overflow movement of the changed pond on the site will now flow into Pecan Meadows. Please let me know if I am wrong.

Our drainage on the streets has handled the excess drainage okay now in high rains, but am very concerned that they will now flood our streets from any drainage flowing south from the north on Singing Brook. Will all water flow be directed toward Waketon Road north of Pecan Meadows. Moving on how will the drainage pipe size being proposed help make sure that rain water flows openly and freely so that my back yard and those along Pecan Meadows drive aren't dealing with flooded back yards worse than they already are because it drains so slowly.

I do plan to be at the P & Z Meeting. Please make sure that all committee members are aware of both the likes and dislikes of the plan prior to the August 8th meeting. Please let the builder know of my concerns as well so that they can be shared with all involved.

Norma Kline
5104 Singing Brook Road
Flower Mound, Texas 75028

Patricia O'Toole
5560 Wildwood dr.
Flower Mound, TX 75028

June 20, 2016

RE: Rezoning Waketon and Rippy Road

Dear Zoning Board Commissioners,

I would like to comment on the Zoning of the property on Waketon Road and Rippy. My family moved to Flower Mound in 1994. We picked Flower Mound for the unique country atmosphere. We could have moved to an area in Flower Mound where the houses were close together, but we wanted to spread out and have land to breath, grow plants and enjoy. We like the fact that Flower Mound protects trees and has a master plan in place to keep from over building. Now our neighbors who borders us wants to rezone to high and medium density lots. They will move and we will live with the results.

- One of my concerns is drainage. I am afraid all the water which will not be able to drain in the ground, due to all the cement will end up in my back yard.
- Another concern is the traffic that 156 houses would bring to the neighborhood. Even if the S curve on Waketon was fixed there would be too many cars for the 2 lane country road which runs into Double Oak.
- There are old beautiful trees on the property that must be kept alive. Trees help keep our air fresh and helps alleviate the traffic noise.

Please help us keep the integrity of our country living, save our trees, wildlife and peace and keep the agricultural or very low density zoning. We want to keep Flower Mound an unique living area, not like overly populated areas like Frisco and Plano.

- ◆ Please vote no on the high and medium density lots on Waketon and Rippy Road.

Thank you for your time and keeping our town unique.

Patrica O'Toole



From: Judy Cortinas
Sent: Wednesday, August 03, 2016 8:40 PM
To: Richard Brown; planning; Town Council
Subject: Bradford

Richard,

We are writing to request that the requested Master Plan amendment on the Bradford Park development be denied.

We feel there should not be any high density residential lots/homes in in the project that backs up to existing Low Density and Estate residential neighborhoods.

We are looking for the protection of the Master Plan that recommends the Land be used for Low Density single family housing. When we moved into Pecan Meadows 17 years ago, we counted on the surrounding properties to reflect the continuity of our neighborhood. Pecan Meadows are all approximately 1/2 acre lots.

This is the same battle we fought with Highland Court. However, Highland Court did convert retail/commercial land into residential on FM2499. There was a little more reasoning to the need to build high density. The Bradford project is off of Waketon and behind Robertson Creek Shopping Center. There is no benefit to creating high density there. The small entry to the shopping center is very quiet, and poses nothing detrimental to homes being built. Once Waketon is improved that would pose nothing harmful for a neighborhood either.

We have no problem with the land use being Medium Density Residential single family homes. We were presented with a wonderful plan by David Weekly but evidently, due to the sales price of the land, that became obsolete. We do welcome a neighborhood there, just not a congested high density one as is proposed.

While I understand a landowner wanting to get the best price for his land, one must also consider the reasoning of it. The high density homes that will be built under this plan will start around \$550,000. That serves none of the needs of Flower Mound for reasonable affordable housing for young families or seniors.

You must also consider the effect it will have on the value of our homes. The homeowners surrounding the project, just like the land owners of Bradford Park, would like to get a fair value for our home, too. I know that a Pecan Meadows homeowner was able to get their Tax Value adjusted down \$50,000 this year, using the upcoming high density housing near us as the reason. So, for the benefit of a few land owners, it will not benefit the existing homeowners in Pecan Meadows adjacent/back up to the project.

Please deny the requested Master Plan change.

Thank you.

Rudy and Judy Cortinas
3301 Pecan Meadows Dr
Flower Mound

From: sjms4877 .
Sent: Thursday, August 04, 2016 1:37 PM
To: Richard Brown
Subject: Cal Atlantic Homes - Rippy Road Constrution

Dear Mr. Brown:

My name is John Irish, and I live at 3405 Pecan Meadows, Flower Mound TX 75028. I have lived in Flower Mound for over three years and plan to live in Flower Mound for many years to come.

I chose to live in Flower Mound, and specifically **Pecan Acres Addition/Pecan Meadows** because:

1. **Serenity:** The area is quiet with low density housing.
2. **Low Traffic:** Since the area consists of low density housing, the traffic is manageable.
3. **Lots of old trees:** There are a lot of trees that are decades old.
4. **Country feel:** There is a country side feel to this neighborhood.

I recently learned of a potential rezoning effort proposed by Cal Atlantic Homes, for the property located between Rippy Road and Waketon Rd. The rezoning would include a Master Plan amendment transitioning the land use from Neighborhood Low Density Residential, to High Density Residential.

I am **strongly opposed** to rezoning that would allow for High Density Residential land use. My main reasons for the opposition are:

1. **Increased Traffic:** A high density residential will increase the traffic on the existing roads by a large factor.
2. **Current Zoning:** One of the top reasons I moved to this area.
3. **Decreased Property value:** Our property value may decrease by rezoning the low density zone as a high density zone as no one would prefer to have a high density zone, right beside their neighborhood.
4. **Decreased Safety:** Our neighborhood may be less safer due to the rezoning, because, occupants of high density residential have very little stake and responsibility for their dwelling when compared to single family home dwellers, thereby, they might not care for the neighborhood they live in, as much as single family home owners do.
5. **Loss of trees:** Trees that have been growing for decades would be lost. We (the town) have already lost a huge number of trees due to the Riverwalk project and the Lakeside project. We need to preserve as many trees as we can.
6. **Other High Density areas:** There are already high density residential projects (in the form of Riverwalk and Lakeside) going on. The town doesn't need more high density residential projects.
7. **Additional Traffic Lights:** One or more traffic lights at Rippy Rd and College Parkway may need to be added onto FM 2499 in the future, creating even more stop-and-go traffic between 407 and 3040.
8. **Schools will be impacted.**

9. **There already is a shortage of single family homes.**

I am very concerned with how a High Density Residential development would affect not just my neighborhood, but the Town of Flower Mound. I kindly ask for your support in opposition to rezoning & any Master Plan amendments that would include High Density Residential development. Please uphold the current zoning which is low density residential. Thank you for your time.

Best regards,
John Irish